

1 AREA PLAN
1/8" = 1'-0"

GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL FIRE EXTINGUISHER LOCATIONS. SUPPLY ADDITIONAL FIRE EXTINGUISHERS AS NEEDED SO THAT TRAVEL DISTANCE DOES NOT EXCEED 75 FEET FROM ANY POINT IN THE BUILDING TO THE NEAREST FIRE EXTINGUISHER. VERIFY LOCATIONS IN FIELD WITH ARCHITECT AND LOCAL FIRE DEPARTMENT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL CONSTRUCT FIRE RATED ASSEMBLIES (WHERE SHOWN) IN ACCORDANCE WITH U.L. TESTED ASSEMBLIES.
- CONTRACTOR SHALL SUPPLY AND INSTALL A KNOX BOX AS REQUIRED BY THE LOCAL FIRE DEPARTMENT. VERIFY LOCATION IN FIELD WITH ARCHITECT AND LOCAL FIRE DEPARTMENT PRIOR TO INSTALLATION. KNOX BOX MUST BE PURCHASED THROUGH THE LOCAL FIRE DEPARTMENT'S APPROVED VENDOR.

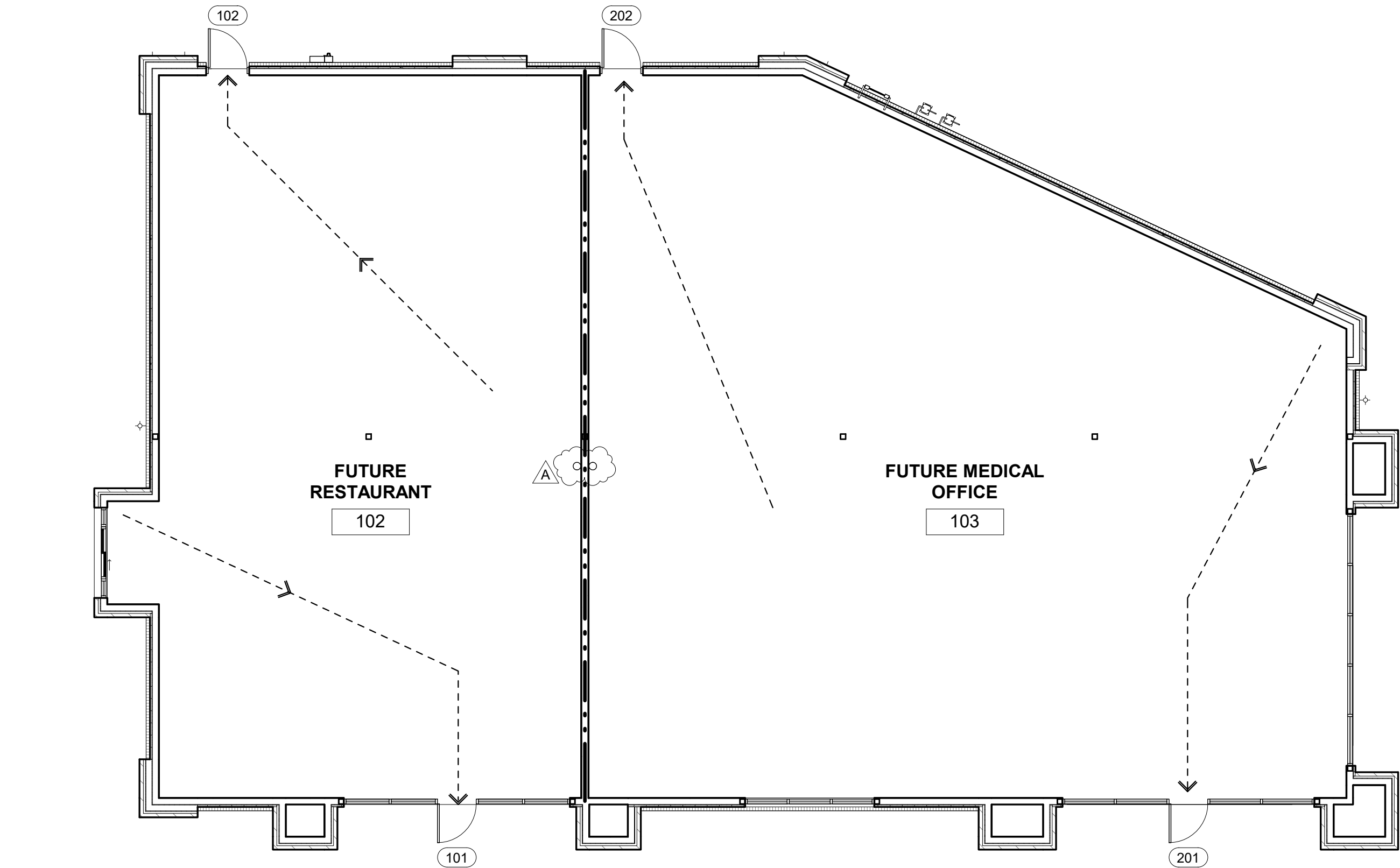
EGRESS PLAN LEGEND

-----> PATH OF EGRESS TRAVEL

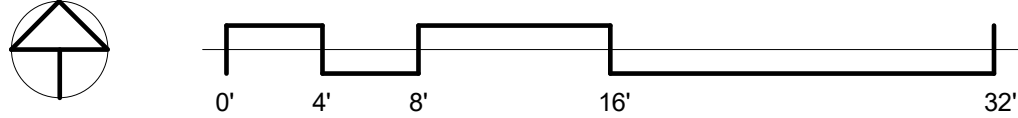
--- FIRE BARRIER, 2-HR RATING (U.L. ASSEMBLY NO. U301)

- NAILHEADS** — EXPOSED OR COVERED WITH JOINT COMPOUND.
 - JOINTS** — EXPOSED JOINTS COVERED WITH JOINT COMPOUND AND PAPER TAPE. JOINT COMPOUND AND PAPER TAPE MAY BE OMITTED WHEN SQUARE EDGE BOARDS ARE USED. AS AN ALTERNATE, NOM 3/32 IN. THICK GYPSUM VENEER PLASTER MAY BE APPLIED TO THE ENTIRE SURFACE OF CLASSIFIED VENEER BASEBOARD WITH THE JOINTS REINFORCED WITH PAPER TAPE.
 - NAILS** — 6D CEMENT COATED NAILS 1-7/8 IN. LONG, 0.0915 IN. SHANK DIAM, 1/4 IN. DIAM HEADS, AND 8D CEMENT COATED NAILS 2-3/8 IN. LONG, 0.113 IN. SHANK DIAM, 9/32 IN. DIAM HEADS.
 - GYPSUM BOARD*** — 5/8 IN. THICK, TWO LAYERS APPLIED EITHER HORIZONTALLY OR VERTICALLY. INNER LAYER ATTACHED TO STUDS WITH THE 1-7/8 IN. NAILS SPACED 6 IN. OC. OUTER LAYER ATTACHED TO STUDS OVER INNER LAYER WITH THE 2-3/8 IN. LONG NAILS SPACED 8 IN. OC. VERTICAL JOINTS LOCATED OVER STUDS. ALL JOINTS IN FACE LAYERS STAGGERED WITH JOINTS IN BASE LAYERS. JOINTS OF EACH BASE LAYER OFFSET WITH JOINTS OF BASE LAYER ON OPPOSITE SIDE. WHEN USED IN WIDTHS OTHER THAN 48 IN., GYPSUM BOARD TO BE INSTALLED HORIZONTALLY.
- WHEN **STEEL FRAMING MEMBERS*** (ITEM 6 OR ANY ALTERNATE CLIPS) ARE USED, BASE LAYER ATTACHED TO FURRING CHANNELS WITH 1 IN. LONG TYPE S BUGLE-HEAD STEEL SCREWS SPACED MAX 24 IN. OC; FACE LAYER ATTACHED WITH 1-5/8 IN. LONG TYPE S BUGLE-HEAD STEEL SCREWS SPACED MAX 12 IN. OC.

A



2 EGRESS PLAN
1/8" = 1'-0"



BUILDING INFORMATION

BUILDING USE(S): RESTAURANT*
CLASSIFICATION OF WORK: PROFESSIONAL SERVICES (MEDICAL OFFICE)*
OCCUPANCY GROUP: NEW CONSTRUCTION
MIXED OCCUPANCY: A-2*
CONSTRUCTION TYPE: B* (SEPARATED)
AUTOMATIC SPRINKLER SYSTEM: VB
NO

*SPECULATIVE FUTURE TENANTS

ALLOWABLE HEIGHT: 40' (A/B, NS)
ACTUAL HEIGHT: 24'

ALLOWABLE STORIES: 1 (A-2, NS)
ACTUAL BUILDING STORIES: 1

ALLOWABLE AREA (UNMODIFIED): 6,000 SF (A-2, NS)

FRONTAGE INCREASE: NOT REQUIRED

AREA MODIFICATION: NOT REQUIRED

ALLOWABLE AREA (MODIFIED): 6,000 SF
ACTUAL GROSS BUILDING AREA:

GROSS BUILDING AREAS	
DESCRIPTION	FLOOR AREA
EXTERIOR WALLS	321 SF
MEDICAL OFFICE	2,892 SF
RESTAURANT	1,880 SF
TOTAL	5,093 SF

EXTERIOR WALL PROTECTION
(TABLE 602)

DISTANCE (FT) MIN. RATING (HR)
X < 5 1
5 ≤ X < 10 1
10 ≤ X < 30 0
X ≥ 30 0

HVAC SYSTEM: PACKAGED ROOFTOP UNITS
(RESTAURANT HVAC WILL BE DESIGNED & INSTALLED BY
FUTURE TENANT, REF. MECH PLANS)
FUEL: NATURAL GAS

FIRE SAFETY SYSTEMS REQUIRED:
1. FIRE EXTINGUISHERS
2. EXIT LIGHTS
3. EMERGENCY LIGHTS (WITH BATTERY BACKUP)

OCCUPANT LOAD (AREA SCHEDULE)

NAME	FUNCTION	AREA	OCCUPANT LOAD	
			LOAD FACTOR	CALCULATED LOAD
EXTERIOR WALLS	-	321 SF	0 SF	
MEDICAL OFFICE	BUSINESS AREA	2,892 SF	150 SF	20 A
RESTAURANT	ASSEMBLY, UNCONCENTRATED	1,880 SF	15 SF	126 AB
TOTAL		5,093 SF		146 A

A MAXIMUM OCCUPANT LOAD POSSIBLE, AS CALCULATED BY GROSS FLOOR AREA. ACTUAL OCCUPANT LOAD WILL BE LESS AND SHALL BE DETERMINED BY FUTURE TENANTS' PLANS.

B EACH FUTURE ASSEMBLY TENANT'S OCCUPANT LOAD MUST BE LESS THAN 100. IF OCCUPANT LOAD IS 100 OR MORE, THE TENANT SHALL BE RESPONSIBLE FOR PROVIDING AN AUTOMATIC SPRINKLER SYSTEM THROUGHOUT THE ENTIRE BUILDING.

EXIT SCHEDULE

NUMBER	OCCUPANT LOAD	CAPACITY FACTOR	MIN WIDTH	ACTUAL WIDTH
101	63	0.2	13	36
102	63	0.2	13	36
201	10	0.2	2	36
202	10	0.2	2	36
TOTAL	146			

PROJECT INFORMATION

OWNER: COVENANT GROUP, LLC
ARCHITECT: CLARKITECTURE LLC
STATE: MISSOURI
COUNTY: JACKSON
CITY: LEE'S SUMMIT
STREET ADDRESS: 400 NW CHIPMAN RD
WATER SUPPLY: CITY OF LEE'S SUMMIT
SEWAGE TREATMENT: CITY OF LEE'S SUMMIT
GAS UTILITY: SPIRE GAS
ELECTRIC UTILITY: EVERGY
AUTHORITY HAVING JURISDICTION: STATE ARCHITECT, STATE FIRE MARSHAL
LOCAL CODE ENFORCEMENT: CITY OF LEE'S SUMMIT DEVELOPMENT SERVICES

ADOPTED CODES

THESE PLANS COMPLY WITH THE FOLLOWING REGULATIONS:

- 2018 INTERNATIONAL BUILDING CODE (IBC)*
- 2018 INTERNATIONAL FIRE CODE (IFC)*
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)*
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC)*
- 2018 INTERNATIONAL PLUMBING CODE (IPC)*
- 2017 NATIONAL ELECTRIC CODE (NEC)*
- 2010 AMERICANS WITH DISABILITIES ACT (ADA) GUIDELINES FOR ACCESSIBLE DESIGN

*INCLUDES AMENDMENTS ADOPTED BY THE AHJ.

SITE INFORMATION

ZONING: PMIX PLANNED MIX USE

VICINITY MAP:



LEGAL DESCRIPTION: LOT 4E-2, SUMMIT ORCHARD MINOR PLAT, LOTS 4E-1 AND 4E-2

CLARKITECTURE
BUILDINGS THAT MEAN BUSINESS.

