

vanguard villas

Lee's Summit, Missouri

PROJECT NO.: 20-078

ISSUE DATE: 7.20.2022 REVISION 2

GENERAL NOTES

1. AIA DOCUMENT A-201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, CURRENT EDITION, AND SPECIAL CONDITIONS AS NOTED IN THE PROJECT MANUAL, SHALL GOVERN THE WORK.
2. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY EXISTING FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
3. GENERAL CONTRACTOR SHALL CROSS-REFERENCE THE VARIOUS DISCIPLINES' PLANS HEREIN AND REVIEWED SHOP DRAWINGS PRIOR TO STARTING CONSTRUCTION PHASE OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
4. ONLY CONTRACT DOCUMENTS APPROVED FOR CONSTRUCTION AND REVIEWED SHOP DRAWINGS SHALL BE USED FOR CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF SAID DOCUMENTS AND UPDATES TO THE FIELD FOR CONSTRUCTION.
5. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE SUBCONTRACTOR WORK WITH THESE PROJECT DOCUMENTS.
6. DIMENSIONS TO THE EXTERIOR OF THE BUILDING ARE TO THE EXTERIOR OF FOUNDATION/MASONRY UNLESS NOTED OTHERWISE.
7. DO NOT SCALE DRAWINGS.
8. THE WORD 'ALIGN' AS USED IN THESE DOCUMENTS SHALL SUPERSEDE DIMENSIONAL INFORMATION.
9. NO PRODUCTS CONTAINING ASBESTOS SHALL BE INSTALLED IN OR USED DURING THE CONSTRUCTION OF THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CERTIFY TO THE OWNER THAT THIS REQUIREMENT HAS BEEN COMPLIED WITH.
10. ALL HVAC EQUIPMENT AND DUCTWORK SHALL COMPLY WITH THE CURRENT APPLICABLE MECHANICAL CODE AND INSTALLED PER SMACNA RECOMMENDATIONS.
11. CODE COMPLIANCE - THE WORK SHALL BE GOVERNED BY ALL CURRENT APPLICABLE LOCAL, CITY, STATE AND NATIONAL CODES AND LAWS. THESE AUTHORITIES INCLUDE, BUT ARE NOT LIMITED TO THE INTERNATIONAL BUILDING CODE, NATIONAL ELECTRIC CODE, NATIONAL FIRE PROTECTION ASSOCIATION OR ANY OTHER AUTHORITY OR BODY HAVING JURISDICTION OVER WORK. THE SITE, PARKING LOT, AND BUILDING SHALL COMPLY WITH THE ADA (AMERICANS WITH DISABILITIES ACT) REGULATIONS. NOTIFY ARCHITECT OF ANY REQUIRED CHANGES TO COMPLY WITH ADA.
12. REFERENCE CIVIL DRAWINGS FOR SITE WORK, INCLUDING THE BUILDING LOCATION ON THE SITE.

ABBREVIATIONS

ABV	ABOVE	HDWD	HARDWOOD	SCHED	SCHEDULE
AFF	ABOVE FINISH FLOOR	HDPB	HIGH DENSITY	SECT	SECTION
ACT	ACOUSTICAL		PARTICLE BOARD	SHT	SHEET
ALUM	ALUMINUM	HT	HEIGHT	SM	SIMILAR
&	AND	HR	HOUR	SC	SOLID CORE
@	AT	INSUL	INSULATION	SPEC	SPECIFICATION
				SQ	SQUARE
BLK	BLOCK	SF	SQUARE FOOT	STD	STANDARD
BD	BOARD	SS	STAINLESS STEEL	STL	STEEL
BO	BOTTOM OF	STD	STANDARD	STRUCT	STRUCTURAL
		SUSP	SUSPENDED		
CLG	CEILING				
CT	CENTER LINE	LAV	LAVATORY		
CT	CERAMIC TILE				
CLR	CLEAR	MO	MASONRY OPENING	TEL	TELEPHONE
CONC	CONCRETE	MDF	MEDIUM DENSITY	THK	THICK
CONC	CONC. MASONRY UNIT	MECH	MECHANICAL	TO	TOP OF
CONT	CONTINUOUS	MTL	METAL	T&G	TONGUE & GROOVE
CONTR	CONTRACTOR			TYP	TYPICAL
CFCI	CONTRACTOR FURNISHED	NIC	NOT IN CONTRACT		
	CONTRACTOR INSTALLED	NTS	NOT TO SCALE	UNF	UNFINISHED
CJ	CONTROL JOINT			UNO	UNLESS NOTED OTHERWISE
CG	CORNER GUARD	OFCI	OWNER FURNISHED	VERT	VERTICAL
			CONTRACTOR INSTALLED	VEST	VESTIBULE
DTL	DETAIL	OFOI	OWNER FURNISHED		
DA	DIAMETER	OC	OWNER INSTALLED		
DR	DOOR		ON CENTER	WP	WATERPROOF
DS	DOWNSPOUT	OPNG	OPENING	WT	WEIGHT
DWG	DRAWING			W/	WITH
		PTD	PAINTED	W/O	WITH OUT
EOS	EDGE OF SLAB	PLAM	PLASTIC LAMINATE	WD	WOOD
ELEC	ELECTRICAL	PLYWD	PLYWOOD		
ELEV	ELEVATION	PT	PRESSURE TREATED		
EQ	EQUAL				
EQUIP	EQUIPMENT	RAD	RADIUS		
EXIST	EXISTING	RE	REFERENCE		
EJ	EXPANSION JOINT	REINF	REINFORCING		
		RCP	REFLECTED CEILING PLAN		
FT	FEET	REQD	REQUIRED		
FG	FINISH GRADE	RD	ROOF DRAIN		
FR	FINISH FLOOR	RM	ROOM		
FL	FIRE RETARDANT FLOOR	RO	ROUGH OPENING		
GC	GENERAL CONTR.				
GYP	GYPSUM				

SYMBOLS

	CONCRETE		BUILDING SECTION		COL GRID
	BRICK		WALL SECTION		ROOM
	BLOCKING		DETAIL		TEMPERED GLASS
	BATT INSULATION		NEW CONSTRUCTION		EXISTING CONSTR. TO REMAIN
	RIGID INSULATION		PARTITION TYPE		EXISTING CONSTR. REMOVED
	CONCRETE BLOCK				

