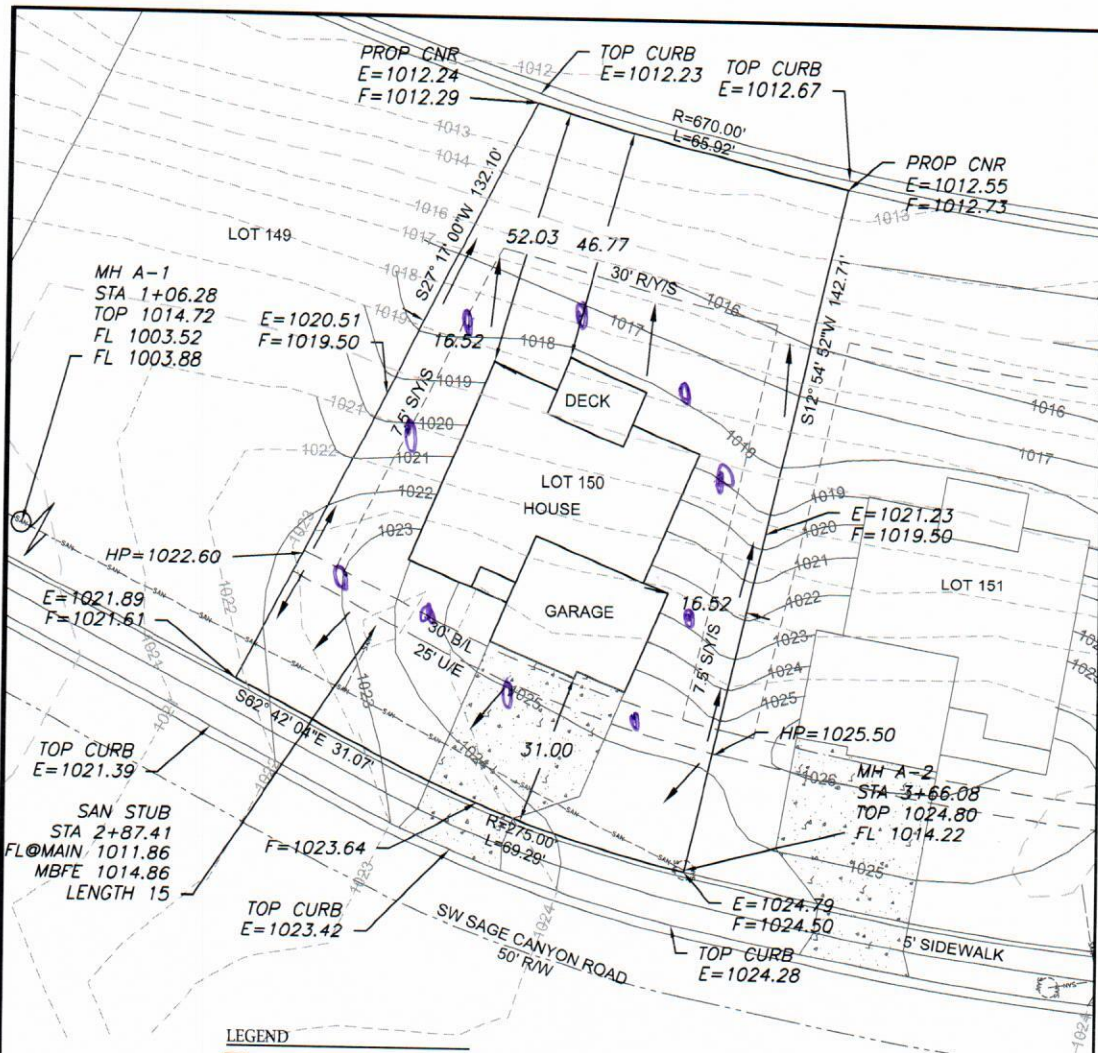




LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

PROPOSED HOUSE

TOP FOUNDATION = 1028.00
 GARAGE FLOOR = 1026.00
 TOP FOOTING = 1019.00
 BASEMENT FLOOR = 1019.33
 DRIVE SLOPE = 7.6%

E = EXISTING ELEVATION
 F = PROPOSED FINAL ELEVATION
 G = ADJACENT GRADE AT EGRESS
 U/E = UTILITY EASEMENT
 B/L = BUILDING LINE
 S/Y/S = SIDE YARD SETBACK
 R/Y/S = REAR YARD SETBACK

NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.



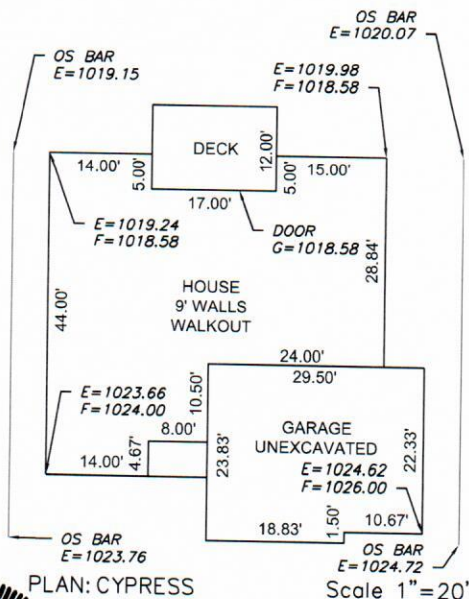
Scale 1"=30'

LOT INFORMATION

11,480.86 SQ. FT.
 MBOE=1014.9
 MBFE=1014.86
 ADDRESS
 1824 SW SAGE CANYON ROAD

LEGAL DESCRIPTION

LOT 150, NAPA VALLEY - 4TH PLAT, A SUBDIVISION AS RECORDED IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.



PLAN: CYPRESS

ENGINEERING SOLUTIONS ENGINEERING & SURVEYING 50 SE 30TH STREET LEE'S SUMMIT, MO 64082 P:(816) 623-9888 F:(816) 623-9849 WWW.ENGINEERINGSOLUTIONS.COM		PLOT PLAN - LOT 150 NAPA VALLEY - 4TH PLAT LEE'S SUMMIT, JACKSON COUNTY, MISSOURI KEVIN HIGDON CONSTRUCTION LLC BOX 847 LEE'S SUMMIT, MO 64083	
		PROJECT NO. LOT 150, 151, 152, NAPA VALLEY	DATE 4/28/21

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.