CLARKITECTURE.NET
530.302.4472

PROJECT INFO

CLIENT:

COVENANT GROUP, LLC

PROJECT:

COVENANT GROUP - BUILDING
SHELL - LEE'S SUMMIT, MO

ADDRESS:

400 NW CHIPMAN RD
LEE'S SUMMIT, MO 64806

PROJECT NO:

267

MAIN CONTACT

CHRISTOPHER CLARK, AIA, NCARB
7701 E KELLOGG DR, STE 630
WICHITA, KS 67207
(316) 302-4472
chris@clarkitecture.net

DEVELOPER

COVENANT
REAL
ESTATE
GROUP

SHEET INFO

ISSUE DATE: 04/12/22

ISSUED FOR: INTERNAL REVIEW

REVISION SCHEDULE

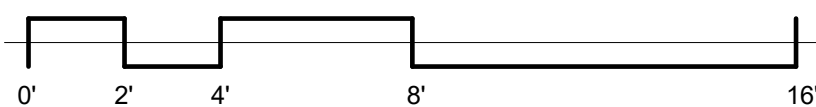
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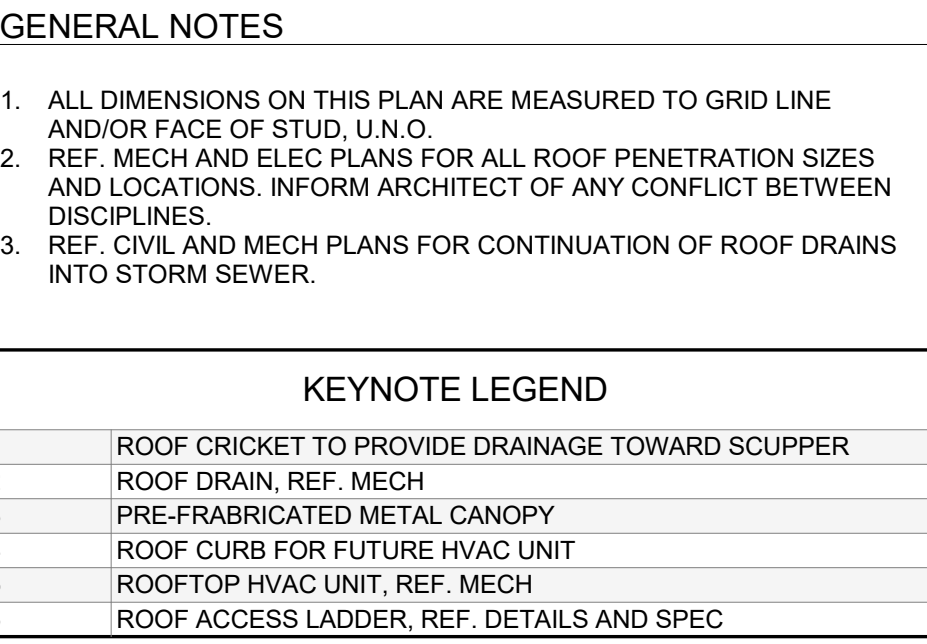
PROFESSIONAL'S SEAL:



CODE EVALUATION

A10.0





CLARKITECTURE

BUILDINGS THAT MEAN BUSINESS.

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(316) 302-4472

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COVENANT GROUP - BUILDING SHELL - LEE'S SUMMIT, MO

ADDRESS:

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(316) 302-4472
[chris@clarkitecture.net](#)

DEVELOPER

COVENANT REAL ESTATE GROUP

2460 PASEO VERDE PKWY SUITE N5 | HENDERSON NV 89074 | 714.845.8500

SHEET INFO

ISSUE DATE:

04/12/22

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REVISION SCHEDULE

NO	DESCRIPTION	DATE

PROFESSIONAL'S SEAL:

STATE OF MISSOURI

CHRISTOPHER ALLEN CLARK

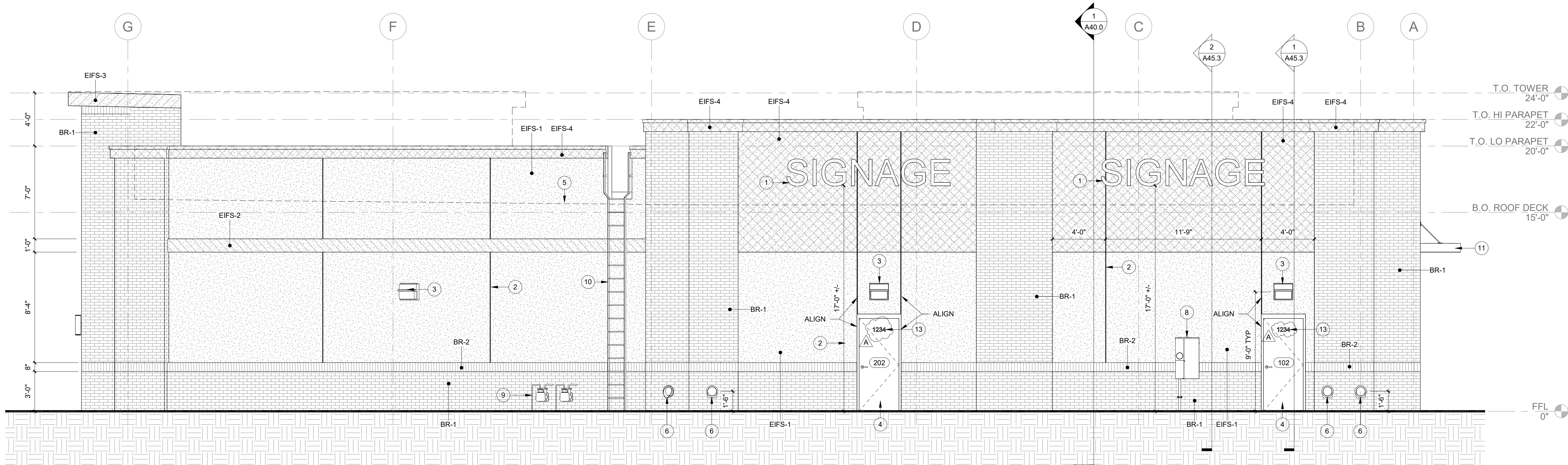
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ARCHITECT

ROOF PLAN

A26.0



1 NORTH ELEVATION
1/4" = 1'-0"

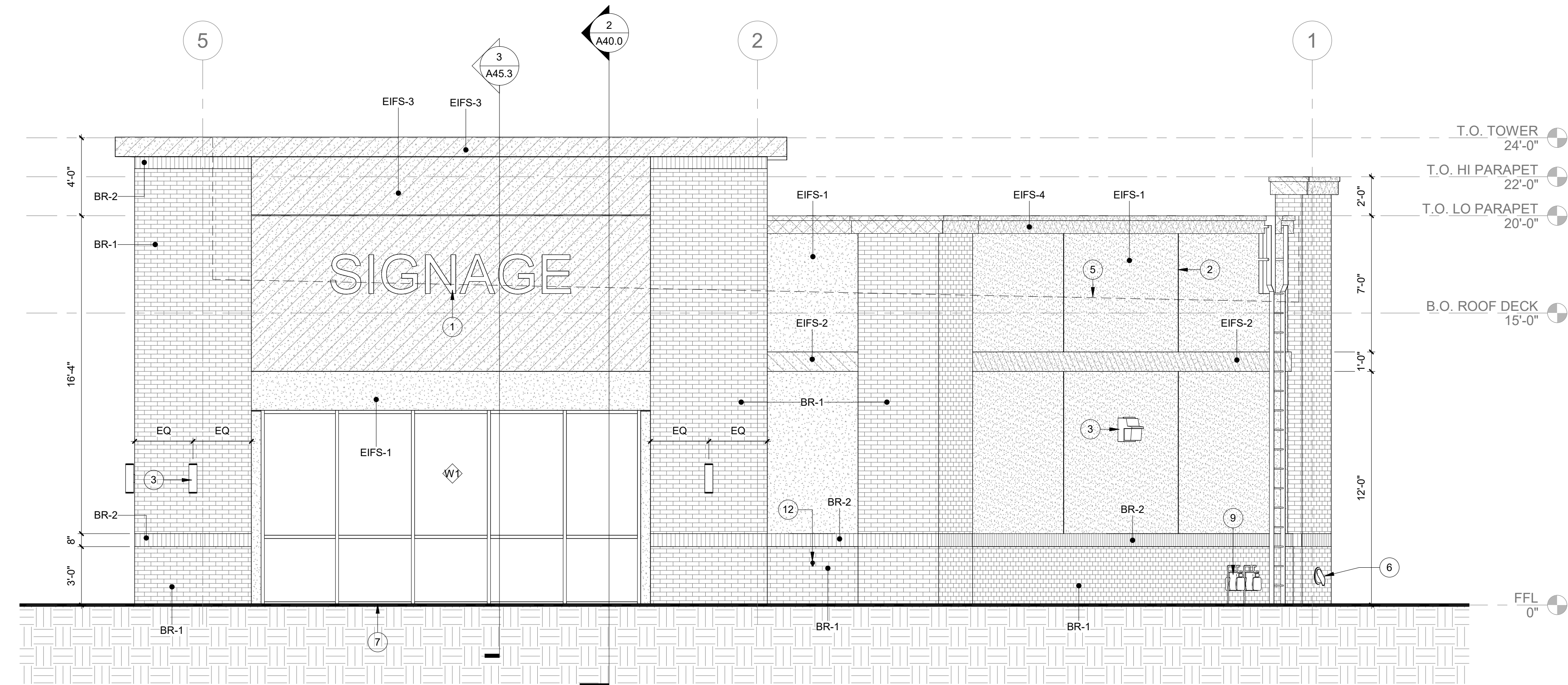
GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS. INFORM ARCHITECT OF ANY CONFLICT BETWEEN EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO STARTING CONSTRUCTION.
- ALL DIMENSIONS ON THESE ELEVATIONS ARE MEASURED TO FINISHED FACE OF CONSTRUCTION, U.N.O.
- REF. SHEET A70.0 FOR DOOR SCHEDULE AND WINDOW TYPES.

KEYNOTE LEGEND	
1	BUILDING SIGNAGE, PROVIDE BLOCKING & POWER AS REQ'D. COORDINATE WITH TENANT
2	CONTROL JOINT, TYP.
3	LIGHT FIXTURE, TYP. REF. ELEC
4	DOOR, REF. FLOOR PLAN AND SCHEDULES
5	ROOF LINE (HIDDEN)
6	DOWNSPOUT NOZZLE, REF. MECH
7	STOREFRONT SYSTEM, REF. FLOOR PLAN AND SCHEDULES
8	ELECTRICAL SWITCHGEAR, REF. ELEC
9	GAS METER(S), REF. MECH
10	ROOF ACCESS LADDER, REF. DETAILS AND SPEC
11	PRE-FABRICATED METAL CANOPY
12	HOSE BIB, REF. MECH
13	PROVIDE ADDRESS NUMBERS AT ENTRANCE DOOR. NUMBERS SHALL BE ARABIC NUMERALS AND/OR ALPHABET LETTERS, MIN. 4" HIGH AND MIN. STROKE WIDTH 1/2"

EXTERIOR FINISH LEGEND

- BR-1 **BRICK VENEER**
- MFG: ENDICOTT
 - COLOR: EXECUTIVE IRONSPOT
 - SIZE: MODULAR
 - TEXTURE: TBD
 - EDGE: TBD
 - PATTERN: RUNNING BOND
 - MORTAR: TBD
- BR-2 **BRICK VENEER**
- MFG: ENDICOTT
 - COLOR: EXECUTIVE IRONSPOT
 - SIZE: MODULAR
 - TEXTURE: TBD
 - EDGE: TBD
 - PATTERN: SOLDIER COURSE
 - MORTAR: TBD
- EIFS-1 **EXTERIOR INSULATION & FINISH SYSTEM**
- COLOR: MATCH TO SHERWIN WILLIAMS SW 6385 "DOVER WHITE"
 - TEXTURE: FINE PEBBLE FINISH
 - SIZE: 1-1/2" (INSULATION THICKNESS)
- EIFS-2 **EXTERIOR INSULATION & FINISH SYSTEM**
- COLOR: MATCH TO SHERWIN WILLIAMS SW 7048 "URBANE BRONZE"
 - TEXTURE: FINE PEBBLE FINISH
 - SIZE: 1-1/2" (INSULATION THICKNESS)
- EIFS-3 **EXTERIOR INSULATION & FINISH SYSTEM**
- COLOR: MATCH TO SHERWIN WILLIAMS SW 6106 "NOMADIC DESERT"
 - TEXTURE: FINE PEBBLE FINISH
 - SIZE: 1-1/2" (INSULATION THICKNESS)
- EIFS-4 **EXTERIOR INSULATION & FINISH SYSTEM**
- COLOR: MATCH TO SHERWIN WILLIAMS SW 6113 "INTERACTIVE CREAM"
 - TEXTURE: FINE PEBBLE FINISH
 - SIZE: 1-1/2" (INSULATION THICKNESS)
- MT-1 **EXTERIOR GRADE METAL**
- RIGIDIZED METAL STAINLESS STEEL #4 SATIN
 - COLOR: DARK BRONZE
- CANOPIES**
- MFG: AWNEX
 - PRODUCT: "SEATTLE" OR "COLORADO"
 - COLOR: DARK BRONZE
 - SIZE: 8"
 - FACE: FLAT
 - STYLE: TIE-BACK