PROJECT DIRECTORY

Client CLIENT NAME TEGETHOFF DEVELOPMENT P.O. BOX 6331 Phone: 765.639.6300 Contact: LINDSEY KING	Architect TRi ARCHITECTS 1750 BRENTWOOD BLVD ST. LOUIS, MISSOURI 63144 PHONE: 314.395.9750	General Contractor GENERAL CONTRACTOR ADDRESS ADDRESS Phone: XXX.XXX.XXXX Contact: CONTACT NAME
Structural Engineer BOB D CAMPBELL & COMPANY 4338 BELLEVUE AVENUE KANSAS CITY, MISSOURI 64111 Phone: 816.531.4144 Contact: CLARK BASIGNER (DIRECT: 816.776.7151)	Civil Engineer SM ENGINEERING SM ENGINEERING Phone: 785.341.1747 Contact: SAM MALINOWSKY	
Mech./Elec./Plumb. Eng. LATIMER SOMMERS & ASSOCIATES 3639 SW SUMMERFIELD DR SITE A TOPEKA, KANSAS 66614 Phone: 785.233.3232 Contact: RICH BEARDMORE		

PROJECT SUMMARY

*FOR COMPLETE CODE ANALYSIS SEE LIFE SAFETY PLAN SHEET AXXX - AXXX

PROJECT NAME:	Vanguard Villas
PROJECT ADDRESS:	Lee's Summit, Missouri
PROJECT DESCRIPTION:	SINGLE FAMILY TOWNHOMES
BUILDING CODES:	2018 International Residential Code 2017 National Electric Code 2018 International Mechanical Code 2018 International Plumbing Code 2018 International Fire Code 2018 International Energy Conservation Code
ACCESSIBILITY	2010 ADA Guidelines & 2009 ICC/ANSI A117.1 & FAIR HOUSING ACT
OCCUPANCY TYPE / USE GROUP:	R-2

LOCATION MAP

RELEASED FOR CONSTRUCTION
As Noted on Plans Review

7.20.2022

ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

GENERAL CONTRACTOR

MECHANICAL ENGINEER

PLUMBING ENGINEER

ELECTRICAL ENGINEER

TRi ARCHITECTS

BOB D CAMPBELL & COMPANY

SM ENGINEERING

GENERAL CONTRACTOR

LATIMER SOMMERS & ASSOCIATES

LATIMER SOMMERS & ASSOCIATES

LATIMER SOMMERS & ASSOCIATES

Vanguard Villas

Lee's Summit, Missouri



TRi Architects
6812 Manchester Road
St. Louis, Missouri 63119
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T: 314-395-9750
F: 314-395-9751
www.triarchitects.com

DATE: 9.2.2021

REVISIONS

100% BID/PERMIT PACKAGE	9.2.2021
1 PERMIT COMMENTS	9.24.2021
4 REVISION 2	7.20.2022

DWG BY MKSS

TRi PROJECT NO. 20-078

SHEET NO.

A000
COVER SHEET

● = REVISED SHEET
○ = REISSUED SHEET/NO REVISION
X = ISSUED AS 8.5x11

	100% BID/PERMIT PACKAGE 1.2.2021	PERMIT COMMENTS 3.24.2021	ADDENDUM 1 11/12/2021	REVISION 1 - 5.12.2022	REVISION 2 - 7.20.2022
ARCHITECTURAL					
A000 COVER SHEET	•	•			
A001 SHEET INDEX	•	•	•	•	
A002 ACCESSIBILITY REQUIREMENTS - TYPE B UNITS	•	•	•	•	
A003 SOUND TRANSMISSION ASSEMBLIES	•				
A010 LIFE SAFETY PLANS	•				
A011 LIFE SAFETY PLANS				•	
A012 LIFE SAFETY PLANS				•	
A013 LIFE SAFETY PLANS				•	
A030 PARTITION TYPES	•			•	
A031 FLOORING ASSEMBLIES	•			•	
A040 DOOR SCHEDULE & TYPICAL DETAILS	•	•		•	
A050 WINDOW & STOREFRONT SCHEDULE & TYPICAL DETAILS	•	•			
A100 OVERALL FLOOR PLAN	•			•	
A101 GROUP 1 PLANS	•			•	
A102 GROUP 2 PLANS					
A103 GROUP 3 PLANS	•				
A104 GROUP 4 PLANS				•	
A105 GROUP 5 PLANS				•	
A106 GROUP 6 PLANS				•	
A107 GROUP 7 PLANS				•	
A108 GROUP 8 PLANS				•	
A109A GROUP 9 PLANS				•	
A109B GROUP 9 PLANS				•	•
A110A GROUP 10 PLANS				•	•
A110B GROUP 10 PLANS				•	
A111 GROUP 11 PLANS				•	
A112 GROUP 12 PLANS				•	
A113 GROUP 13 PLANS				•	
A114 GROUP 14 PLANS				•	
A201 GROUP 1 EXTERIOR ELEVATIONS		•	•		
A202 GROUP 2 EXTERIOR ELEVATIONS		•	•		
A203 GROUP 3 EXTERIOR ELEVATIONS		•	•		
A204 GROUP 4 EXTERIOR ELEVATIONS				•	
A205 GROUP 5 EXTERIOR ELEVATIONS				•	
A206 GROUP 6 EXTERIOR ELEVATIONS				•	
A207 GROUP 7 EXTERIOR ELEVATIONS				•	
A208 GROUP 8 EXTERIOR ELEVATIONS				•	
A209 GROUP 9 OVERALL EXTERIOR ELEVATIONS				•	
A209B GROUP 9 ENLARGED ELEVATIONS				•	
A210 GROUP 10 OVERALL EXTERIOR ELEVATIONS				•	
A210B GROUP 10 ENLARGED ELEVATIONS				•	
A211 GROUP 11 EXTERIOR ELEVATIONS				•	
A212 GROUP 12 EXTERIOR ELEVATIONS				•	
A213 GROUP 13 EXTERIOR ELEVATIONS				•	
A214 GROUP 14 EXTERIOR ELEVATIONS				•	
A301 GROUP 1 BUILDING SECTIONS		•			
A302 GROUP 2 BUILDING SECTIONS		•			
A303 GROUP 3 BUILDING SECTIONS		•			
A304 GROUPS 4-7 BUILDING SECTIONS				•	
A305 GROUPS 8-11 BUILDING SECTIONS				•	
A306 GROUPS 12-14 BUILDING SECTIONS				•	
A310 WALL SECTIONS		•			
A311 WALL SECTIONS				•	
A312 WALL SECTIONS		•			
A350 WALL SECTION DETAILS		•			
A351 WALL SECTION & ROOF DETAILS		•			
A360 BALCONY DETAILS		•			
A365 CANOPY DETAILS		•			
A370 PLAN DETAILS					
A400 UNIT PLANS		•		•	
A401 UNIT PLANS		•			
A402 UNIT ELEVATIONS		•			
A420 UNIT DETAILS		•			
A421 UNIT DETAILS					
A500 STAIR DETAILS		•			
A700 FINISH SCHEDULE		•			

	100% BID/PERMIT PACKAGE 12.2.2021	PERMIT COMMENTS 3.2.2021	ADDENDUM 11/12.2021	REVISION 1 - 5.12.2022	REVISION 2 - 7.22.2022
STRUCTURAL					
S001 GENERAL NOTES	•	•			
S002 TYPICAL WOOD GRAVITY SCHEDULES & DETAILS	•	•			
S003 TYPICAL WOOD LATERAL SCHEDULES & DETAILS	•	•			
S004 TYPICAL WOOD DETAILS	•	•			
S005 TYPICAL WOOD DETAILS	•	•			
S101 GROUP 1 PLANS	•	•	•	•	
S102 GROUP 2 PLANS	•	•	•	•	
S103 GROUP 3 PLANS	•	•	•	•	
S104 GROUP 4 PLANS			•	•	
S105 GROUP 5 PLANS			•	•	
S106 GROUP 6 PLANS			•	•	
S107 GROUP 7 PLANS			•	•	
S108 GROUP 8 PLANS			•	•	
S109A GROUP 9 PLANS			•		•
S109B GROUP 9 PLANS			•		•
S110A GROUP 10 PLANS			•		
S110B GROUP 10 PLANS			•		
S111 GROUP 11 PLANS			•		
S112 GROUP 12 PLANS			•		
S113 GROUP 13 PLANS			•		
S114 GROUP 14 PLANS			•		
S200 FOUNDATION SECTIONS	•				
S201 FOUNDATION SECTIONS	•	•			
S330 WOOD FLOOR FRAMING SECTIONS	•				
S331 WOOD FLOOR FRAMING SECTIONS	•	•			
S340 WOOD ROOF FRAMING SECTIONS					
S341 WOOD ROOF FRAMING SECTIONS	•	•			

		10% BID PERMIT PACKAGE 3.2.2021	PERMIT COMMENTS 3.4.2021	ADDENDUM 1 11.12.2021	REVISION 1 - 5.12.2022	REVISION 2 - 7.10.2022
	MECHANICAL	•				
ME001	SITE PLAN - MECHANICAL	•				
ME002	SITE PLAN - MECHANICAL	•		•		
M101	TYPICAL UNIT PLAN - MECHANICAL	•	•			
MP101	MECHANICAL DETAILS	•	•			
MP102	MECHANICAL SCHEDULES	•				

	ELECTRICAL	• • 10% BIDDERMENT PACKAGE 9.2.2021
E101	TYPICAL UNIT PLAN - ELECTRICAL	• PERMIT COMMENTS 9.24.2021
E201	ELECTRICAL DETAILS AND SCHEDULES	ADDENDUM 1 11.12.2021 REVISION - 5.12.2022 REVISION - 7.20.2022

P101	PLUMBING TYPICAL UNIT PLAN - PLUMBING	• 100% BID/PERMIT PACKAGE 9.2.2021
		• PERMIT COMMENTS 9.24.2021
		ADDENDUM 1 11.12.2021
		• REVISION 1 - 5.12.2022
		REVISION 2 - 7.20.2022

[illegible]

GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY.
- B. FOR DOOR SCHEDULE SEE SHEET A404 XXX
- C. FOR WINDOW SCHEDULE SEE SHEET A405 X
- D. FOR PARTITION TYPES SEE SHEET A403 X
- E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A400 THROUGH A401).
- F. GENERAL CONTRACTOR WILL FURNISH & INSTALL 5 LB. MULTIPURPOSE DRY CHEMICAL 2A-10B-C RATED FIRE EXTINGUISHERS W/ MOUNTING BRACKETS & ACCESSORIES @ 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT IN PUBLIC SPACES AND CORRIDORS. A MINIMUM RATED 1A-10B-C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT.
- G. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSION TO 30'-0" MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 60'-0" IN EITHER DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING/FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
- H. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS.
- I. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.
- J. FINISH FLOOR ELEVATION AT GROUP 1 IS 100'-0" AND ALL OTHER GROUPS ARE LABELED IN RELATION TO THAT LEVEL. RE: CIVIL DRAWINGS FOR ALL GRADE INFORMATION.
- K. 5" CONCRETE FLOOR SLAB WITH 6"x6" - W1.4xW1.4 W.F.F. ON 10 MIL POLY FILM VAPOR BARRIER ON 4" GRANULAR FIL. RE: STRUCTURAL DWGS.
- L. NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD.
- M. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS. SPOT GRADING AT PERIMETER FOUNDATIONS.
- N. THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
- O. * ASSUMED FIRST FLOOR FINISH FLOOR ELEVATION = 100.00" VERIFY ACTUAL FINISH FLOOR ELEVATION WITH CIVIL DRAWINGS.
- P. GENERAL CONTRACTOR TO CAULK AND SEAL EXPANSION JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE - SEE MASONRY SPECIFICATIONS.
- Q. GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIO/VISUAL DEVICES AND PULL STATIONS WHERE REQUIRED.
- R. FIRE RETARDANT TREATED WOOD PERMITTED TO BE USED IN LOCATIONS SPECIFIED IN TABLE 602, NOTE D AND SECTION 603.2 AND 210.0. VERIFY SECTIONS IN 2018 IBC.
- S. ALL OPENING DIMENSIONS ARE TO CENTERLINE OF OPENING.