2 EAST ELEVATION
1/4" = 1'-0"

PROJECT INFO

CLIENT:

COVENANT GROUP, LLC

PROJECT:

COVENANT GROUP - BUILDING
SHELL - LEE'S SUMMIT, MO

ADDRESS:

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LEE'S SUMMIT, MO 64806

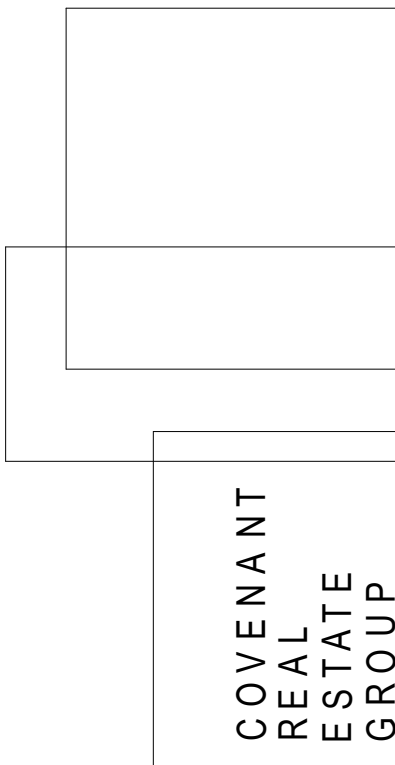
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DEVELOPER



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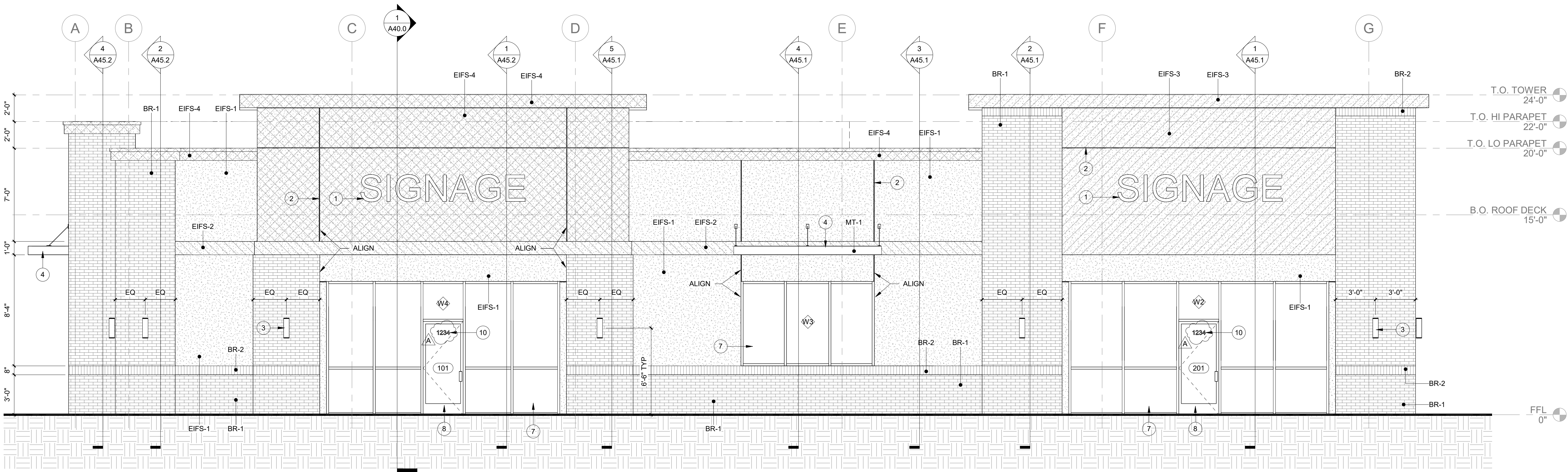
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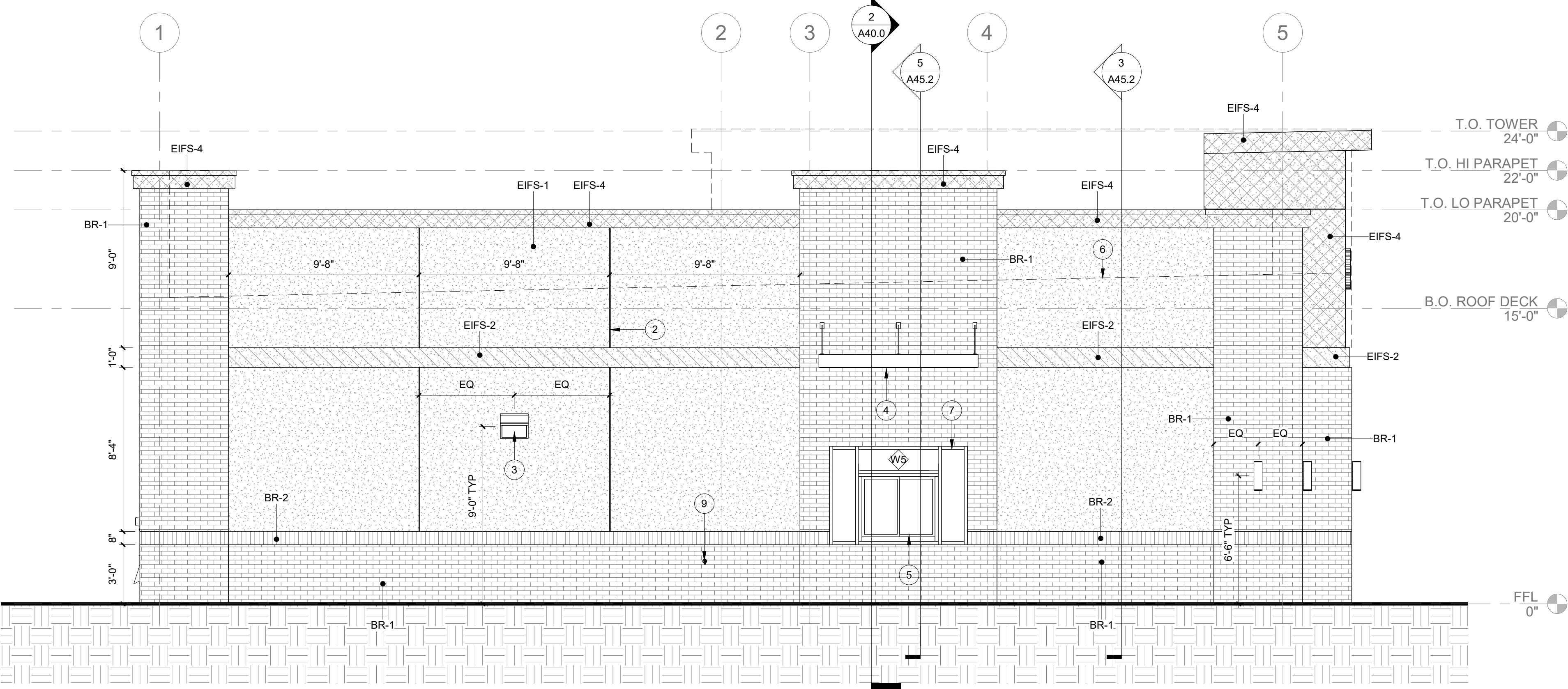
PROFESSIONAL'S SEAL:



BUILDING ELEVATIONS



1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

GENERAL NOTES

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- ALL DIMENSIONS ON THESE ELEVATIONS ARE MEASURED TO FINISHED FACE OF CONSTRUCTION, U.N.O.
- REF. SHEET A70.0 FOR DOOR SCHEDULE AND WINDOW TYPES.

KEYNOTE LEGEND

KEYNOTE	DESCRIPTION
1	BUILDING SIGNAGE, PROVIDE BLOCKING & POWER AS REQ'D. COORDINATE WITH TENANT
2	CONTROL JOINT, TYP.
3	LIGHT FIXTURE, TYP. REF. ELEC
4	PREFABRICATED METAL CANOPY
5	DRIVE-THRU WINDOW UNIT, REF. SCHEDULES
6	ROOF LINE (HIDDEN)
7	STOREFRONT SYSTEM, REF. FLOOR PLAN AND SCHEDULES
8	DOOR, REF. FLOOR PLAN AND SCHEDULES
9	HOSE BIB, REF. MECH
10	PROVIDE ADDRESS NUMBERS AT ENTRANCE DOOR. NUMBERS SHALL BE ARABIC NUMERALS AND/OR ALPHABET LETTERS, MIN. 4" HIGH AND MIN. STROKE WIDTH 1/2"

EXTERIOR FINISH LEGEND

BR-1	BRICK VENEER <ul style="list-style-type: none">MFG: ENDICOTTCOLOR: EXECUTIVE IRONSPOTSIZE: MODULARTEXTURE: TBDEDGE: TBDPATTERN: RUNNING BONDMORTAR: TBD
BR-2	BRICK VENEER <ul style="list-style-type: none">MFG: ENDICOTTCOLOR: EXECUTIVE IRONSPOTSIZE: MODULARTEXTURE: TBDEDGE: TBDPATTERN: SOLDIER COURSEMORTAR: TBD
EIFS-1	EXTERIOR INSULATION & FINISH SYSTEM <ul style="list-style-type: none">COLOR: MATCH TO SHERWIN WILLIAMS SW 6385 "DOVER WHITE"TEXTURE: FINE PEBBLE FINISHSIZE: 1-1/2" (INSULATION THICKNESS)
EIFS-2	EXTERIOR INSULATION & FINISH SYSTEM <ul style="list-style-type: none">COLOR: MATCH TO SHERWIN WILLIAMS SW 7048 "URBANE BRONZE"TEXTURE: FINE PEBBLE FINISHSIZE: 1-1/2" (INSULATION THICKNESS)
EIFS-3	EXTERIOR INSULATION & FINISH SYSTEM <ul style="list-style-type: none">COLOR: MATCH TO SHERWIN WILLIAMS SW 6106 "NOMADIC DESERT"TEXTURE: FINE PEBBLE FINISHSIZE: 1-1/2" (INSULATION THICKNESS)
EIFS-4	EXTERIOR INSULATION & FINISH SYSTEM <ul style="list-style-type: none">COLOR: MATCH TO SHERWIN WILLIAMS SW 6113 "INTERACTIVE CREAM"TEXTURE: FINE PEBBLE FINISHSIZE: 1-1/2" (INSULATION THICKNESS)
MT-1	EXTERIOR GRADE METAL <ul style="list-style-type: none">RIGIDIZED METAL STAINLESS STEEL #4 SATINCOLOR: DARK BRONZE
	CANOPIES <ul style="list-style-type: none">MFG: AWNEXPRODUCT: "SEATTLE" OR "COLORADO"COLOR: DARK BRONZESIZE: 8"FACE: FLATSTYLE: TIE-BACK

PROJECT INFO

CLIENT:

COVENANT GROUP, LLC

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SHELL - LEE'S SUMMIT, MO

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LEE'S SUMMIT, MO 64806

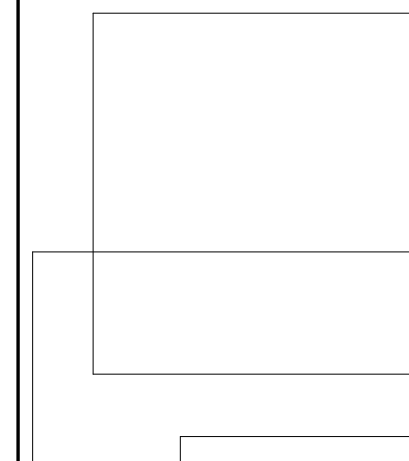
PROJECT NO:

267

MAIN CONTACT

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chris@clarkitecture.net

DEVELOPER



SHEET INFO

ISSUE DATE: 04/12/22

ISSUED FOR: INTERNAL REVIEW

REVISION SCHEDULE

NO	DESCRIPTION	DATE
A	MISC CHANGES	05/05/22

PROFESSIONAL'S SEAL:



BUILDING ELEVATIONS



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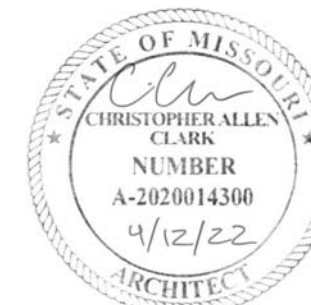
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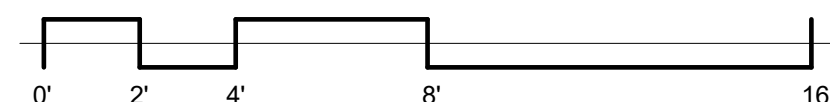
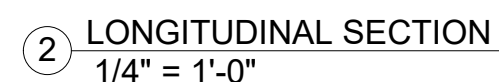
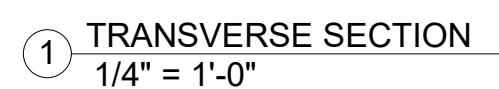
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PROFESSIONAL'S SEAL:



BUILDING SECTIONS

A40.0



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(316) 302-4472

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PROJECT NO: 267

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COVENANT
REAL
ESTATE
GROUP

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WALL SECTIONS

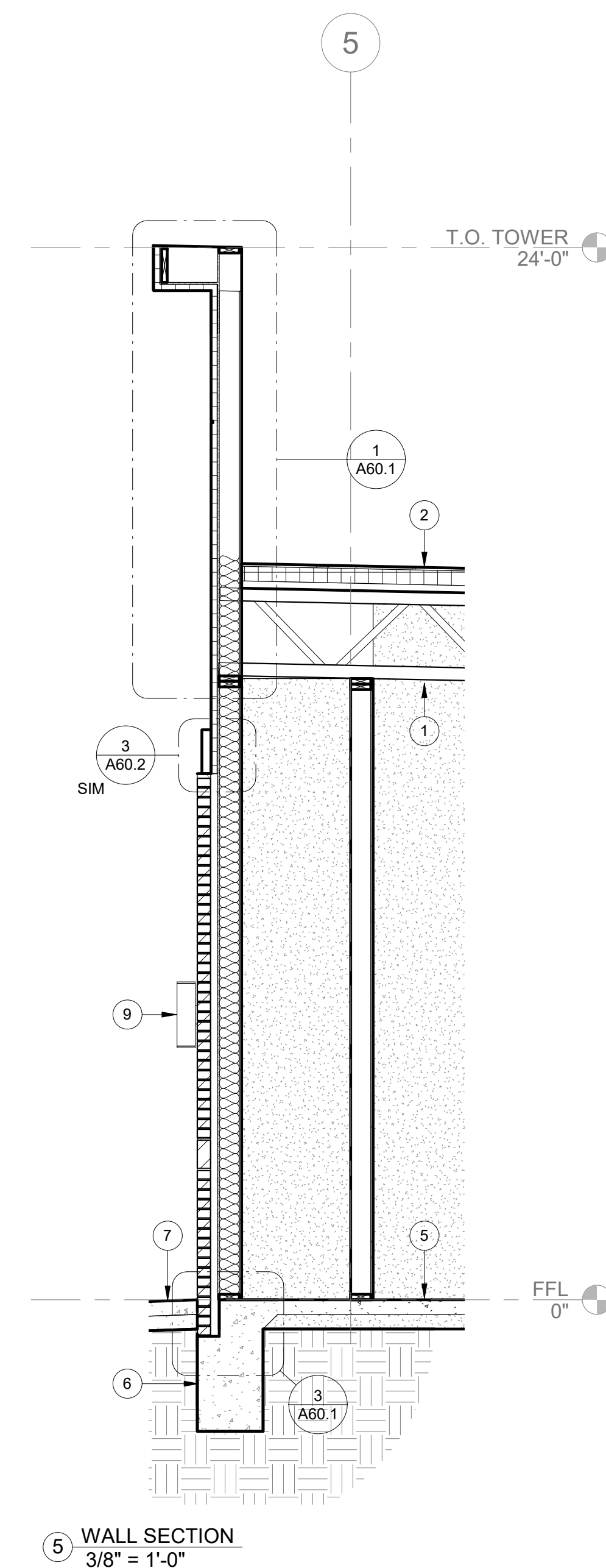
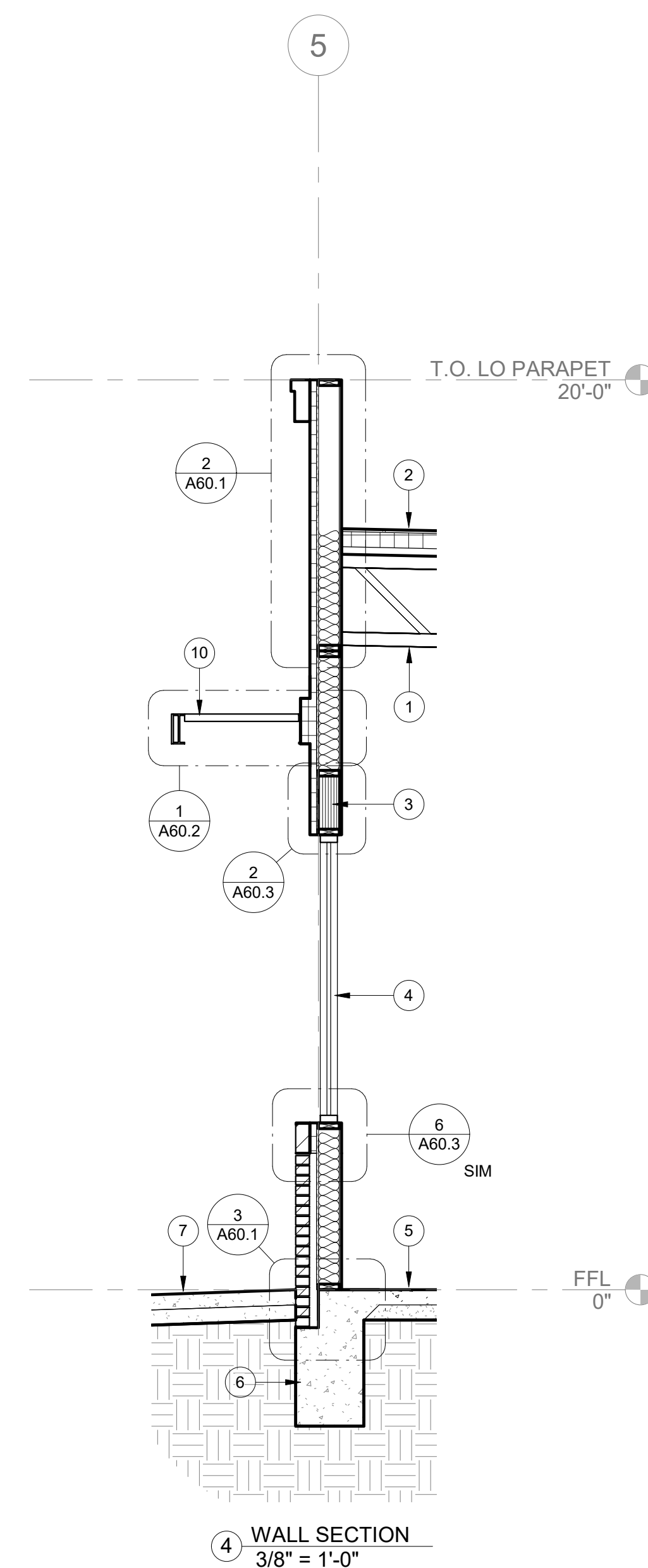
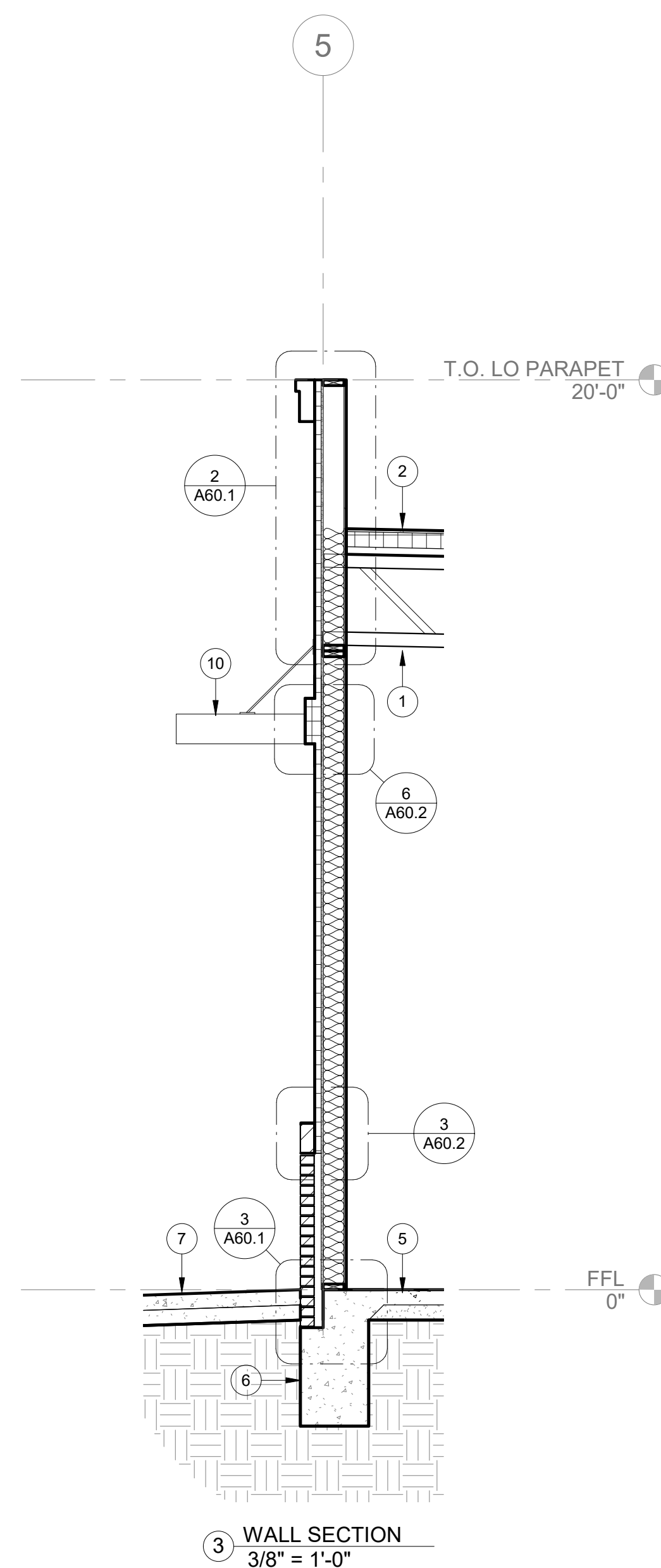
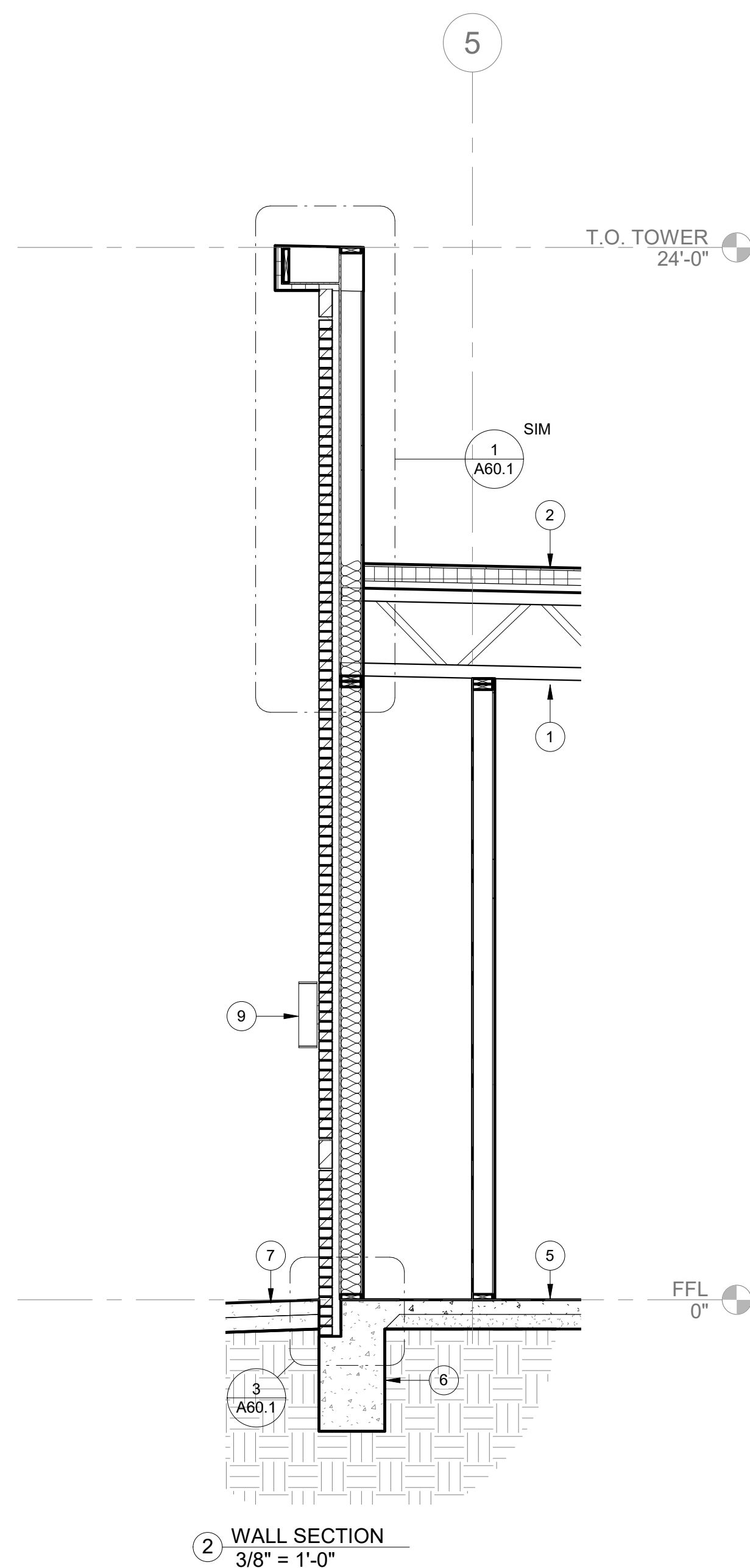
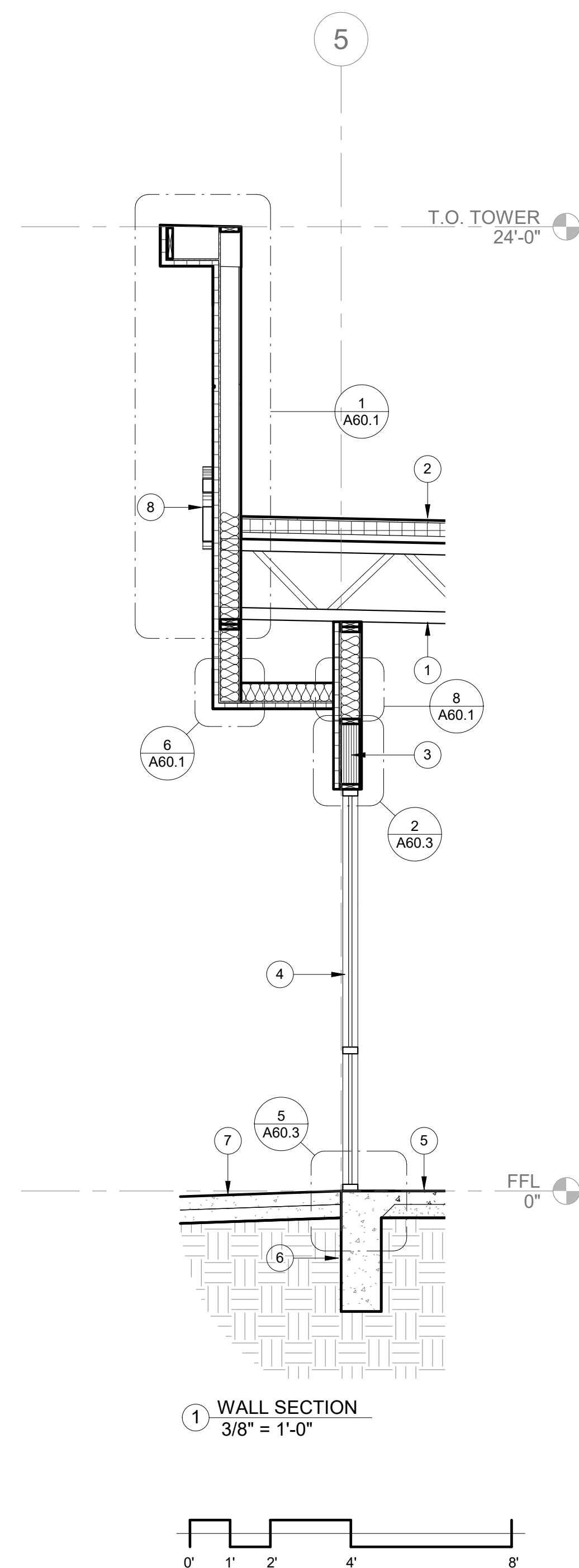
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GENERAL NOTES