[illegible]

4 GROUP 9A - FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

ROOF GENERAL NOTES

- A. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, M.E.P. AND ARCHITECTURAL DRAWINGS.
- B. EXHAUST FANS AND VENTS TO BE LOCATED A MINIMUM OF 10'-0" FROM RTU's.
- C. ALL ROOF EQUIPMENT TO BE MOUNTED ON CURBS. MECHANICAL SUBCONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE MANUFACTURER. GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED BLOCKING, NAILING, ETC. AS REQUIRED FOR A WATERTIGHT BUILDING.
- D. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE INSTALLATION OF ALL FLASHING, BLOCKING, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR A COMPLETE, WARRANTED AND WATERTIGHT INSTALLATION.
- E. ALL ROOF SLOPES ARE TO HAVE A MINIMUM OF 1/4" FALL WHERE CRICKETS AND VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT VALLEY.

This architectural floor plan depicts a three-story building with a complex internal layout. The plan is oriented with a north arrow pointing towards the top-left. The building's footprint is roughly rectangular, with a total width of 117'-3" and a total depth of 170'-3".

Dimensions and Layout:

- Overall Dimensions:** 117'-3" (width) x 170'-3" (depth).
- Room Layout:** The plan shows multiple rooms, including what appear to be offices, a central corridor, and a large open area at the bottom. Rooms are labeled with numbers (e.g., 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883,

12 GROUP 9A - SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

ROOF KEYED NOTES

1. PROVIDE TAPERED CRICKETS AT ALL ROOF TOP UNITS, SLOPE 1/2" PER FOOT MINIMUM. INSTALL FLASHING AND COUNTER FLASHING PER ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.
2. TAPERED CRICKETS AS REQUIRED. SLOPE 1/2" PER FOOT MINIMUM.
3. FULLY ADHERED T.P.O. ROOF MEMBRANE.
4. CHANGE IN ROOF SLOPE AND/OR ELEVATION.
5. THRU-WALL ROOF SCUPPER WITH OVERFLOW.
6. PROVIDE WALKWAY PADS FROM ROOF ACCESS TO ALL ROOFTOP EQUIPMENT.
7. NOT USED
8. GUTTER TO DOWNSPOUT TO MAIN ROOF

20 GROUP 9A - ROOF PLAN
SCALE: 3/32" = 1'-0"

DOWNSPOUT CALC

AREA OF 1 VILLA
1,059 S.F. / 11 DOWNSPOUTS = 1,058 S.F./D.S.
(SMACNA) TABLE 1-2 - 100 YEAR S.F./S.I. = 120
1,059/120 = 8.825 SQUARE INCHES OF DOWNSPOUT AREA
USE (1) 4" SQ. DOWNSPOUTS PER VILLA

AREA OF 1 VILLA:
1,059 S.F. / 1 DOWNSPOUTS = 1,058 S.F./D.S.
(SMACNA) TABLE 1-2 - 100 YEAR S.F./S.I. = 120
 $1,059 / 120 = 8.825$ SQUARE INCHES OF DOWNSPOUT AREA
USE (1) 4" SQ. DOWNSPOUTS PER VILLA

TR,i Architects
9812 Manchester Road
St. Louis, Missouri 63119
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T: 314-395-9750
F: 314-395-9751
www.triarchitects.com

DATE: 9.2.2021

REVISIONS REVISIONS

2	ADDENDUM 1	11.12.2021
4	REVISION 2	7.20.2022

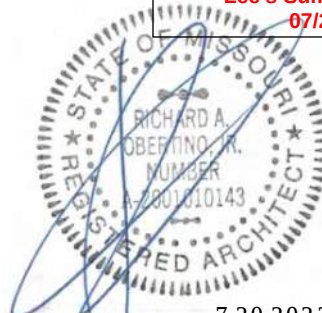
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TR,i PROJECT NO. 20-078

SHEET NO.

A109A

GROUP 9 PLANS



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F: 314-395-9751
www.trjarchitects.com

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GROUP 9 PLANS

GENERAL NOTES

- DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY.
- FOR DOOR SCHEDULE SEE SHEET A400 XXX
- FOR WINDOW SCHEDULE SEE SHEET A400 X
- FOR PARTITION TYPES SEE SHEET A400 X
- FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A400 THROUGH A401).
- GENERAL CONTRACTOR WILL FURNISH & INSTALL 5 LB MULTIPURPOSE DRY CHEMICAL 2A:10B:C RATED FIRE EXTINGUISHERS w/ MOUNTING BRACKETS & ACCESSORIES @ 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT IN PUBLIC SPACES AND CORRIDORS. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT.
- CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 30'-0" MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50'-0" IN EITHER DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING/FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
- COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS.
- REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.
- FINISH FLOOR ELEVATION AT GROUP 1 IS 100'-0" AND ALL OTHER GROUPS ARE LABELED IN RELATION TO THAT LEVEL. RE: CIVIL DRAWINGS FOR ALL GRADE INFORMATION.
- 5" CONCRETE FLOOR SLAB WITH 6"x6" W14xW1.4 W.W.F. ON 10 MIL POLY FILM VAPOR BARRIER ON 4" GRANULAR FILL. RE: STRUCTURAL DWGS.
- NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL STUD-UPS, SPOT GRADING AT PERIMETER FOUNDATIONS.
- THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
- * ASSUMED FIRST FLOOR FINISH FLOOR ELEVATION = 100.00' VERIFY ACTUAL FINISH FLOOR ELEVATION WITH CIVIL DRAWINGS.
- GENERAL CONTRACTOR TO CAULK AND SEAL EXPANSION JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE - SEE MASONRY SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIOVISUAL DEVICES AND PULL STATIONS WHERE REQUIRED.
- FIRE RETARDANT TREATED WOOD PERMITTED TO BE USED IN LOCATIONS SPECIFIED IN TABLE 602, NOTE D AND SECTION 603.2 AND 2310.0. VERIFY SECTIONS IN 2018 IBC.
- ALL OPENING DIMENSIONS ARE TO CENTERLINE OF OPENING.