1. ALL DIMENSIONS ON THESE SECTIONS ARE MEASURED TO GRID LINE AND/OR FACE OF STUD, U.N.O.
2. REF. SHEET A30.1 FOR EXTERIOR FINISH LEGEND.
3. REF. SHEET A70.0 FOR DOOR SCHEDULE AND WINDOW TYPES.

KEYNOTE LEGEND

1	PRE-FABRICATED WOOD TRUSSES, REF. STRUCT
2	SINGLE-PLY MEMBRANE ROOFING ASSEMBLY, REF. ROOF PLAN
3	WOOD LINTEL, REF. STRUCT
4	STOREFRONT SYSTEM, REF. FLOOR PLAN AND SCHEDULES
5	CONCRETE SLAB-ON-GRADE, REF. STRUCT
6	CONCRETE FOUNDATION, REF. STRUCT
7	SIDEWALK, REF. SITE PLAN
8	BUILDING SIGNAGE, PROTECTIVE BLOCKING & POWER AS REQ'D.
9	COORDINATE WITH TENANT
10	LIGHT FIXTURE, TYP. REF. ELEC
11	PRE-FABRICATED METAL CANOPY



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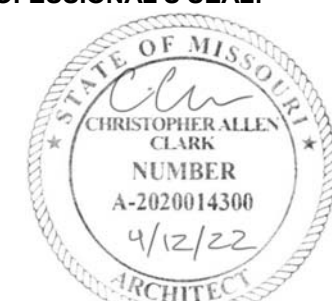
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COVENANT
REAL
ESTATE
CORP.[illegible]

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[illegible]**PROFESSIONAL'S SEAL:**

WALL SECTIONS

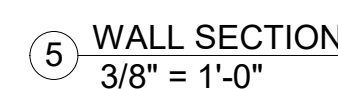
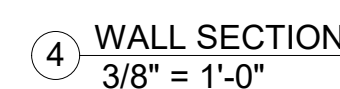
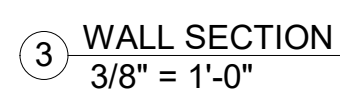
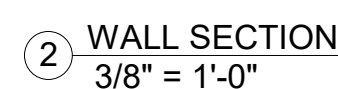
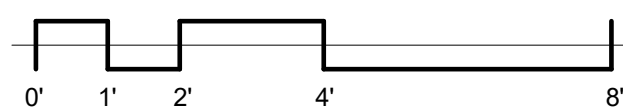
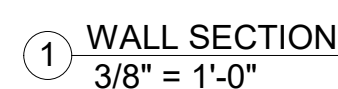
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GENERAL NOTES

1. ALL DIMENSIONS ON THESE SECTIONS ARE MEASURED TO GRID LINE AND/OR FACE OF STUD. U.N.O.
2. REF. SHEET A30.1 FOR EXTERIOR FINISH LEGEND.
3. REF. SHEET A70.0 FOR DOOR SCHEDULE AND WINDOW TYPES.

KEYNOTE LEGEND

1	CONCRETE SLAB-ON-GRADE, REF. STRUCT
2	PRE-FABRICATED WOOD TRUSSES, REF. STRUCT
3	SINGLE-PLY MEMBRANE ROOFING ASSEMBLY, REF. ROOF PLAN
4	LIGHT FIXTURE, TYR, REF. ELEC
5	CONCRETE FOUNDATION, REF. STRUCT
6	SIDEWALK, REF. SITE PLAN
7	STOREFRONT SYSTEM, REF. FLOOR PLAN AND SCHEDULES
8	DRIVE-THRU WINDOW UNIT, REF. SCHEDULES
9	PRE-FABRICATED METAL CANOPY
10	WOOD LINTEL, REF. STRUCT
11	BUILDING SIGNAGE, PROVIDE BLOCKING & POWER AS REQ'D.



1. ALL DIMENSIONS ON THESE SECTIONS ARE MEASURED TO GRID LINE AND/OR FACE OF STUD, U.N.O.
2. REF. SHEET A30.1 FOR EXTERIOR FINISH LEGEND.
3. REF. SHEET A70.0 FOR DOOR SCHEDULE AND WINDOW TYPES.

KEYNOTE LEGEND	
1	CONCRETE SLAB-ON-GRADE, REF. STRUCT
2	PRE-FABRICATED WOOD TRUSSES, REF. STRUCT
3	SINGLE-PLY MEMBRANE ROOFING ASSEMBLY, REF. ROOF PLAN
4	DOOR, REF. FLOOR PLAN AND SCHEDULES
5	LIGHT FIXTURE, TYP. REF. ELEC
6	BUILDING SIGNAGE, PROVIDE BLOCKING & POWER AS REQ'D.
7	COORDINATE WITH TENANT
8	CONCRETE FOUNDATION, REF. STRUCT
9	SIDEWALK, REF. SITE PLAN
10	WOOD LINTEL, REF. STRUCT
10	STOREFRONT SYSTEM, REF. FLOOR PLAN AND SCHEDULES

CLIENT:

COVENANT GROUP, LLC

PROJECT:

COVENANT GROUP - BUILDING
SHELL - LEE'S SUMMIT, MO

ADDRESS:

400 NW CHIPMAN RD
LEE'S SUMMIT, MO 64806

PROJECT NO: 267

CHRISTOPHER CLARK, AIA, NCARB
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WICHITA, KS 67207
(316) 302-4472
chris@clarkitecture.net

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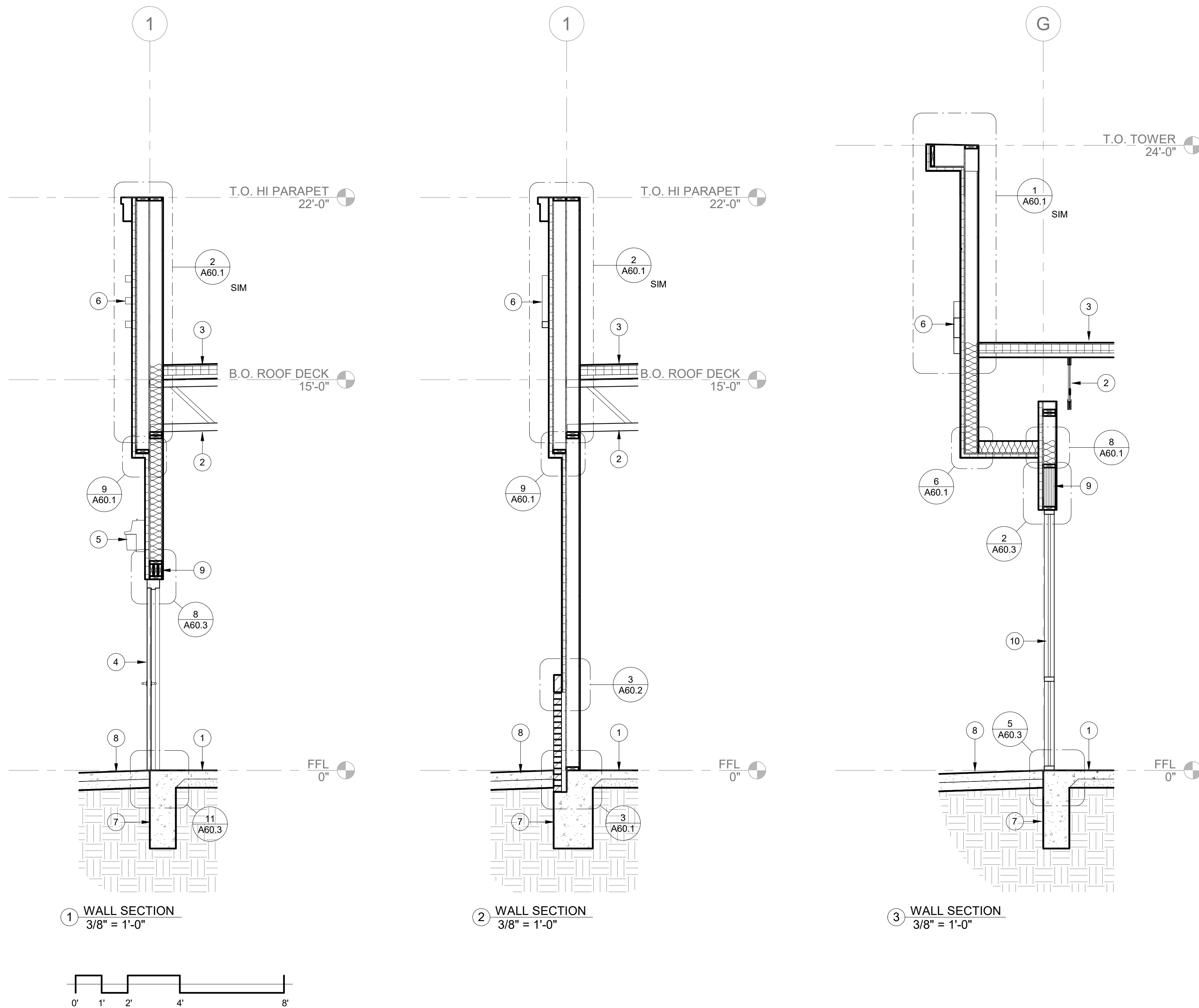
ISSUE DATE: 04/12/22

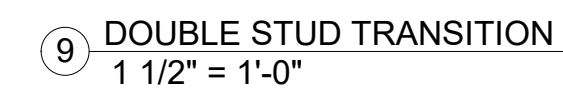
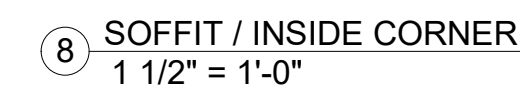
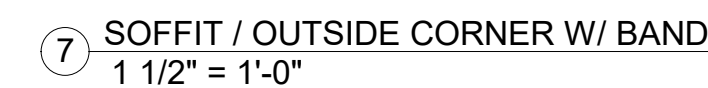
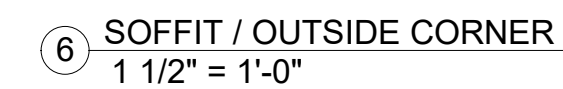
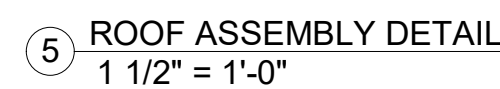
ISSUED FOR: INTERNAL REVIEW

[illegible]**PROFESSIONAL'S SEAL:**

WALL SECTIONS

A45.3





PROJECT INFO

CLIENT:

COVENANT GROUP, LLC

PROJECT:

COVENANT GROUP - BUILDING
SHELL - LEE'S SUMMIT, MO

ADDRESS:

400 NW CHIPMAN RD
LEE'S SUMMIT, MO 64806

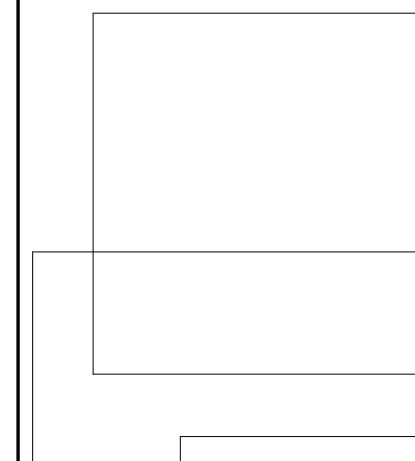
PROJECT NO:

267

MAIN CONTACT

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DEVELOPER

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3160 PASO VERDE PKWY SUITE 415 HENDERSON NV 89074 714 845 8500

SHEET INFO

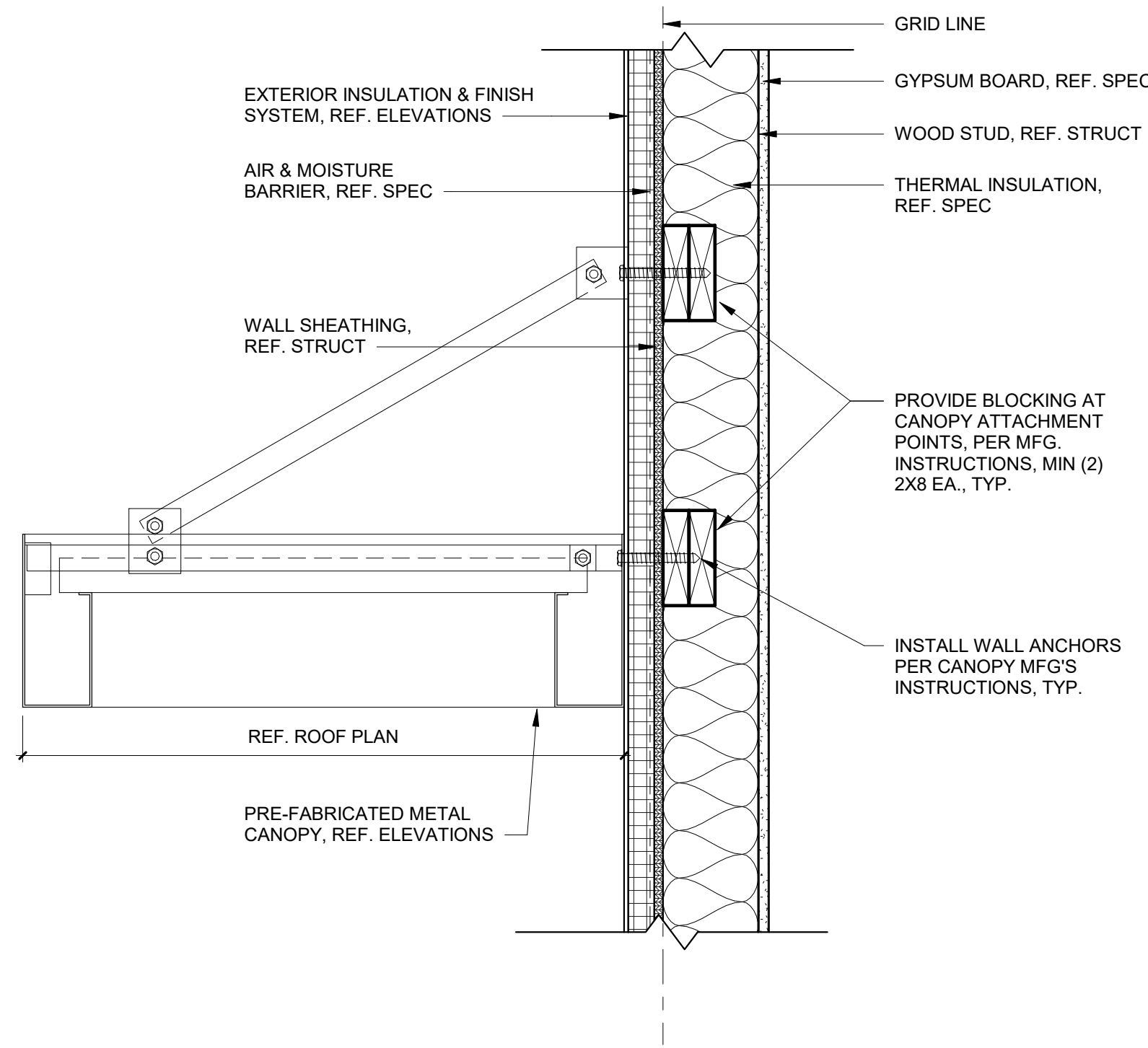
ISSUE DATE: 04/12/22

ISSUED FOR: INTERNAL REVIEW

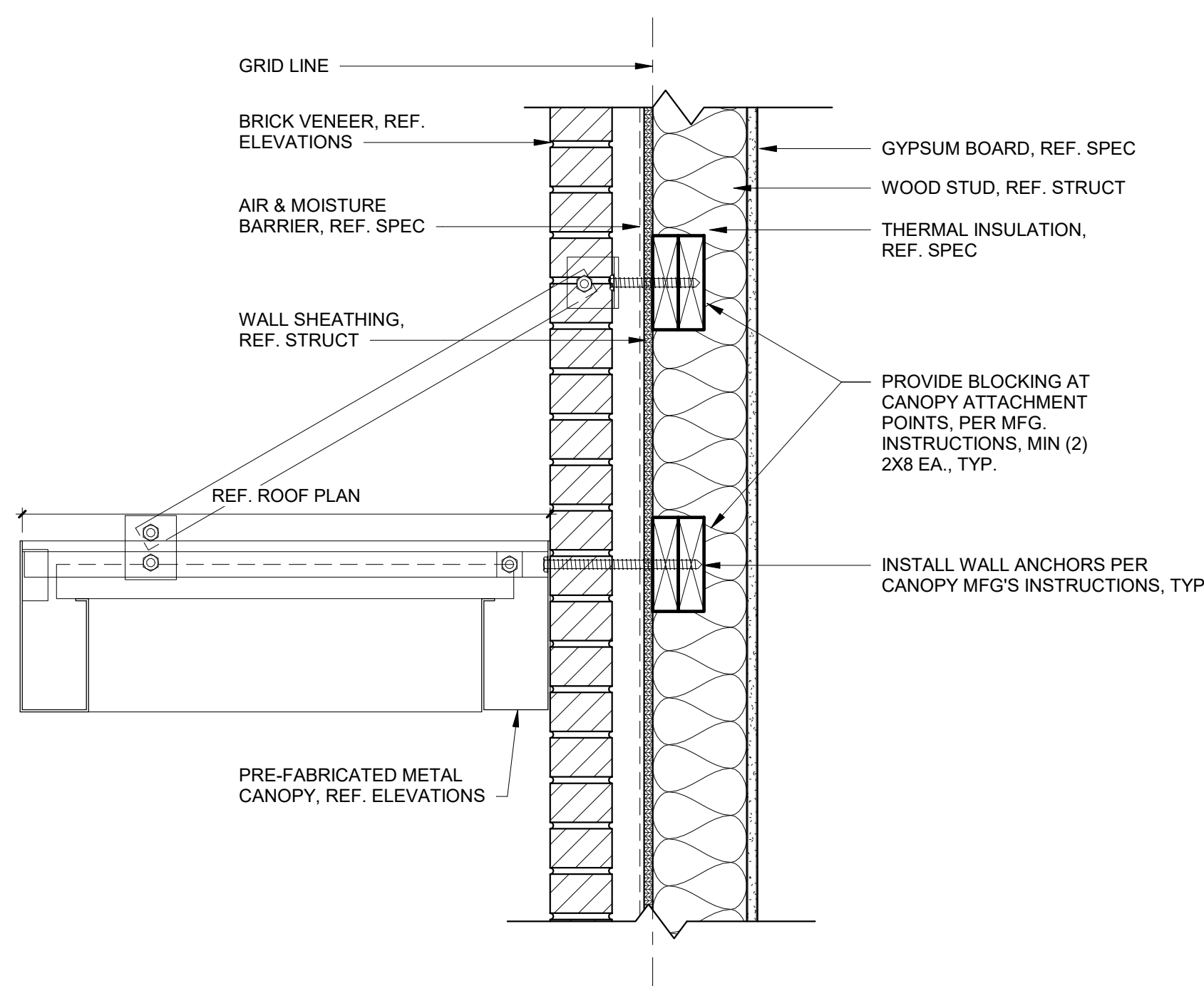
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DETAILS