ROOF GENERAL NOTES

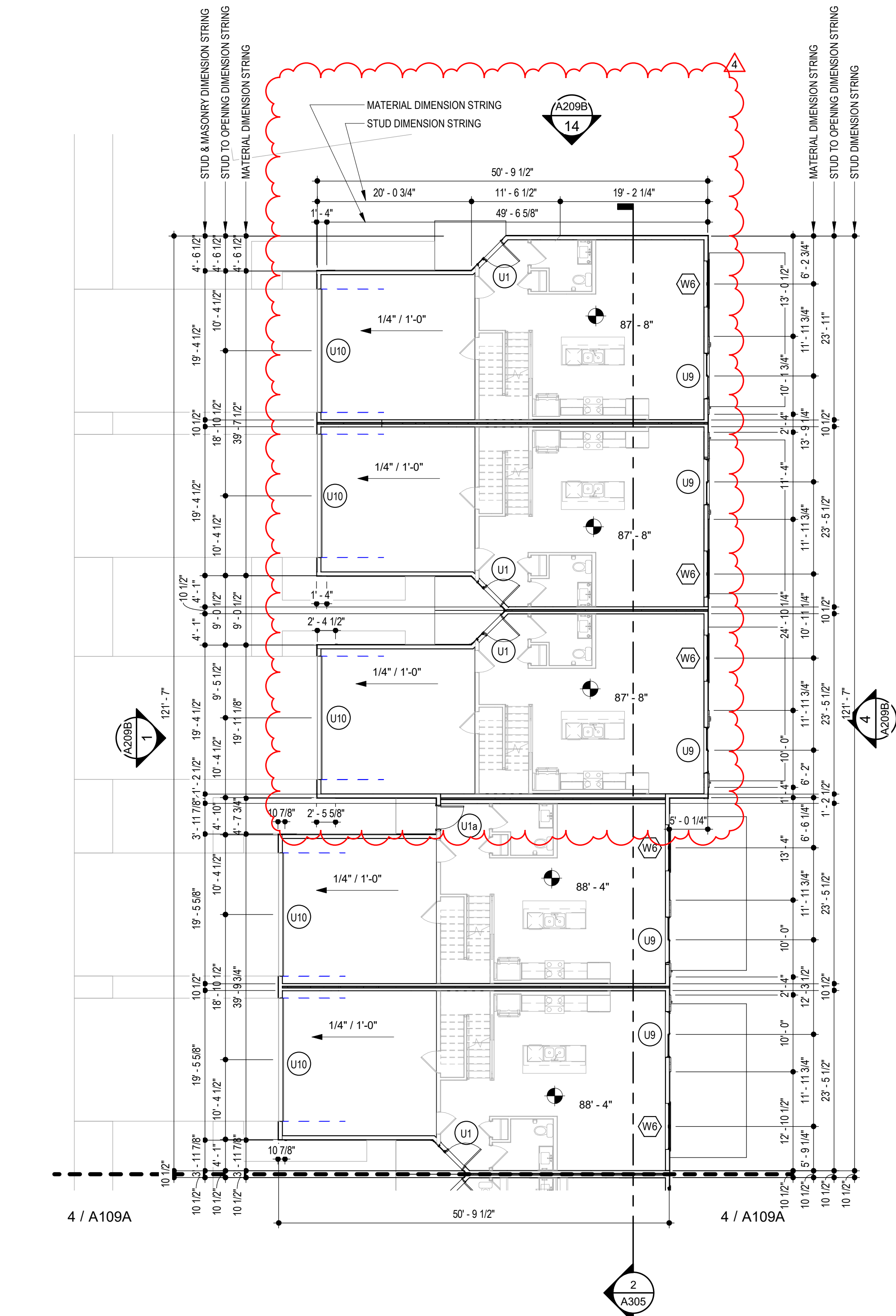
- VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, M.E.P. AND ARCHITECTURAL DRAWINGS.
- EXHAUST FANS AND VENTS TO BE LOCATED A MINIMUM OF 10'-0" FROM RTUs.
- ALL ROOF EQUIPMENT TO BE MOUNTED ON CURBS. MECHANICAL SUBCONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE MANUFACTURER. GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED BLOCKING, NAILING, ETC. AS REQUIRED FOR A WATERTIGHT BUILDING.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE INSTALLATION OF ALL FLASHING, BLOCKING, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR A COMPLETE, WARRANTED AND WATERTIGHT INSTALLATION.
- ALL ROOF SLOPES ARE TO HAVE A MINIMUM OF 1/4" FALL WHERE CRICKETS AND VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT VALLEY.

ROOF KEYED NOTES

- PROVIDE TAPERED CRICKETS AT ALL ROOF TOP UNITS. SLOPE 1/2" PER FOOT MINIMUM. INSTALL FLASHING AND COUNTER FLASHING PER ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- TAPERED CRICKETS AS REQUIRED. SLOPE 1/2" PER FOOT MINIMUM.
- FULLY ADHERED T.P.O. ROOF MEMBRANE.
- CHANGE IN ROOF SLOPE AND/OR ELEVATION.
- THRU-WALL ROOF SCUPPER WITH OVERFLOW.
- PROVIDE WALKWAY PADS FROM ROOF ACCESS TO ALL ROOFTOP EQUIPMENT.
- NOT USED.
- GUTTER TO DOWNSPOUT TO MAIN ROOF.

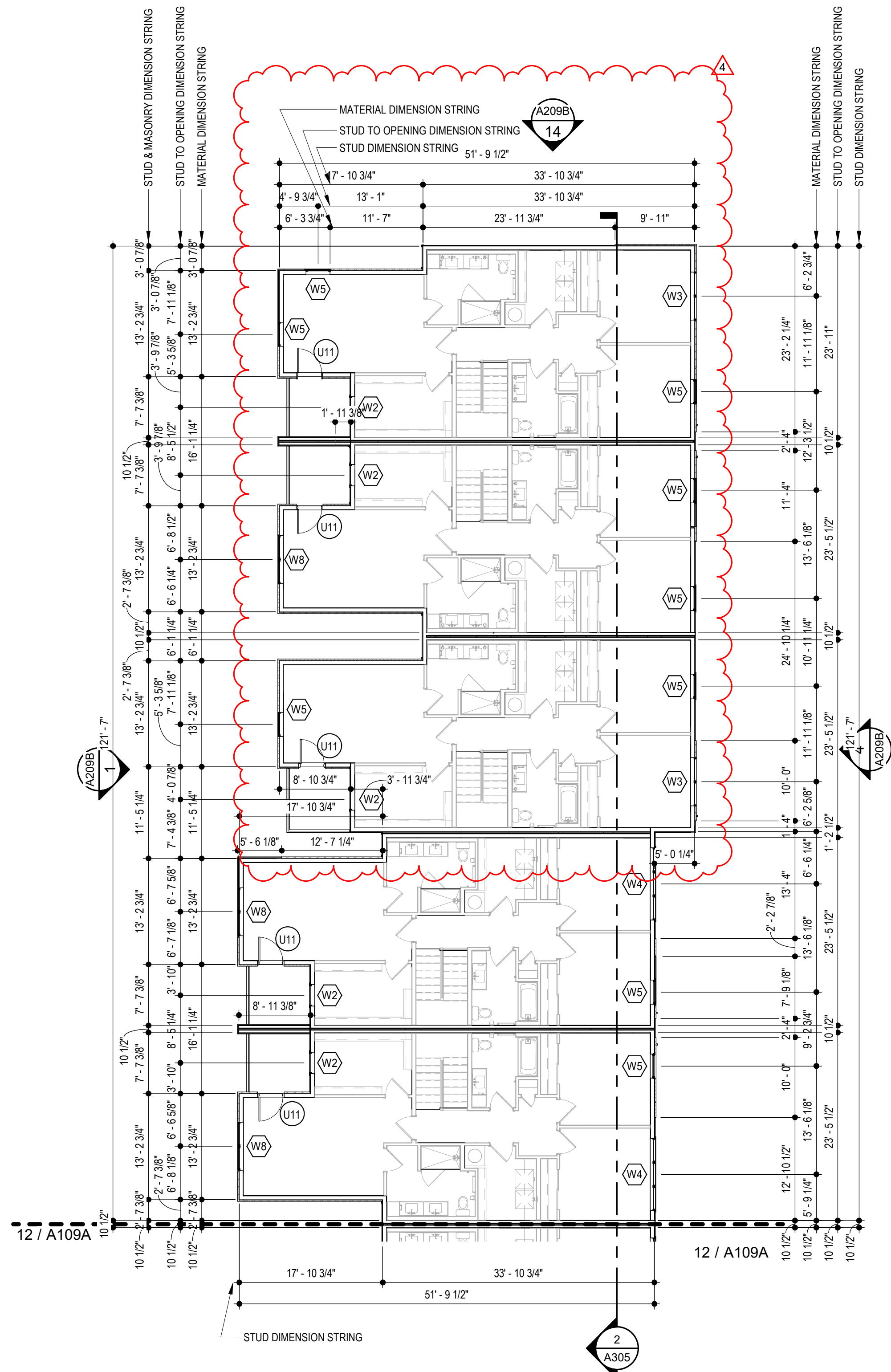
DOWNSPOUT CALC

AREA OF 1 VILLA:
1,069 S.F. / 1 DOWNSPOUTS = 1,068 S.F./D.S.
(SMACNA) TABLE 1-2 - 100 YEAR S.F./S.I. = 120
1,069 / 120 = 8.88 SQUARE INCHES OF DOWNSPOUT AREA
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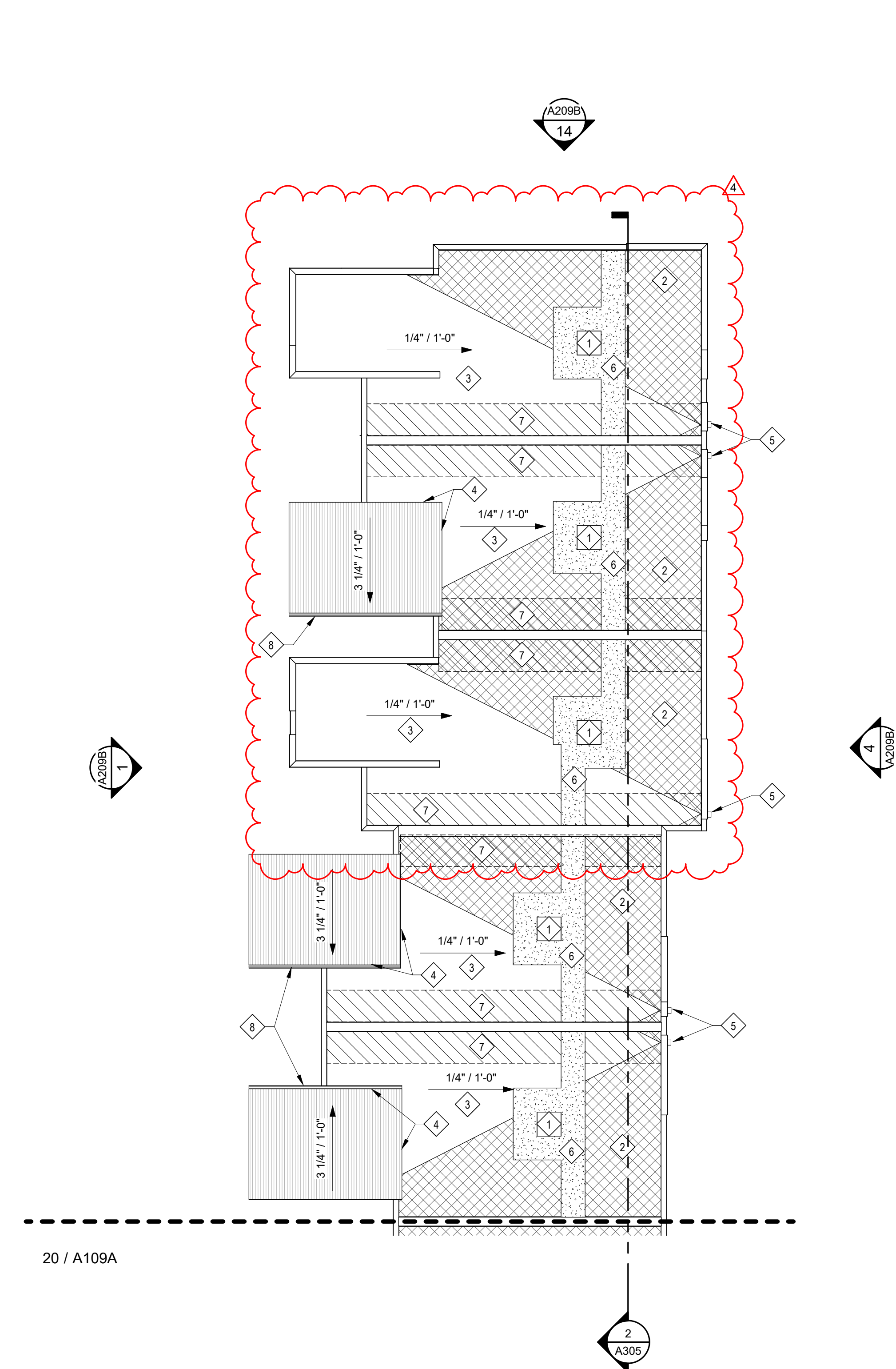
4 GROUP 9B - FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"



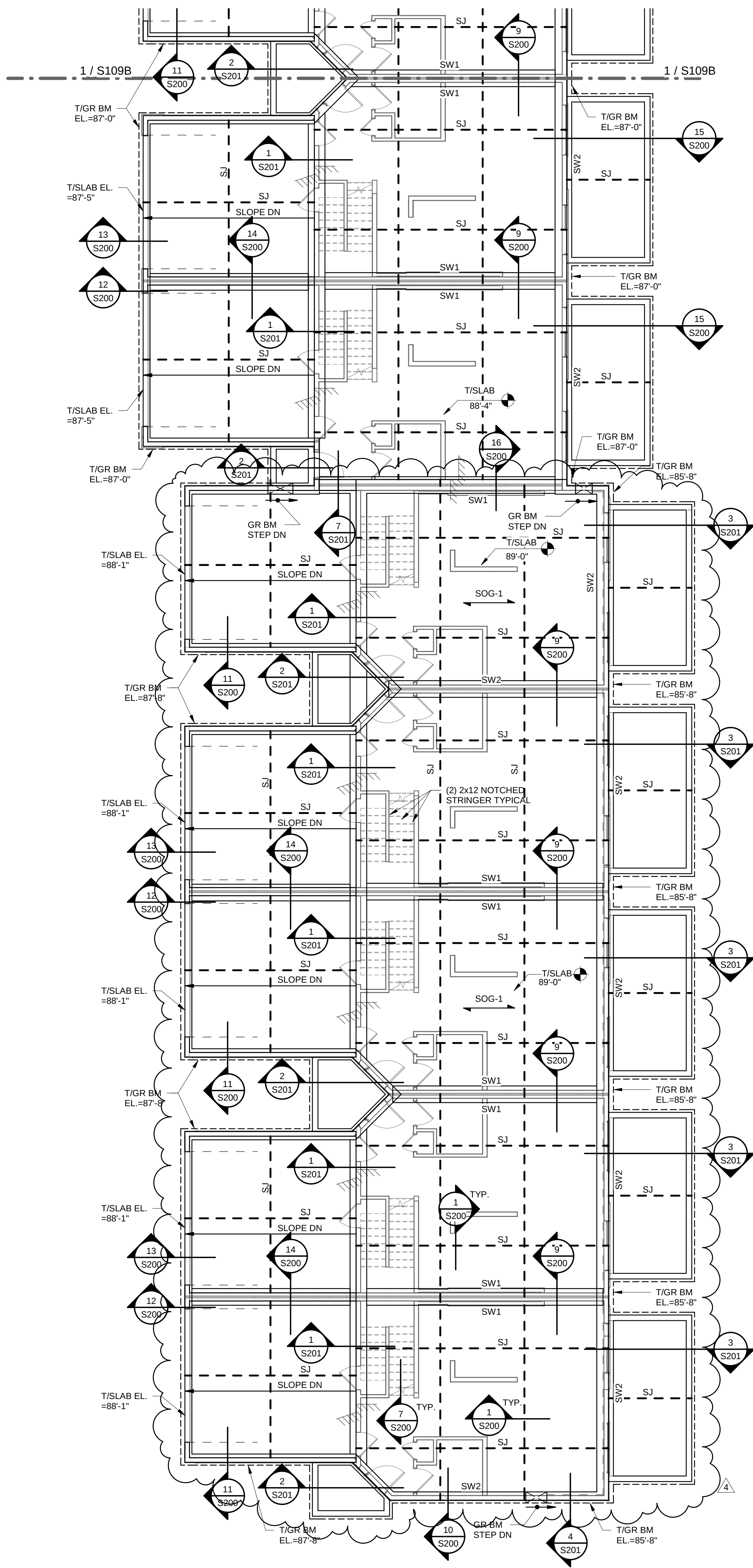
12 GROUP 9B - SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"

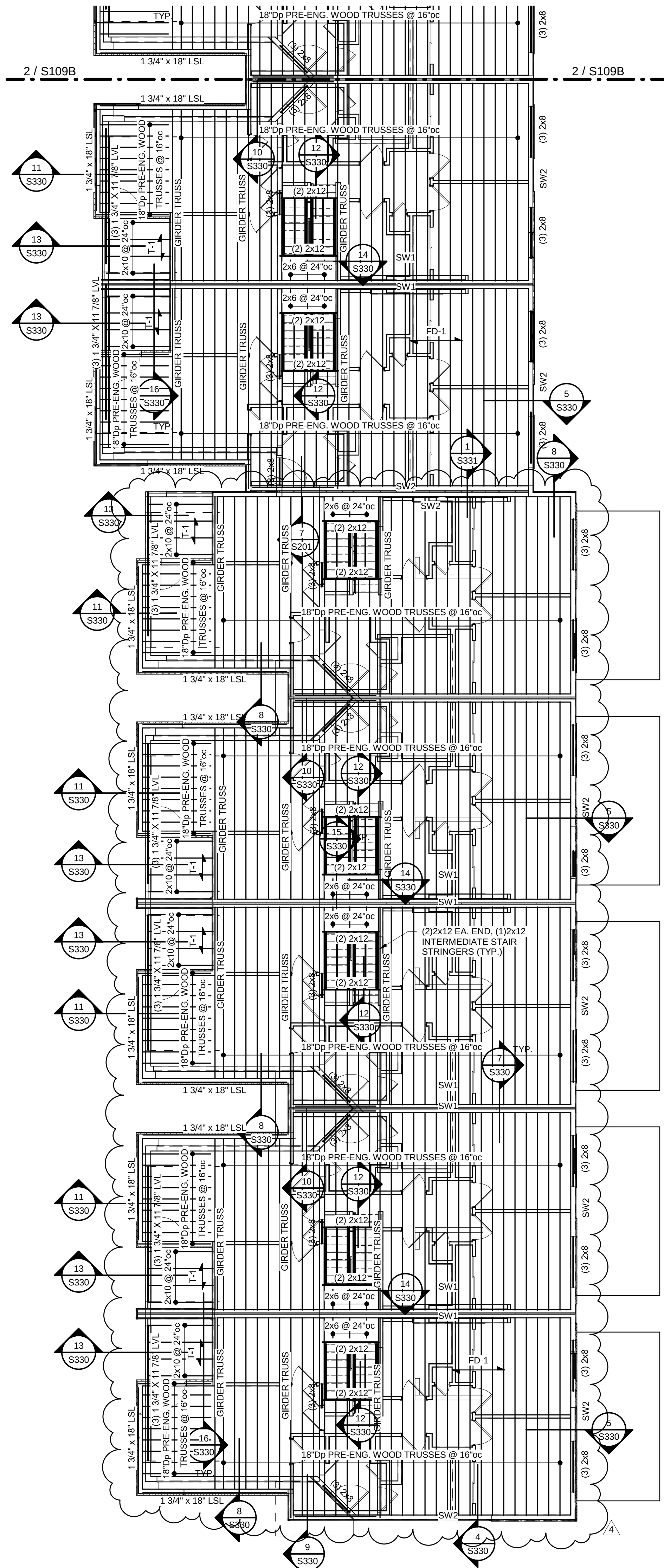


20 GROUP 9B - ROOF PLAN

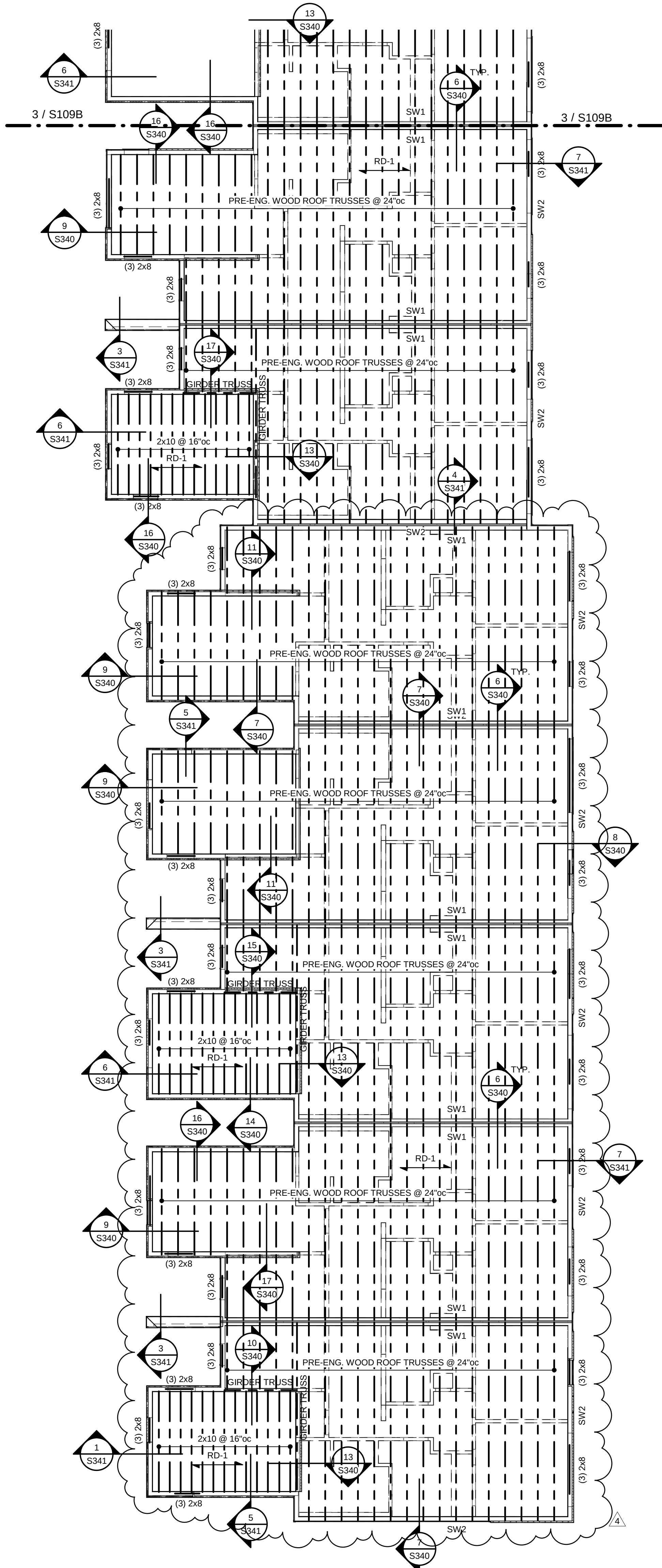
SCALE: 3/32" = 1'-0"



1 GROUP 9 - FOUNDATION PLAN
1/8" = 1'-0"



2 GROUP 9 - SECOND FLOOR FRAMING PLAN
1/8" = 1'-0"



3 GROUP 9 - ROOF FRAMING PLAN
1/8" = 1'-0"

RELEASED FOR CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
07/22/2022

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TRJ Architects
1790 S. Brentwood Blvd.
St. Louis, Missouri 63144
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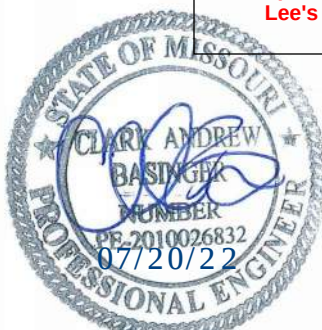
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Vanguard Villas

Lee's Summit, Missouri



TRJ Architects
1790 S. Greenwood Blvd.
St. Louis, Missouri 63144
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www.trjarchitects.com

T: 314-395-9760
www.trjarchitects.com

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