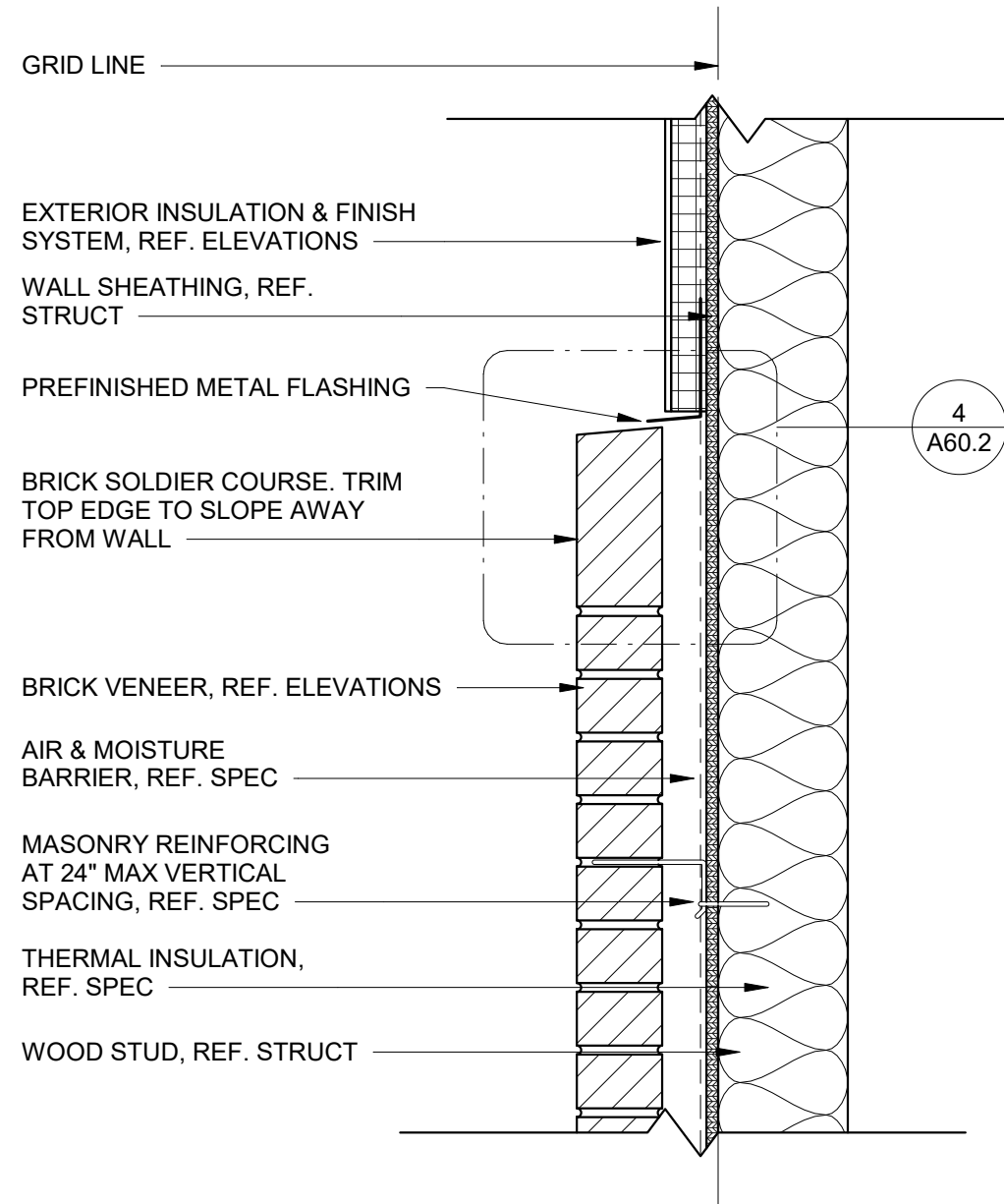
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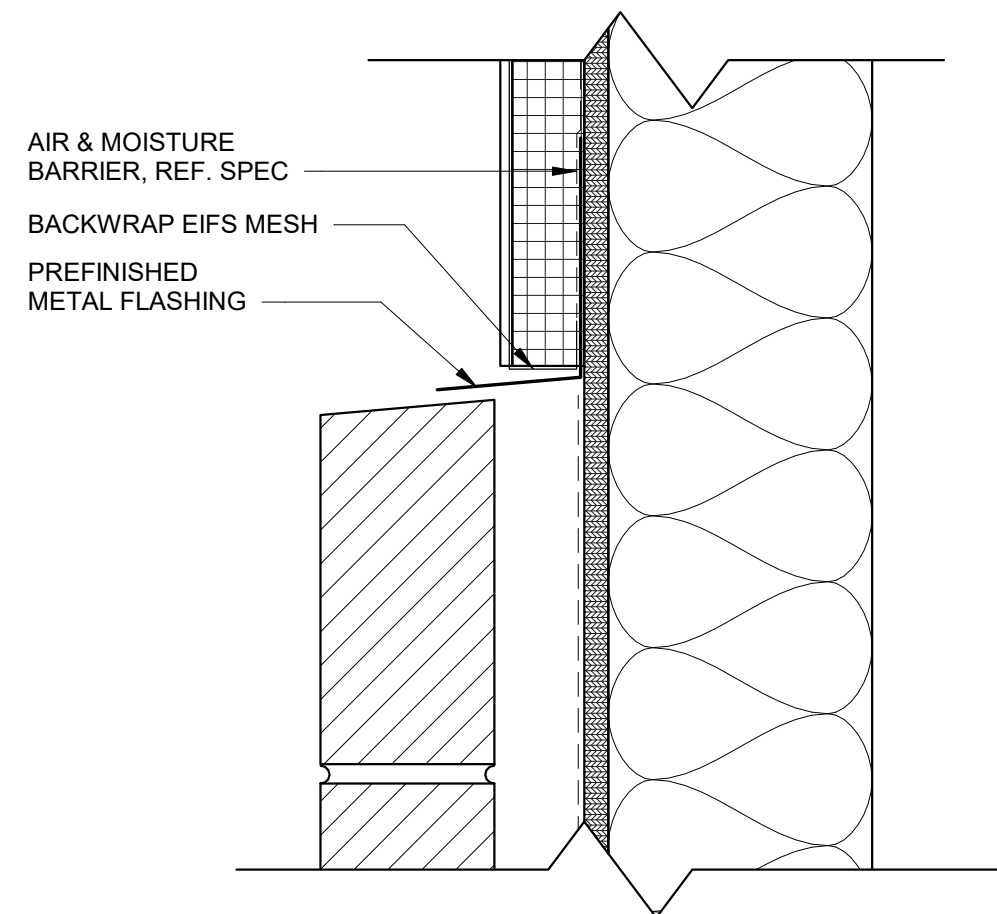
1 CANOPY @ EIFS
1 1/2" = 1'-0"



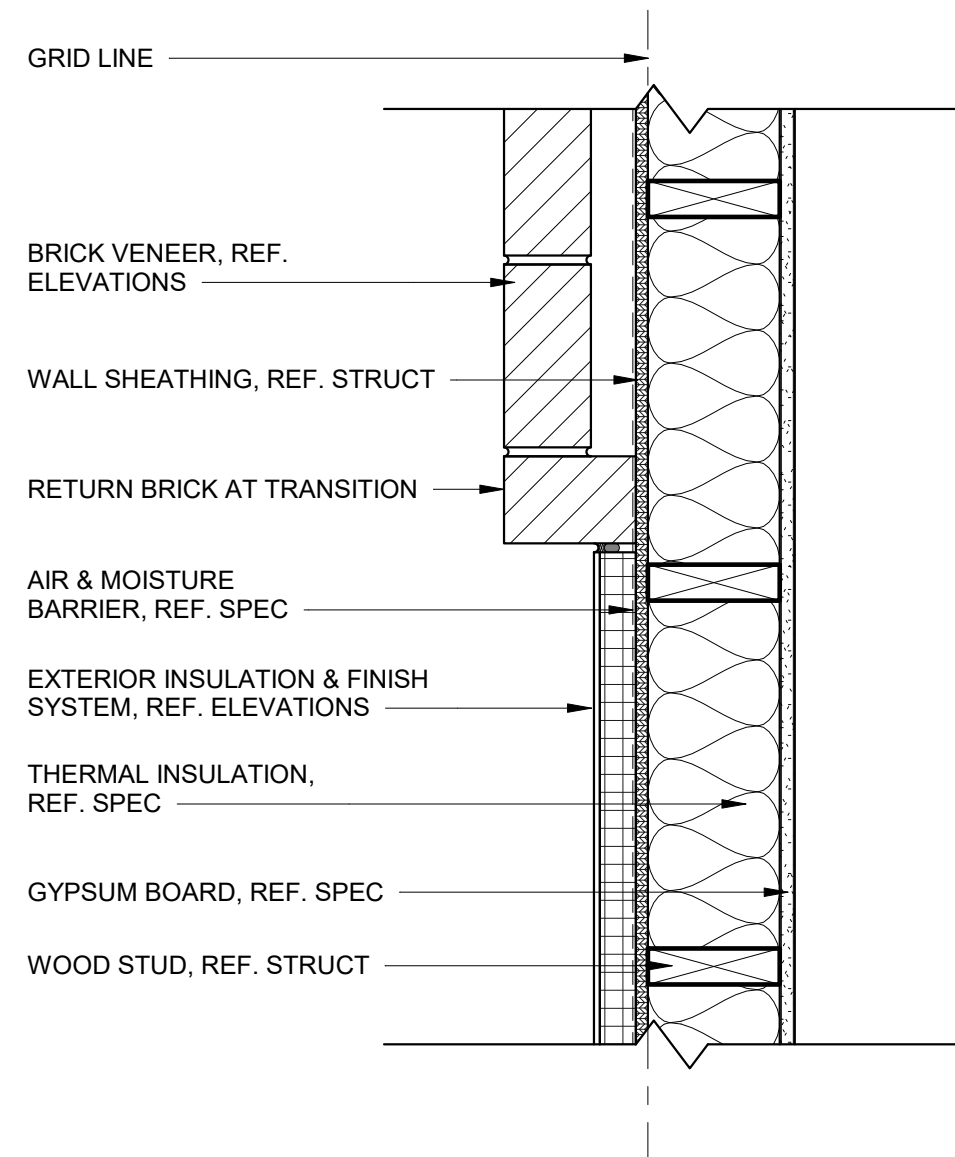
2 CANOPY @ BRICK
1 1/2" = 1'-0"



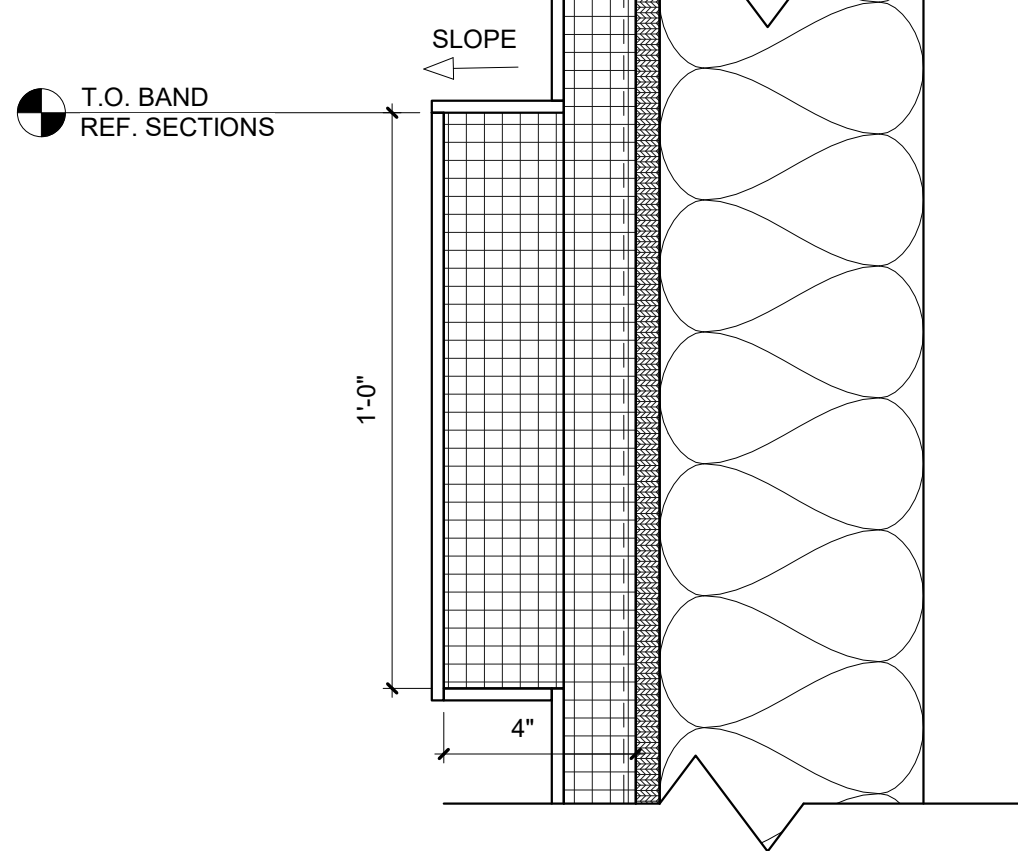
3 BRICK TO EIFS TRANSITION (SECTION)
1 1/2" = 1'-0"



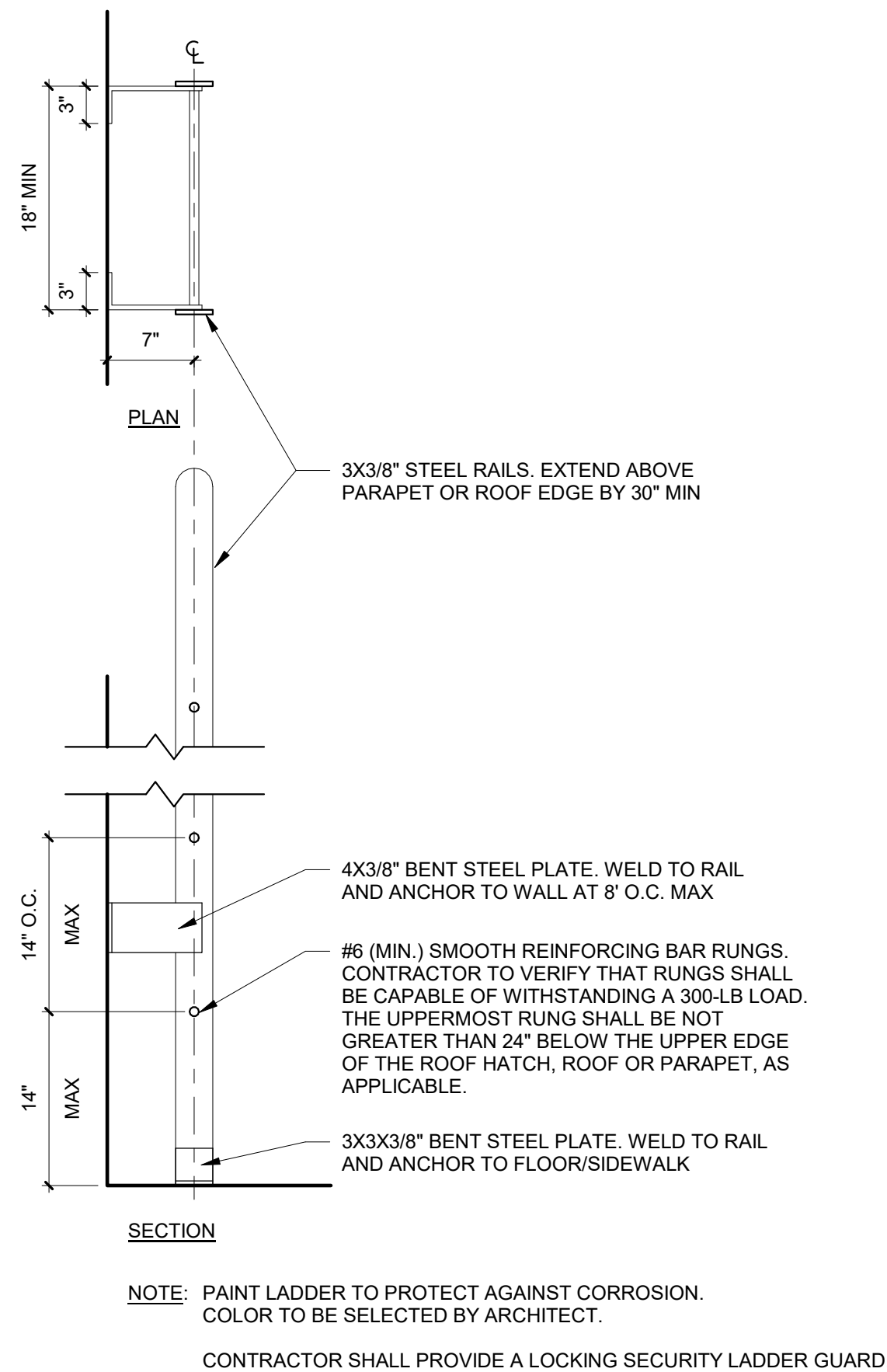
4 SOLDIER COURSE (ENLARGED)
3" = 1'-0"



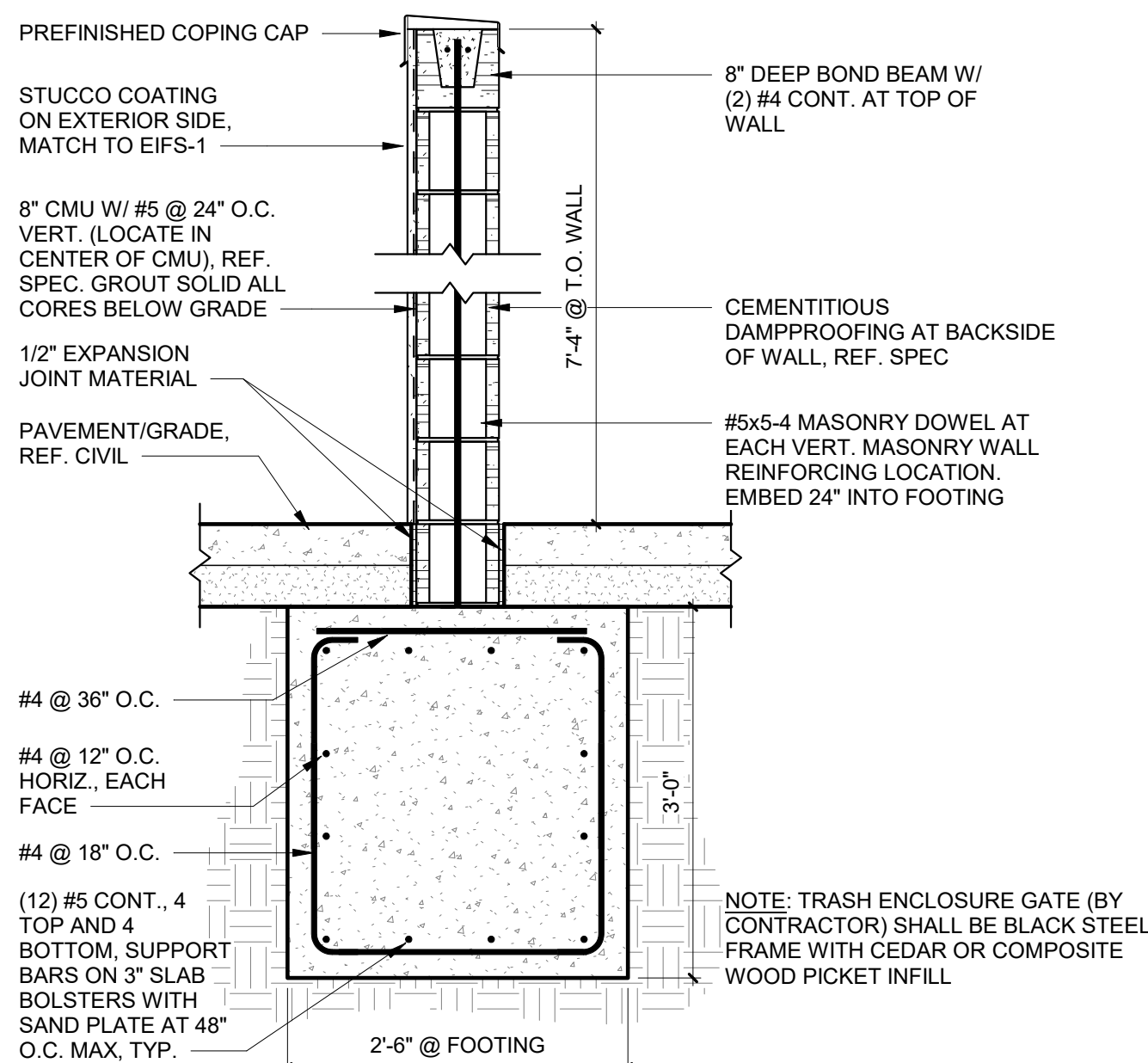
5 BRICK TO EIFS TRANSITION (PLAN)
1 1/2" = 1'-0"



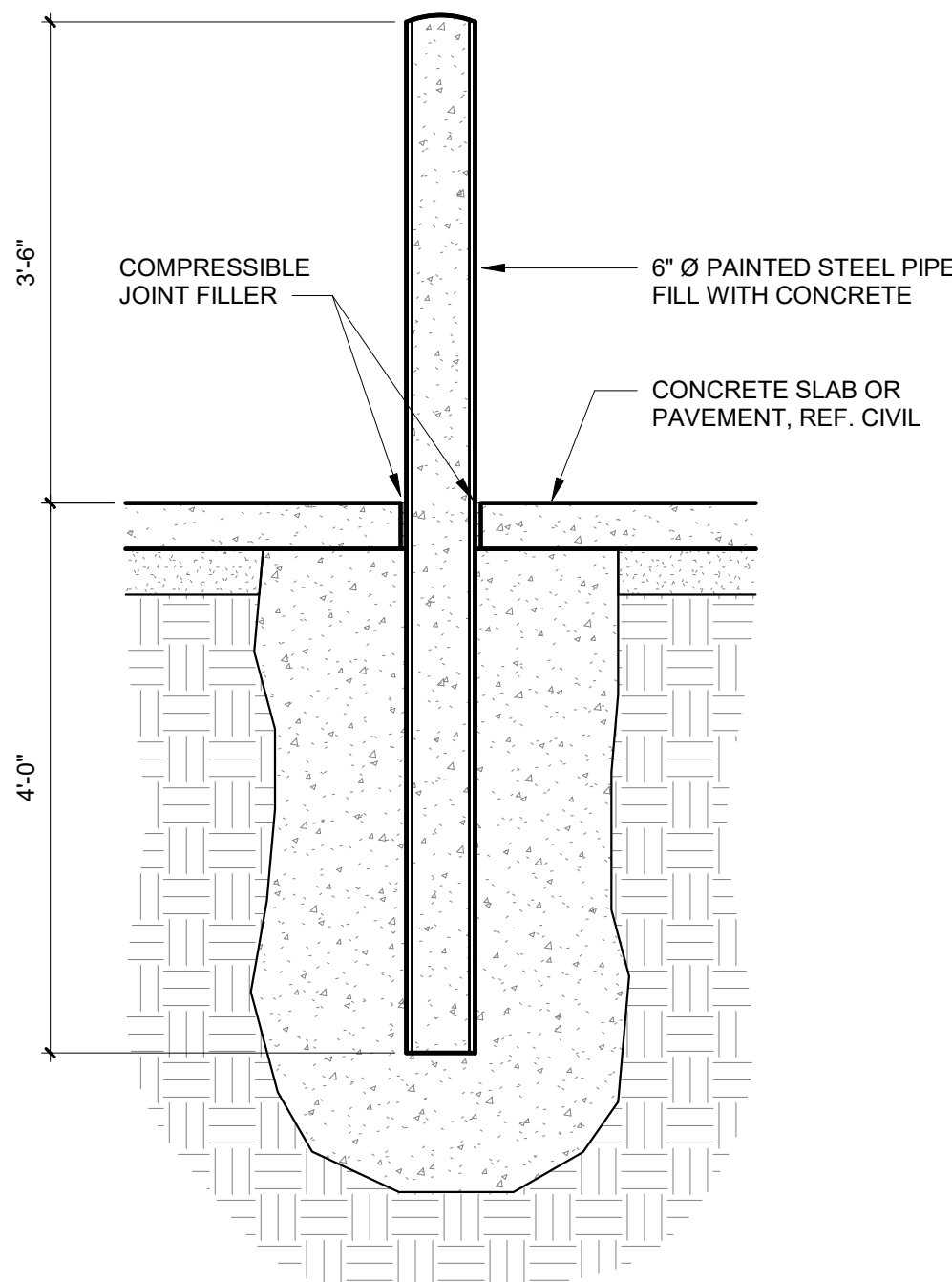
6 EIFS ACCENT BAND
3" = 1'-0"



7 ROOF ACCESS LADDER
1" = 1'-0"



8 TRASH ENCLOSURE SECTION
3/4" = 1'-0"



9 BOLLARD
3/4" = 1'-0"

PROJECT INFO

CLIENT:

COVENANT GROUP, LLC

PROJECT:

COVENANT GROUP - BUILDING SHELL - LEE'S SUMMIT, MO

ADDRESS:

400 NW CHIPMAN RD
LEE'S SUMMIT, MO 64806

PROJECT NO:

267

MAIN CONTACT

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2160 PASEO VERDE PKW SUITE N5 | HENDERSON, NV 89074 | 714.845.8500

SHEET INFO

ISSUE DATE: 04/12/22

ISSUED FOR: INTERNAL REVIEW

REVISION SCHEDULE

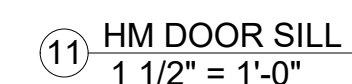
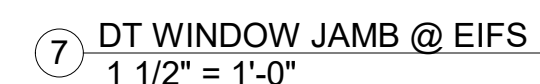
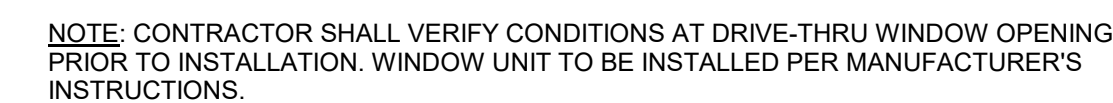
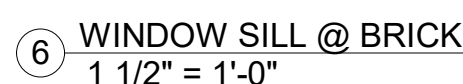
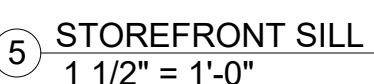
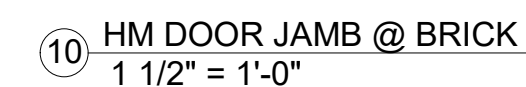
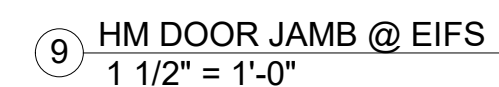
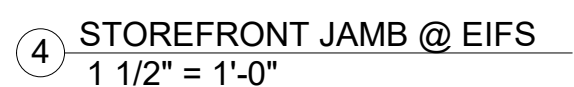
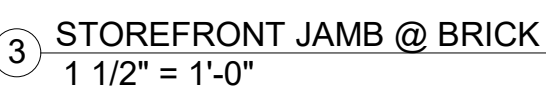
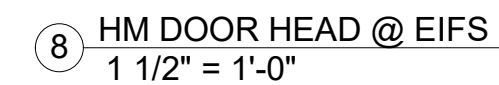
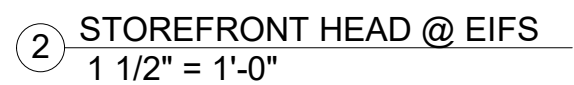
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PROFESSIONAL'S SEAL:



DETAILS

A60.2



PROJECT NO: 2

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PROFESSIONAL'S SEAL:



