

MAIN STREET BUILDING IMPROVEMENTS

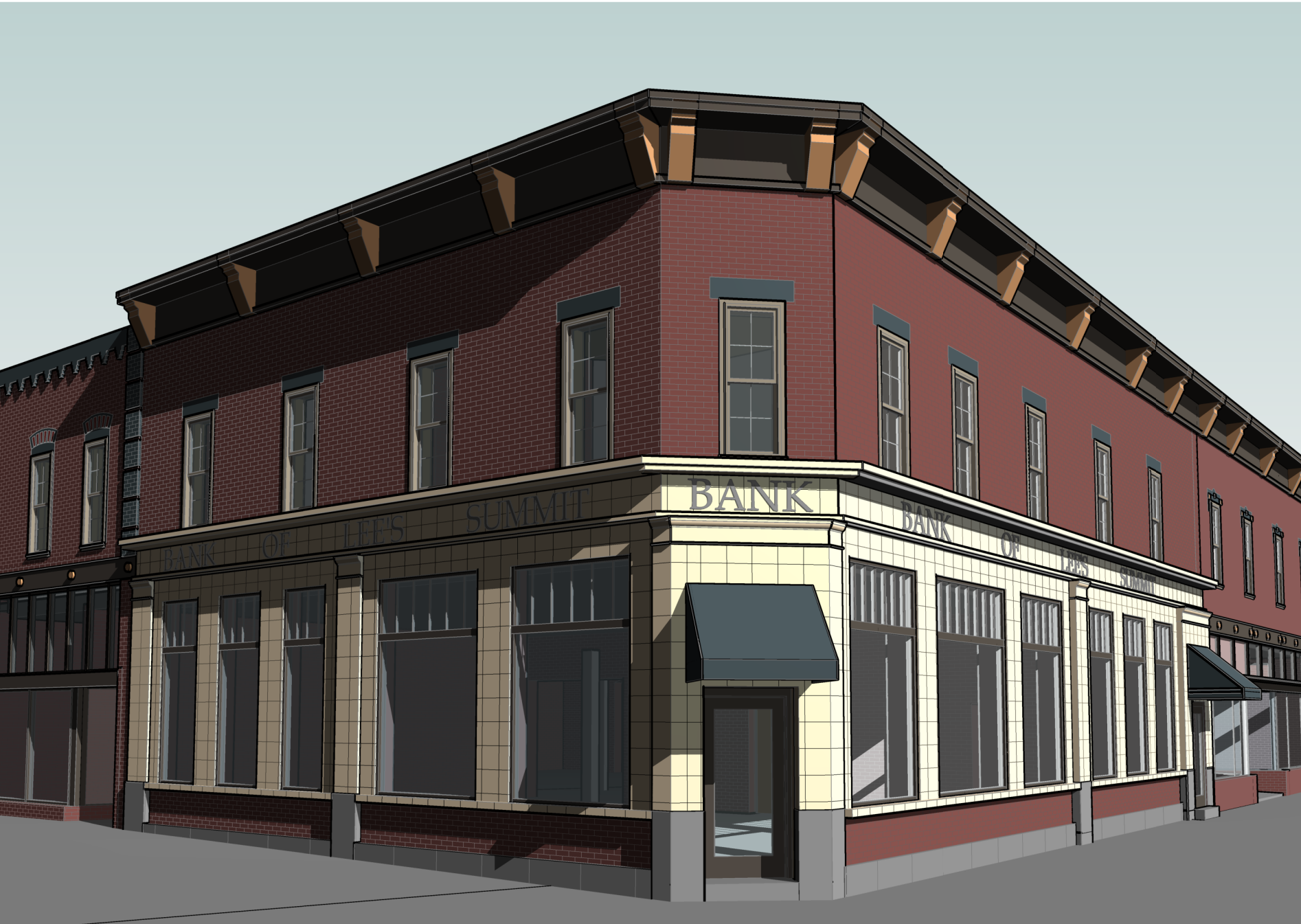
230 SW MAIN ST.
LEE'S SUMMIT, MO 64063

PERMIT DOCUMENTS

21 APRIL, 2022

COLLINS WEBB #: 21121

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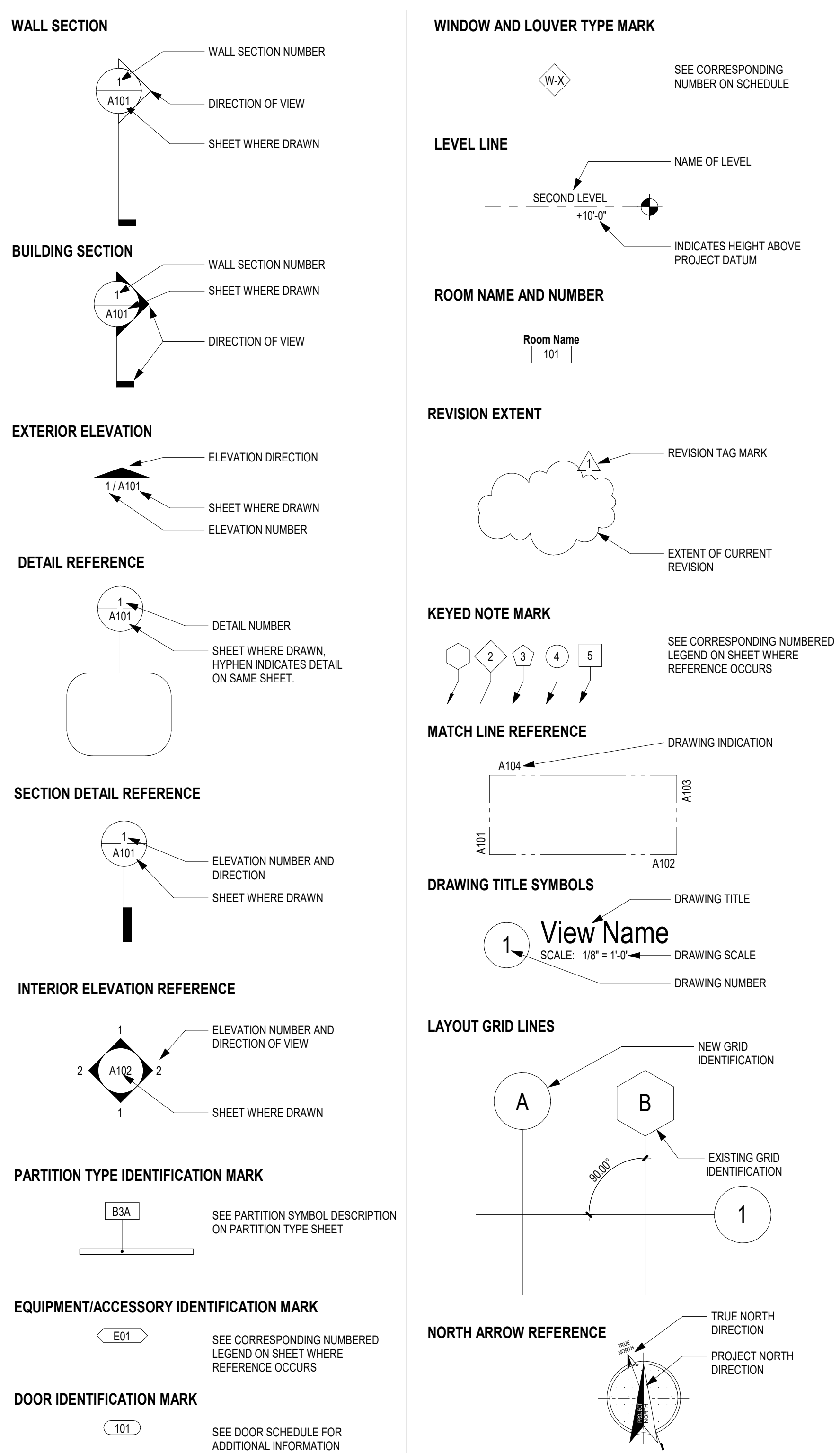
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ARCHITECTURAL ABBREVIATIONS

A		E		I		P		S	
8	AND ANGLE	E	EAST	I	INSIDE DIAMETER	P	PUBLIC ADDRESS	S	SPRINKLER
AB	ANCHOR BOLT	EA	EACH	IN	INCH	PA	PARTIAL	SPKR	SPEAKER
AC	ANCHOR	EDR	EQUIPMENT DRAWING	INCA	INCANDESCENT	PBD	PARTICLEBOARD	SQ	SQUARE
AC/ACS	ACOUSTICAL	EG	EDGE GARD	INCL	INCLUDE, INCLUDING	PBX	PRIVATE TELEPHONE EXCHANGE	SS	SANITARY SEWER
ACT	ACOUSTICAL CEILING TILE	EJS	EXTERIOR INSULATION FINISH SYSTEM	INFO	INFORMATION	PCF	POUNDS PER CUBIC FOOT	SSS	SEWER SINK
ACP	ACCESS PANEL	EPS	EXPANSION JOINT	INSUL	INSULATION	PCB	POUNDS PER CUBIC INCH	SST	STAINLESS STEEL
ACS PNL	ACCESS PANEL	EL	ELEVATION	INTR	INTERIOR	PERF	PERFORATED	ST	STREET
AD	ADDITIONAL	ELAST	ELASTIC	INTV	INTERVIEW	PERMT	PERMIT	STN	STATION
ADH	ADHESIVE	ELEV	ELEVATOR	INTV	INTRAVENOUS TRACK	PERM	PERMANENT	STAG	STAGGERED
ADJ	ADJUSTABLE	EMER	EMERGENCY	PI	PI	PERP	PERPENDICULAR	STC	SOUND TRANSMISSION COEFFICIENT
ADJ	ADJACENT	ENCL	ENCLOSURE	J	J	PI	POINT OF INTERSECTION	STD	STANDARD
AF	ABOVE FINISH FLOOR	ENGR	ENGINEER	JAN	JANITOR	PL	PLASTIC LAMINATE	STL	STEEL
AFG	ABOVE FINISH GRADE	ES	EDGE OF SLAB	JST	JOIST	PLAS	PLASTER, PLASTIC	STR	STRUCTURAL
AG	ABOVE FINISH SLAB	EP	ELECTRICAL PANEL	JO	JOINT	PLMB	PLUMBING	STS	SELF-TAPPING STEEL
AGGR	AGGREGATE	EPB	ELECTRICAL PANEL BENE MONOMER	K	K	PLF	POUNDS PER LINEAR FOOT	SUSP	SUSPENDED
ALUM, AL	ALUMINUM	EPOM	ETHYLENE PROPYLENE DIENE MONOMER	K	K	PLYWD	PLYWOOD	SUSP CLG	SUSPENDED CEILING
AN	ANAL	EQ	EQUAL	K	K	PNEU	PNEUMATIC	SVC	SERVICE
ANOD	ANODIZED	EQ SP	EQUALLY SPACED	K	K	PNL	PANEL	SW	SWITCH
APPROX	APPROXIMATELY	EQUIP	EQUIPMENT	KC	KITCHEN	PNL BO	PANEL BOARD	SYMM	SYMMETRICAL
ARCH	ARCHITECTURAL	EQUIV	EQUIVALENT	KS	KLOTHRAM	PNT	PAINT	SYST	SYSTEM
ASPH	ASPHALT	ESCAL	ESCALATOR	KPL	KICK PLATE	PORT	PORTABLE	T	T
ASPH	AT	EST	ESTIMATED	KS	KNEE SPACE	PP	PUSH PLATE	T	T
AVG	AVERAGE	EW	ELECTRIC WATER COOLER	L	L	PPM	PARTS PER MILLION	T	T
		EXC	EXCAVATED	L	L	PR	PAIR	T	T
		EXH	EXHAUST	L	L	PRCST	PRECAST	T	T
		EXST, (E)	EXISTING	L	L	TAB	TOP AND BOTTOM	T	T
BB	BULLETIN BOARD	EXP	EXPANSION	LAB	LABORATORY	TRB	TRUSS	T	T
BD	BOARD	EXP-JT	EXPANSION JOINT	LAM	LAMINATE, LAMINATION	PRKFB	PREFABRICATION	TC	TOP OF CONCRETE, TOP OF CURB
BTWN	BETWEEN	EXT	EXTERIOR	LAV	LAVATORY	PRKB	PARKING	TD	TRENCH DRAIN
BUTAL	BUTYRAL	EX-BR	EXISTING BRICK	LB	LOAD	PRO	PROPERTY	TEL	TELEPHONE
BLK / BKLG	BLOCK / BLOCKING	F	F	LED	LIGHT EMITTING DIODE	PSJ	PROJECT	TEMP	TEMPERATURE
BMD	BUILDING	F/F	FACE TO FACE	LF	LINEAR FOOT	PRQ	POUNDS PER SQUARE FOOT	THRM	THICK
BM	BM	FA	FIRE ALARM	LG	LENGTH	PTS	POUNDS PER SQUARE INCH	THRL	THRESHOLD
BMD	BOTTOM OF METAL DECK	FAS	FIRE ALARM STATION	LL	LEAD LINED	PNT	POINT, PAINT / PAINTED	THRU	THROUGH
BOD	BOTTOM OF / BY OTHERS	FAT	FAT BAY	LPT	LOW POINT	PTN	PARTITION	THRLS	THRESHOLD
BOT	BOTTOM OF STEEL	FCU	FAN COIL UNIT	LV	LINEAR	PVS	PAVING TIE STATION	THRU	THROUGH
BRT	BRIGHT	FD	FLOOR DRAIN	LL	LEAD LINED	PVC	POLYVINYL CHLORIDE	THRL	THROUGH
BSG	BEARING	FDM	FIRE DEPARTMENT CONNECTION	LPT	LOW POINT	PVS	PAVING TIE STATION	THRU	THROUGH
BSMT	BASEMENT	FDC	FIRE DEPARTMENT CONNECTION	LT	LIGHT WEIGHT	PMT	PAVEMENT	T	T
RUR	BUILT UP ROOFING SYSTEM	FDN	FOUNDATION	LT WT	LIGHT WEIGHT	PWR	POWER	T	T
		FEC	FIRE EXTINGUISHER CABINET	LVR	LOUVER	Q	QUANTITY	T	T
		FE	FIRE EXTINGUISHER	M	M	Q	QUANTITY	T	T
		FF	FINISH FACE	M	M	Q	QUANTITY	T	T
		FG	FINISH GRADE	M	M	Q	QUANTITY	T	T
		PHG	FIRE HOSE CABINET	M	M	Q	QUANTITY	T	T
		PHFC	FIRE HOSE / FIRE EXTINGUISHER CABINET	MACH	MACHINE	Q	QUANTITY	T	T
		FHMS	FLAT HEAD MACHINE SCREW	MATL	MATERIAL	Q	QUANTITY	T	T
		FHWS	FLAT HEAD WOOD SCREW	MATV	MASTER ANTENNA TELEVISION SYSTEM	Q	QUANTITY	T	T
		FHY	FIRE HYDRANT	MAX	MAXIMUM	Q	QUANTITY	T	T
		FIN	FINISH, FINISHED	MB	MACHINE BOLT	Q	QUANTITY	T	T
		FLAM	FLAMMABLE	MC	MEDICINE CABINET	Q	QUANTITY	T	T
		FLASH	FLASHING	MDO	MEDIUM DENSITY OVERLAY	Q	QUANTITY	T	T
		FLEX	FLEXIBLE	MECH	MECHANICAL	Q	QUANTITY	T	T
		FLOOR	FLOOR	MED	MEDIUM	Q	QUANTITY	T	T
		FLUOR	FLUORESCENT	MET, MTL	METAL	Q	QUANTITY	T	T
		FO	FACE OF	MEMS	MEMBRANE	Q	QUANTITY	T	T
		FRT	FIRE RETARDANT TREATMENT	MFR, MFG	MANUFACTURER	Q	QUANTITY	T	T
		FRZ	FREEZER	MAN	MANHOLE	Q	QUANTITY	T	T
		FSB	FOLDING SHOWER BENCH	MIN	MINIMUM	Q	QUANTITY	T	T
		FTN	FASTENER	MIS	MISCELLANEOUS	Q	QUANTITY	T	T
		FT	FOOT, FEET	MLOG	MOLDING	Q	QUANTITY	T	T
		FTX	FOOTING	MM	MILLIMETERS	Q	QUANTITY	T	T
		FUN	FURNITURE	MOP	MODULAR OPENING	Q	QUANTITY	T	T
		FTR	FIXTURE	MOD	MODULE, MODULAR	Q	QUANTITY	T	T
		G	G	MTD	MOUNTED	Q	QUANTITY	T	T
		G	GAS	MTG	MOUNTING	Q	QUANTITY	T	T
		GA	GAUGE, GAGE	MVBL	MOVABLE	Q	QUANTITY	T	T
		GAL	GALLON	MULL	MULLION	Q	QUANTITY	T	T
		GALV	GALVANIZED	N	N	Q	QUANTITY	T	T
		GB	GRAB BAR	(N)	NORTH	Q	QUANTITY	T	T
		GC	GENERAL CONTRACTOR	N	NORTH	Q	QUANTITY	T	T
		GFCI	GROUND FAULT CIRCUIT INTERRUPTER	N	NOT APPLICABLE	Q	QUANTITY	T	T
		GFRG	GLASS FIBER REINFORCED CONCRETE	NAT	NATURAL	Q	QUANTITY	T	T
		GFRG	GLASS FIBER REINFORCED GYPSUM	NE	NORTHEAST	Q	QUANTITY	T	T
		GL	GLASS	NOT IN CONTRACT	NOT IN CONTRACT	Q	QUANTITY	T	T
		GLU LAM	GLUE LAMINATED	NO	NUMBER	Q	QUANTITY	T	T
		GLZ	GLAZING	NOM	NOMINAL	Q	QUANTITY	T	T
		GR	GRADE OR GRADING	NRC	NOISE REDUCTION COEFFICIENT	Q	QUANTITY	T	T
		GVL	GRAVEL	NTS	NOT TO SCALE	Q	QUANTITY	T	T
		GYP	GYPSUM	NW	NORTHWEST	Q	QUANTITY	T	T
		GYP BD	GYPSUM BOARD	O	O	Q	QUANTITY	T	T
		GYP PLAS	GYPSUM PLASTER	OC	ON CENTER	Q	QUANTITY	T	T
		H	H	OD	OVERALL	Q	QUANTITY	T	T
		H	HIGH	OD	OVERALL DIAMETER	Q	QUANTITY	T	T
		HB	HOSE BIBB	OF	OWNER FURNISHED CONTRACTOR INSTALL	Q	QUANTITY	T	T
		HC	HOLLOW CORE	OFO	OWNER FURNISHED-OWNER INSTALLED	Q	QUANTITY	T	T
		HD	HEAD	OPNG	OPENING	Q	QUANTITY	T	T
		HDBD	HARDSHED	OP	OPENING	Q	QUANTITY	T	T
		HOW, HDW	HARDWARE	ORD	OVERFLOW ROOF DRAIN	Q	QUANTITY	T	T
		HOWD	HARDWOOD	OVHD	OVERHEAD	Q	QUANTITY	T	T
		HST, HT	HEIGHT	OZ	OUNCE	Q	QUANTITY	T	T
		HM	HOLLOW METAL	X	X	Q	QUANTITY	T	T
		HNRL	HANDRAIL	SHR	SHOWER	Q	QUANTITY	T	T
		HORIZ	HORIZONTAL	SHV	SHOVELS, SHELVEING	Q	QUANTITY	T	T
		HPT	HIGH POINT	SK	SINK	Q	QUANTITY	T	T
		HR	HOUR	SMS	SHEET METAL SCREW	Q	QUANTITY	T	T
		HVAC	HEATING-VENTILATION-AIR CONDITIONING	SP	SPEL SPACE, SPACING	Q	QUANTITY	T	T
		HW	HOT WATER	SPEC	SPECIFICATION	Q	QUANTITY	T	T
		D	DEPTH	S	SOUTH	Q	QUANTITY	T	T
		DBL	DOUBLE	SA	SUPPLY AIR	Q	QUANTITY	T	T
		DLACT	DOUBLE ACTING	SB	SLASH BLOCK	Q	QUANTITY	T	T
		DEG	DEGREE	SC	SOLID CORE	Q	QUANTITY	T	T
		DEMO	DEMOLISH	SCHD	SCHEDULE	Q	QUANTITY	T	T
		DEPT	DEPARTMENT	SCRN	SCREEN	Q	QUANTITY	T	T
		DET	DETAIL	SD	STORM DRAIN	Q	QUANTITY	T	T
		DF	DRINKING FOUNTAIN	SE	SOUTHEAST	Q	QUANTITY	T	T
		DIA	DIAMETER	SECT	SECTION	Q	QUANTITY	T	T
		DIFF	DIFFUSER	SEG	SEGMENT	Q	QUANTITY	T	T
		DIM	DIMENSION	SEP	SEPARATION OR SEPARATE	Q	QUANTITY	T	T
		DIM PT	DIMENSION POINT	SEP JT	SEPARATION JOINT	Q	QUANTITY	T	T
		DSP	DENSIFIER	SH	SHEET	Q	QUANTITY	T	T
		DST	DISTANCE	SHR	SHOWER	Q	QUANTITY	T	T
		DK	DECK	SHV	SHOVELS, SHELVEING	Q	QUANTITY	T	T
		DN	DOWN	SK	SINK	Q	QUANTITY	T	T
		DR	DRAIN, DOOR	SMS	SHEET METAL SCREW	Q	QUANTITY	T	T
		DS	DOWNSTOP	SP	SPEL SPACE, SPACING	Q	QUANTITY	T	T
		DSP	DRY STANDPIPE	SPEC	SPECIFICATION	Q	QUANTITY	T	T
		DT	DRY TRAP	Y	YARD	Q	QUANTITY	T	T
		DTL	DETAIL	YD	YARD	Q	QUANTITY	T	T
		DW	DRAWING, DRAWINGS			Q	QUANTITY	T	T
		DWG	DRAWING, DRAWINGS			Q	QUANTITY	T	T

TYPICAL ARCHITECTURAL REFERENCE SYMBOLS

TYPICAL ARCHITECTURAL REFERENCE SYMBOLS



ARCHITECTURAL DIMENSIONING CONVENTIONS

ARCHITECTURAL DIMENSIONING CONVENTIONS

- EXCEPT WHERE DIRECTED TO PLACE ITEMS OF THE WORK AT THE "APPROXIMATE LOCATION SHOWN," DO NOT SCALE DRAWINGS FOR DIMENSIONAL INFORMATION.

ALL ELEMENTS OF THE DRAWINGS MAY NOT BE DRAWN TO EXACT SCALE. ALL DIMENSIONS REQUIRED ARE SHOWN (OR MAY BE DERIVED FROM TWO SHOWN) OR NOTED ON THE FLOOR PLANS, DETAIL PLANS, ELEVATIONS, SECTIONS, SCHEDULES, CONFIGURATION DETAILS, AND SPECIFICATIONS. SEE THE NOTES AND/OR FOR DIMENSIONING CONVENTIONS USED ON THIS PROJECT.

EXCEPT WHERE SPECIFICALLY NOTED TO THE CONTRARY, ALL DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS CONFORM TO THE FOLLOWING CONVENTIONS:

 - DIMENSIONS UTILIZING THE "CENTERLINE" SYMBOL ARE MEASURED TO:
 - STRUCTURAL OR DIMENSIONAL GRID LINES.
 - CENTERLINE OF CONCRETE OR CONC MASONRY UNIT WALLS [EXCLUSIVE OF FURNISH OR APPLIED FINISHES HAVING THICKNESS, REFER TO THE ARCH PLANS AND SECTIONS, THE STRIP DRAWINGS, OR PARTITION SCHEDULE TO DETERMINE THE THICKNESS OF CONCRETE OR CONC MASONRY UNIT WALLS.
 - CENTERLINE OF PARTITION ASSEMBLY [EXCLUSIVE OF ANY APPLIED FINISHES HAVING THICKNESS WHICH MAY BE ADDED TO SUCH WALLS] AT PARTITIONS FRAMED WITH METAL STUDS, REFER TO "PARTITION SCHEDULE" TO DETERMINE THICKNESS OF EACH PARTITION TYPE.
 - CENTERLINE OF DOOR, WINDOW, OR SLOUVER OPENING.
 - CENTERLINE OF EQUIPMENT OR
 - CENTERLINE OF OTHER FEATURES AS INDICATED.
 - REFER TO ABBREVIATIONS LEGEND FOR SYMBOL USED TO INDICATE CENTERLINE DIMENSION.
 - DIMENSIONS UTILIZING THE "FACE OF" SYMBOL ARE MEASURED TO:
 - FACE OF CONCRETE OR CONC MASONRY UNIT WALL [EXCLUSIVE OF APPLIED FINISHES HAVING THICKNESS OR FURNISH WHICH MAY BE ADDED TO THE FACE OF SUCH WALLS]
 - FACE OF PARTITION ASSEMBLY [EXCLUSIVE OF ANY APPLIED FINISHES HAVING THICKNESS WHICH MAY BE ADDED TO SUCH WALLS] AS DEFINED BY THE PARTITION SCHEDULE. UNLESS NOTED AS A "FACE OF FINISH" OR "CLEAR" DIMENSION (SEE NOTE E BELOW), DIMENSIONS ARE NOT MEASURED TO THE FACE OF APPLIED FINISH. REFER TO THE "PARTITION SCHEDULE" TO DETERMINE THE THICKNESS OF EACH PARTITION TYPE.
 - INSIDE EDGE OF FINISHED DOOR OPENING. REFER TO THE ARCHOR SCHEDULE FOR ADDITIONAL DIMENSIONAL INFORMATION.
 - DIMENSION OR WORK POINT AS INDICATED ON RELATED ARCH DETAIL, PLAN, SECTION, ELEVATION, LAYOUT OR CONSTRUCTION DETAIL, OR CONSTRUCTION TELL.
 - REFER TO ABBREVIATIONS LEGEND FOR SYMBOL USED TO INDICATE "FACE OF" DIMENSIONS.
 - WHERE "FACE OF FINISH" OR "CLEAR" DIMENSIONS ARE SPECIFICALLY NOTED, THE DIM IS MEASURED TO:
 - FINISH FACES AT THE MOST NARROW OR CONSTRICTED PORTIONS OF SECTION WHEN DIMENSIONING IS SHOWN, WHEN THE DIMENSION OCCURS ACROSS AN OPEN SPACE. THIS CASE, A "FACE OF FINISH" DIMENSION IS EQUIVALENT TO A "CLEAR" DIMENSION.
 - FINISH FACES AT THE WIDEST OR MOST EXPANSIVE PORTIONS OF THE SECTION THE DIMENSION IS SHOWN WHEN THE DIMENSION OCCURS ACROSS AN OBJECT OR GROUP OF OBJECTS.
 - WHERE "EQUAL" DIMENSIONS ARE USED ON REFLECTED CEILING PLANS TO LOCATE CEILING GRID WORK POINTS, MEASURE DIMENSIONS TO:
 - EDGE OF THE INDICATED CEILING AT THE FACE OF THE ADJACENT APPLIED FINISH MEASURED AT THE PLANE OF THE CEILING.

CAUTION: DO NOT ASSUME THAT THE POSSIBLE APPLICATION OF APPLIED FINISHES - THICKNESS OF WHICH MAY VARY - BY THE DIMENSION SHOWN ON THE FLOOR PLANS - THE CONTRACTOR MUST ADJUST, AS NECESSARY, THE FLOOR PLAN DIMENSIONS TO REFLECT THE ACTUAL DIMENSIONS FOUND AT PLACE OF THE CEILING.

WHERE DOOR OCCURS NOT ADJACENT TO A PERPENDICULAR WALL AND EITHER "DM E" OR "DM F" IN DIAGRAM BELOW "10" OR LESS, LOCATE DOOR UTILIZING THE FOLLOWING MINIMUM DIMENSIONS:

 - DIMENSION A = 18 INCHES MIN
 - DIMENSION E = 12 INCHES MIN
 - DIMENSION C = DOOR WIDTH + 2 INCHES MINIMUM
 - DIMENSION D = 4 INCHES MIN AT METAL FRAMED GP OR 80 PARTITIONS OR - EVEN MULTIPLE OF 12 INCH
 - MODULE PLUS 2 INCHES AT CONC MASONRY UNIT WALLS
 - DIMENSIONS E AND F = AS SHOWN ON PLANS
 - DIMENSION H = 60 INCHES MIN

WHERE DIMENSIONS ARE NOT PROVIDED ON FLOOR PLANS TO LOCATE DOOR OPENINGS, APPLY THE FOLLOWING RULES, IN ORDER, TO DETERMINE THE LOCATION OF DOOR OPENINGS:

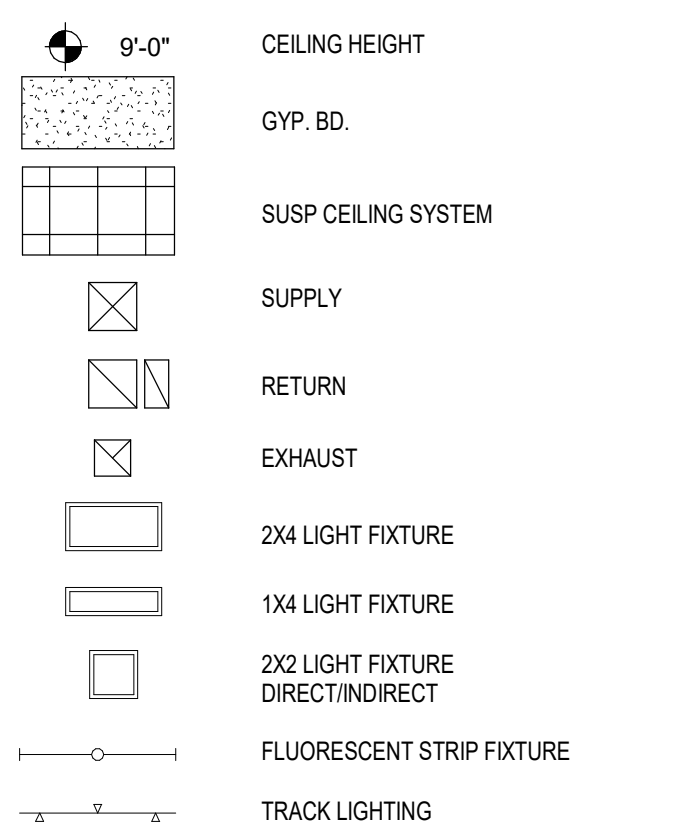
 - DOOR OPENINGS MAY BE DIMENSIONED ON DRAWINGS OTHER THAN THE FLOOR PLANS. REFER TO THE SECTIONS, ELEVATIONS, DETAILS, AND DOOR SCHEDULE NOTES FOR ADDITIONAL DIMENSIONAL INFORMATION.
 - WHERE THE HINGE-SIDE OF A DOOR IS SHOWN ADJACENT TO A WALL OR WALLS - PERPENDICULAR TO THE WALL IN WHICH THE DOOR OPENING OCCURS:
 - AT DOORS OCCURRING IN METAL FRAMED OPSUM BARS PARTITIONS, LOCATE THE HINGE-SIDE OF THE DOOR FINISHED OPENING 4 INCHES FROM THE FACE [EXCLUSIVE OF APPLIED FINISHES OF THE CLOSEST] PERPENDICULAR WALL OR PARTITION ASSEMBLY.
 - AT DOORS OCCURRING IN WALLS OF CONG MASONRY UNIT CONSTRUCTION, LOCATE THE HINGE-SIDE OF THE DOOR FINISHED OPENING 10 INCHES FROM THE FACE [EXCLUSIVE OF APPLIED FINISHES OF THE CLOSEST] PERPENDICULAR WALL OR PARTITION ASSEMBLY.

WHERE DOOR IS SHOWN LOCATED IN A LARGE EXPENSE OF OPEN WALL "DM E" AND "DM F" IN DIAGRAM BELOW BOTH EXCEED 10'-0", PLACE DOOR AT APPROXIMATE LOCATION SHOWN ON THE PLANS. WHERE DOOR OCCURS IN CMU WALL, PLACE DOOR AT APPROXIMATE LOCATION SHOWN WHILE MINIMIZING "CLT" OR PARTIAL CMU MODULES ADJACENT TO THE JAMBS.

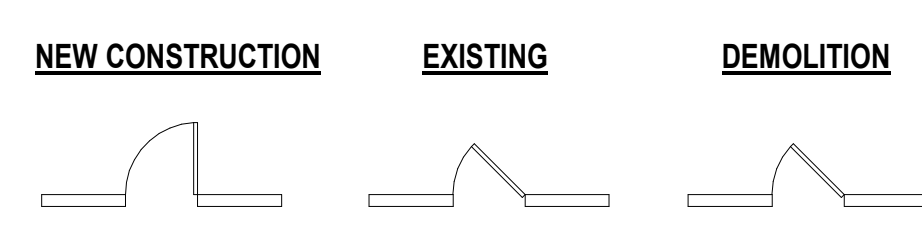
WHERE WALLS AND/OR PARTITIONS OF UNQUAL THICKNESS ABUT, ALIGN EXPOSED FACES, UNLESS OTHERWISE NOTED:

ALIGN
DIMENSION, WHEN OCCURS

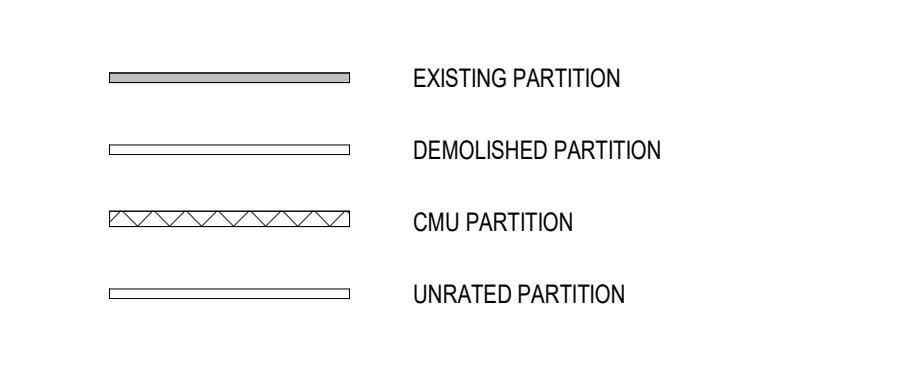
REFLECTED CEILING PLAN SYMBOLS:



TYP DOOR LEGEND



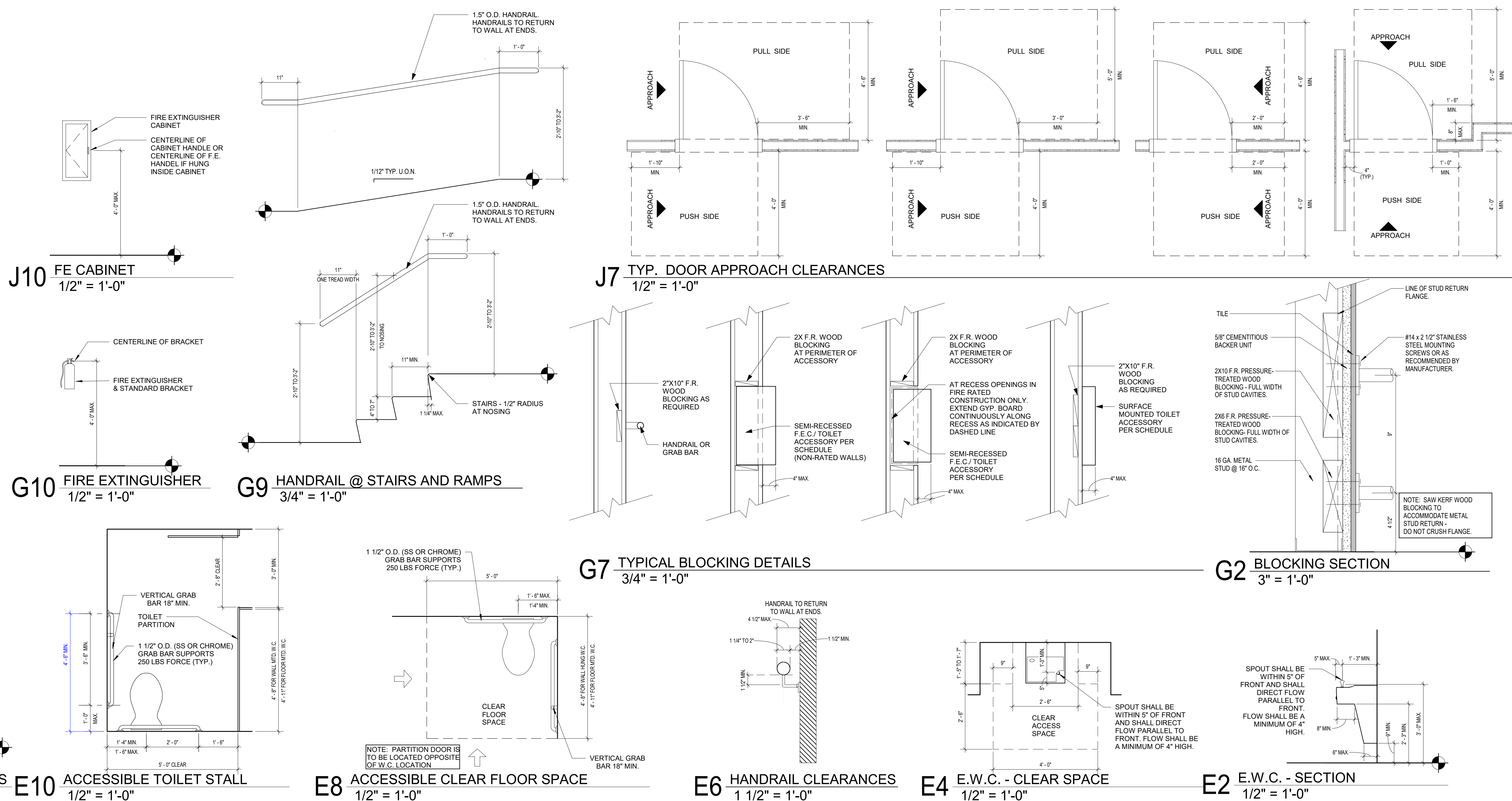
WALL TYPE LEGEND



GENERAL
INFORMATION NOTES:

- [illegible]

- [illegible]

[illegible]

WALL PRIORITY LEGEND

NOTE: THIS LEGEND IS FOR GRAPHIC REPRESENTATION ONLY.

FOUR HOUR FIRE WALL (4FW)
THREE HOUR FIRE WALL (3FW)
TWO HOUR FIRE WALL (2FW)
FOUR HOUR FIRE BARRIER (4FB)
THREE HOUR FIRE BARRIER (3FB)
TWO HOUR FIRE BARRIER (2FB) (INCLUDES THE FOLLOWING)
• TWO HOUR SHAFT ENCLOSURE (2SE)
ONE HOUR FIRE BARRIER (1FB) (INCLUDES THE FOLLOWING)
• ONE HOUR SHAFT ENCLOSURE (1SE)

SMOKE TIGHT PARTITION (X) (INCLUDES THE FOLLOWING)
• SMOKE TIGHT PARTITION TO SMOKE TIGHT CEILING (XC)
• SMOKE TIGHT PARTITION WITHIN PLENUM ABOVE CEILING (XP)
• SMOKE TIGHT PARTITION SEPARATION OF INTERSTITIAL SPACES (XI)

DETAIL ABUTMENT OF DISSIMILAR WALL

LOWER PRIORITY WALL
HIGHER PRIORITY WALLS SHALL PASS THROUGH A LOWER PRIORITY WALL

INTERSECTION OF RATED WALLS

TAPE & JOINT COMPOUND (TYP)
LOWER PRIORITY WALL
TAPE & SEAL HIGHER PRIORITY WALL BEHIND INTERSECTING LOWER PRIORITY WALL (TYP)
HIGHER PRIORITY WALL
TAPE & JOINT COMPOUND (TYP)
HIGHER PRIORITY WALL

A

LOWER PRIORITY WALL
HIGHER PRIORITY WALL
TAPE & JOINT COMPOUND (TYP)
CONTINUOUS TAPE & SEAL OF HIGHER PRIORITY WALL (TYP)

C

LOWER PRIORITY WALL
HIGHER PRIORITY WALL
TAPE & JOINT COMPOUND (TYP)

E

NOTES:
1. REFER TO WALL TYPES ON SHEET G121-T1 FOR WALL COMPONENTS, NUMBER OF GYPSUM BOARD LAYERS, TYPE OF GYPSUM BOARD, AND OTHER SIMILAR INFO.
2. THE HIGHER PRIORITY WALL SHALL PASS THROUGH THE LOWER PRIORITY WALL.
3. TAPING AND SEALING OF HIGHER PRIORITY WALLS SHALL BE CONTINUOUS.
4. ALTERNATE LAYERS OF GYPSUM BOARD SHALL OVERLAP AT CORNER INTERSECTIONS OF MULTI-LAYERED RATED GYPSUM BOARD PARTITIONS.

FIRE & SMOKE RESISTIVE LEGEND DEFINITIONS

FIRE WALLS (FW)

DEFINITION
A FIRE RATED WALL THAT IS CONTINUOUS VERTICALLY FROM FOUNDATION TO ROOF TO SEPARATE CONSTRUCTION INTO SEPARATE BUILDINGS.

USE
FIRE WALLS SERVE TO CREATE SEPARATE BUILDINGS FOR THE FOLLOWING REASONS:
• CONSTRUCTION TYPE VARIES FROM ONE BUILDING TO ANOTHER.
• COMPLIANCE WITH MAXIMUM ALLOWABLE AREA REQUIREMENTS.
• TO SEPARATE BUILDINGS WITH DIFFERENT LEVELS OF FIRE PROTECTION.
• TO ADDRESS A PROPERTY LINE DEFINING DIFFERENT OWNERSHIP.

SPECIAL CONSIDERATIONS
• THE FIRE WALL REQUIRES SUFFICIENT STRUCTURAL STABILITY UNDER FIRE CONDITIONS TO ALLOW THE COLLAPSE OF CONSTRUCTION ON EITHER SIDE WITHOUT COLLAPSE OF THE WALL.
• OPENINGS ARE REQUIRED TO BE PROTECTED.
• OPENINGS ARE LIMITED BASED ON A PERCENTAGE OF WALL LENGTH.
• EXTENDING THE FIRE WALL THROUGH THE ROOF WITH A PARAPET IS REQUIRED FOR SOME CONSTRUCTION CLASSIFICATIONS.
• THE REQUIRED FIRE RATING OF A FIRE WALL IS BASED ON OCCUPANCY GROUPS AND CLASS OF CONSTRUCTION.
• HARDWARE FOR SWING DOORS SHALL INCLUDE A LATCH AND CLOSER.

FIRE BARRIERS (FB)

DEFINITION
A FIRE RATED WALL CONSTRUCTED TO RESTRICT THE SPREAD OF FIRE CONTINUITY SHALL BE MAINTAINED FROM TOP OF FLOOR TO UNDERSIDE OF THE FLOOR OR ROOF DECK ABOVE.

USE
FIRE BARRIERS HAVE THE FOLLOWING APPLICATIONS:
• TO SEPARATE EXIT PASSAGEWAYS.
• OCCUPANCY SEPARATIONS.
• TO SEPARATE INCIDENTAL USE AREAS.
• ISOLATION OF HAZARDOUS.
• TO SEPARATE ROOMS WITH DIFFERENT LEVELS OF FIRE PROTECTION.
• SMOKE BARRIERS AND SHAFT ENCLOSURES ARE FIRE BARRIERS. SEE ADDITIONAL REQUIREMENTS.

SPECIAL CONSIDERATIONS
• WITHIN SOME CONSTRUCTION CLASSIFICATIONS, CONSTRUCTION THAT PROVIDES STRUCTURAL SUPPORT OF A FIRE BARRIER IS REQUIRED TO BE OF THE SAME HOURLY FIRE RATING AS THE FIRE BARRIER, OR BETTER.
• OPENINGS ARE REQUIRED TO BE PROTECTED.
• HARDWARE FOR SWING DOORS SHALL INCLUDE A LATCH AND CLOSER.

SHAFT ENCLOSURES (SE)

DEFINITION
A SHAFT ENCLOSURE IS A FIRE BARRIER FORMING THE BOUNDARY OF A VERTICAL SHAFT.

USE
PROTECT OPENINGS IN FIRE RATED FLOOR/CEILING ASSEMBLIES.

SPECIAL CONSIDERATIONS
• PENETRATIONS IN SHAFT ENCLOSURES ARE PROHIBITED UNLESS NECESSARY FOR THE FUNCTION OF THE SHAFT. WHERE ALLOWED, OPENINGS ARE REQUIRED TO BE PROTECTED.
• DUCT PENETRATIONS REQUIRE COMBINATION SMOKE AND FIRE DAMPERS EXCEPT FOR EXISTING CONDITIONS THAT ARE GRANDFATHERED.
• HARDWARE FOR SWING DOORS SHALL INCLUDE A LATCH, CLOSER, AND PERIMETER SMOKE SEALS.

WALL TYPE NOTES:

1. RE: LIFE SAFETY PLAN(S) FOR RATED WALL LOCATIONS.
2. WHERE "FIRE-RATED SEALANT" IS INDICATED ON WALL TYPES: PROVIDE FIRE-RATED SEALANT ABOVE TOP TRACK, UNDER BOTTOM TRACK, AT ALL PENETRATIONS (BOTH SIDES), AND AS REQUIRED BY FIRE RATING UL NUMBER.
3. EXTEND FIRE-RATED WALL CONSTRUCTION BEHIND NECESSARY OR BUILT-IN EQUIPMENT, SUCH AS FIRE EXTINGUISHER CABINETS (FEC), ELECTRICAL, WATER COOLERS (EWC), ELECTRICAL PANELS, ETC. UNLESS NOTED OTHERWISE.
4. PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK AND OF ALL FLOOR MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR LABORATORY EQUIPMENT.
5. WHERE HVAC OR OTHER MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS PENETRATE PARTITIONS: STUDS SHALL BE BRACED AND FRAMED TO STRUCTURE AS REQUIRED TO PROVIDE ADEQUATE SUPPORT. ALL PENETRATIONS THROUGH ACoustICAL AND FIRE RATED WALLS SHALL BE SEALED TO PROVIDE FIRE, SMOKE, AND/OR ACoustICAL ISOLATION OF SPACES WITH APPROPRIATE ACoustICAL/FIRESTOP MATERIAL.
6. THERE SHALL BE NO BACK-TO-BACK ELECTRICAL, TELEPHONE, OR OTHER OUTLETS, EXCEPT WHERE SPECIFICALLY SHOWN.
7. WALL BASE IS NOT SHOWN ON ALL WALL TYPES FOR CLARITY. REFER TO FINISH SCHEDULE.
8. PROVIDE GLASS-MAT, WATER RESISTANT BACKING BOARD AT ALL WET LOCATIONS.
9. EXCEPT AT FIRE-RATED PARTITIONS, ALL WALL AND COLUMN GYPSUM BOARD FACING SHALL BE HELD AT 5/8 INCH BELOW STRUCTURE, UNLESS NOTED OR SHOWN OTHERWISE.
10. PROVIDE AND INSTALL BLOCKING REQUIRED FOR ALL A.V. EQUIPMENT, G.C. TO COORDINATE WITH TI CONSULTANT FOR FINAL LOCATIONS AND SIZE REQUIREMENTS.
11. COMPRESSIBLE FILLER - ACCEPTABLE MATERIALS WOULD BE FIBERGLASS INSULATION OR FIRESTOPPING VOIDS TO BE COMPLETELY FILLED AND A FIRESTOP SEALANT OVER ANY ENDS. THIS IS TYPICAL FOR ALL ACoustICAL WALL ASSEMBLIES WHERE "COMPRESSIBLE FILLER" IS CALLED FOR. THERE CAN BE NO VOIDS IN THE INSTALLATION.
12. PROVIDE A MIN. MSG-12 STUD FOR ALL VERTICAL LONG SPAN WALL TYPES.

WALL TYPE A

INSTALL FIRESAFING INSULATION TO SEAL TOP OF WALL (RATED WALLS ONLY)

BOTTOM OF DECK
RE: STRUCTURAL
DEEP LEG DEFLECTION/SLIP TRACK

CEILING HT.
RE: RCP (WHERE REQ'D)
5/8" GYP. BD. EACH SIDE

3 5/8" METAL STUD @ 16" O.C. WITH HORIZ. BRACING, AS REQUIRED.

3 1/2" SOUND BATT INSULATION (WHERE REQ'D)

METAL RUNNERS TOP AND BOTTOM

FLOOR

TYPE	WALL DESCRIPTION
A	• 3 5/8" METAL STUD @ 16" O.C. TO DECK ABOVE • 5/8" TYPE "X" GYP. BD. EACH SIDE TO DECK ABOVE • NO SOUND BATT INSUL. • NON RATED
A1	• 3 5/8" METAL STUD @ 16" O.C. TO DECK ABOVE • 5/8" TYPE "X" GYP. BD. EACH SIDE TO DECK ABOVE • 3 1/2" SOUND BATT INSUL. TO FULL HEIGHT OF WALL • ACoustICAL SEALANT AT FLOOR, DECK, & ALL PENETRATIONS • NON RATED
A2	• 3 5/8" METAL STUD @ 16" O.C. TO DECK ABOVE • 2 LAYERS - 5/8" TYPE "X" GYP. BD. EACH SIDE TO DECK ABOVE • 3 1/2" THICK GLASS FIBER BATT INSUL. TO FULL HEIGHT OF WALL • FIRE-RATED SEALANT AT FLOOR, DECK, & ALL PENETRATIONS • 2-HR RATED RE: UL # U419

WALL TYPE E

INSTALL FIRESAFING INSULATION TO SEAL TOP OF WALL (RATED WALLS ONLY)

BOTTOM OF DECK
RE: STRUCTURAL
AS REQUIRED PER WALL TYPE
EXISTING WALL

CEILING HT.
RE: RCP (WHERE REQ'D)
5/8" GYP. BD. ON ROOM SIDE

METAL STUD / HAT CHANNEL @ 16" O.C.
SOUND BATT INSULATION (WHERE REQ'D)

METAL RUNNERS TOP AND BOTTOM

ROOM SIDE **FLOOR**

TYPE	WALL DESCRIPTION
E2	• 3 5/8" METAL STUD @ 16" O.C. TO DECK ABOVE • 5/8" TYPE "X" GYP. BD. ONE SIDE TO DECK ABOVE • NO SOUND BATT INSUL. • NON RATED
E5	• 6" METAL STUD @ 16" O.C. TO DECK ABOVE • 5/8" TYPE "X" GYP. BD. ONE SIDE • NO SOUND BATT INSUL. • NON RATED

WALL TYPE Y

INSTALL FIRESAFING INSULATION TO SEAL TOP OF WALL (RATED WALLS ONLY)

BOTTOM OF DECK
RE: STRUCTURAL

CEILING HT.
RE: RCP (WHERE REQ'D)
LAYERS 5/8" GYP. BD. PER WALL TYPE
CH STUD @ 16" O.C.

1" SHAFT LINER

SOUND BATT INSULATION (SEE TYPE FOR SIZE)

METAL J TRACK TOP AND BOTTOM

FLOOR

TYPE	WALL DESCRIPTION
Y	• 4" C-H METAL STUDS @ 24" O.C. TO DECK ABOVE • 2 LAYER 5/8" TYPE "X" GYP. BD. ONE SIDE TO DECK ABOVE • 1" SHAFT LINER ON SHAFT SIDE TO DECK ABOVE • 3" SOUND BATT INSUL. - FULL HEIGHT OF WALL • FIRE-RATED SEALANT AT FLOOR, DECK, & ALL PENETRATIONS • 2-HR RATED RE: UL DESIGN # U415 (WHERE REQ'D)

FIRE RESISTIVE LEGEND

FIRE WALLS
3FW 3FW 3FW 3FW 3 HOUR FIRE WALL
2FW 2FW 2FW 2FW 2 HOUR FIRE WALL

FIRE BARRIERS
2FB 2FB 2FB 2FB 2 HOUR FIRE BARRIER
1FB 1FB 1FB 1FB 1 HOUR FIRE BARRIER

SHAFT ENCLOSURES
2S 2S 2S 2S 2 HOUR SHAFT ENCLOSURE
1SE 1SE 1SE 1SE 1 HOUR SHAFT ENCLOSURE

FIRE PARTITIONS
1FP 1FP 1FP 1FP 1 HOUR FIRE PARTITION
0.5FP 0.5FP 0.5FP 0.5FP 0.5 HOUR FIRE PARTITION
0.5X 0.5X 0.5X 0.5X 0.5 HOUR CORRIDOR PARTITION

SMOKE BARRIER
SB SB SB SB 1 HOUR SMOKE BARRIER

BEARING WALLS
2BW 2BW 1BW 1BW 2 HOUR BEARING WALL
1BW 1BW 1BW 1BW 1 HOUR BEARING WALL

DESCRIPT.
NUMBER OF OCCUPANTS EXITING
EXIT WIDTH PROVIDED (IN.)
CALCULATED EXIT WIDTH REQ'D (IN.)
MIN. WIDTH OF MEANS OF EGRESS COMPONENT (IN.)
EXIT WIDTH PROVIDED (IN.)
FROM ROOM OR LEVEL
X" - CLEAR WIDTH OF OPENING IN INCHES
F.E.C. FIRE RISER CABINET
F.A.C.P. FIRE ALARM CONTROL PANEL
F.D.C. FIRE DEPARTMENT CONNECTION
K.B. KNOX BOX
AR AREA OF RESCUE ASSISTANCE
ACCESSIBLE EGRESS COMPONENT
EGRESS PATH
FE-1 INDICATES FIRE EXTINGUISHER CABINET(FEC) LOCATION WITH 75'-0" RADIUS COVERAGE AREA. SEE SPECIFICATIONS FOR FE TYPE.
FE-2K INDICATES KITCHEN BAR FIRE EXTINGUISHER (FE) LOCATION WITH 75'-0" RADIUS COVERAGE AREA. SEE SPECIFICATIONS FOR FE TYPE.
FE-3 INDICATES TEMPORARY WALL HUNG FIRE EXTINGUISHER (FE) LOCATION WITH 75'-0" RADIUS COVERAGE AREA. SEE SPECIFICATIONS FOR FE TYPE.
DOOR RATING LEGEND (REFER TO DOOR SCHEDULE)
20 MIN. DOOR
45 MIN. DOOR
90 MIN. DOOR

GENERAL DESCRIPTION

PROJECT NAME: MAIN STREET LANDLORD IMPROVEMENTS
PROJECT LOCATION: 230 SW MAIN ST., LEE'S SUMMIT, MO 64063
COUNTY: JACKSON

COLLINS WEBB ARCHITECTURE
307B SW MARKET STREET
LEES SUMMIT, MISSOURI 64063

APPLICABLE CODES:
INTERNATIONAL BUILDING CODE - 2018 ED.
INTERNATIONAL PLUMBING CODE - 2018 ED.
INTERNATIONAL MECHANICAL CODE - 2018 ED.
INTERNATIONAL FUEL GAS CODE - 2018 ED.
NATIONAL ELECTRICAL CODE - 2017 ED.
INTERNATIONAL FIRE CODE - 2015 ED.
ADA STANDARDS FOR ACCESSIBLE DESIGN - 2010 ED.
ICC/ANSI A117.1: ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES - 2009 ED.

CODE INFORMATION

	TABLE/SECTION/REFERENCE
BUILDING/PROJECT USE: CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION SEPARATED MIXED-USE APPROACH	SECTION 309 TABLE 601 SECTION 309
BASE ALLOWABLE AREA	TABLE 506.2 B: 9,000 SQ. FT. A-2: 6,000 SQ. FT.
FIRST LEVEL	B: 2,440 SQ. FT. A-2: 4,000 SQ. FT.
SECOND LEVEL	B: 5,720 SQ. FT.
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES	TABLE 504.4 2 STORIES - EXISTING 2 STORIES
ALLOWABLE HEIGHT ACTUAL HEIGHT IN FEET	TABLE 504.3 40'-0" - EXISTING 29'-10"
FIRE RESISTIVE REQUIREMENTS	TABLE/SECTION/REFERENCE
PRIMARY FRAME NON-BEARING WALLS BEARING WALLS INT./ EXT. FLOOR CONSTRUCTION (SEPARATING OCCUPANCIES) CEILING/ROOF CORRIDORS SEPARATION BETWEEN 1ST FLOOR "A-2" AND 2ND FLOOR "B"	TABLE 601 TABLE 601 TABLE 601 TABLE 601 TABLE 601 TABLE 1015.1 0 HRS 0 HRS 0 INT. / 2 EXT. HRS 0 HRS 0 HRS 0 HRS 2 HRS

FIRE EXTINGUISHERS

1. PROVIDE PORTABLE FIRE EXTINGUISHERS IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE WISCONSIN FIRE PREVENTION CODE. SEE PLANS FOR SUGGESTED LOCATIONS. NOTIFY ARCHITECT OF ANY PROPOSED RELOCATION OR IF A CONFLICT IS ENCOUNTERED.
2. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH NFPA 10, STANDARD FOR PORTABLE FIRE EXTINGUISHERS.

CEILING HEIGHT NOTES: (IBC 1208)

1. ALL MEANS OF EGRESS TO HAVE A MINIMUM CEILING HEIGHT OF 7'-6" A.F.F., NOR SHALL HAVE ANY PROJECTION FROM THE CEILING BE LESS THAN 6'-8" A.F.F.
2. OCCUPIED SPACES, HABITABLE SPACES AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-6" A.F.F.
3. BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0" A.F.F.

INTERIOR FINISHES

GROUP A	MAX. FLAME SPREAD	
EXIT ENCLOSURES	CLASS A (0-25)	803.13
LOBBIES & CORRIDORS	CLASS B (26-75)	803.13
ALL OTHER SPACES	CLASS C (76-200)	803.13
TEXTILES	CLASS A (0-25)	805
SMOKE DEVELOPED	0-450	TABLE/SECTION/REFERENCE

NOTE:
Decorative Materials and Trim (including plastics) must comply with IBC Section 906.

GENERAL EXITING REQUIREMENTS

EXIT TRAVEL DISTANCE	200 FEET
DEAD END CORRIDOR	20 FEET
COMMON PATH OF TRAVEL	75' FEET, OR 100' IF OCC. < 50
MIN. CORRIDOR WIDTH	44", OR 36" IF OCC. < 50

POSTING OF OCCUPANT LOAD

EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT.

EXIT REQUIREMENTS

A. REQUIRED CAPACITY	TABLE/SECTION/REFERENCE
1. STAIRS - 0.3" / PERSON	1005.1
2. OTHER COMPONENTS - 0.2" / PERSON	1005.1
B. MINIMUM NUMBER	
1. OCCUPANT LOAD OF 1-500 PERSONS - 2 EXITS PER STORY	1006.3.1
2. OCCUPANT LOAD OF 501-1000 PERSONS - 3 EXITS PER STORY	
3. OCCUPANT LOAD OF MORE THAN 1000 PERSONS - 4 EXITS PER STORY	

SIGNAGE

1. PROVIDE SIGNAGE "IN FIRE EMERGENCY DO NOT USE ELEVATOR, USE EXIT STAIRS" IN ACCORDANCE WITH IBC (3002.3)

OCCUPANT LOAD PER LEVEL

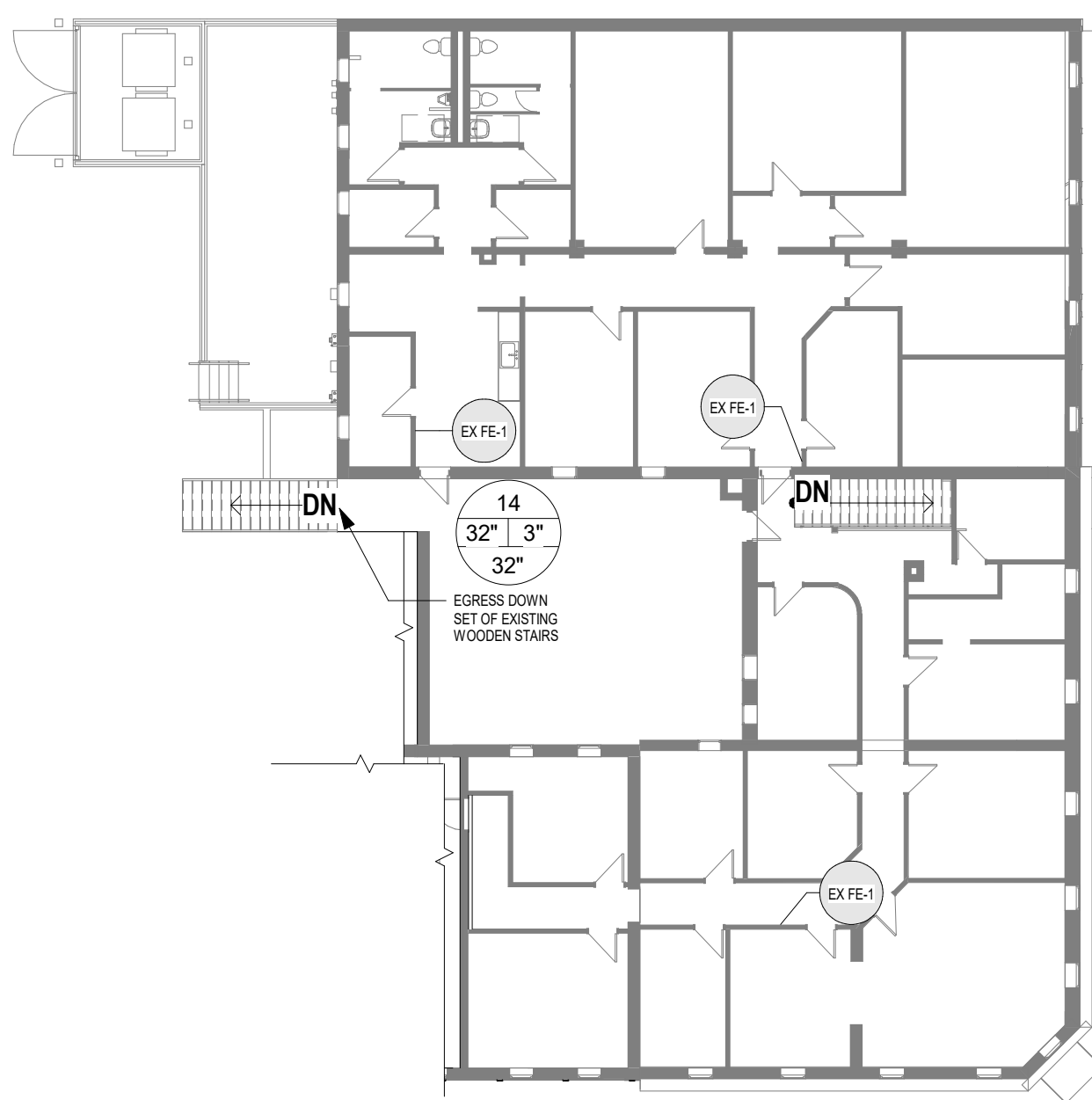
OCCUPANT LOAD : FIRST LEVEL	TABLE/SECTION/REFERENCE
B: OFFICE SQUARE FOOTAGE (2205 SF) A-2: FUTURE RESTAURANT	16 OCC FUTURE T.I. 15 OCCUANTS 150 SF/OCC
EXITS REQUIRED THIS LEVEL: B EXITS REQUIRED THIS LEVEL: A-2 EXITS PROVIDED THIS LEVEL: B EXITS PROVIDED THIS LEVEL: A-2	2 EXITS FUTURE T.I. 2 EXITS 1 EXIT - EXISTING
OCCUPANT LOAD : SECOND LEVEL	
B: OFFICE SQUARE FOOTAGE (4032 SF)	27 OCCUPANTS 150 SF/OCC
EXITS PROVIDED THIS LEVEL:	2 EXIT - EXISTING

TOTAL OCCUPANT LOAD

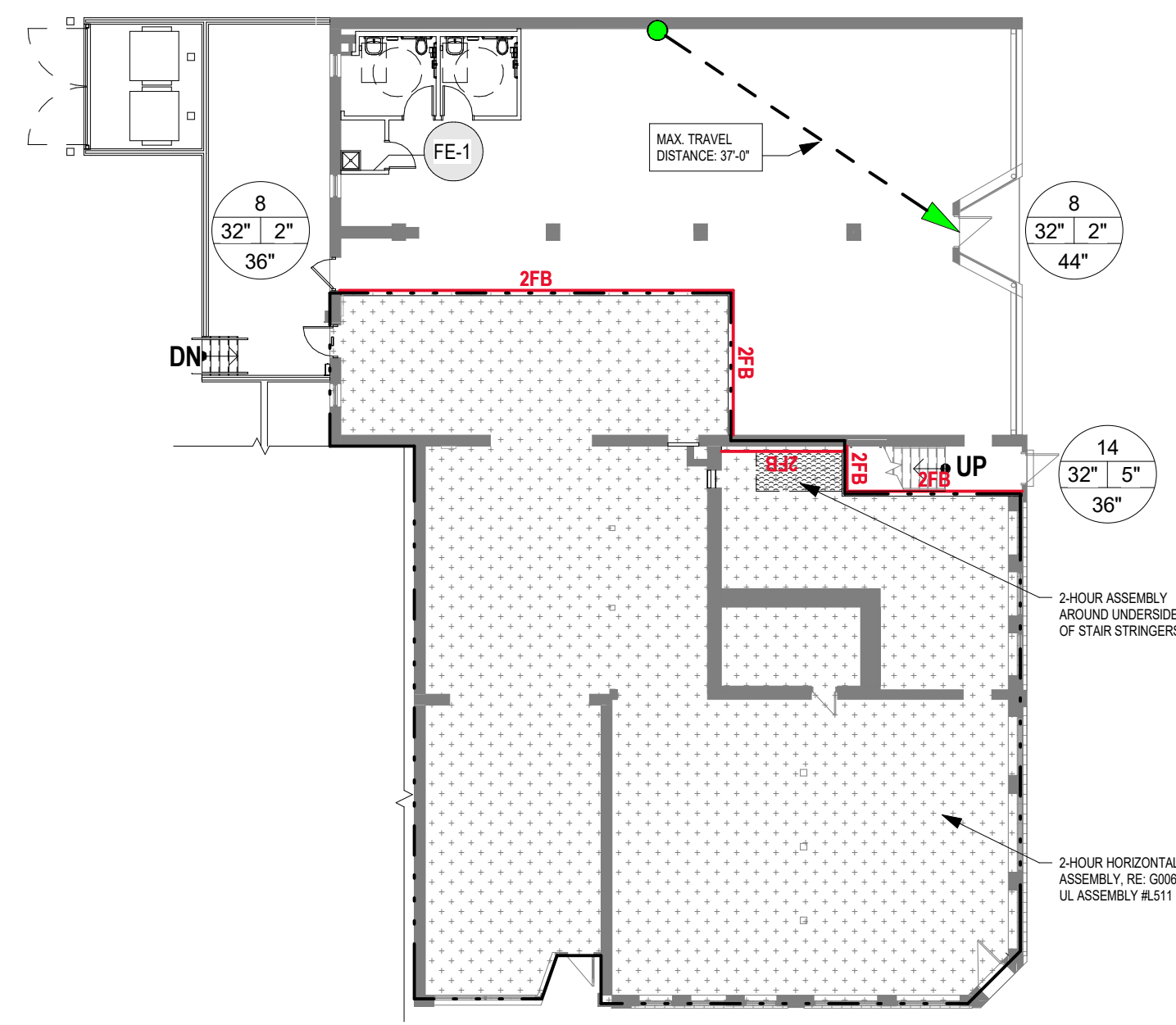
TOTAL OCCUPANT LOAD FOR BUILDING (BUSINESS ONLY): 42 OCCUPANTS

PLUMBING FIXTURE REQUIREMENTS

B OCC WATER CLOSETS		= 1/25 PER FIRST 50, 1/50 FOR 50+ BOTH MALE/ FEMALE			
B OCC LAVATORIES		= 1/40 FOR FIRST 80, 1/80 FOR 80+ BOTH MALE/ FEMALE			
B OCC DRINKING FOUNTAIN		= 1/100			
B OCC SERVICE SINK		= 1			
REQUIRED:					
LEVEL	OCCUPANCY	WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	SERVICE SINK
1ST FLOOR	BUSINESS	M 8/25 = 32 F 8/25 = 32	M 8/40 = 2 F 8/40 = 2	15/100 = 15	1 REQ
	ASSEMBLY (A-2)	FUTURE	FUTURE	FUTURE	FUTURE
	TOTAL:	1	1	1	1
2ND FLOOR	BUSINESS	M 14/25 = 56 F 14/25 = 56	M 14/40 = 35 F 14/40 = 35	27/100 = 27	1 REQ
	TOTAL:	2	1	1	1
PROVIDED:					
LEVEL		WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	SERVICE SINKS
1ST FLOOR		2	2	BOTTLED WATER PROVIDED	1
2ND FLOOR		4	2	BOTTLED WATER PROVIDED	



A5 2ND FLOOR PLAN - LIFE SAFETY
1/16" = 1'-0"



A3 1ST FLOOR PLAN - LIFE SAFETY
1/16" = 1'-0"



MAIN STREET BUILDING IMPROVEMENTS

230 SW MAIN ST.
LEE'S SUMMIT, MO 64063

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REVISION DATES:



PROFESSIONAL SEAL

G003
ISSUE DATE: 21 APRIL, 2022
COLLINS WEBB #: 21121

CODE INFORMATION AND LIFE
SAFETY PLANS

SPECIFICATIONS - PRODUCT & INSTALLATION GENERAL REQUIREMENTS

07 5423 - EPDM MEMBRANE ROOFING & ACCESSORIES

- A. SUBMITTALS: PRODUCT DATA AND SHOP DRAWINGS. INDICATE JOINT OR TERMINATION DETAIL CONDITIONS, CONDITIONS OF INTERFACE WITH OTHER MATERIALS, AND PAVEMENT OR WALKWAY PAD LAYOUT.
1. MANUFACTURER'S FIELD REPORTS: INDICATE PROCEDURES FOLLOWED, AMBIENT TEMPERATURES, HUMIDITY, WIND VELOCITY DURING APPLICATION, AND SUPPLEMENTARY INSTRUCTIONS GIVEN SUBMIT FINAL MANUFACTURER'S PUNCH LIST FIELD REPORT WHEN COMPLETE SYSTEM IS INSTALLED.
2. MANUFACTURER'S INSTALLATION INSTRUCTIONS: INDICATE MEMBRANE SEAMING PRECAUTIONS AND PERMITTER CONDITIONS REQUIRING SPECIAL ATTENTION.

B. WARRANTY:

1. MATERIAL WARRANTY: PROVIDE MEMBRANE MANUFACTURER'S WARRANTY AGREEING TO REPLACE MATERIAL THAT SHOWS MANUFACTURE DEFECTS WITHIN 10 YEARS AFTER INSTALLATION.
2. SYSTEM WARRANTY: PROVIDE MANUFACTURER'S SYSTEM WARRANTY AGREEING TO REPAIR OR REPLACE ROOFING THAT LEAKS OR IS DAMAGED DUE TO WIND OR OTHER NATURAL CAUSES. WARRANTY TERM: 20 YEARS.
- A. FOR REPAIR AND REPLACEMENT INCLUDING COSTS OF BOTH MATERIAL AND LABOR IN WARRANTY.
- B. INCLUDE ADJACENT PUNCTURES ACCORDING TO THE MANUFACTURER'S STANDARD WARRANTY TERMS.
- C. INCLUDE HAIL DAMAGE ACCORDING TO THE MANUFACTURER'S STANDARD WARRANTY TERMS.
- D. EXCEPTIONS NOT PERMITTED: DAMAGE DUE TO ROOF TRAFFIC, DAMAGE DUE TO WIND OF SPEED GREATER THAN 56 MPH BUT LESS THAN 90 MPH.

- C. BASIS OF DESIGN: FIRESTONE RUBBERGARD® EPDM MEMBRANE - WWW.FIRESTONEPCO.COM
1. WIND UPLIFT DESIGNED TO WITHSTAND WIND UPLIFT FORCES CALCULATED WITH ASCE 7.
2. INSULATION THERMAL RESISTANCE (R-VALUE): 3 PER INCH, MINIMUM, PROVIDE INSULATION OF THICKNESS REQUIRED, MINIMUM R-20.

D. ROOFING MEMBRANE MATERIALS:

1. MATERIAL: RUBBERGARD EPDM
- A. B. THICKNESS: 60 MILS (0.060 INCH), MINIMUM.
- B. C. SHEET WIDTH: FACTORY FABRICATED INTO LARGEST SIZES POSSIBLE.
- C. D. PRODUCT: FULLY ADHERED.
2. SEAMING MATERIALS: AS RECOMMENDED BY MEMBRANE MANUFACTURER.
3. VAPOR RETARDER: MATERIAL APPROVED BY ROOF MANUFACTURER COMPLYING WITH REQUIREMENTS OF FIRE RATING CLASSIFICATION COMPATIBLE WITH ROOFING AND INSULATION MATERIALS. INSTALL WITH FIRE-RETARDANT ADHESIVE.
4. FLEXIBLE FLASHING MATERIAL: SAME MATERIAL AS MEMBRANE.
5. BASE FLASHING: PROVIDE WATERPROOF, FULLY ADHERED BASE FLASHING SYSTEM AT ALL PENETRATIONS, PLANE TRANSITIONS, AND TERMINATIONS.

E. DECK SHEATHING AND COVER BOARDS:

- IF SHEATHING OR COVER BOARD IS REFERENCED IN THE DRAWINGS, PROVIDE PRODUCTS COMPLYING WITH BELOW REQUIREMENTS.
1. DECK SHEATHING: 1/2" PSJM SHEATHING, ASTM C1395C1399M, TYPE I SPECIAL FIRE RESISTANT TYPE.
2. COVERBOARD: CEMENT ROOF BOARD, COMPLYING WITH ASTM C1325.

F. INSULATION:

1. INSULATION COMPLYING WITH MANUFACTURER'S RECOMMENDATIONS.
2. CELLULOSE FIBER BOARD INSULATION: ASTM C208, TYPE II, NATURAL FINISH.
3. EXPANDED POLYSTYRENE (EPS) BOARD INSULATION: COMPLES WITH ASTM C578 WITH DRAINAGE CHANNELS ON ONE FACE.
4. TAPERED BOARD: POLYSTE IS INDICATED: MINIMUM THICKNESS 1/2 INCH; FABRICATE OF FEWEST LAYERS POSSIBLE.
5. EXTRUDED POLYSTYRENE (XPS) BOARD INSULATION: COMPLES WITH ASTM C578 WITH NATURAL SKIN SURFACE, DRAINAGE CHANNELS ON ONE FACE.

G. ACCESSORIES:

1. PROVIDE AND INSTALL ONLY ACCESSORIES WHICH COMPLY WITH MANUFACTURER'S RECOMMENDATIONS.
2. PROVIDE FIRESTONE PREFINISHED FLASHINGS AND CORNERS FOR ITEMS NOTED IN DRAWING DETAILS.

H. INSTALLATION:

1. VERIFY THAT SURFACES AND SITE CONDITIONS ARE READY TO RECEIVE WORK.
2. INCHES DECK IS SUPPORTED AND SECURE.
3. VERIFY DECK IS CLEAN AND SMOOTH. FLAT, FREE OF DEBRIS, WAVES, OR PROJECTIONS, PROPERLY SLOPED AND SUITABLE FOR INSTALLATION OF ROOF SYSTEM.
4. VERIFY DECK SURFACES ARE DRY AND FREE OF RAIN, SNOW OR ICE.
5. VERIFY THAT ROOF OPENINGS, CURBS, AND PENETRATIONS THROUGH ROOF ARE SOLIDLY SET, AND CANT STRIPS ARE IN PLACE.
6. CLEAN SUBSTRATE THOROUGHLY PRIOR TO ROOF APPLICATION.
7. DO NOT BEGIN WORK UNTIL OTHER WORK THAT REQUIRES FOOT OR EQUIPMENT TRAFFIC ON ROOF IS COMPLETE.
8. APPLY MANUFACTURER'S RECOMMENDED VAPOR RETARDER OR TEMPORARY ROOF BEFORE ROOF INSTALLATION.
9. PERFORM WORK IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND NRCA (RM) APPLICABLE REQUIREMENTS.
10. REMOVE WRAPPINGS, EMPTY CONTAINERS, PAPER, AND OTHER DEBRIS FROM THE ROOF DAILY. DISPOSE OF DEBRIS IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
11. REMOVE ITUMINOUS MARKINGS FROM FINISHED SURFACES.
12. IN AREAS WHERE FINISHED SURFACES ARE SOLED BY WORK OF THIS SECTION, CONSULT MANUFACTURER OF SURFACES FOR CLEANING ADVICE AND CONFORM TO THEIR DOCUMENTED INSTRUCTIONS.
13. REPAIR OR REPLACE DEFACED OR DAMAGED FINISHES CAUSED BY WORK OF THIS SECTION.

I. PROTECTION:

1. PROTECT INSTALLED ROOFING AND FLASHINGS FROM CONSTRUCTION OPERATIONS.
2. WHERE TRAFFIC MUST CONTINUE OVER FINISHED ROOF MEMBRANE, PROTECT SURFACES USING DURABLE MATERIALS.

07 6200 - SHEET METAL FLASHING AND TRIM

- A. STANDARDS:
- FABRICATED SHEET METAL ITEMS, INCLUDING FLASHINGS, COUNTERFLASHINGS, AND OTHER ITEMS INDICATED IN SCHEDULE.
- ASTM A811 - VOLUNTARY SPECIFICATION FOR ANODIZED ARCHITECTURAL ALUMINUM 2014 (2015 ERRATA).
- ASTM C602 - STANDARD SPECIFICATION FOR ELASTOMERIC JOINT SEALANTS 2016.
- CDA A4050 - COPPER IN ARCHITECTURE - HANDBOOK CURRENT EDITION.
- SMACNA (ASMA) - ARCHITECTURAL SHEET METAL MANUAL 2012.

B. SUBMITTALS:

1. SHOP DRAWINGS: INDICATE MATERIAL PROFILE, JOINTING PATTERN, JOINTING DETAILS, FASTENING METHODS, FLASHINGS, TERMINATIONS, AND INSTALLATION DETAILS.
- C. QUALITY ASSURANCE:
1. PERFORM WORK IN ACCORDANCE WITH SMACNA (ASMA) AND CDA A4050 REQUIREMENTS AND STANDARD DETAILS, EXCEPT AS OTHERWISE INDICATED.

D. DELIVERY, STORAGE, AND HANDLING:

1. STACK MATERIAL TO PREVENT TWISTING, BENDING, AND ABRASION, AND TO PREVENT VENTILATION. SLOPE METAL SHEETS TO ENSURE DRAINAGE.
2. PREVENT CONTACT WITH MATERIALS THAT COULD CAUSE DISCOLORATION OR STAINING.

E. PRODUCTS:

- PREFINISHED ALUMINUM: ASTM B209 (ASTM B209M), 20 GAUGE, (0.032 INCH) THICK, PLAIN FINISH SHOP PRE-COATED WITH MODIFIED SILICONE COATINGS.
1. FLUOROPOLYMER COATING: HIGH PERFORMANCE ORGANIC FINISH: AAMA 2604; MULTIPLE COAT, THERMALLY CURED FLUOROPOLYMER FINISH SYSTEM.
2. COLOR: AS SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD COLORS.

F. FABRICATION:

1. FORM SECTIONS TRUE TO SHAPE, ACCURATE IN SIZE, SQUARE, AND FREE FROM DISTORTION OR DEFECTS.
2. FORM PIECES IN LONGEST POSSIBLE LENGTHS.
3. HEN EXPOSED EDGES ON UNDERSIDE: 10 INCH MATERIAL AND SEAM CORNERS.
4. FORM MATERIAL WITH FLAT LOCK SEAMS, EXCEPT WHERE OTHERWISE INDICATED; AT MOVING JOINTS, USE SEALED LAPPED, BAYONET-TYPE OR INTERLOCKING HOOKED SEAMS.
5. FABRICATE FLASHINGS TO ALLOW TCE TO EXTEND 2 INCHES OVER ROOFING GRAVEL, RETURN AND BRAKE EDGES.

G. ACCESSORIES:

1. FASTENERS: GALVANIZED STEEL, WITH SOFT NEOPRENE WASHERS.
2. PRIMER: ZINC CHROMATE TYPE.
3. CONCEALED SEALANTS: NON-CURING BUTYL SEALANT.
4. EXPOSED SEALANTS: ASTM C602; ELASTOMERIC SEALANT, WITH MINIMUM MOVEMENT CAPABILITY AS RECOMMENDED BY MANUFACTURER FOR SUBSTRATES TO BE SEALED; COLOR TO MATCH ADJACENT MATERIAL.

H. INSTALLATION:

1. SECURE FLASHINGS IN PLACE USING CONCEALED FASTENERS, AND USE EXPOSED FASTENERS ONLY WHERE PERMITTED.
2. APPLY PLASTIC CEMENT COMPOUND BETWEEN METAL FLASHINGS AND FELT FLASHINGS.
3. FIT FLASHINGS TIGHT IN PLACE MAKE CORNERS SQUARE, FLASHINGS TRUE AND STRAIGHT IN PLANES, AND LINES ACCURATE TO PROFILES.
4. SEAL METAL JOINTS WATERTIGHT.

07 8100 - APPLIED FIREPROOFING

- A. SUBMITTALS: PRODUCT DATA, PROVIDE DATA INDICATING PRODUCT CHARACTERISTICS.
1. TEST REPORTS: REPORTS FROM REPUTABLE, INDEPENDENT TESTING AGENCIES FOR PROPOSED PRODUCTS, INDICATING COMPLIANCE WITH SPECIFIED CRITERIA, CONDUCTED UNDER CONDITIONS SIMILAR TO THOSE ON PROJECT, AS FOLLOWS:
- A. BOND STRENGTH.
- B. BOND IMPACT.
- C. COMPRESSIVE STRENGTH.
- D. FIRE TESTS USING SUBSTRATE MATERIALS SIMILAR THOSE ON PROJECT.
2. MANUFACTURER'S INSTALLATION INSTRUCTIONS: INDICATE SPECIAL PROCEDURES.
3. MANUFACTURER'S QUALIFICATION STATEMENT.

I. FIELD CONDITIONS:

1. DO NOT APPLY FIREPROOFING WHEN TEMPERATURE OF SUBSTRATE MATERIAL AND SURROUNDING AIR IS BELOW -40 DEGREES F OR WHEN TEMPERATURE IS PREDICTED TO BE BELOW 34 TEMPERATURE FOR 24 HOURS AFTER APPLICATION.
2. PROVIDE VENTILATION IN AREAS TO RECEIVE FIREPROOFING DURING APPLICATION AND 24 HOURS AFTERWARD, TO DRY APPLIED MATERIAL.
3. PROVIDE TEMPORARY ENCLOSURE TO PREVENT SPRAY FROM CONTAMINATING AIR.

K. WARRANTY:

1. CORRECT DEFECTIVE WORK WITHIN A TWO YEAR PERIOD AFTER DATE OF SUBSTANTIAL COMPLETION.
- A. INCLUDE COVERAGE FOR FIREPROOFING TO REMAIN FREE FROM CRACKING, CHECKING, DUSTING, FLAKING, SPALLING, SEPARATION, AND BULSTERING.
- B. REINSTATE OR REPAIR FAILURES THAT OCCUR WITHIN WARRANTY PERIOD.

L. MANUFACTURERS:

1. GCP APPLIED TECHNOLOGIES: WWW.GCPAT.COM/FIREPROOFING
2. ISOLATEK INTERNATIONAL CORP.: WWW.ISOLATEK.COM
3. SOUTHWEST FIREPROOFING PRODUCTS COMPANY: WWW.SW.FP

M. MATERIALS:

1. PROVIDE ASSEMBLIES AS INDICATED ON DRAWING.
2. PROVIDE FIRE RESISTANCE RATINGS FOR FULL CODE.
- A. PRIMARY STRUCTURAL FRAME, INCL. WALLS, PARTIAL WALLS, AND TRUSSES: [1 HOUR]
- B. BEARING WALLS, INTERIOR: [1 HOUR]
- C. SHEET CONSTRUCTION, INCL. WALLS AND JOISTS: [1 HOUR]
- D. ROOF CONSTRUCTION, INCL. WALLS AND JOISTS: [1 HOUR]

F. MATERIALS: APPLIED FIREPROOFING:

- FOR INTERIOR APPLICATIONS, CONCEALED, MANUFACTURER'S STANDARD FACTORY MIXED MAT, WHICH WHEN COMBINED WITH WATER IS CAPABLE OF PROVIDING INSULATION FIRE RESISTANCE AND MEETING ALL APPLICABLE REQUIREMENTS.
1. COMPOSITION: GYPSUM-BASED, NOT MINERAL-FIBER-BASED.
2. BOND STRENGTH: 150 POUNDS PER FIRE SQUARE FOOT, MINIMUM, WHEN TESTED IN ACCORDANCE WITH ASTM E709/20M WHEN SET AND DRY.
3. DRY DENSITY: AS REQUIRED BY FIRE RESISTANCE DESIGN.
4. COMPRESSIVE STRENGTH: 8.3 POUNDS PER SQUARE INCH, MINIMUM.
5. EFFECT OF IMPACT ON FINISHED SURFACES: NO CRACKING, SPALLING OR DELAMINATION, WHEN TESTED IN ACCORDANCE WITH ASTM E760/26M.
6. CORROSION: NO EVIDENCE OF CORROSION, WHEN TESTED IN ACCORDANCE WITH ASTM E837/2637M.
7. SURFACE BURNING CHARACTERISTICS: MAXIMUM FLAME SPREAD INDEX OF 0 (ZERO) AND MAXIMUM SMOKE DEVELOPED INDEX OF 0 (ZERO), WHEN TESTED IN ACCORDANCE WITH ASTM E84.

G. ACCESSORIES:

1. PRIMER ADHESIVE: OF TYPE RECOMMENDED BY APPLIED FIREPROOFING MANUFACTURER.
2. OVERCOAT: AS RECOMMENDED BY MANUFACTURER OF APPLIED FIREPROOFING MATERIAL.
3. METAL LATH: EXPANDED METAL LATH, MINIMUM WEIGHT OF 1.7 PSF, GALVANIZED FINISH.
4. WATER: CLEAN, POTABLE.

H. INSTALLATION:

1. VERIFY THAT SURFACES ARE READY TO RECEIVE FIREPROOFING.
2. INCHES DECK IS SUPPORTED AND SECURE.
3. VERIFY THAT DUCTS, PIPING, EQUIPMENT, OR OTHER ITEMS THAT WOULD INTERFERE WITH APPLICATION OF FIREPROOFING HAVE NOT BEEN INSTALLED.
4. VERIFY THAT VOIDS AND CRACKS IN SUBSTRATE HAVE BEEN FILLED.
5. VERIFY THAT PROJECTIONS HAVE BEEN REMOVED WHERE FIREPROOFING WILL BE EXPOSED TO VIEW AS A FINISH MATERIAL.
6. PERFORM TESTS AS RECOMMENDED BY FIREPROOFING MANUFACTURER IN APPLICATIONS WHERE ADHESION OF FIREPROOFING TO SUBSTRATE IS IN QUESTION.
7. REMOVE INCOMPATIBLE MATERIALS THAT COULD EFFECT BOND BY SCRAPING, BRUSHING, SCRUBBING, OR SANDBLASTING.
8. PREPARE SUBSTRATES TO RECEIVE FIREPROOFING IN STRICT ACCORDANCE WITH INSTRUCTIONS OF FIREPROOFING MANUFACTURER.
9. APPLY FIREPROOFING MANUFACTURER'S RECOMMENDED BONDING AGENT ON PRIMED STEEL.
10. INSTALL METAL LATH OVER STRUCTURAL MEMBERS AS INDICATED OR AS REQUIRED BY UL ASSEMBLY DESIGN NUMBERS.
11. APPLY FIREPROOFING IN UNIFORM THICKNESS AND DENSITY AS NECESSARY TO ACHIEVE REQUIRED RATINGS.
12. INSPECT INSTALLED FIREPROOFING AFTER APPLICATION AND CURING FOR INTEGRITY, PRIOR TO ITS CONCEALMENT.
13. ENSURE THAT ACTUAL THICKNESSES, DENSITIES, AND BOND STRENGTHS MEET REQUIREMENTS FOR SPECIFIED RATINGS AND REQUIREMENTS OF AUTOMATICALLY RATED AND LISTED ASSEMBLIES.
14. REMOVE EXCESS MATERIAL, OVERSPRAY, DROPPINGS, AND DEBRIS.
15. REMOVE FIREPROOFING FROM MATERIALS AND SURFACES NOT REQUIRED TO BE FIREPROOFED.

07 8400 - FIRESTOPPING

- A. SUBMITTALS: PRODUCT DATA: PROVIDE DATA ON PRODUCT CHARACTERISTICS, PERFORMANCE RATINGS, AND LIMITATIONS.

B. MANUFACTURERS:

1. 3M FIRE PROTECTION PRODUCTS: WWW.3M.COM/FIRESTOP.COM
2. HILTl, INC.: WWW.US.HILTl.COM

C. MATERIALS:

1. FIRESTOPPING MATERIALS: ANY MATERIALS MEETING REQUIREMENTS.
2. PRIMERS, SLEEVES, FORMS, INSULATION, PACKING, STUFFING, AND ACCESSORIES: PROVIDE TYPE OF MATERIALS AS REQUIRED FOR TESTED FIRESTOPPING ASSEMBLY.
3. FIRE RATINGS: REFER TO DRAWINGS FOR REQUIRED SYSTEMS AND RATINGS.

D. ASSEMBLY REQUIREMENTS:

1. HEAD-OF-WALL, JOINT SYSTEM FIRESTOPPING AT JOINTS BETWEEN FIRE-RATED WALL ASSEMBLIES AND NON-RATED HORIZONTAL ASSEMBLIES: USE SYSTEM THAT HAS BEEN TESTED ACCORDING TO ASTM E837 TO HAVE FIRE RESISTANCE F RATING EQUAL TO REQUIRED FIRE RATING OF FLOOR OR WALL, WHICHEVER IS GREATER.
2. FLOOR-TO-FLOOR, WALL-TO-WALL, AND WALL-TO-FLOOR JOINTS, EXCEPT PERIMETER, WHERE BOTH ARE FIRE-RATED: USE SYSTEM THAT HAS BEEN TESTED ACCORDING TO ASTM E1966 OR UL 2079 TO HAVE FIRE RESISTANCE.
- F RATING EQUAL TO REQUIRED FIRE RATING OF THE ASSEMBLY IN WHICH THE JOINT OCCURS.
3. THROUGH PENETRATION FIRESTOPPING: USE SYSTEM THAT HAS BEEN TESTED ACCORDING TO ASTM E814 TO HAVE FIRE RESISTANCE F-RATING EQUAL TO REQUIRED FIRE RATING OF PENETRATED ASSEMBLY.

E. INSTALLATION:

1. INSTALLATIONS SHALL CONFORM TO UL REQUIREMENTS OF THE ASSEMBLY WHICH FIRESTOPPING IS TO BECOME PART OF THE BUILT ASSEMBLY.

07 9200 - JOINT SEALANTS

- A. SUBMITTALS: PRODUCT DATA, AND SCHEDULE OF LOCATIONS FOR EACH TYPE OF JOINT SEALANT SUBMITTED.

- B. JOINT SEALANT SCHEDULE: INCLUDE THE FOLLOWING INFORMATION:
1. JOINT SEALANT APPLICATION, JOINT LOCATION, AND DESIGNATION.
2. JOINT SEALANT MANUFACTURER AND PRODUCT NAME.
3. JOINT SEALANT FORMULATION.
4. JOINT SEALANT COLOR.

- C. ENVIRONMENTAL LIMITATIONS: DO NOT PROCEED WITH INSTALLATION OF JOINT SEALANTS WHEN AMBIENT AND SUBSTRATE TEMPERATURE CONDITIONS ARE OUTSIDE LIMITS PERMITTED BY JOINT SEALANT MANUFACTURER OR ARE BELOW 40 deg F (4 deg C).

- D. COMPATIBILITY: PROVIDE JOINT SEALANTS, JOINT FILLERS, AND OTHER RELATED MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH JOINT SUBSTRATES UNDER SERVICE AND APPLICATION CONDITIONS.

E. JOINT SEALANTS:

1. COLORS OF EXPOSED JOINT SEALANTS: AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE.
2. INTERIOR JOINTS IN CERAMIC TILE AND OTHER HARD SURFACES IN KITCHENS, TOILET ROOMS, AND AROUND PLUMBING FIXTURES: SINGLE COMPONENT, MILDEW-RESISTANT SILICONE SEALANT, ASTM C 620, TYPE S; GRADE NS, CLASS 25; USES AT, A, AND C, FORMULATED WITH FUNGICIDE.
3. INTERIOR JOINTS AROUND PERIMETERS OF DOORS AND FRAMES: LATEX SEALANT, SINGLE COMPONENT, NONSAL, MILDEW-RESISTANT, PAINTABLE, ACRYLIC EMULSION SEALANT COMPLYING WITH ASTM C 834.
4. ACUSTICAL SEALANT FOR EXPOSED INTERIOR JOINTS: NONSAG, PAINTABLE, NONSTAINING, LATEX SEALANT COMPLYING WITH ASTM C 834.
5. ACUSTICAL SEALANT FOR CONCEALED JOINTS: NONDRYING, NONHARDENING, NONSKINNING, NONSTAINING, QUINNABLE, SYNTHETIC RUBBER SEALANT RECOMMENDED FOR SEALING INTERIOR CONCEALED JOINTS TO REDUCE TRANSMISSION OF AERIOBIC SOUND.
6. EXTERIOR CONCRETE PANELS, NATURAL STONES, MASONRY, ALUMINUM CURTAIN WALLS, METAL PANELS AND WINDOW PERIMETERS.
- BASIS OF DESIGN PRODUCTS:
- A. TREMCO INCORPORATED: SPECTREM 1.
- B. DOW CORNING CORPORATION: 790.
- C. PECORA CORPORATION: BRONST.
7. EXTERIOR JOINTS IN HORIZONTAL TRAFFIC SURFACES.
- ISOLATION AND CONTRACTION JOINTS IN CAST-IN-PLACE CONCRETE SLABS.
- URETHANE JOINT SEALANT: MULTICOMPONENT, NONSAG, GRADE 25, CLASS 25.

F. JOINT SEALANT BACKING:

1. GENERAL: PROVIDE SEALANT BACKINGS OF MATERIAL THAT ARE NONSTAINING, ARE COMPATIBLE WITH JOINT SUBSTRATES, SEALANTS, PRIMERS, AND OTHER JOINT FILLERS, AND ARE APPROVED FOR APPLICATIONS INDICATED BY SEALANT MANUFACTURER BASED ON FIELD EXPERIENCE AND LABORATORY TESTING.
2. CYLINDRICAL SEALANT BACKINGS: ASTM C 1330, TYPE C (CLOSED-CELL MATERIAL WITH A SURFACE SKIN), AND OF SIZE AND DENSITY TO CONTROL SEALANT DEPTH AND OTHERWISE CONTRIBUTE TO PRODUCING OPTIMUM SEALANT PERFORMANCE.
3. BOND-BREAKER TAPE: POLYETHYLENE TAPE OR OTHER PLASTIC TAPE RECOMMENDED BY SEALANT MANUFACTURER FOR PREVENTING SEALANT FROM ADHERING TO RIGID, INFLEXIBLE JOINT-FILLER MATERIALS OR JOINT SURFACES AT BACK OF JOINT. PROVIDE SELF-ADHESIVE TAPE WHERE APPLICABLE.

F. MISCELLANEOUS MATERIALS:

1. PRIMER: MATERIAL RECOMMENDED BY JOINT SEALANT MANUFACTURER WHERE REQUIRED FOR ADHESION OF SEALANT TO JOINT SUBSTRATES INDICATED, AS DETERMINED FROM PRECONSTRUCTION JOINT SEALANT-SUBSTRATE TESTS AND FIELD TESTS.
2. CLEANERS FOR NONPOROUS SURFACES: CHEMICAL CLEANERS ACCEPTABLE TO MANUFACTURERS OF SEALANTS AND SEALANT BACKING MATERIALS, FREE OF OILY RESIDUES OR OTHER SUBSTANCES CAPABLE OF STAINING OR HARMING JOINT SUBSTRATES AND ADJACENT NONPOROUS SURFACES IN ANY WAY, AND FORMULATED TO PROMOTE OPTIMUM ADHESION OF SEALANTS TO JOINT SUBSTRATES.
3. BOND-BREAKER TAPE: POLYETHYLENE TAPE OR OTHER PLASTIC TAPE RECOMMENDED BY SEALANT MFR. FOR PREVENTING SEALANT FROM ADHERING TO RIGID, INFLEXIBLE JOINT-FILLER MATERIALS OR JOINT SURFACES AT BACK OF JOINT.
4. MASKING TAPE: NONSTAINING, NONABSORBENT MATERIAL COMPATIBLE WITH JOINT SEALANTS AND SURFACES ADJACENT TO JOINTS.
6. INSTALLATION: COMPLY WITH ASTM C 1193; ASTM C 919 FOR ACUSTICAL JOINTS; AND AS FOLLOWS:
1. REMOVE ALL LOOSE MATERIAL, CLEAN AND PRIME JOINTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, AND PROTECT ADJACENT SURFACES.
2. INSTALL BOND-BREAKER TAPE WHERE JOINT BACKINGS ARE NOT USED.
3. INSTALL SEALANT TOOLED CONCAVE, FREE OF AIR POCKETS, FOREIGN EMBEDDED MATTER, RIDGES, AND SAGS, AND PROTECT UNTIL FULLY CURED. SEALANT WITH DUST AND DEBRIS EMBEDDED IN SURFACE SHALL BE CAUSE FOR REJECTION.

DIVISION 8 - OPENINGS

08 0671 - DOOR HARDWARE

- A. SUBMITTALS: PRODUCT DATA AND HARDWARE SCHEDULE INDICATING HARDWARE ITEM, FINISH, AND QUANTITY LOCATED ON EACH DOOR WITH DOOR AND HARDWARE SET NUMBERING CORRESPONDING TO THOSE USED IN CONSTRUCTION DOCUMENTS. REFER TO ARCHITECTURAL PLANS AND HARDWARE SCHEDULES PROVIDED.
1. HARDWARE SUPPLIER SHALL SUBMIT FOUR COPIES OF FINAL HARDWARE SCHEDULE AT EARLIEST POSSIBLE DATE PARTICULARLY WHERE ACCEPTANCE OF HARDWARE SCHEDULE MUST PRECEDE FABRICATION OF OTHER WORK WHICH IS CRITICAL IN THE PROJECT CONSTRUCTION SCHEDULE. INCLUDE WITH SCHEDULE SHOP DRAWINGS OF OTHER WORK SUBMITTED BY BUILDERS HARDWARE, AND OTHER INFORMATION ESSENTIAL TO THE COORDINATE REVIEW OF HARDWARE SCHEDULE.
2. KEYING SCHEDULE: SUBMIT SEPARATE DETAILED SCHEDULE INDICATING CLEARLY HOW THE OWNER'S FINAL INSTRUCTIONS ON KEYING OF LOCKS HAS BEEN FULFILLED. ALL KEYING SHALL BE COORDINATED WITH THE OWNER.

- B. PRODUCTS: REFER TO HARDWARE SCHEDULE AND ARCHITECTURAL DRAWINGS.

1. STRIKES: PROVIDE MANUFACTURER'S STANDARD WROUGHT BOX STRIKE FOR EACH LATCH OR LOCK BOLT, WITH CURVED UP EXTENSION TO PROTECT FRAME. FINISH TO MATCH HARDWARE SET. PROVIDE STANDARD (OPEN) STRIKE PLATES FOR INTERIOR DOORS WHERE WOOD DOOR FRAMES ARE USED.
2. IN GENERAL, HARDWARE FINISH SHALL BE U151 (SATIN NICKEL) UNLESS SPECIFIED DIFFERENTLY ON HARDWARE SCHEDULE.
3. SUPPLY CAL ROAL HOFS3 FLEXIBLE DOOR STOPS IN THE APARTMENT DWELLING UNITS. USE 2 1/8"X-23 HINGE STOPS WHERE FLEXIBLE STOPS CANNOT BE USED.
4. SUPPLY CUT SWINGING EXTERIOR DOORS WITH NON REMOVABLE PINS.

C. INSTALLATION:

1. MOUNT HARDWARE UNITS AT HEIGHTS INDICATED IN 'RECOMMENDED LOCATIONS FOR BUILDERS HARDWARE FOR STANDARD STYLE DOORS AND FRAMES' BY THE DOOR AND HARDWARE INSTITUTE, EXCEPT AS SPECIFICALLY INDICATED OR REQUIRED TO COMPLY WITH GOVERNING REGULATIONS, AND EXCEPT AS MAY BE OTHERWISE DIRECTED BY ARCHITECT. MOUNT HARDWARE IN UNITS DESIGNATED FOR USE BY THE HANDICAPPED AT HEIGHTS RECOMMENDED FOR USE BY THE HANDICAPPED.
2. INSTALL EACH HARDWARE ITEM IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, WHEREVER CUTTING AND FITTING IS REQUIRED TO INSTALL HARDWARE ONTO OR INTO SURFACES WHICH ARE LATER TO BE PAINTED OR FINISHED IN ANOTHER WAY, COORDINATE REMOVAL, STORAGE AND REINSTALLATION OR APPLICATION OF SURFACE PROTECTIONS WITH FINISHING WORK SPECIFIED IN THE DIVISION 9 SECTIONS. DO NOT INSTALL SURFACE MOUNTED UNITS UNTIL FINISHES HAVE BEEN COMPLETED ON THE SUBSTRATE.
3. SET UNITS LEVEL, PLUMB AND TRUE TO LINE AND LOCATION. ADJUST AND REINFORCE THE ATTACHMENT SUBSTRATE AS NECESSARY FOR PROPER INSTALLATION AND OPERATION.
4. DRILL AND COUNTERBANK UNITS WHICH ARE NOT FACTORY PREPARED FOR ANCHORAGE FASTENERS. SPACE FASTENERS AND ANCHORS IN ACCORDANCE WITH INDUSTRY STANDARDS.
5. METAL THRESHOLDS SHALL BE SET IN A SOLID BED OF NON STAINING THICK COAT BASE CAULKING.
6. ADJUST AND CHECK EACH OPERATING ITEM OF HARDWARE AND EACH DOOR TO ENSURE PROPER OPERATION OR FUNCTION OF EVERY UNIT. REPLACE UNITS WHICH CANNOT BE ADJUSTED TO OPERATE FREELY AND SMOOTHLY AS INTENDED FOR THE APPLICATION MADE.
7. FINAL ADJUSTMENT, WHEREVER HARDWARE INSTALLATION IS MADE MORE THAN ONE MONTH PRIOR TO ACCEPTANCE OR OCCUPANCY OF A SPACE OR AREA, RETURN TO THE WORK DURING THE WEEK PRIOR TO ACCEPTANCE OR OCCUPANCY, AND MAKE FINAL CHECK AND ADJUSTMENT OF ALL HARDWARE ITEMS IN SUCH SPACE OR AREA. CLEAN OPERATING ITEMS AS NECESSARY TO RESTORE PROPER FUNCTION OF EACH ITEM.
- HARDWARE AND DOORS: ADJUST DOOR CONTROL DEVICES TO COMPENSATE FOR FINAL OPERATION OF HEATING AND VENTILATING EQUIPMENT.

HARDWARE SET: 1.0

FOR USE ON DOOR (S):

N-101, N-102

PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
3 EA	HINGE	5881 4.5 X 4.5	BRUSHED NICKEL	IVE
1 EA	PRIVACY WDR B AND	L3496R 60A L583-303	BRUSHED NICKEL	SCH
1 EA	SURFACE CLOSER	4040P REG	BRUSHED NICKEL	LCN
1 EA	KICK PLATE	8400 10" X 2" LDW B-CS	BRUSHED NICKEL	IVE
1 EA	WALL STOP	WS4640G7CVX	BRUSHED NICKEL	IVE
3 EA	SLENCER	S864	GRY	NE

HARDWARE SET: 2.0

FOR USE ON DOOR (S):

N-103

PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
3 EA	HINGE	5881 4.5 X 4.5	BRUSHED NICKEL	IVE
1 EA	STOREROOM LOCK	L908R 60A	BRUSHED NICKEL	SCH
1 EA	HO STOP	905	BRUSHED NICKEL	GLY
3 EA	SLENCER	S864	GRY	IVE

HARDWARE SET: 3.0

FOR USE ON DOOR (S):

S-100C

PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
3 EA	HINGE	5881HW 4.5 X 4.5 NRP	BRUSHED NICKEL	IVE
1 EA	STOREROOM LOCK	N08LD RHO	BRUSHED NICKEL	SCH
1 EA	FISC CORE	PERMANENT CORE	BRUSHED NICKEL	SCH
1 EA	KEYED CONST CORE	KEYED CONST CORE	BRUSHED NICKEL	SCH
1 EA	SURFACE CLOSER	4040P SHUSHS MC	BRUSHED NICKEL	LCN
1 EA	RAN DRIP	142	BRUSHED NICKEL	ZER
1 EA	GASKETING	328-S	BRUSHED NICKEL	ZER
1 EA	DOOR SWEEP	39	BRUSHED NICKEL	ZER
1 EA	THRESHOLD	555-223	BRUSHED NICKEL	ZER
1 EA	DOOR CONTACT	679-05HM OR WD AS REQD	BRUSHED NICKEL	SCB

08 1113 - HOLLOW METAL DOORS AND FRAMES

- A. SUBMITTALS: PRODUCT DATA AND SHOP DRAWINGS WITH DETAILS OF EACH OPENING, SHOWING ELEVATIONS, GLAZING, FRAME PROFILES, AND ANY INDICATED FINISH REQUIREMENTS.

B. HOLLOW METAL DOOR AND FRAME MANUFACTURERS:

1. CEOO DOOR, AN ASSA ABLOY GROUP COMPANY: WWW.ASSAABLOYDOSS.COM
2. DE LA FONTAINE INC.: WWW.DELAFONTAINE.COM
3. REPUBLIC DOORS, AN ALLEGION BRAND: WWW.REPUBLICDOOR.COM
4. STEELCRAFT, AN ALLEGION BRAND: WWW.ALLEGION.COM

C. SOUND-RATED HOLLOW METAL DOORS AND FRAMES:

1. OVERLY DOOR COMPANY: WWW.OVERLY.COM

D. DESIGN CRITERIA:

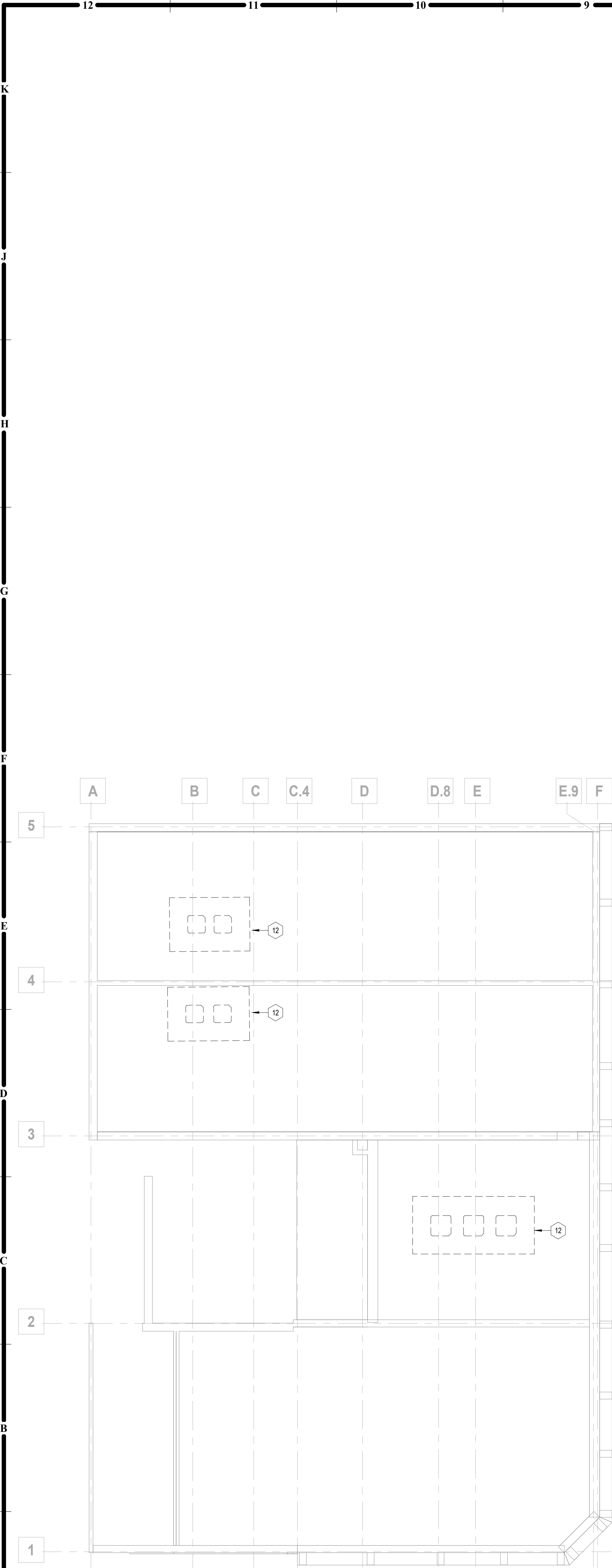
1. STEEL USED FOR FABRICATION OF DOORS AND FRAMES SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING RECOMMENDATIONS:
- A. STEEL SHALL BE COMPLETE WITH ALL HARDY, OPERATOR OR APPROVED EQUAL, OPERATOR.
- B. TWO HAND-HELD ROLLING CODE.
- C. WINDOW DESIGN: STOCKTON, GLASS-FULL.
2. TYPE DOOR FACE SHEETS: FLUSH.
3. GLAZED LIGHTS: NON-REMOVABLE STOPS ON NON-SECURE SIDE; SIZES AND CONFIGURATIONS AS INDICATED ON DRAWINGS. STYLE: MANUFACTURER'S STANDARD.
4. HOLLOW METAL PANELS: SAME CONSTRUCTION, PERFORMANCE, AND FINISH AS DOORS.
5. COMBINED REQUIREMENTS: IF A PARTICULAR DOOR AND FRAME UNIT IS INDICATED TO COMPLY WITH MORE THAN ONE TYPE OF REQUIREMENT, COMPLY WITH THE SPECIFIED REQUIREMENTS FOR EACH TYPE, FOR EACH DOOR THAT IS SO INDICATED AS BEING SOUND-RATED MUST COMPLY WITH THE REQUIREMENTS SPECIFIED FOR EXTERIOR DOORS AND FOR SOUND-RATED DOORS, WHERE TWO REQUIREMENTS COMPLY, COMPLY WITH THE MOST STRINGENT.

E. HOLLOW METAL DOOR:

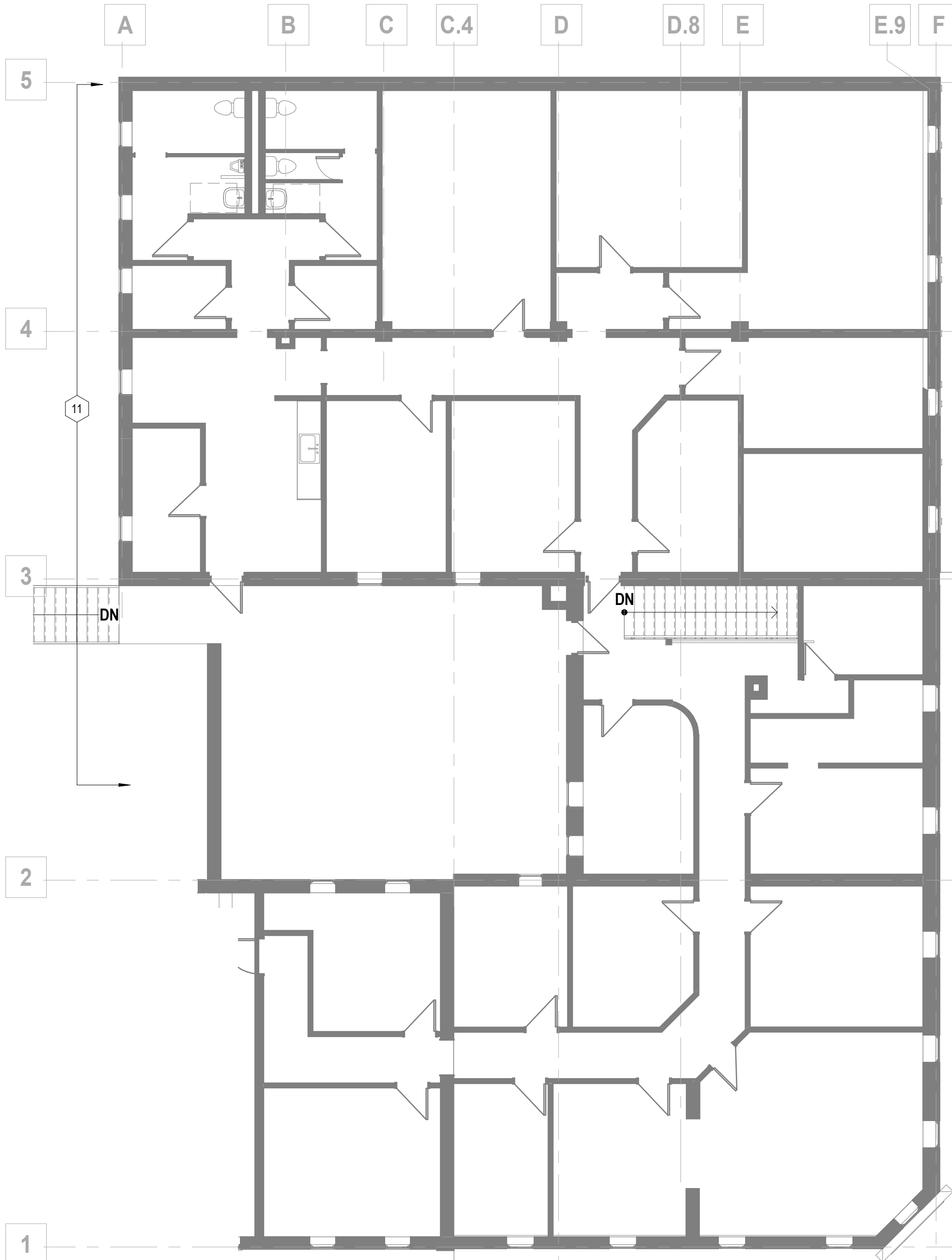
1. EXTERIOR DOORS: THERMALLY INSULATED.
- A. BASED ON SDI STANDARDS: ANSISDI A250.8 (SDI-100).
- B. LEVEL: 1 - STANDARD-UTD.
- C. PHYSICAL PERFORMANCE LEVEL: 250,000 CYCLES, IN ACCORDANCE WITH ANSISDI A250.4.
- D. MODEL: 1 - FULL FLUSH.
- E. DOOR FACE METAL THICKNESS: 20 GAUGE, 0.032 INCH, MINIMUM.
- F. DOOR FACE MATERIAL: MANUFACTURER'S STANDARD CORE MATERIAL/CONSTRUCTION AND IN COMPLIANCE WITH OWNERS NAME AND REGISTERED WITH MANUFACTURER.
- G. DOOR THICKNESS: 1-3/4 INCH, NOMINAL.
- H. TOP CLOSURES FOR OUTSWINGING DOORS: FLUSH WITH TOP OF FACES AND EDGES.
- I. WEATHERSTRIPPING: REFER TO SECTION 08120 FOR PROVISION FOR REPLACEMENT OF FALED UNITS.
- J. DOOR FINISH: FACTORY PRIMED AND FIELD FINISHED.

2. INTERIOR DOORS: NON-FIRE RATED:

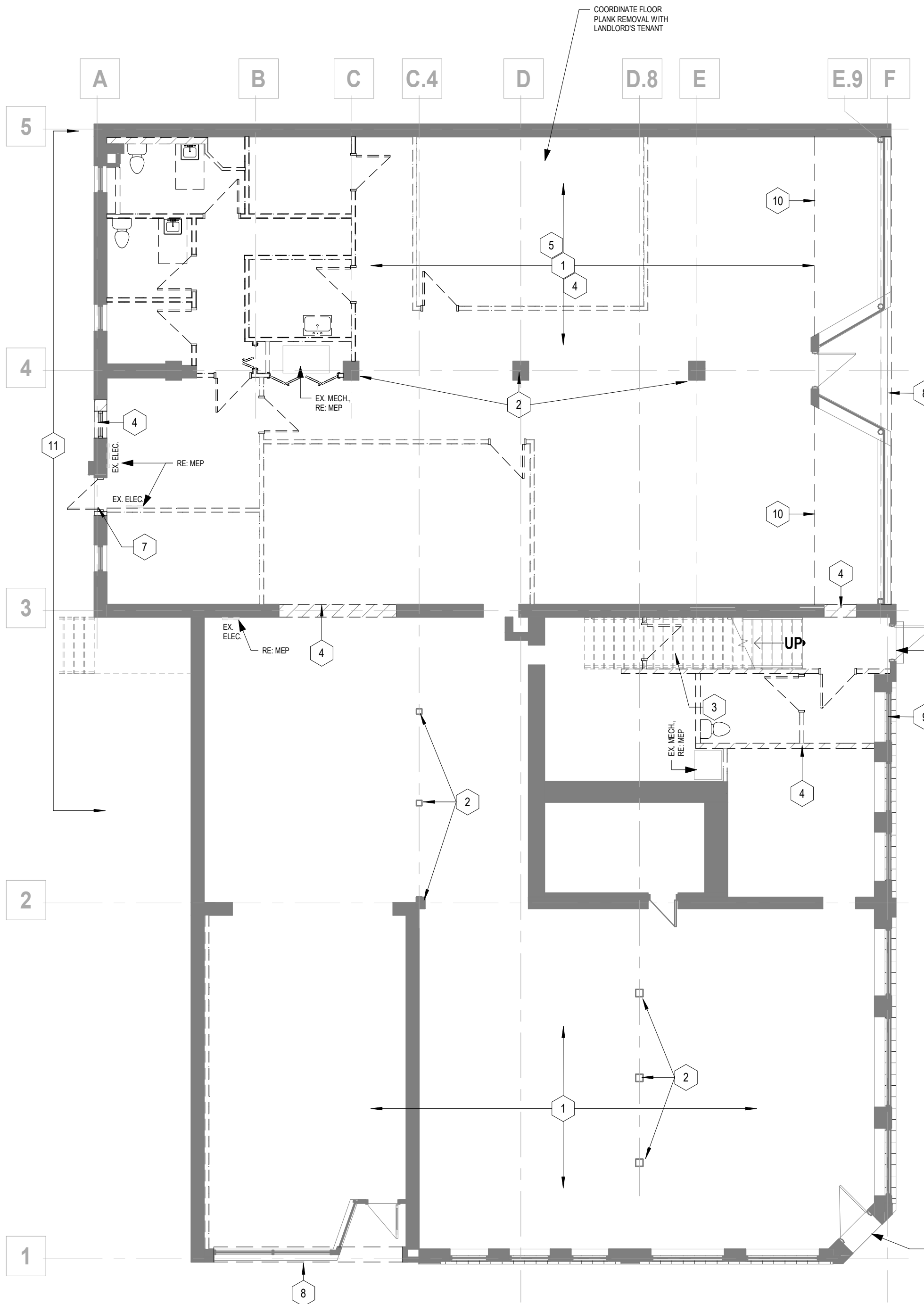
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A12 ROOF DEMO PLAN
1/8" = 1'-0"



A8 2ND FLOOR DEMO PLAN
1/8" = 1'-0"



A4 1ST FLOOR DEMO PLAN
1/8" = 1'-0"

GEN. DEMO NOTES

1. CONTRACTOR TO VISIT PROJECT SITE AND BUILDING, PRIOR TO BID.
2. BUILDING AND SITE TO REMAIN SECURE DURING DEMOLITION AND CONSTRUCTION.
3. PROTECT ALL ITEMS TO REMAIN (WALLS, PLUMBING FIXTURES, PIPING, HVAC UNITS, COLUMNS, ETC.).
4. CARE IS TO BE EXERCISED IN THE DEMOLITION OPERATIONS. EXISTING SURFACES TO REMAIN SHALL BE PROTECTED. ANY DAMAGE INCURRED AS A RESULT OF DEMOLITION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BEAR THE COST OF REPAIRING SUCH DAMAGE.
5. ALL OPENINGS IN WALLS AND ROOFS RESULTING FROM EQUIPMENT AND/OR PIPE REMOVAL SHALL BE SEALED WEATHERTIGHT. ALL CONDITIONS SHALL BE LEFT SAFE AND HAZARD FREE.
6. CONTRACTOR TO REPAIR ANY AREAS DAMAGED DURING DEMOLITION.
7. CONTRACTOR TO COORDINATE DEMOLITION OPENINGS WITH NEW PLANS AND ELEVATIONS.
8. ALL MEP SYSTEMS TO BE REMOVED TO BE FULLY COORDINATED WITH EXISTING CONDITIONS. ALL SYSTEMS TO BE REMOVED COMPLETELY THAT ARE NOT BEING RE-UTILIZED.
9. PROTECT EXISTING CONDITIONS AND MAINTAIN WEATHER TIGHTNESS FOR ALL OCCUPIED/UNOCCUPIED SPACES, BOTH VERTICALLY AND HORIZONTALLY FOR THE ENTIRE DURATION THAT THE BUILDING IS EXPOSED TO THE ELEMENTS. PATCH/REPAIR/REPLACE AS REQUIRED.

DEMO FLOOR PLAN KEYED NOTES

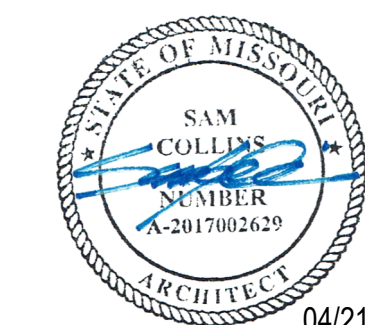
MARK	DESCRIPTION
1	REMOVE EXISTING FLOOR AND ALL ASSOCIATED CONSTRUCTION. PREPARE ENTIRE SUB-FLOOR FOR NEW DRAIN TILE AND CLEAN GRAVEL. EXTERIOR WALLS AND FOUNDATIONS TO BE PREPARED FOR NEW WATERPROOFING BELOW GRADE.
2	PROTECT COLUMNS AND BRACE AS NECESSARY TO PROVIDE FULL STABILITY DURING REWORK OF SUB-FLOOR AREA.
3	EXISTING MAIN STAIR TO 2ND LEVEL TO REMAIN. PROTECT STAIR AND BRACE AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY WHILE SUB-FLOOR IS REMOVED. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
4	REMOVE EXISTING DOORS/FRAMES/WALLS AND ROUGH-INS FOR MEP SYSTEMS. REFER TO MEP FOR ADDITIONAL NOTES.
5	REMOVE EXISTING RESTROOM CORE AND ALL ASSOCIATED MEP SYSTEMS. REFER TO MEP FOR ADDITIONAL INFORMATION.
6	REMOVE WINDOW AND PREPARE OPENING FOR NEW EGRESS DOOR. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
7	REMOVE EXISTING WEATHERHOOD AND LOUVER ABOVE EXTERIOR DOOR. REMOVE DOOR AND ENLARGE OPENING FOR NEW EGRESS DOOR. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
8	REMOVE WINDOW SYSTEM AND ALL FAILED COMPONENTS. PREPARE OPENING FOR NEW WINDOW SYSTEM, FRAMING AND FLASHINGS.
9	REMOVE BROKEN GLASS. PREPARE FOR NEW GLASS INSTALL.
10	REMOVE PLATFORM AND ALL NON-STRUCTURAL FRAMING.
11	REMOVE ALL COMPONENTS THAT NO LONGER ARE ACTIVE, IN GOOD WORKING ORDER, OR ABANDONED. COORDINATE WITH MEP FOR ADDITIONAL ITEMS TO BE REMOVED.
12	PREPARE ROOF FOR NEW RTU CURBS AND OPENINGS. COORDINATE EXACT LOCATIONS WITH MEP/STRUCTURAL DOCUMENTS.

MAIN STREET BUILDING IMPROVEMENTS

230 SW MAIN ST.
LEE'S SUMMIT, MO 64063

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REVISION DATES:



PROFESSIONAL SEAL

D101

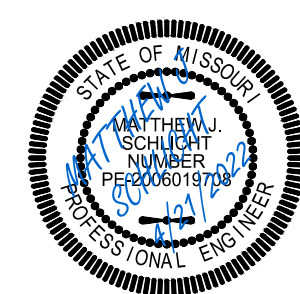
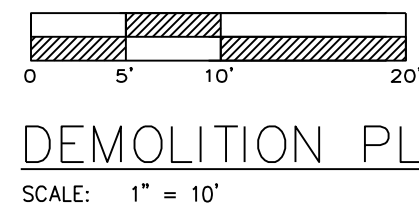
ISSUE DATE: 21 APRIL, 2022
COLLINS WEBB #: 21121

DEMO PLANS



3075 SW Market Street, Lee's Summit, Mo. 64063 P: 816.249.2270
(www.collinswebb.com)

PERMIT DOCUMENTS



Matthew J. Schlicht
MO PE 2006015708
KS PE 19071
OK PE 23225
NE PE E-14335

REVISIONS

C.010

Demolition Plan
Preliminary Development Plans
230 SW Main Street
Lee's Summit, Jackson County, Missouri

Project: 228 SW MAIN, L&NO
Issue Date:
April 21, 2022

Preliminary Development Plans
230 SW Main Street
Lee's Summit, Jackson County, Missouri

Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005000319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

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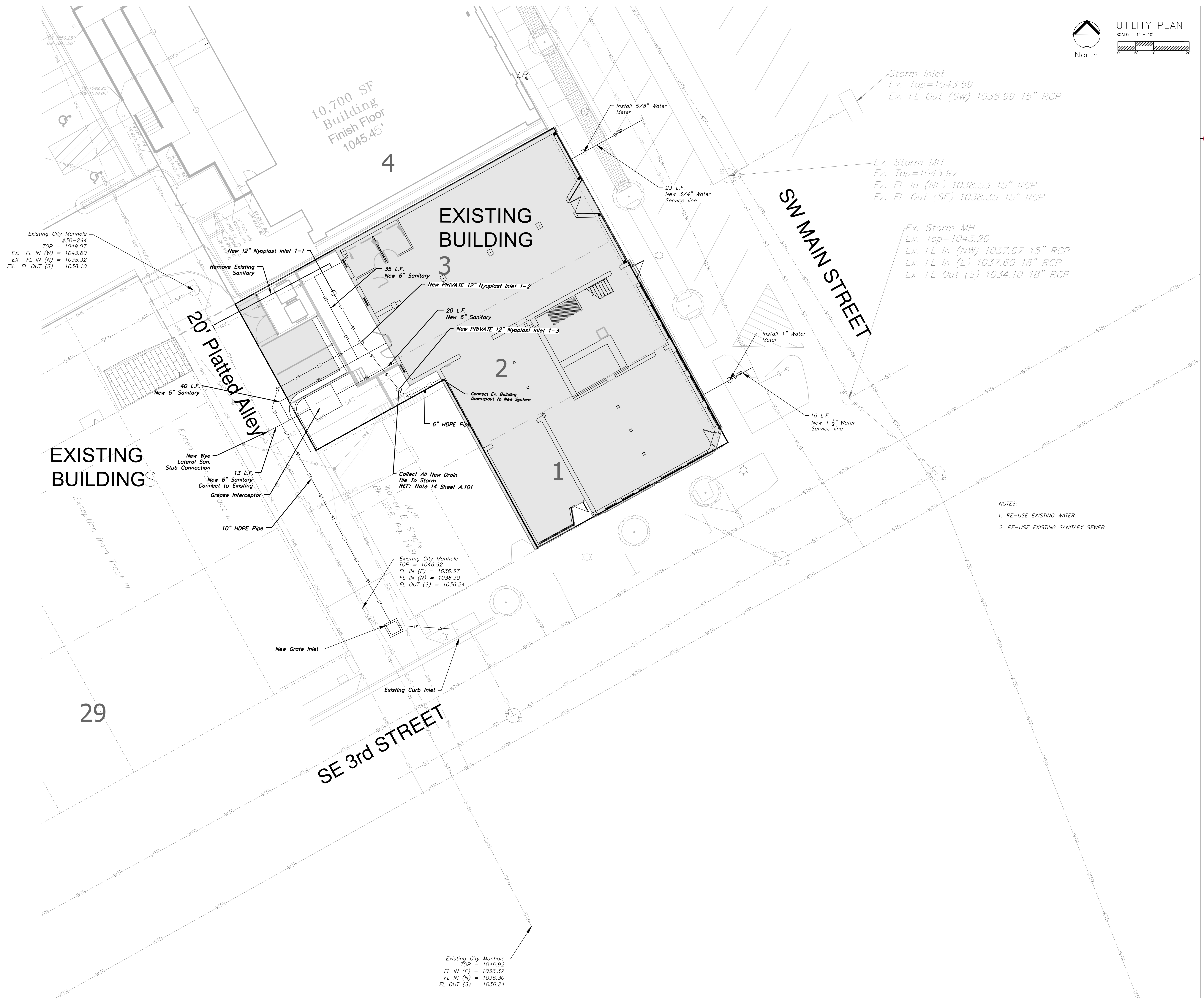


EXISTING
BUILDING

EXISTING BUILDINGS

Notes

1. Contractor is responsible for verifying all existing utility locations prior to excavation
2. There are no known natural or artificial water storage detention areas, or wetlands, or the area designated for construction
3. No part of the project lies within the 100 year flood plain
4. All erosion and sediment control measures need to be implemented prior to construction
5. Additional erosion control may be required by the City Engineer, Design Engineer or Owner at any time problematic areas are noted in the field or identified by the City Engineer or Owner
6. Soil Stabilization of disturbed areas shall be completed within 14 days of construction inactivity
7. Contractor responsible for all density testing of roadway subgrade and granular base



UTILITY PLAN
SCALE: 1" = 10'
0 5 10 20
North

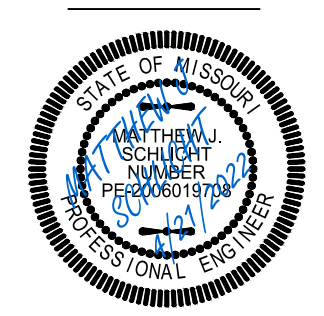
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Preliminary Development Plans
230 SW Main Street
Lee's Summit, Jackson County, Missouri

Project: 228 SW MAIN, L&NO
Issue Date: April 21, 2022

Utility Plan
Preliminary Development Plans
230 SW Main Street
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 23225
NE PE E-14335

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REVISION DATES:

REVISION DATES:



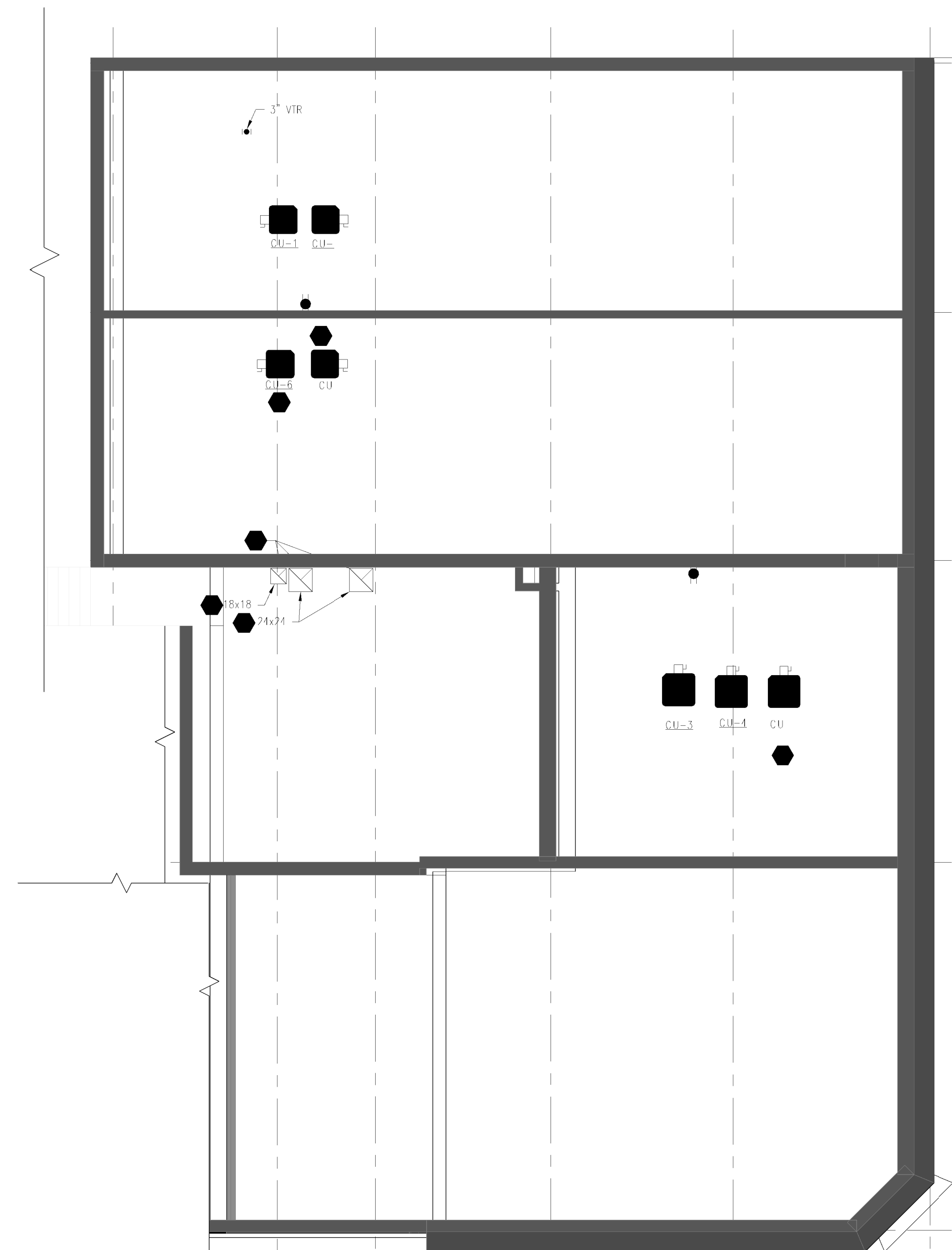
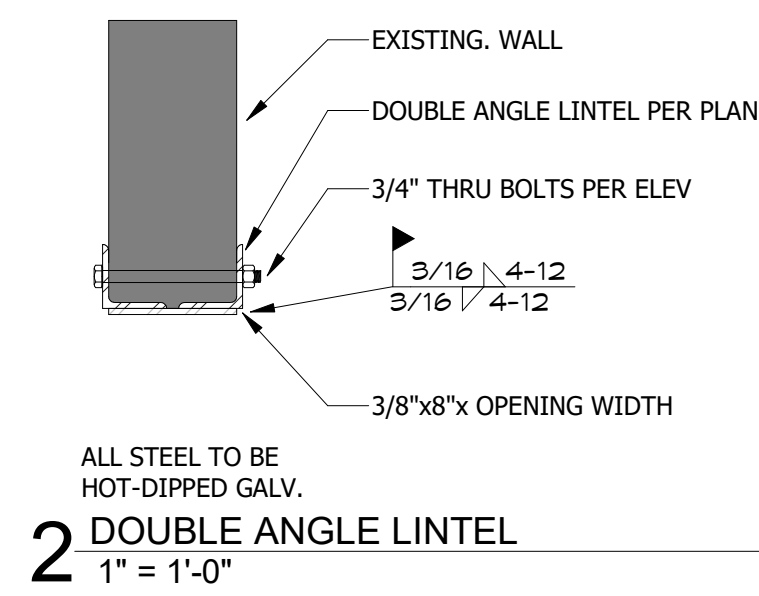
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COLLINS WEBB #: 21121

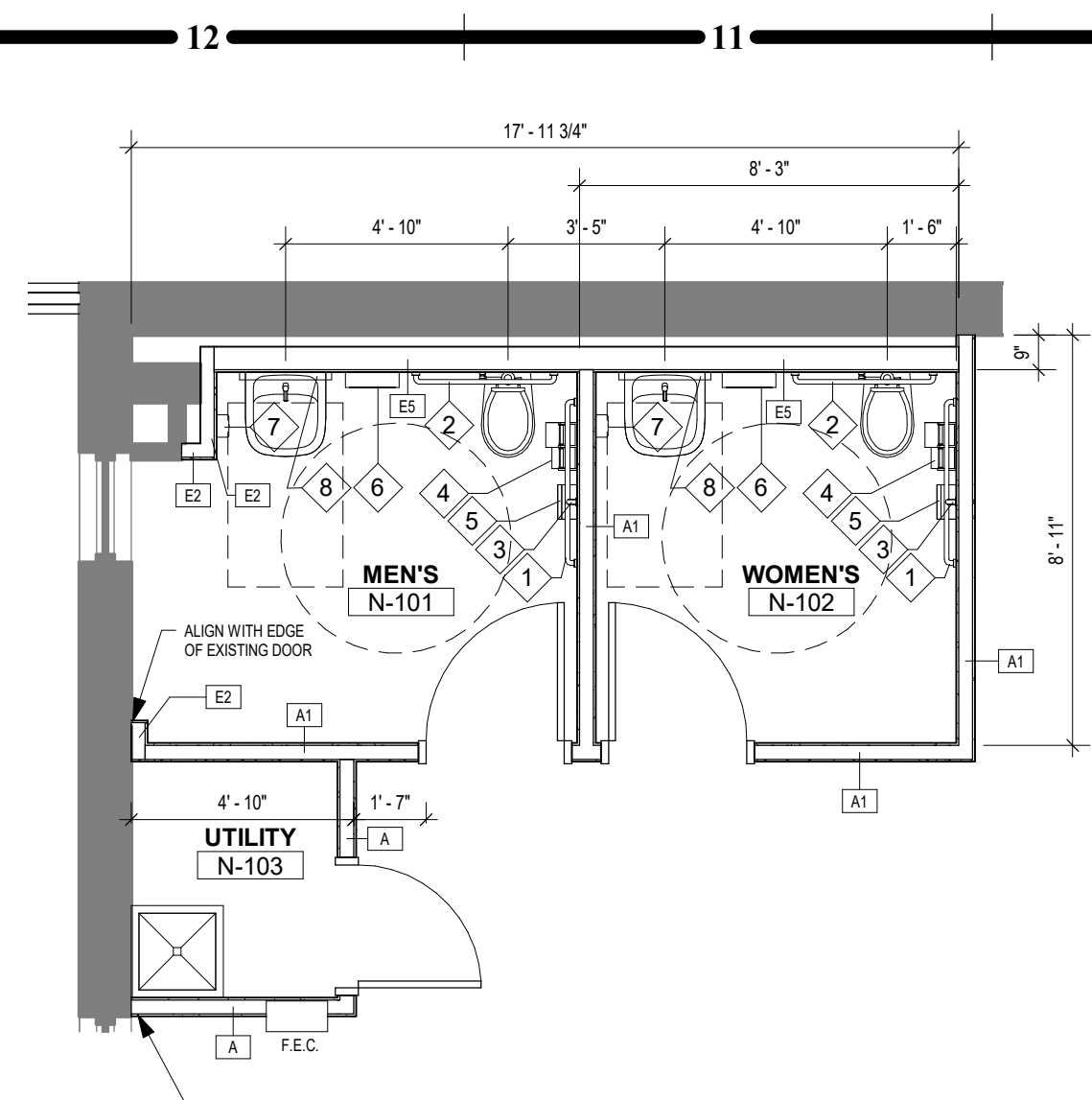
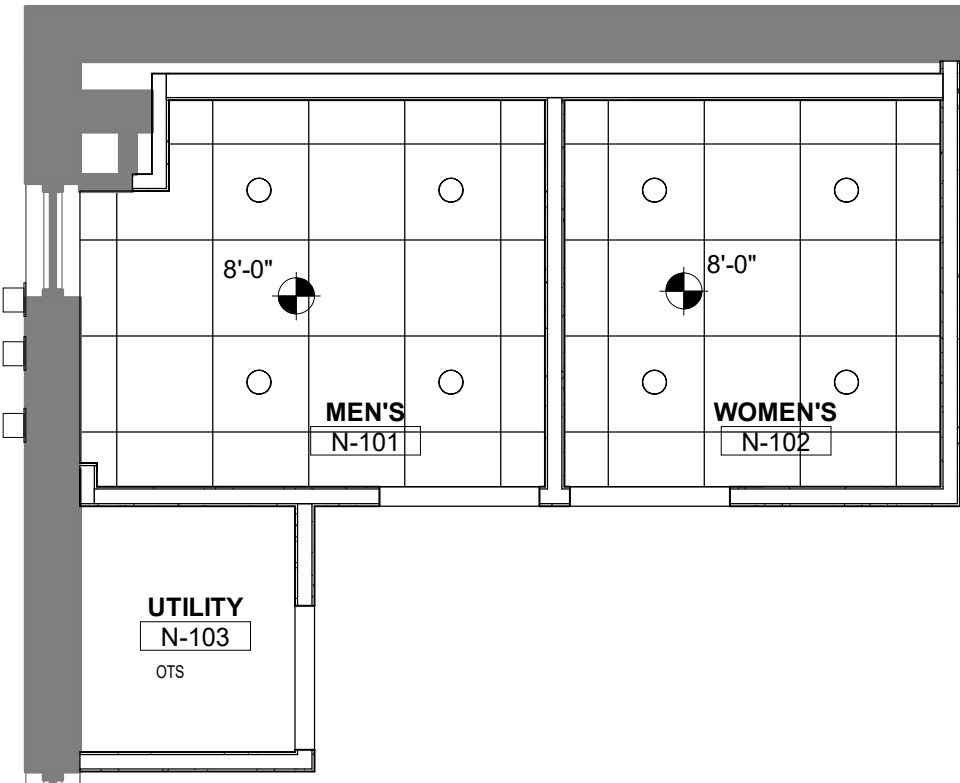
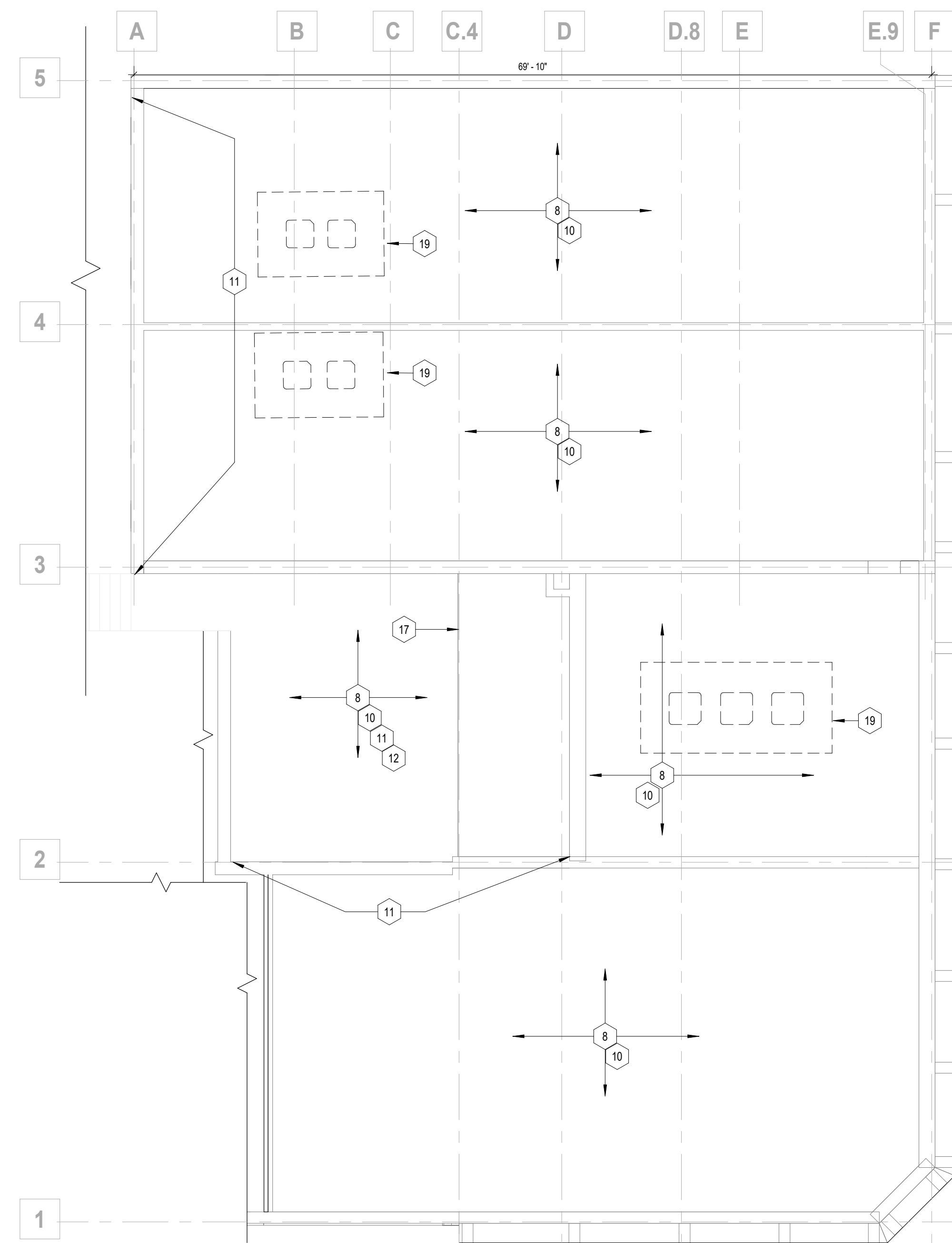
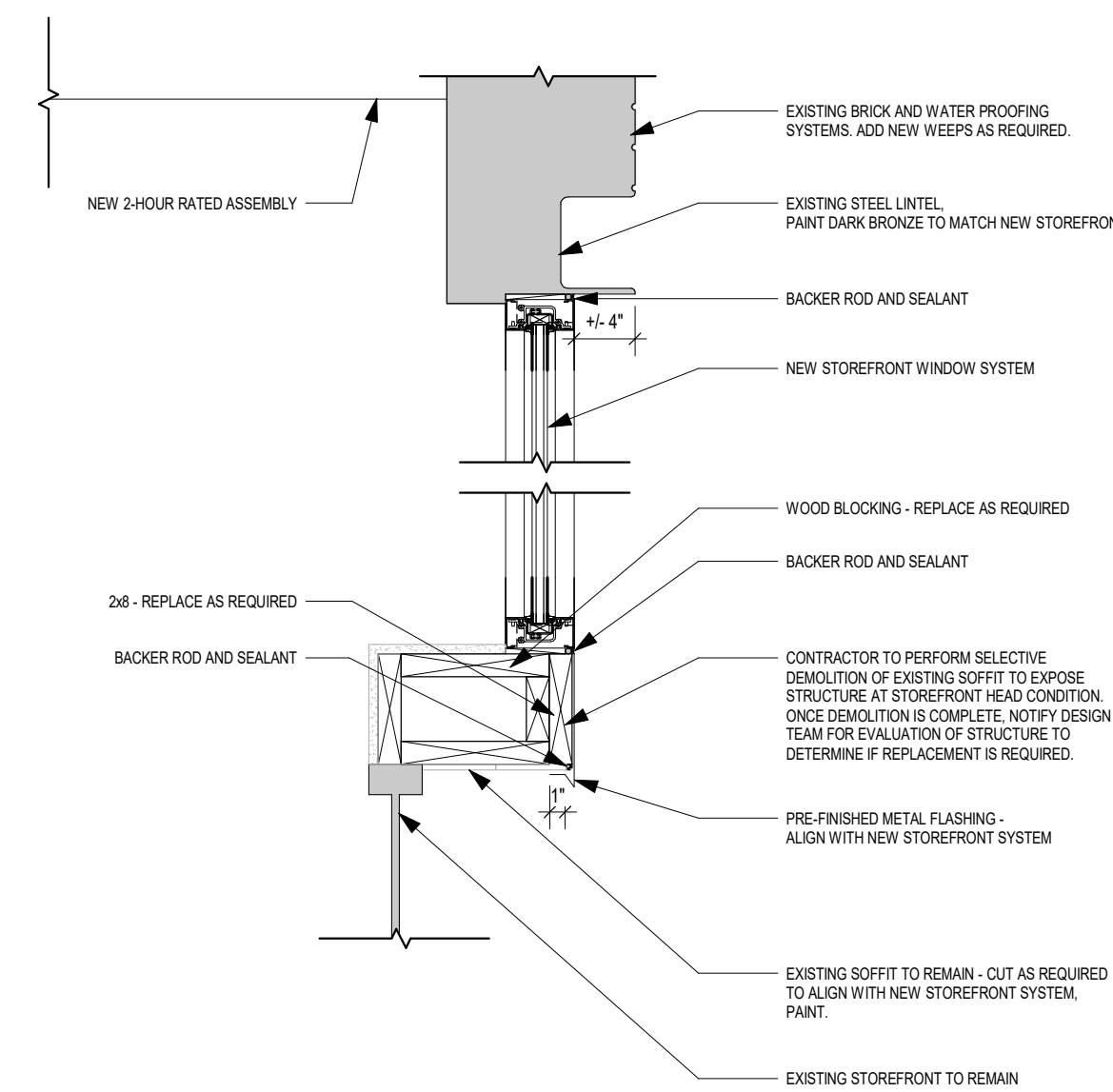
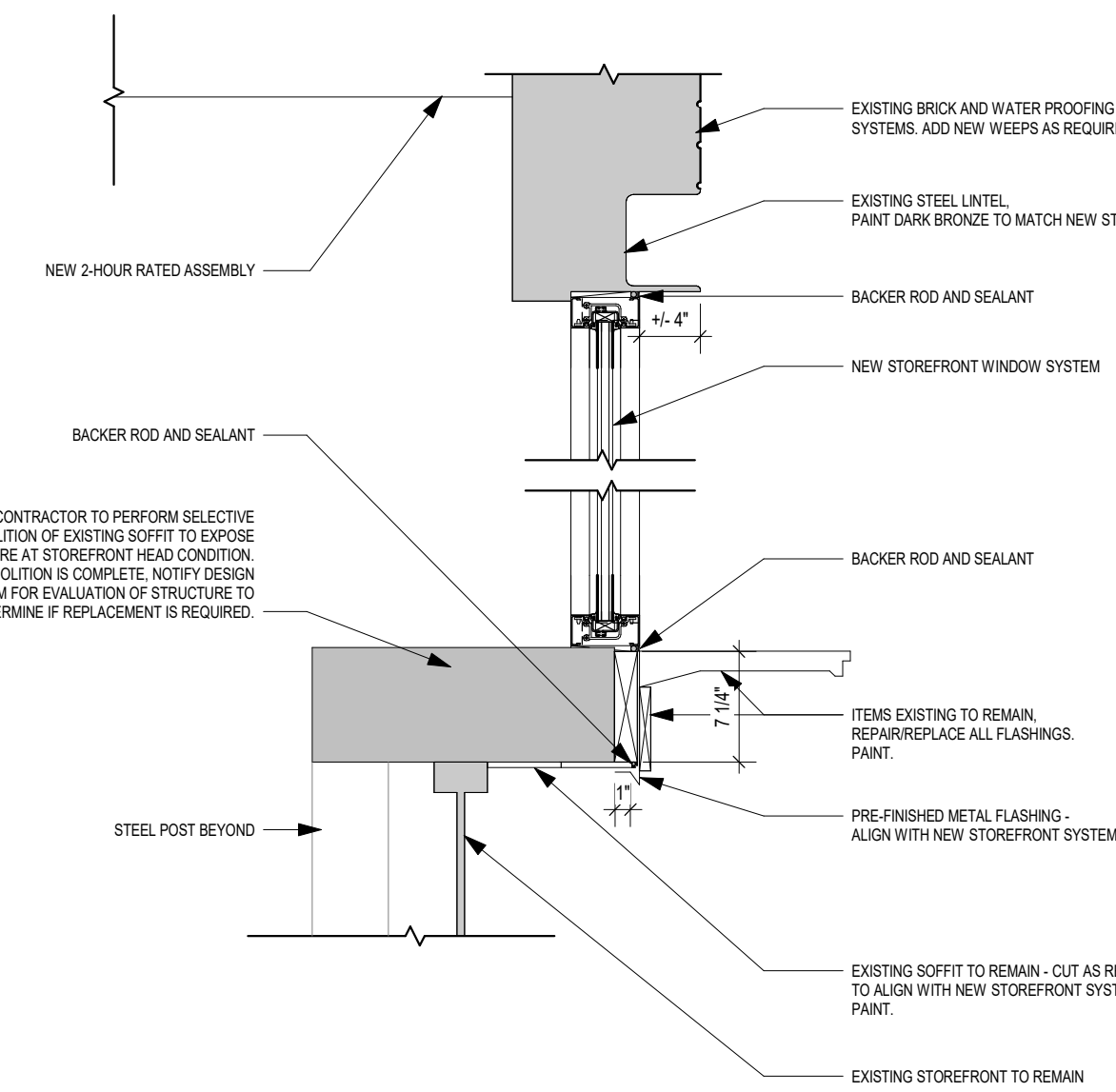
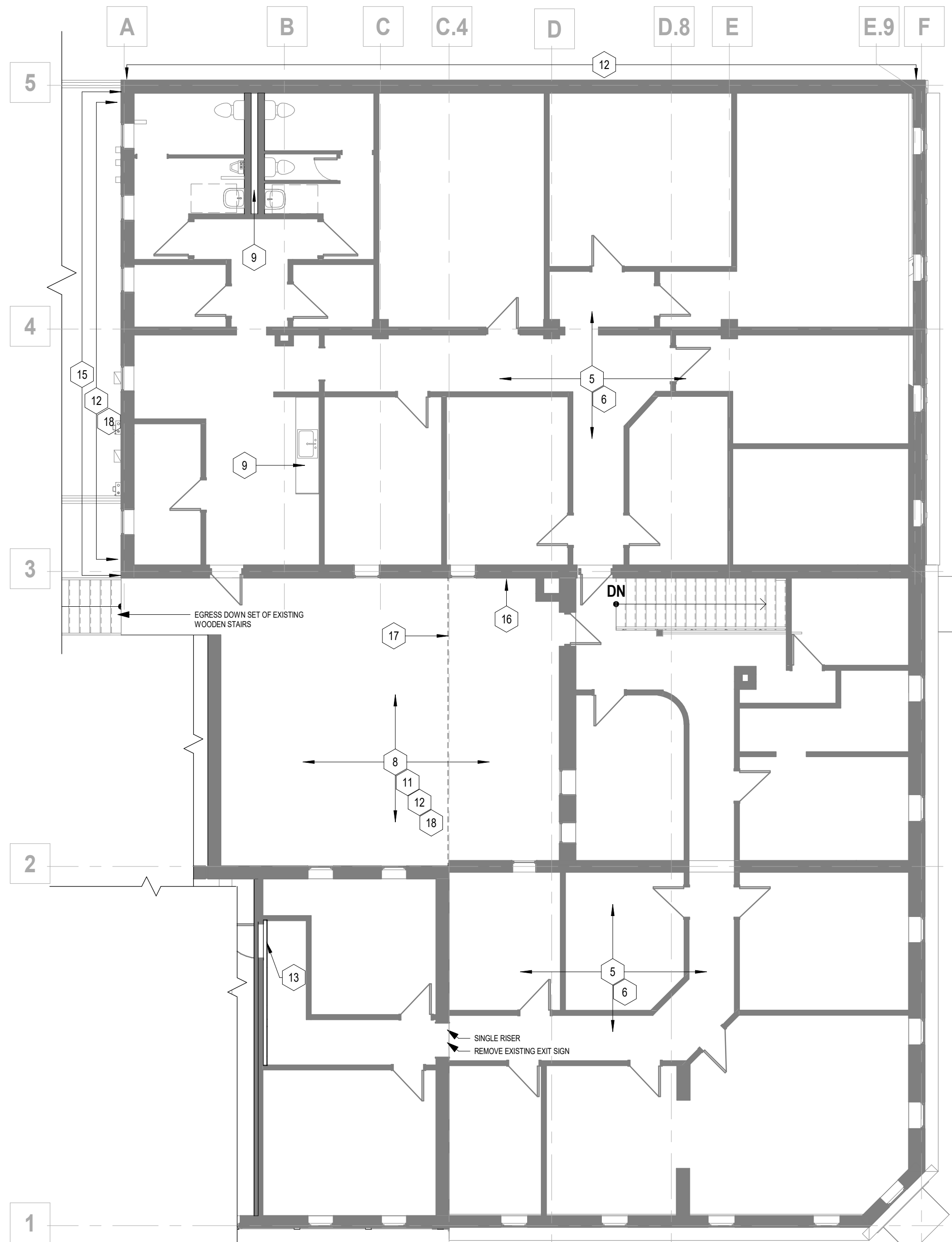
The diagram illustrates the elevation of a double angle lintel installed over a masonry opening. The lintel consists of two L-shaped angles bolted together. Key dimensions and labels include:

- HEIGHT OF OPENING PER ARCH:** Indicated by a vertical dimension line on the left.
- TOP OF OPENING MUST BE AT MORTAR JOINT:** A note pointing to the top edge of the masonry opening.
- 1'-0":** Two horizontal dimension lines indicating the distance from the centerline of the opening to the outer edge of each angle.
- OPENING WIDTH PER ARCH:** Indicated by a horizontal dimension line at the bottom of the opening.
- INSTALL SEQUENCE:**
 1. SAW-CUT EXISTING MORTAR JOINT AT OPENING HEIGHT FULL WIDTH OF OPENING PLUS 1'-0" EITHER SIDE
 2. INSTALL ANGLES BOTH SIDES OF OPENING
 3. INSTALL THRU-BOLTS FOR LENGTH OF LINTEL. TIGHTEN ALL NUTS AND WASHERS
 4. INTERIOR MASONRY REMOVED FROM OPENING
 5. WELD PLATE TO UNDERSIDE OF LINTEL

3 DOUBLE ANGLE LINTEL ELEV.

$1/2" = 1'-0"$

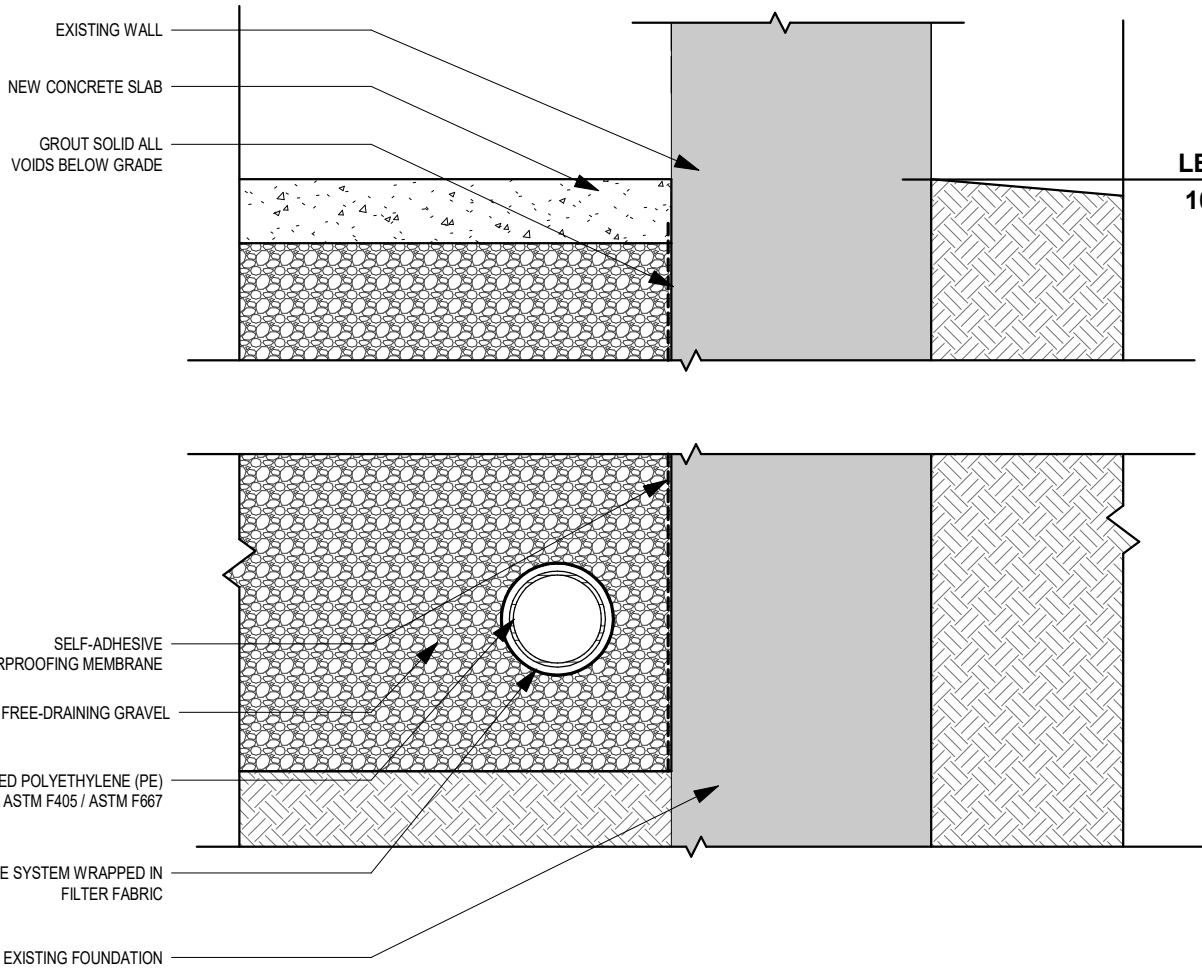
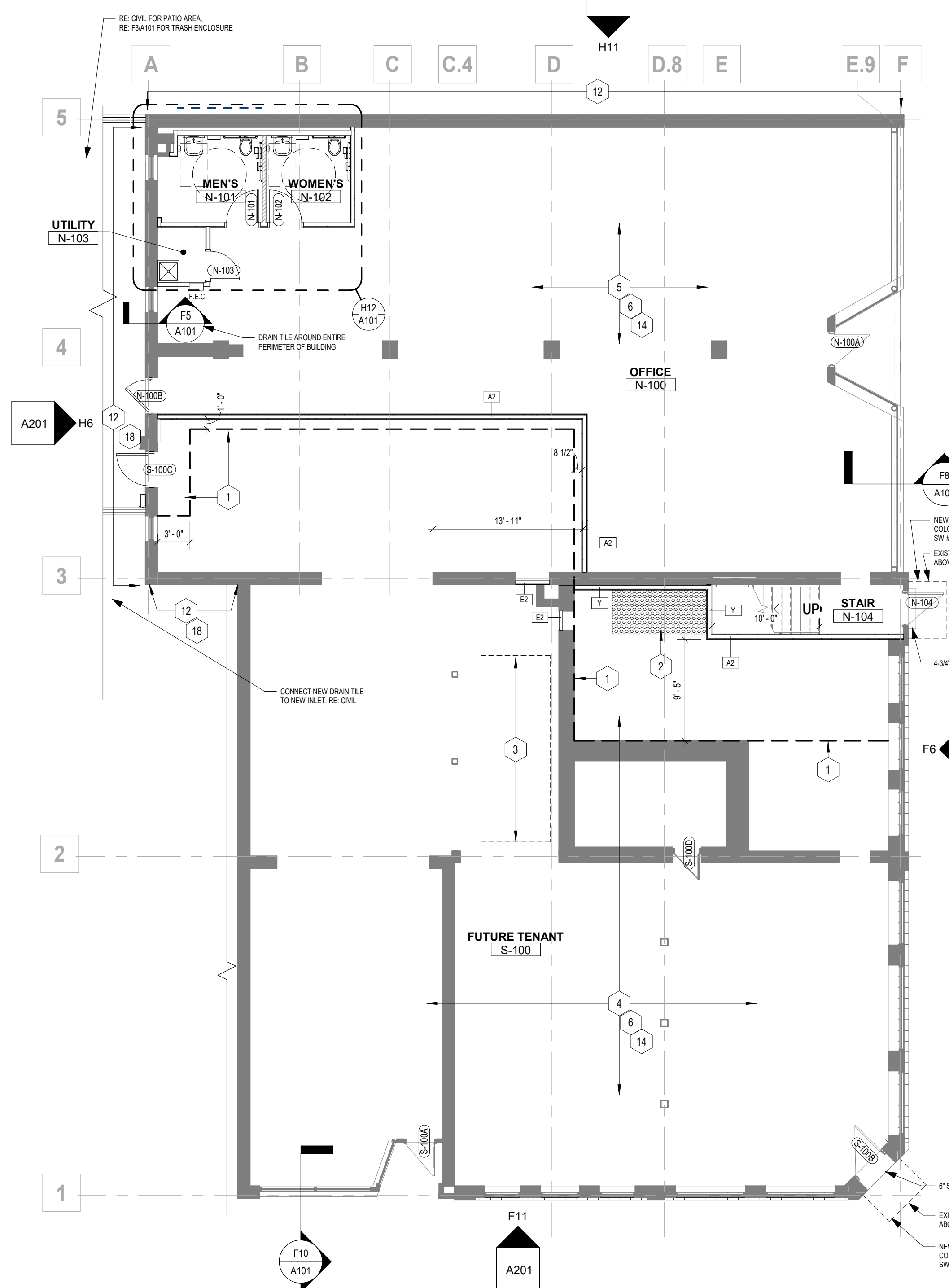
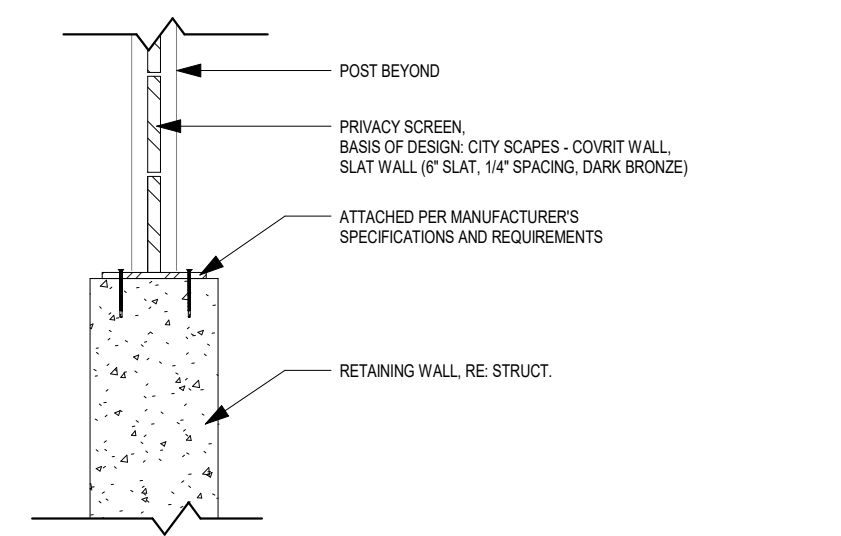
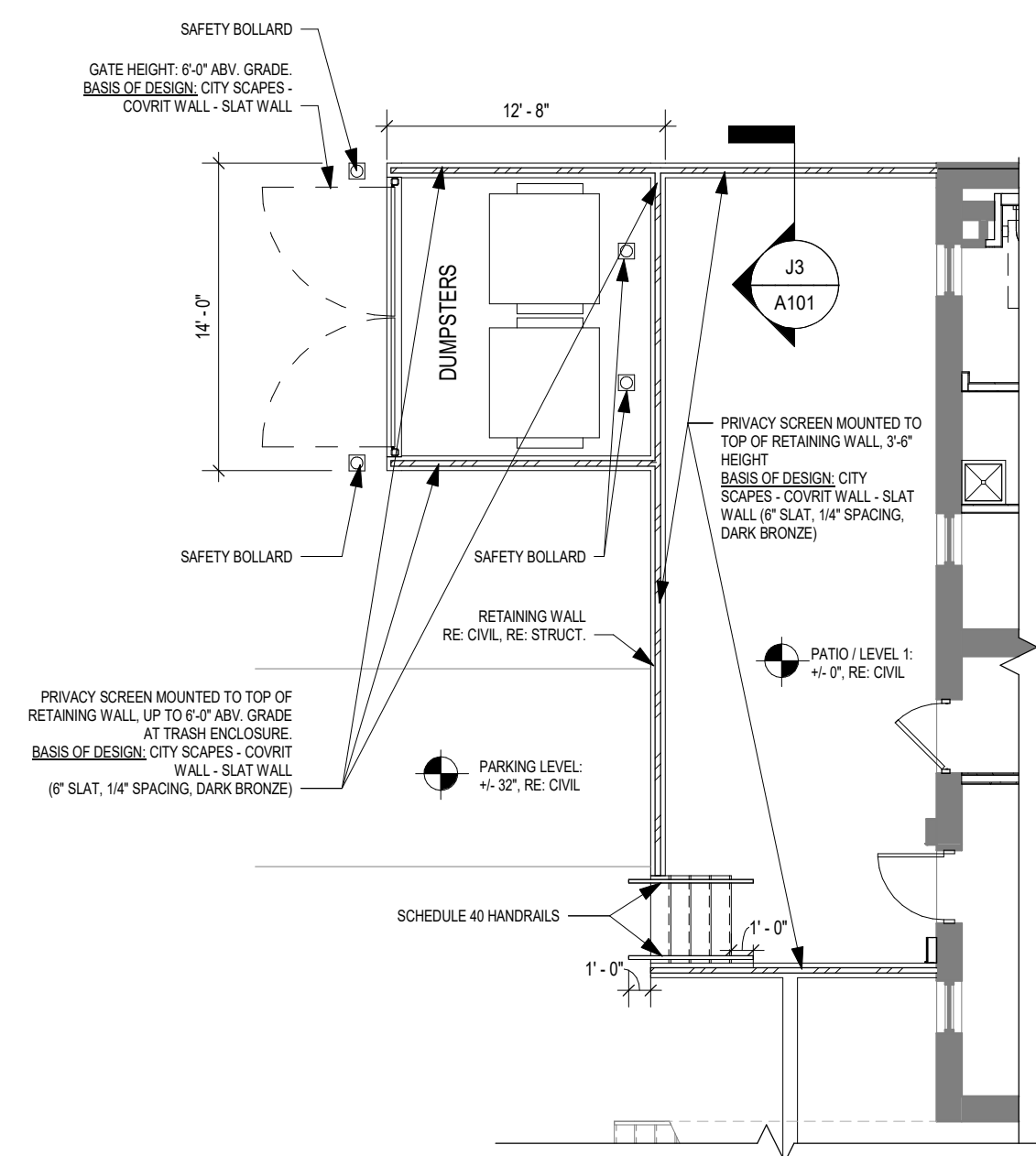


**H12** ENLARGED PLAN - 1ST FLOOR
1/4" = 1'-0"**F12** RCP - 1ST FLOOR
1/4" = 1'-0"**A12** ROOF PLAN
1/8" = 1'-0"**F10** SECTION DETAIL - NEW STOREFRONT - SOUTH
1" = 1'-0"**F8** SECTION DETAIL - NEW STOREFRONT - EAST
1" = 1'-0"**A8** 2ND FLOOR PLAN
1/8" = 1'-0"

ACCESSORY SCHEDULE						
TYPE MARK	MANUFACTURER	DESCRIPTION	MODEL	WxHxD	FINISH	COMMENTS
1	BOBRICK WASHROOM EQUIPMENT, INC.	GRAB BAR, 1-1/4" DIA., SS, 42"	B-5806-42	1-1/4" DIA x 42"	SATIN W/ PEENED GRIP	1
2	BOBRICK WASHROOM EQUIPMENT, INC.	GRAB BAR, 1-1/4" DIA., SS, 36"	B-5806-36	1-1/4" DIA x 36"	SATIN W/ PEENED GRIP	1
3	BOBRICK WASHROOM EQUIPMENT, INC.	VERTICAL GRAB BAR, 1-1/4" DIA., SS, 18"	B-5806-18	1-1/4" DIA x 18"	SATIN W/ PEENED GRIP	1
4	BOBRICK WASHROOM EQUIPMENT, INC.	CLASSIC SERIES MULTI-ROLL TOILET TISSUE DISPENSER	B-2888		SATIN	1
5	BOBRICK WASHROOM EQUIPMENT, INC.	TRIMLINE SERIES SANITARY NAPKIN DISPOSAL	B-35139		SATIN	1
6	BOBRICK WASHROOM EQUIPMENT, INC.	CONTURA SERIES PAPER TOWEL DISPENSER/WASTE RECEPTACLE	B-43349		SATIN	1
7	BOBRICK WASHROOM EQUIPMENT, INC.	AUTOMATIC SOAP DISPENSER	B-2013	4 1/4" x 10 17/32" x 4 7/32" 2' W x 4' H	SATIN	1
8	MIRROR - COORD. W/ OWNER					2

GENERAL NOTES:
A. ALL TOILET ACCESSORIES LOCATIONS BASED ON PLAN LAYOUT.
B. REFER TO GOOZ AND MANUFACTURERS SPECIFICATIONS FOR MOUNTING HEIGHTS.
C. COORDINATE ALL MOUNTING HEIGHTS W/ PLUMBING FIXTURES TO ALLOW PROPER OPERATION & INFORM ARCHITECT IN WRITING OF ANY CONFLICTS.
D. FOR ANY ITEM NOTED AS FF&E, G.C. TO COORDINATE DIRECTLY W/ OWNER FOR PREFERRED MOUNTING HEIGHTS, U.N.O.

REMARKS:
1. SURFACE-MOUNTED.
2. MIRRORS TO BE CENTERED AT SINKS, TYP.

**F5** SECTION DETAIL - DRAIN TILE SYSTEM
1" = 1'-0"**A4** 1ST FLOOR PLAN
1/8" = 1'-0"**J3** PRIVACY SCREEN ATTACHMENT
1" = 1'-0"**F3** ENLARGED PLAN - TRASH ENCLOSURE
1/8" = 1'-0"**GENERAL NOTES:**
FLOOR PLANS

1. RE: GENERAL ARCHITECTURAL SHEETS FOR ADDITIONAL NOTES AND DETAILS THAT ARE APPLICABLE.
2. ARCHITECTURAL ELEVATION 100'-0".
3. DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF GYP. BOARD WALL (FGD), FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOG), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
4. NOTE: WALL THICKNESSES ARE ACTUAL DIMENSIONS AND PER WALL TYPES SEE GENERAL SHEETS.
5. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL SHOWN OR LOCATED 4 INCHES FROM FINISH WALL TO HINGE SIDE OF THE DOOR, ALWAYS ALLOWING A MINIMUM OF 1" FROM THE HINGE SIDE (STRIKE SIDE) OF THE DOOR TO THE INTERSECTING WALL OR OTHER PROTRUDING OBJECTS.
6. ALL ALCOVES WITHOUT A SPACE IDENTIFICATION NUMBER SHALL HAVE THE SAME FINISHES AS THE ADJOINING SPACES.
7. PROVIDE FINISH LEVELS AS DESCRIBED:
LEVEL 4:
- ALL WALLS TO BE BROUGHT UP TO LEVEL 4 FINISH.
- AREAS FOR BACK OF HOUSE EMPLOYEE OPERATIONS WHERE ROOM SIDE WALLS AND/OR CEILING HAVE PAINTED SURFACES.
CONCESSION AND CIRCULATION CORRIDORS WHERE ROOM SIDE WALLS AND/OR CEILING HAVE PAINTED SURFACES.
8. RE: FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS FOR DOOR AND DOOR FRAME FINISHES.
9. STAIR ENCLOSURES, SHAFT WALLS, EXIT PASSAGEWAYS AND EXTERIOR WALLS TO BE COORDINATED FOR PHASE OF WORK PER MATRIX AND PROJECT SCOPING.
10. MAINTAIN AND PROTECT EXISTING EXPANSION JOINTS DURING CONSTRUCTION. PATCH/REPAIR TO MATCH EXISTING RATINGS AS REQUIRED ON THE SHELL PORTION OF PROJECT.
11. CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES, LOCAL RULES, AND REGULATIONS, AND ALL OTHER CODES, REGULATIONS AND GOVERNING AGENCIES HAVING JURISDICTION WITH ALL APPLICABLE AMENDMENTS UNLESS ALTERED OR CHANGED THROUGH VARIANCES OF OTHER LEGAL PROCEDURES.
12. **DRAIN TILE DETAIL:** PER IRC 2018, PERFORATED POLYETHYLENE (PE) PLASTIC PIPE, ASTM F441 / ASTM F887, SMOOTH WALL, WRAPPED IN FILTER FABRIC.
13. **FLUID APPLIED BARRIER AT FOUNDATION:** BASIS OF DESIGN: W.R. MEADOW, SEALTIGHT - HYDRASTIC 935 SL #709-A. SUBMITTAL REQUIRED - SUBMIT TO ARCHITECT.
14. **GUARDRAILS:** GUARDRAILS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 POUNDS PER LINEAR FOOT IN ACCORDANCE WITH SECTION 4.5.1.1 OF ASCE 7. GUARDRAILS SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ACCORDANCE WITH SECTION 4.5.1.1 OF ASCE 7.

FLOOR PLAN KEYED NOTES

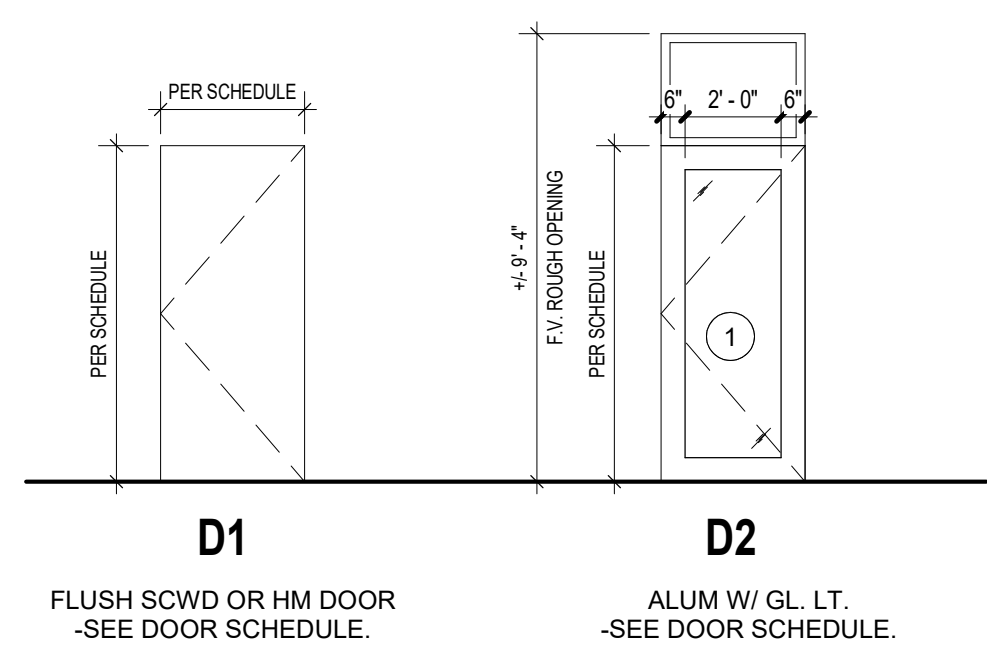
MARK	DESCRIPTION
1	EXTENTS OF NEW CONCRETE SLAB. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
2	UNDERSIDE OF STAIR TO RECEIVE 2-HR RATING ON UNDERSIDE OF STRINGER TO MAINTAIN CONTINUOUS RATING OF FLOOR/CEILING/WALL ASSEMBLY. MUST MAINTAIN THE 2-HOUR HORIZONTAL RATING OF THE CEILING PLANE.
3	FUTURE LOCATION OF RESTROOM CORE. REFER TO MEP DOCUMENTS FOR ADDITIONAL INFORMATION.
4	ENTIRE CEILING TO RECEIVE A 2-HOUR RATING TO SEPARATE FROM FLOOR ABOVE. REFER TO UL ASSEMBLY RL511 (G5006).
5	CEILING TO REMAIN. PATCH REPAIR AS REQUIRED.
6	ALL PLASTER OR GYPSUM BOARD WALLS TO BE PREPARED TO A LEVEL 4 FINISH.
7	REMOVE WINDOW AND PREPARE OPENING FOR NEW EGRESS DOOR. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
8	ANY ROOF MODIFICATIONS TO BE COMPLETED BY JR & CO. COORDINATE WITH BUILDING OWNER. ALL DEBRIS TO BE REMOVED AND ROOFING SYSTEM TO HAVE POSITIVE SLOPE AWAY FROM BUILDING TO GUTTER SYSTEM. ENTIRE ROOF TO BE REVIEWED FOR REPAIRS. PROVIDE COMPLETE ANALYSIS TO OWNER FOR REVIEW.
9	RECONNECT SANITARY AND WATER AS REQUIRED FOR FUNCTIONAL PLUMBING. REFER TO MEP DOCUMENTS FOR ADDITIONAL INFORMATION.
10	REMOVE ALL DEBRIS FROM EXISTING ROOF. REPAIR ROOF TO ELIMINATE ANY PONDING AND PROVIDE POSITIVE DRAINAGE.
11	REPAIR ALL GUTTER SYSTEMS AND CONFIRM TO BE IN GOOD WORKING ORDER AND FREE OF DEBRIS. CONFIRM ALL SEAMS ARE WATERTIGHT AND ALL FLASHINGS TO AND AROUND GUTTER SYSTEM ARE IN GOOD WORKING ORDER. ALL GUTTERS AND DOWNSPOUTS TO BE SECURE TO THE BUILDING AND HAVE POSITIVE SLOPE FOR PROPER DRAINAGE.
12	PATCH/REPAIR STUCCO SYSTEM AND MAKE READY FOR NEW EXTERIOR PAINT.
13	INFILL EXISTING OPENING. PATCH/REPAIR AS REQUIRED. PAINT TO MATCH ADJACENT FINISH.
14	DRAIN TILE - PROVIDE 6" PERFORATED, SLEEVED DRAIN TILE AROUND ENTIRE PERIMETER AND ALONG ALL FOUNDATION WALLS. COLLECT AND CONNECT INTO STORM SEWER. REFER TO CIVIL FOR ADDITIONAL INFORMATION.
15	INFILL OPEN STUD CAVITY WITH SIMILAR MATERIALS. PROVIDE SCRATCH AND FINISH COATS TO MATCH EXISTING. PREPARE FOR NEW PAINT FINISH.
16	INFILL OPENING IN MASONRY. MATCH EXISTING.
17	EXISTING OVERHANG TO REMAIN. PAINT SOFFIT SW 7007 CEILING BRIGHT WHITE.
18	STUCCO TO MATCH PRIMARY PAINT COLOR.
19	NEW RTU CURBS AND OPENINGS. COORDINATE EXACT LOCATIONS WITH MEP/STRUCTURAL DOCUMENTS.

FLOOR PLANS, ENLARGED PLANS, AND DETAILS

H11 NORTH ELEVATION
1/8" = 1'-0"



F11 SOUTH ELEVATION
1/8" = 1'-0"



GLASS TYPE LEGEND	
DESIGNATION NUMBER	DESCRIPTION
1	TEMPERED GLASS COLOR: CLEAR

NOTE:
1. DOORS TO BE 1 3/4" THICK, UNLESS NOTED OTHERWISE ON DOOR SCHEDULE.

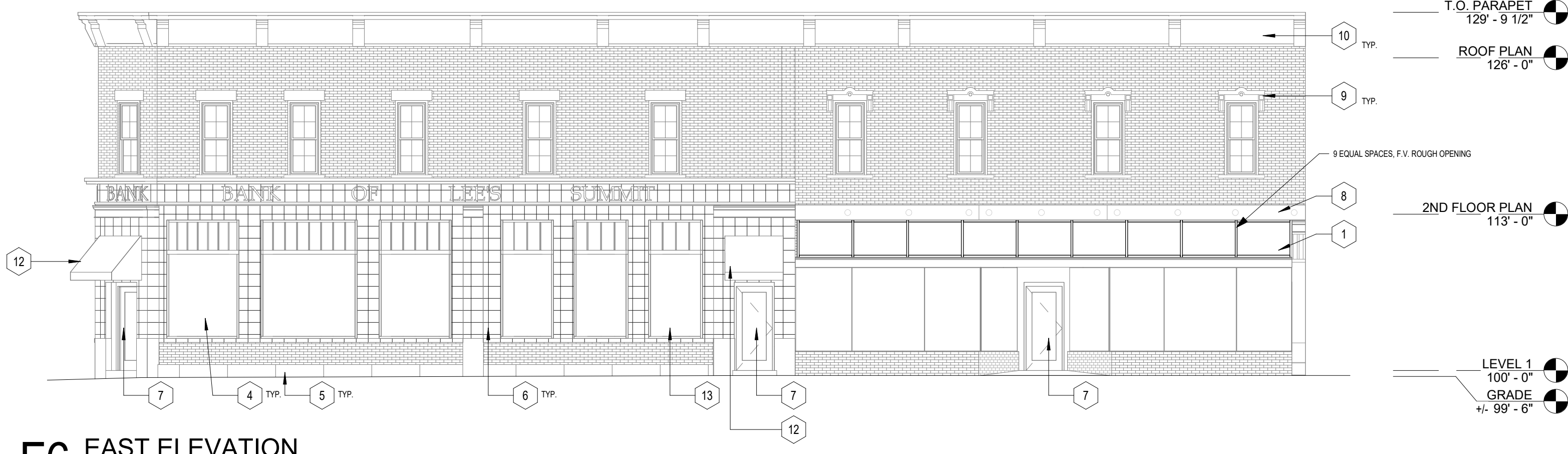
DOOR SCHEDULE									
DOOR #	WIDTH	HEIGHT	ROOM NAME	TYPE	DOOR MATERIAL	FINISH	FRAME MATERIAL	FINISH	RTG
N-100A	EXIST	EXIST	OFFICE	EXIST	EXIST	PAINT	EXIST	PAINT	N/A
N-100B	3'-0"	7'-0"	OFFICE	D2	ALUM/GLASS	ANODIZED	ALUM	ANODIZED	N/A
N-101	3'-0"	7'-0"	MEN'S	D1	SCWD	PAINT	HM	PAINT	N/A
N-102	3'-0"	7'-0"	WOMEN'S	D1	SCWD	PAINT	HM	PAINT	N/A
N-103	2'-8"	7'-0"	UTILITY	D1	SCWD	PAINT	HM	PAINT	N/A
N-104	EXIST	EXIST	STAIR	EXIST	EXIST	PAINT	EXIST	PAINT	N/A
S-100A	EXIST	EXIST	FUTURE TENANT	EXIST	EXIST	PAINT	EXIST	PAINT	N/A
S-100B	EXIST	EXIST	FUTURE TENANT	EXIST	EXIST	PAINT	EXIST	PAINT	N/A
S-100C	3'-0"	7'-0"	FUTURE TENANT	D1	HM	PAINT	HM	PAINT	N/A
S-100D	EXIST	EXIST	FUTURE TENANT	EXIST	EXIST	PAINT	EXIST	PAINT	N/A

DOOR SCHEDULE REMARKS:
1. MATCH EXISTING MASTER KEYING SYSTEM. COORDINATE WITH BUILDING OWNER.
2. MAINTAIN EXISTING HARDWARE.
3. PROTECT DOOR AND FRAME FROM DAMAGE THROUGHOUT CONSTRUCTION. ANY DAMAGE TO BE REPAIRED/REPLACED PER OWNER DISCRETION.
4. DOOR FRAME 2" OFF FINISHED FACE ON HINGE SIDE, U.N.O.
5. PROVIDE PANIC HARDWARE.
6. MANUALLY LOCKABLE FROM INSIDE OF ROOM. MASTER KEY LOCK ON OUTSIDE OF ROOM.
7. COORDINATE HARDWARE WITH MANUFACTURER.

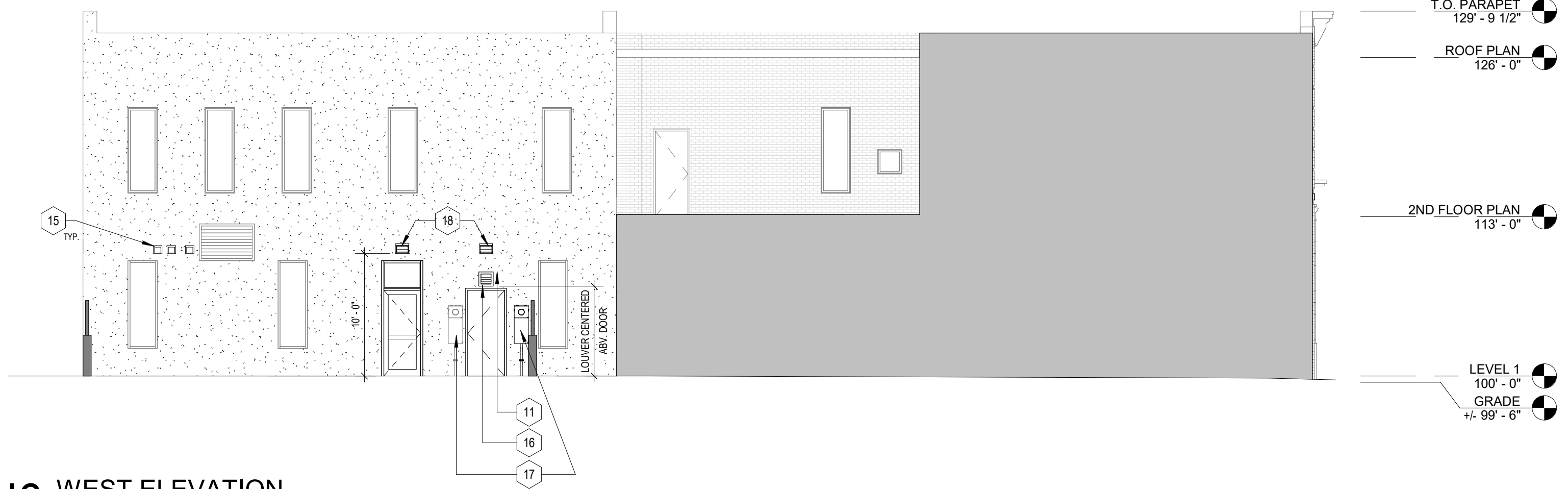
A8 EAST ELEVATION - COLOR
3/16" = 1'-0"



F6 EAST ELEVATION
1/8" = 1'-0"



H6 WEST ELEVATION
1/8" = 1'-0"



C6 SOUTH ELEVATION - COLOR
3/16" = 1'-0"



GENERAL NOTES EXTERIOR ELEVATIONS:

- RE: SHEET G0.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
- DIMENSIONS SHOWN ON THE EXTERIOR ELEVATIONS ARE TO THE FACE OF MTL. STUD WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS OTHERWISE NOTED OR INDICATED.
- RE: THE WINDOW TYPES SHEET FOR ALL EXTERIOR WINDOW TYPES AND GLASS TYPES.
- BRICK REPAIR** - REFER TO SPECIFICATIONS FOR BRICK REPAIR. ALL MASONRY CONTRACTOR TO REVIEW ALL ELEVATIONS FOR REPAIR/REPLACEMENT AS REQUIRED.
- JOINT SEALANTS** - REFER TO SPECIFICATIONS FOR JOINT SEALANT REPAIR. REMOVE/REPLACE REPAIR ALL JOINT SEALANTS ON THE BUILDING. PROVIDE 1/2" BACK ROD BEHIND SEALANTS BETWEEN ALL DISSIMILAR MATERIALS. COLOR TO MATCH ADJACENT MATERIALS.
- CONTRACTOR SHALL FOLLOW STUCCO REPAIR AS OUTLINED WITHIN STC RESTORATION DETAIL SERIES. DETAIL MANUAL, IF CONTRACTOR USES ALTERNATE OR SUBSTITUTED MANUFACTURER, A SUBMITTAL SHALL BE PROVIDED CONTAINING SIMILAR DETAIL INFORMATION FOR ARCHITECT'S APPROVAL.
- EXTERIOR BRICK, STEEL, AND WOOD PAINT** - BASIS OF DESIGN: SHERWIN WILLIAMS - PRO INDUSTRIAL - PRE-CATALYZED WATERBASED URETHANE B65-1100 SERIES.
NOTE FOR CONTRACTOR TO FOLLOW MANUFACTURER RECOMMENDATIONS AND PDS: PRODUCT DATA SHEET. PRIOR TO THE EXTERIOR URETHANE COATING APPLICATION ON BRICK, APPLY CONCRETE AND MASONRY PRIMER-SEALER (BASIS OF DESIGN: LOXON) PRODUCT AND COATS AS RECOMMENDED BY MANUFACTURER.

EXTERIOR ELEVATION KEYED NOTES

- | MARK | DESCRIPTION |
|------|--|
| 1 | STOREFRONT SYSTEM - BASIS OF DESIGN IS KAWNEER 450T FRAMING SYSTEM. GLAZING TO BE FRONT GLAZED. |
| 2 | REPLACE ALL SILL FLASHINGS. COLOR TO BE DARK BRONZE TO MATCH EXISTING. |
| 3 | BRICK - REPLACE ALL MISSING BRICK AND DAMAGED BRICK. COLOR TO MATCH EXISTING. TUCK POINT AS REQUIRED. PROVIDE BACKER ROD & SEALANT BETWEEN DISSIMILAR MATERIALS, TYP. RE: SPECIFICATIONS. |
| 4 | WOOD WINDOWS - REMOVE ALL LOOSE PAINT. PATCH/REPAIR/CAULK AS REQUIRED. PREPARE FOR NEW PAINT. |
| 5 | CAST STONE - TO BE RE-SET AND LEVELED. RE-GROUT AS REQUIRED. |
| 6 | GLAZED TILE - CLEAN AND TUCK-POINT. |
| 7 | WOOD DOOR - SAND AND REPAINT ENTRY DOOR AND FRAME. COLOR DARK BRONZE TO MATCH NEW WINDOW SYSTEM. |
| 8 | STEEL LINTEL - REMOVE ALL LOOSE MATERIAL AND REPAINT. |
| 9 | ALUMINUM WINDOWS / WINDOW HEAD DETAIL - ALUMINUM WINDOWS AT SECOND LEVEL EXISTING TO REMAIN. REMOVE ALL LOOSE MATERIAL. REPAIR CAST STONE HEADER AS REQUIRED AND REPAINT. |
| 10 | TOP OF WALL DETAIL - REMOVE ALL LOOSE MATERIAL AND REPAINT. REPAIR AS REQUIRED AND REFLASH TOP OF WALL AS NEEDED TO MAKE A WATER TIGHT SYSTEM. PREPARE FOR NEW FINISH. |
| 11 | REMOVE EXISTING WEATHERHOOD ABOVE EXTERIOR DOOR. 14"x14" OF EXISTING OPENING ABOVE DOOR TO REMAIN FOR NEW INTAKE LOUVER. INFILL REMAINDER OF EXISTING OPENING WITH SUB-FRAMING, SHEATHING, AND FINISH MATERIAL TO MATCH EXISTING. RE: MEP. REPLACE EXISTING DOOR WITH NEW HOLLOW METAL DOOR. |
| 12 | EXISTING AWNINGS - RE-ATTACH EXISTING AWNINGS TO BUILDING. NEW FABRIC ON AWNINGS TO MATCH SW #7625 MOUNT ETNA. |
| 13 | INSTALL NEW TEMPERED GLAZING AS REQUIRED. |
| 14 | REPLACE WOOD TRIM AT PERIMETER OF WINDOW WITH EXTERIOR/PAINT-GRADE LUMBER. MATCH EXISTING LUMBER SIZES. PAINT. |
| 15 | EXHAUST WALL CAPS. RE: MECH. PAINT TO MATCH WALL. |
| 16 | LOUVERS. RE: MECH. PAINT TO MATCH WALL. |
| 17 | ELEC. METER. RE: ELEC. |
| 18 | WALL PACK. RE: ELEC. |

EXTERIOR ELEVATION COLOR LEGEND

- | | |
|--|---|
| | PRIMARY COLOR:
SW #7594 CARRIAGE DOOR |
| | ACCENT COLOR 1:
SW #7625 MOUNT ETNA |
| | ACCENT COLOR 2:
SW #7675 SEALSKIN |
| | ACCENT COLOR 3:
SW #0009 EASTLAKE GOLD |
| | EXISTING GLAZED TILE TO REMAIN. RE: KEYNOTE #6 |

EXTERIOR ELEVATIONS AND DOOR SCHEDULE

MAIN STREET BUILDING IMPROVEMENTS

230 SW MAIN ST.
LEE'S SUMMIT, MO 64063

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REVISION DATES:



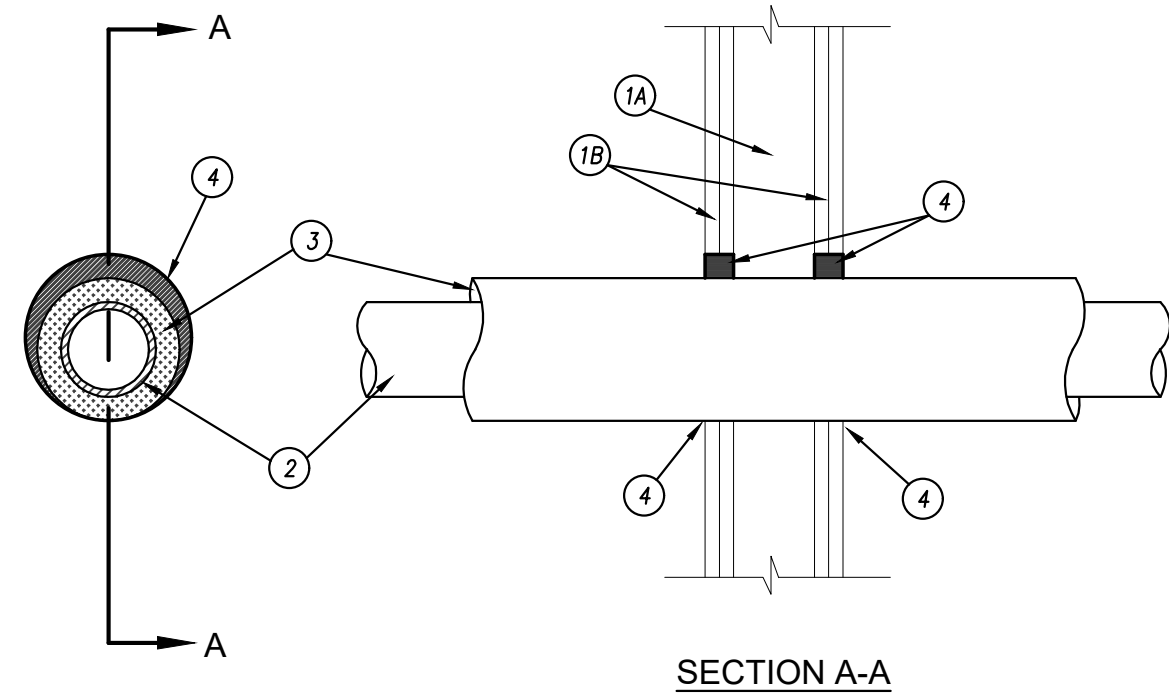
PROFESSIONAL SEAL

A201
ISSUE DATE: 21 APRIL, 2022
COLLINS WEBB #: 21121



PERMIT DOCUMENTS

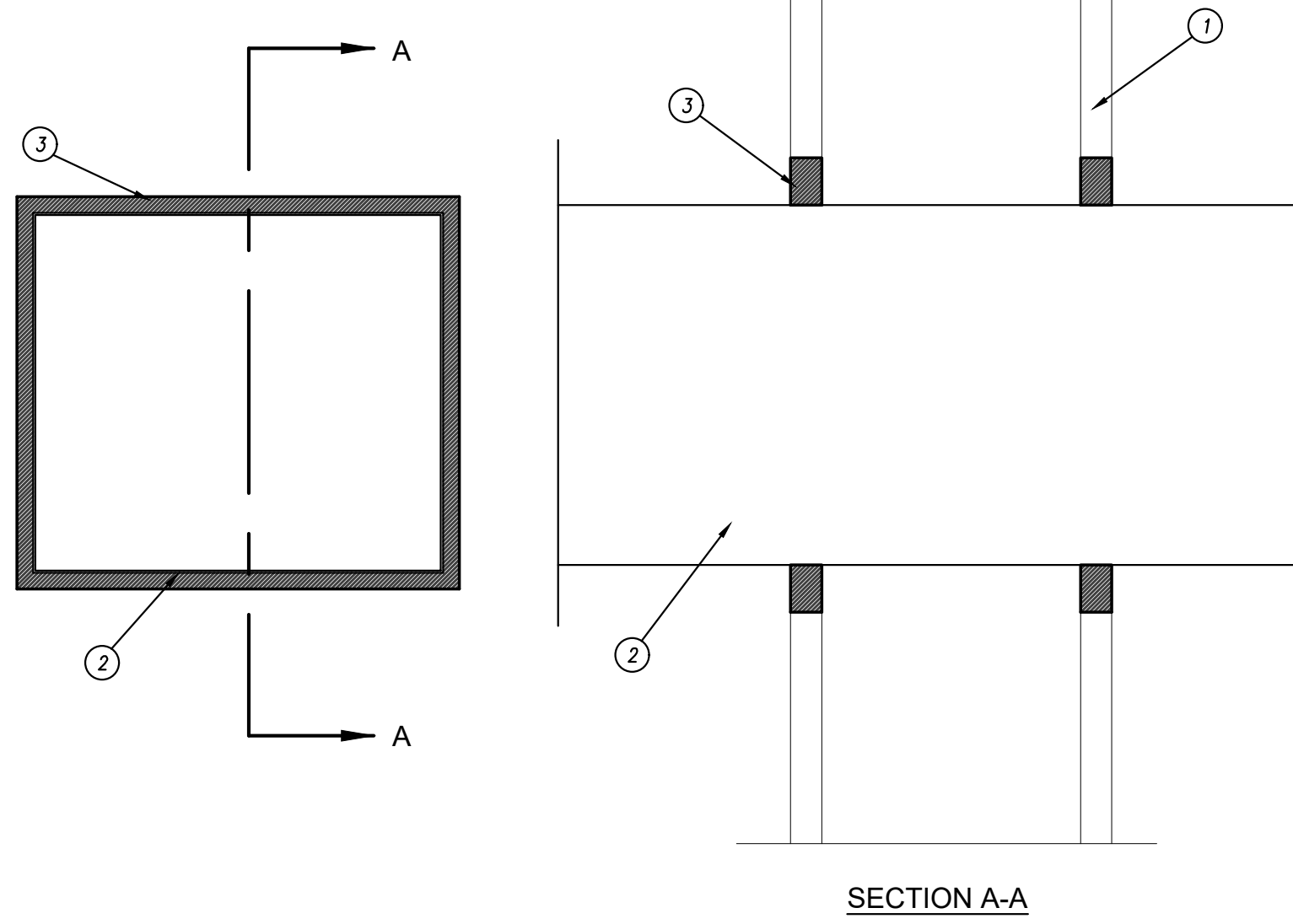
System No. W-L-5040
September 7, 2004
F Ratings - 1 and 2 HR (See Item 1)
T Ratings - 1/4, 1/2 and 3/4 HR (See Item 2)



1. WALL ASSEMBLY - THE 1 OR 2 HR FIRE-RATED GYPSUM WALLBOARD/STUD WALL ASSEMBLY SHALL BE CONSTRUCTED OF THE MATERIALS AND IN THE MANNER SPECIFIED IN THE INDIVIDUAL U300, U400 OR U400 SERIES WALL OR PARTITION DESIGNS IN THE UL FIRE RESISTANCE DIRECTORY AND SHALL INCLUDE THE FOLLOWING CONSTRUCTION FEATURES:
A. STUDS - WALL FRAMING MAY CONSIST OF EITHER WOOD STUDS OR STEEL CHANNEL STUDS. WOOD STUDS TO CONSIST OF NOM 2 BY 4 IN. LUMBER SPACED 16 IN. OC. STEEL STUDS TO BE MIN 3-5/8 IN. WIDE AND SPACED MAX 24 IN. OC.
B. GYPSUM BOARD* - NOM 5/8 IN. THICK, 4 FT WIDE WITH SQUARE OR TAPERED EDGES. THE GYPSUM WALLBOARD TYPE, NUMBER OF LAYERS, FASTENER TYPE AND SHEET ORIENTATION SHALL BE AS SPECIFIED IN THE INDIVIDUAL WALL AND PARTITION DESIGN. MAX DIM OF OPENING IN WALLBOARD LAYERS IS 7 IN. THE HOURLY F RATING OF THE FIRESTOP SYSTEM IS 1 HR WHEN INSTALLED IN A 1 HR FIRE RATED WALL AND 2 HR WHEN INSTALLED IN A 2 HR FIRE RATED WALL.
2. THROUGH PENETRANTS - ONE METALLIC PIPE OR TUBING TO BE INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRESTOP SYSTEM. PIPE OR TUBING TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF WALL ASSEMBLY. THE FOLLOWING TYPES AND SIZES OF METALLIC PIPES OR TUBING MAY BE USED:
A. STEEL PIPE - NOM 4 IN. DIAM (OR SMALLER) SCHEDULE 10 (OR HEAVIER) STEEL PIPE. WHEN STEEL PIPE IS USED, T RATING IS 3/4 HR.
B. COPPER TUBING - NOM 4 IN. DIAM (OR SMALLER) TYPE L (OR HEAVIER) COPPER TUBING. T RATING IS 3/4 HR FOR COPPER TUBING OF NOM 2 IN. DIAM AND SMALLER. FOR COPPER TUBING GREATER THAN NOM 2 IN. DIAM, T RATING IS 1/4 AND 1/2 HR WHEN INSTALLED IN 1 AND 2 HR RATED WALLS, RESPECTIVELY.
C. COPPER PIPE - NOM 4 IN. DIAM (OR SMALLER) REGULAR (OR HEAVIER) COPPER PIPE. T RATING IS 3/4 HR FOR COPPER PIPE OF NOM 2 IN. DIAM AND SMALLER. FOR COPPER PIPE GREATER THAN NOM 2 IN. DIAM, T RATING IS 1/4 AND 1/2 HR WHEN INSTALLED IN 1 AND 2 HR RATED WALLS, RESPECTIVELY.
3. PIPE INSULATION - PLASTICS* - NOM 3/4 IN. THICK ACRYLONITRILE BUTADIENE/POLYVINYL CHLORIDE (AB/PVC) FLEXIBLE FOAM FURNISHED IN THE FORM OF TUBING. THE ANNUAL SPACE BETWEEN THE INSULATED PIPE AND THE EDGE OF THE THROUGH OPENING SHALL BE MIN ZERO IN. (POINT CONTACT) TO MAX 1-1/4 IN. SEE PLASTICS (04F22) CATEGORY IN THE RECOGNIZED COMPONENT DIRECTORY FOR NAMES OF MANUFACTURERS. ANY RECOGNIZED COMPONENT TUBE INSULATION MATERIAL MEETING THE ABOVE SPECIFICATIONS AND HAVING A UL94 FLAMMABILITY CLASSIFICATION OF 94-SHA MAY BE USED.
4. FILL VOID OR CAVITY MATERIALS* - CAULK OR SEALANT - MIN 5/8 IN. THICKNESS OF CAULK APPLIED WITHIN THE ANNUAL SPACE, FLUSH WITH EACH SURFACE OF WALL. A MIN 1/2 IN. DIAM BEAD OF CAULK SHALL BE APPLIED TO THE PIPE INSULATION/ WALLBOARD INTERFACE AT THE POINT CONTACT LOCATION ON BOTH SIDES OF WALL.
SM COMPANY - CP 25WB+ CAULK OR FB-3000 WT SEALANT

*BEARING THE UL CLASSIFICATION MARKING

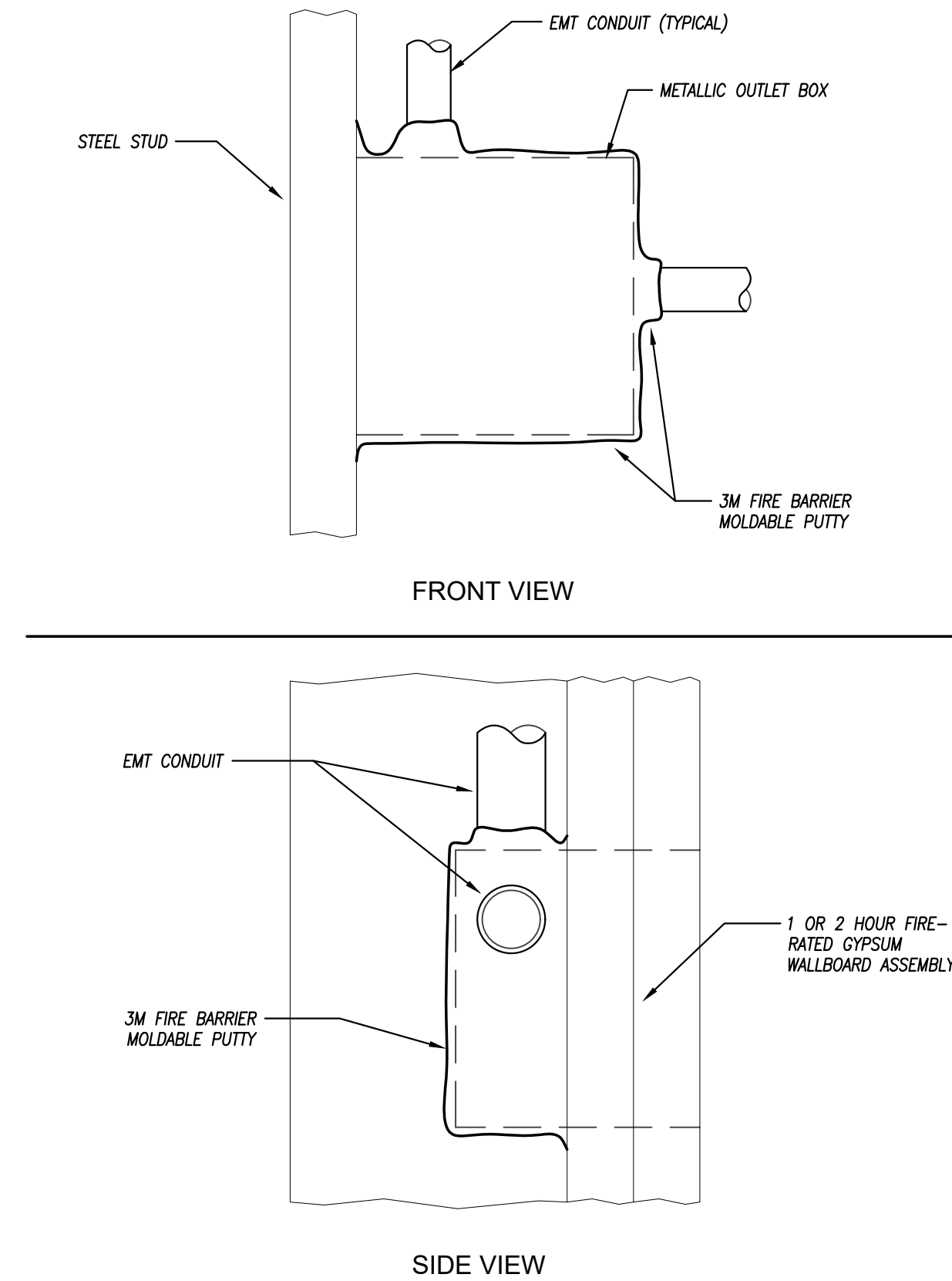
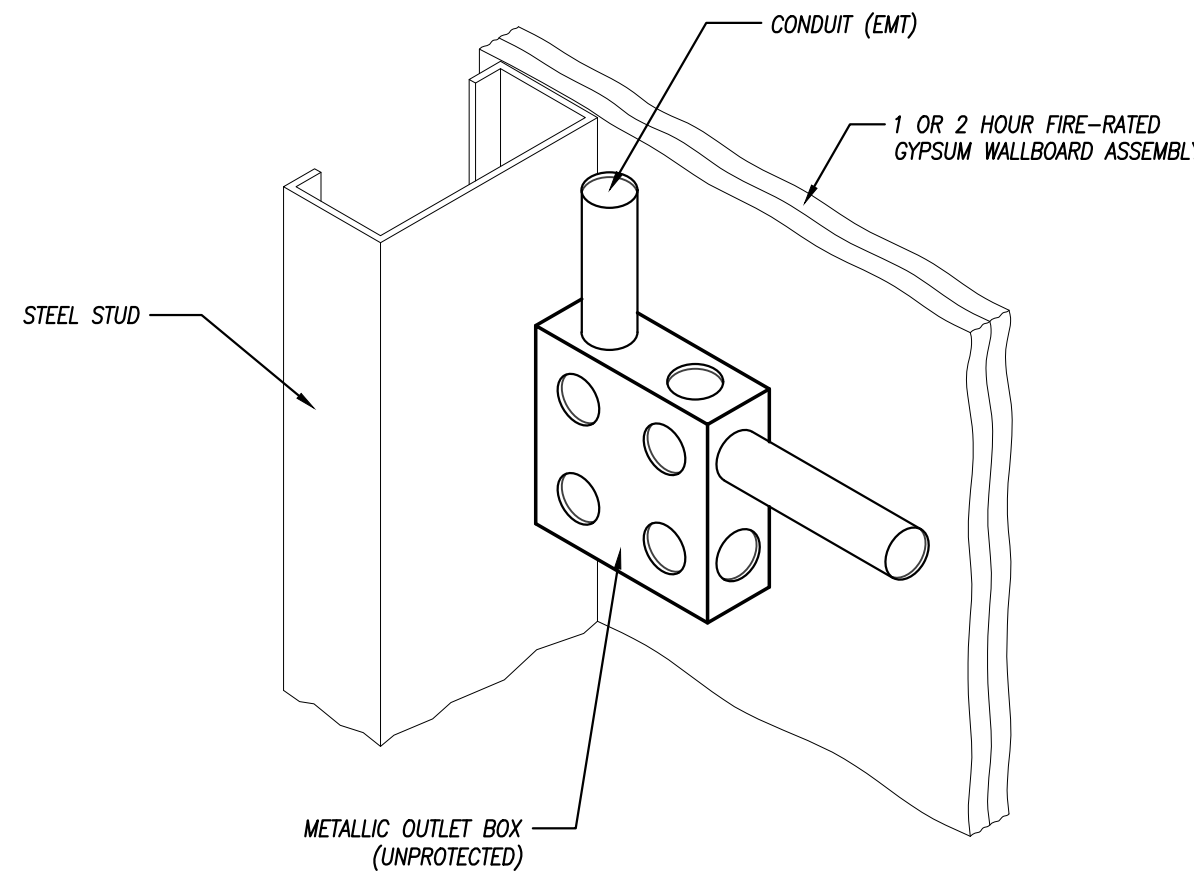
System No. W-L-7052
May 19, 2005
F Rating - 1 HR
T Rating - 0 HR



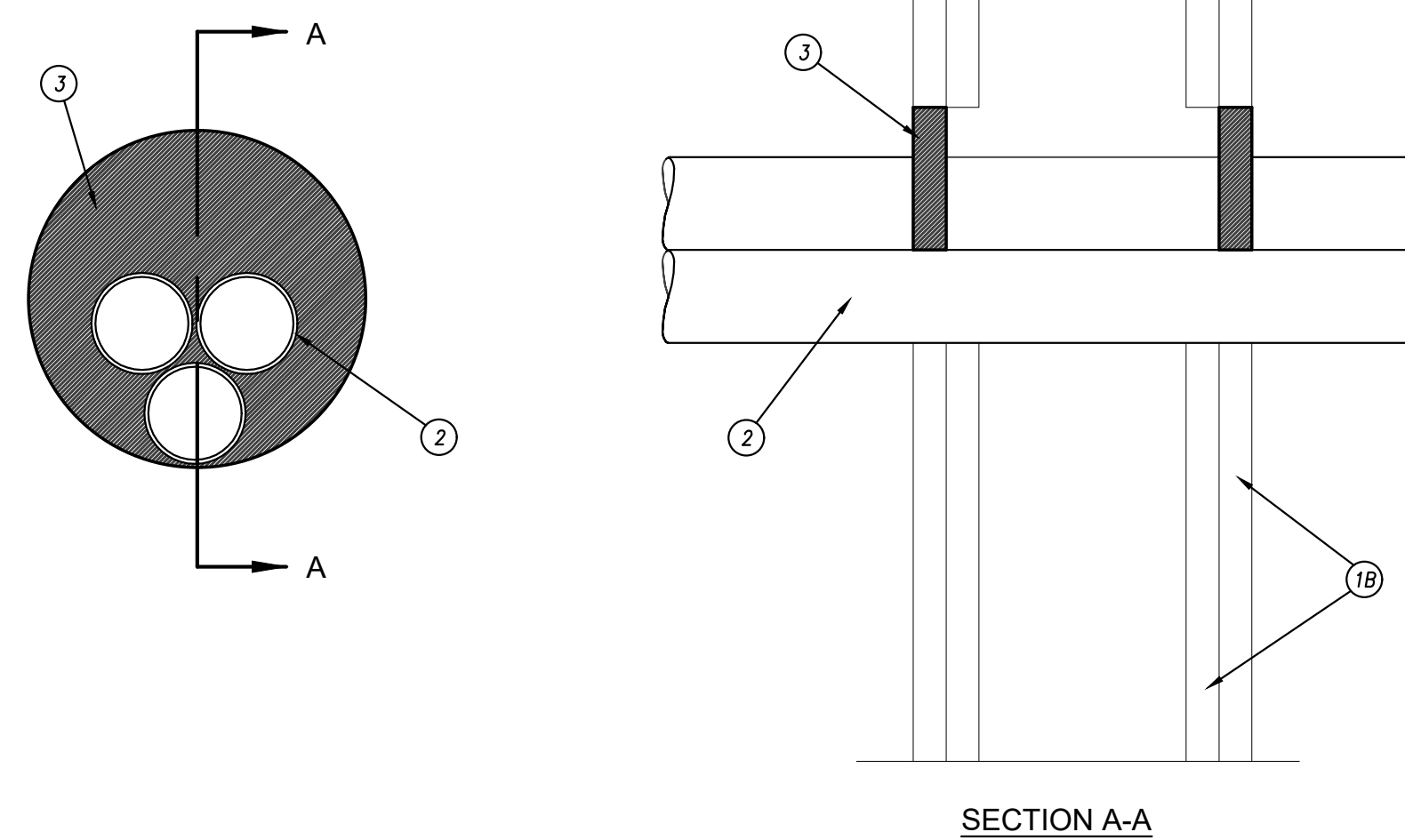
1. WALL ASSEMBLY - THE 1 HR FIRE RATED GYPSUM BOARD/STUD WALL ASSEMBLY SHALL BE CONSTRUCTED OF THE MATERIALS AND IN THE MANNER SPECIFIED IN THE INDIVIDUAL U300, U400 OR U400 SERIES WALL AND PARTITION DESIGNS IN THE UL FIRE RESISTANCE DIRECTORY AND SHALL INCLUDE THE FOLLOWING CONSTRUCTION FEATURES:
A. STUDS - WALL FRAMING MAY CONSIST OF EITHER WOOD STUDS OR STEEL STUDS. WOOD STUDS TO CONSIST OF NOM 2 BY 4 IN. (51 MM BY 102 MM) LUMBER SPACED 16 IN. (406 MM) OC. STEEL STUDS TO BE MIN 3-1/2 IN. (89 MM) WIDE AND SPACED MAX 24 IN. (610 MM) OC.
B. GYPSUM BOARD* - THICKNESS, TYPE, NUMBER OF LAYERS AND FASTENERS AS REQUIRED IN THE INDIVIDUAL WALL AND PARTITION DESIGN. MAX SIZE OF OPENING IS 14 BY 14 IN. (356 MM BY 356 MM) SQUARE.
2. STEEL DUCT - NOM 12 BY 12 IN. (305 MM BY 305 MM) (OR SMALLER) NO. 24 GAUGE (OR HEAVIER) GALV STEEL DUCT TO BE CENTERED WITHIN OPENING WITH A NOM ANNUAL SPACE OF 1 IN. (25 MM). DUCT TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF OPENING.
3. FILL VOID OR CAVITY MATERIAL* - CAULK OR SEALANT - MIN 5/8 IN. (16 MM) THICKNESS OF CAULK APPLIED WITHIN ANNUUS, FLUSH WITH BOTH SURFACES OF WALL ASSEMBLY.
SM COMPANY - CP 25WB+ IC 15WB+ CAULK OR FB-3000 WT SEALANT

*BEARING THE UL CLASSIFICATION MARK

INSTALLATION DETAIL FOR
3M FIRE BARRIER MOLDABLE
PUTTY ON ELECTRICAL OUTLET BOXES



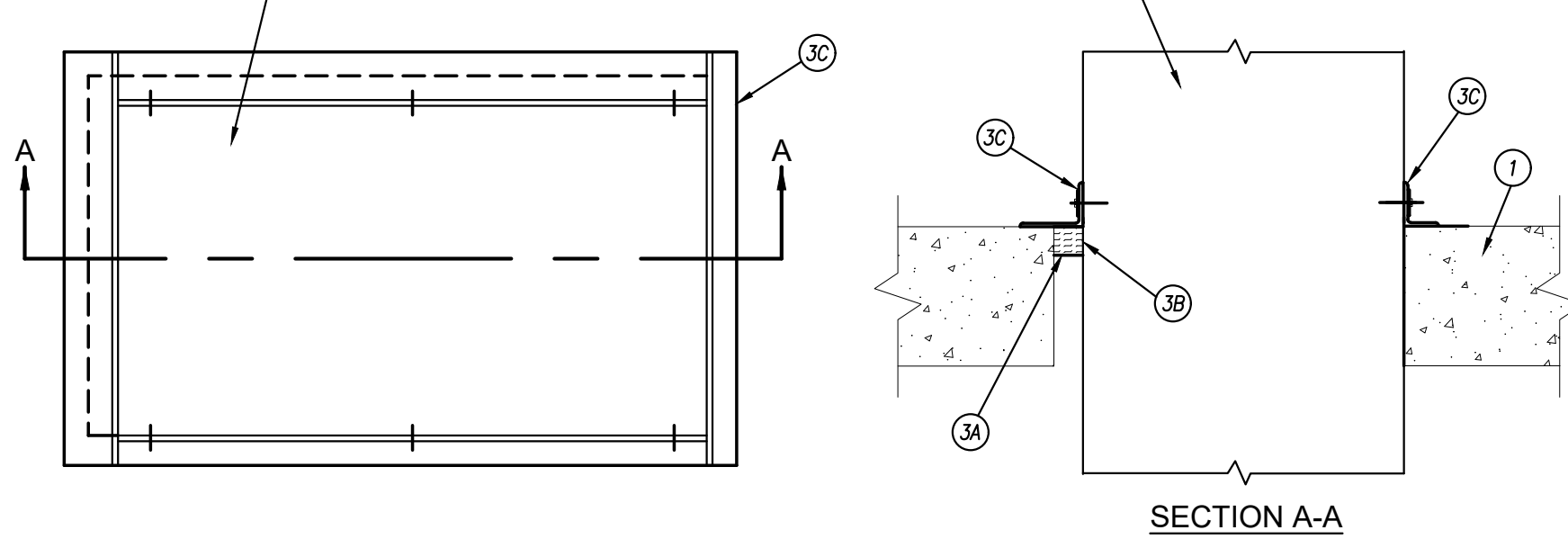
System No. W-L-2300
May 19, 2005
F Ratings - 1 & 2 Hr (See Item 1)
T Ratings - 0 & 1/2 Hr (See Item 1)



1. WALL ASSEMBLY - THE 1 OR 2 HR FIRE RATED GYPSUM BOARD/STUD WALL ASSEMBLY SHALL BE CONSTRUCTED OF THE MATERIALS AND IN THE MANNER DESCRIBED IN THE INDIVIDUAL U300, U400 OR U400 SERIES WALL OR PARTITION DESIGN IN THE UL FIRE RESISTANCE DIRECTORY AND SHALL INCLUDE THE FOLLOWING CONSTRUCTION FEATURES:
A. STUDS - WALL FRAMING MAY CONSIST OF EITHER WOOD STUDS OR STEEL CHANNEL STUDS. WOOD STUDS TO CONSIST OF NOM 2 IN. BY 4 IN. (51 MM BY 102 MM) LUMBER SPACED 16 IN. (406 MM) OC. STEEL STUDS TO BE MIN 3-1/2 IN. (89 MM) WIDE SPACED MAX 24 IN. (610 MM) OC.
B. GYPSUM BOARD* - THE GYPSUM BOARD TYPE, THICKNESS, NUMBER OF LAYERS, FASTENER TYPE AND SHEET ORIENTATION SHALL BE AS SPECIFIED IN THE INDIVIDUAL U300 OR U400 SERIES DESIGN IN THE UL FIRE RESISTANCE DIRECTORY. MAX DIM OF OPENING IS 4 IN. (102 MM). THE HOURLY F RATING OF THE FIRESTOP SYSTEM IS EQUAL TO THE HOURLY FIRE RATING OF THE WALL ASSEMBLY IN WHICH IT IS INSTALLED. THE HOURLY F RATING IS 0 AND 1/2 HR FOR 1 AND 2 HR RATED ASSEMBLIES, RESPECTIVELY.
2. THROUGH PENETRANTS - ONE OR MORE NONMETALLIC PIPES, CONDUITS OR TUBES INSTALLED CONCENTRICALLY OR ECCENTRICALLY WITHIN OPENING. ANNUAL SPACE BETWEEN PENETRANTS AND PERIPHERY OF OPENING TO BE MIN 0 IN. (POINT CONTACT) TO MAX 1 IN. (0 MM TO MAX 25 MM). SPACE BETWEEN PENETRANTS SHALL BE MIN 0 IN. (POINT CONTACT) TO MAX 1 IN. (0 MM TO MAX 25 MM). PENETRANTS TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF WALL. THE FOLLOWING TYPES AND SIZES OF PENETRANTS MAY BE USED:
A. POLYETHYLENE GLYCOL (PE) PIPE - NOM 1-1/2 IN. (38 MM) DIAM (OR SMALLER) SCHEDULE 40 SOLID OR CELLULAR CORE PVC PIPE FOR USE IN CLOSED (PROCESS OR SUPPLY) OR VENTED (DRAIN, WASTE OR VENT) PIPING SYSTEMS.
B. RIGID NONMETALLIC CONDUIT** - NOM 1-1/2 IN. (38 MM) DIAM (OR SMALLER) SCHEDULE 40 SOLID OR CELLULAR CORE PVC PIPE FOR USE IN CLOSED (PROCESS OR SUPPLY) OR VENTED (DRAIN, WASTE OR VENT) PIPING SYSTEMS.
C. CHLORINATED POLYETHYLENE (CPE) PIPE - NOM 1-1/2 IN. (38 MM) DIAM (OR SMALLER) SDR 13.5 CPVC PIPE FOR USE IN CLOSED (PROCESS OR SUPPLY) OR VENTED (DRAIN, WASTE OR VENT) PIPING SYSTEMS.
D. CROSSLINKED POLYETHYLENE (PEX) TUBING - NOM 1 IN. (25 MM) DIAM (OR SMALLER) SDR 9 PEX TUBING FOR USE IN CLOSED (PROCESS OR SUPPLY) OR VENTED (DRAIN, WASTE OR VENT) PIPING SYSTEMS.
3. FILL VOID OR CAVITY MATERIAL* - CAULK OR SEALANT - MIN 5/8 IN. (16 MM) THICKNESS OF CAULK APPLIED WITHIN ANNUUS, FLUSH WITH BOTH SURFACES OF WALL. MIN 1/4 IN. (6 MM) DIAM BEAD OF CAULK APPLIED TO GYPSUM BOARD/PENETRANT INTERFACE AT POINT CONTACT LOCATION ON BOTH SIDES OF WALL.
SM COMPANY - IC 15WB+ CP 25WB+ CAULK OR FB-3000 WT SEALANT
(NOTE: CP 25WB+ NOT SUITABLE FOR USE WITH CPVC PIPES.)

*BEARING THE UL CLASSIFICATION MARKING

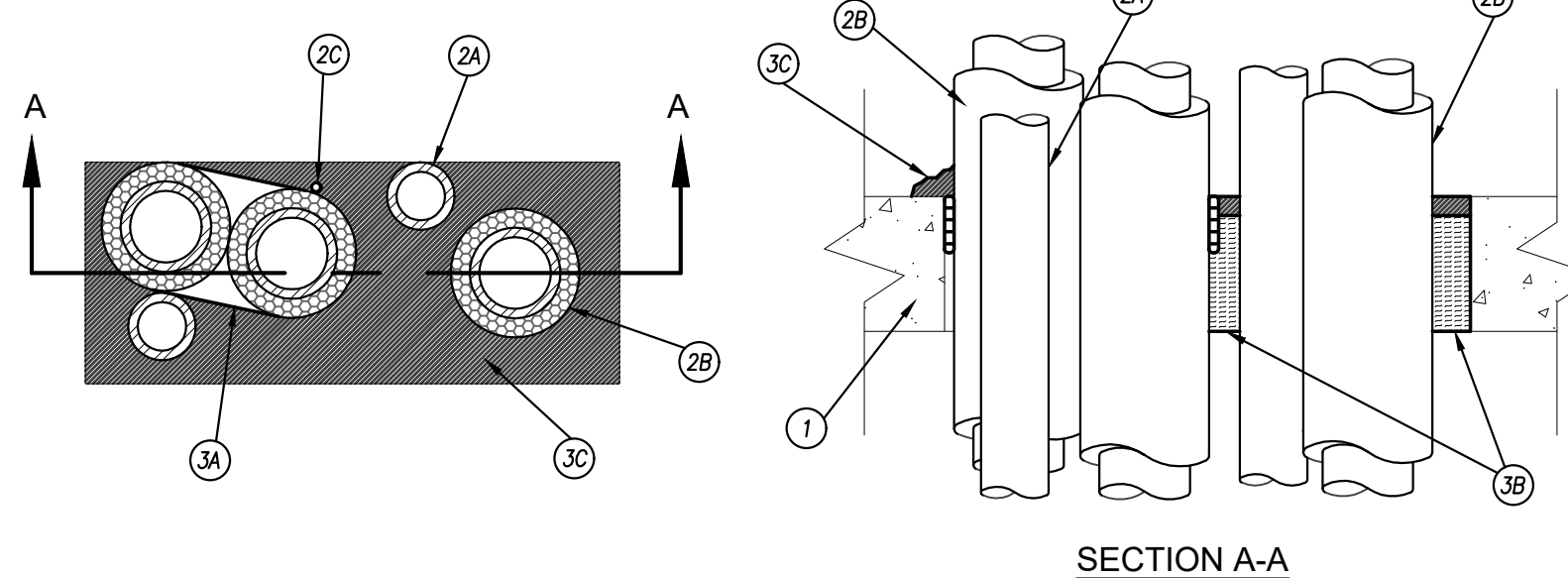
System No. C-AJ-7016
May 19, 2005
F Ratings - 2 & 3 Hr (See Item 1)
T Rating - 0 Hr (See Item 1)



1. FLOOR OR WALL ASSEMBLY - MIN 2-1/2 IN. (64 MM) THICK OR MIN 4-1/2 IN. (114 MM) THICK LIGHTWEIGHT OR NORMAL WEIGHT (100-150 PCF OR 1600-2400 KG/M3) CONCRETE. WALL MAY ALSO BE CONSTRUCTED OF ANY UL CLASSIFIED CONCRETE BLOCKS. MAX AREA OF OPENING IS 576 SQ IN. (3716 C/M2) WITH MAX DIMENSION OF 36 IN. (914 MM) FOR 2 HR ASSEMBLIES AND 544 SQ IN. (3510 C/M2) WITH MAX DIMENSION OF 34 IN. (864 MM) FOR 3 HR ASSEMBLIES. SEE CONCRETE BLOCKS (CA27) CATEGORY IN THE FIRE RESISTANCE DIRECTORY FOR NAMES OF MANUFACTURERS.
2. THROUGH PENETRANTS - ONE STEEL DUCT TO BE INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRESTOP SYSTEM. AN ANNUAL SPACE OF MIN 0 IN. (POINT CONTACT) TO MAX 4 IN. (0 MM TO MAX 102 MM) IS REQUIRED WITHIN THE FIRESTOP SYSTEM FOR 2 HR ASSEMBLIES AND MIN 0 IN. (POINT CONTACT) TO MAX 2 IN. IS REQUIRED WITHIN THE FIRESTOP SYSTEM FOR 3 HR ASSEMBLIES. STEEL DUCT TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR OR WALL ASSEMBLY. THE FOLLOWING SIZES OF STEEL DUCTS MAY BE USED:
A. STEEL DUCT - NOM 32 IN. BY 14 IN. (813 MM BY 356 MM) (OR SMALLER) NO. 22 GAUGE (OR HEAVIER) GALV STEEL DUCT.
B. STEEL DUCT - NOM 30 IN. BY 12 IN. (762 MM BY 305 MM) (OR SMALLER) NO. 24 GAUGE (OR HEAVIER) GALV STEEL DUCT.
3. FIRESTOP SYSTEM - THE FIRESTOP SYSTEM SHALL CONSIST OF THE FOLLOWING:
A. PACKING MATERIAL - NOM 1 IN. (25 MM) THICKNESS OF TIGHTLY PACKED MINERAL WOOL BATT INSULATION FIRMLY PACKED INTO OPENING AS A PERMANENT FORM. PACKING MATERIAL TO BE RECESSED FROM TOP SURFACE OF FLOOR OR FROM BOTH SURFACES OF WALL AS REQUIRED TO ACCOMMODATE THE REQUIRED THICKNESS OF CAULK FILL MATERIAL.
B. FILL/VOID OR CAVITY MATERIAL* - CAULK OR SEALANT - MIN 1 IN. (25 MM) THICKNESS OF FILL MATERIAL APPLIED WITHIN ANNUUS, FLUSH WITH TOP SURFACE OF FLOOR OR BOTH SURFACES OF WALL ASSEMBLY. AT THE POINT CONTACT LOCATION BETWEEN DUCT AND CONCRETE, A MIN 1/4 IN. (6 MM) DIAM BEAD OF SEALANT SHALL BE APPLIED TO THE CONCRETE/DUCT INTERFACE ON THE TOP SURFACE OF FLOOR AND ON BOTH SURFACES OF WALL ASSEMBLY.
SM COMPANY - CP 25WB+ IC 15WB+ CAULK OR FB-3000 WT SEALANT.
C. RETAINING ANGLES - MIN 16 GAUGE GALV STEEL ANGLES SIZED TO LAP DUCT A MIN OF 2 IN. (51 MM) IN. AND LAP TOP SURFACE OF FLOOR OR BOTH SURFACES OF WALL A MIN OF 1 IN. (25 MM). ANGLES ATTACHED TO DUCT WITH MIN 1/2 IN. (13 MM) LONG, NO. 10 (OR LARGER) SHEET METAL SCREWS SPACED A MAX OF 1 IN. (25 MM) FROM EACH END OF DUCT AND SPACED A MAX OF 6 IN. (152 MM) OC.

*BEARING THE UL CLASSIFICATION MARKING

System No. C-AJ-8088
September 07, 2004
F Ratings - 2 Hr
T Rating - 0 Hr



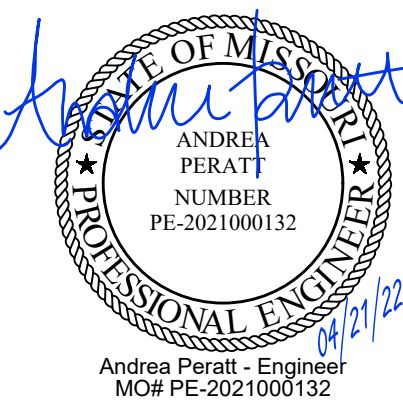
1. FLOOR OR WALL ASSEMBLY - MIN 4-1/2 IN. THICK REINFORCED LIGHTWEIGHT OR NORMAL WEIGHT (100-150 PCF) CONCRETE. WALL MAY ALSO BE CONSTRUCTED OF ANY UL CLASSIFIED CONCRETE BLOCKS. MAX AREA OF OPENING IS 144 SQ IN. WITH A MAX DIMENSION OF 18 IN. SEE CONCRETE BLOCKS (CA27) CATEGORY IN THE FIRE RESISTANCE DIRECTORY FOR NAMES OF MANUFACTURERS.
2. THROUGH PENETRANTS - METALLIC PIPES, TUBING OR CABLE TO BE INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRESTOP SYSTEM. PENETRANTS TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR ASSEMBLY. THE FOLLOWING TYPES AND SIZES OF PENETRANTS MAY BE USED:
A. METALLIC PIPES - MAX FIVE METALLIC PIPES OR TUBING. THE ANNUAL SPACE BETWEEN UNINSULATED PENETRANT AND PERIPHERY OF OPENING SHALL BE MIN 0 IN. (POINT CONTACT) TO MAX 2-3/4 IN. IN THE FOLLOWING TYPES AND SIZES OF METALLIC PIPES OR TUBING MAY BE USED:
A1. COPPER TUBING - NOM 3 IN. DIAM (OR SMALLER) TYPE M (OR HEAVIER) COPPER TUBE.
A2. COPPER PIPE - NOM 3 IN. DIAM (OR SMALLER) REGULAR (OR HEAVIER) COPPER PIPE.
B. TUBE INSULATION - PLASTICS* - NOM 1 IN. THICK ACRYLONITRILE BUTADIENE/POLYVINYL CHLORIDE (AB/PVC) FLEXIBLE FOAM FURNISHED IN THE FORM OF TUBING. THE TUBE INSULATION SHALL BE INSTALLED ON ALL TUBING GREATER THAN NOM 2 IN. DIAM. THE ANNUAL SPACE BETWEEN THE INSULATED PENETRATING ITEM AND UNINSULATED METALLIC PIPES, CONDUIT OR TUBING SHALL BE MIN 0 IN. (POINT CONTACT) TO MAX 1-1/4 IN. THE ANNUAL SPACE BETWEEN THE INSULATED PENETRATING ITEM AND THE PERIPHERY OF THE OPENING SHALL BE MIN 0 IN. (POINT CONTACT) TO MAX 2-3/4 IN. SEE PLASTICS (04F22) CATEGORY IN THE RECOGNIZED COMPONENT DIRECTORY FOR NAMES OF MANUFACTURERS. ANY RECOGNIZED COMPONENT TUBE INSULATION MATERIAL MEETING THE ABOVE SPECIFICATIONS AND HAVING A UL 94 FLAMMABILITY CLASSIFICATION OF 94-SHA MAY BE USED.
C. CABLES - MAX ONE 2/C NO. 18 AWG (OR SMALLER) THERMOSTAT WIRE SPACED MIN 0 IN. (POINT CONTACT) FROM TUBE INSULATION OR MIN 1/2 IN. FROM OTHER PENETRANTS. THE ANNUAL SPACE BETWEEN CABLE AND PERIPHERY OF OPENING IS MIN 0 IN. (POINT CONTACT) TO MAX 2-3/4 IN. CABLE TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR OR WALL ASSEMBLY.
3. FIRESTOP SYSTEM - THE DETAILS OF THE FIRESTOP SYSTEM SHALL BE AS FOLLOWS:
A. FILL/VOID OR CAVITY MATERIALS* - WRAP STRIP - NOM 1/8 IN. THICK INTUMESCENT MATERIAL SUPPLIED IN 2 IN. WIDE STRIPS. MIN ONE LAYER OF WRAP STRIP WRAPPED AROUND PENETRANTS AND PIPE INSULATION AND SECURED IN PLACE WITH STEEL WIRE OR ALUMINUM FOIL TAPE AND RECESSED WITHIN THE OPENING NOT MORE THAN 2 IN. ABOVE THE BOTTOM OF THE FLOOR. WRAP STRIP REQUIRED AROUND INSULATED PENETRANTS WHICH MAY BE TIGHTLY BUNDLED TOGETHER. WRAP STRIP ALSO REQUIRED TO BE INSTALLED AROUND UNINSULATED PENETRANTS WHEN INSTALLED LESS THAN 1/2 IN. FROM UNINSULATED TUBES OR CABLES. IN SUCH CASES WHERE INSULATED PENETRANT IS AT POINT CONTACT WITH UNINSULATED TUBES OR CABLES, WRAP STRIP TO BE RECESSED BETWEEN INSULATION AND UNINSULATED TUBE OR CABLE BY COMPRESSING INSULATION. WRAP STRIP NOT REQUIRED AROUND INSULATED TUBES INSTALLED 1/2 IN. OR GREATER FROM OTHER PENETRANTS.
SM COMPANY - ULTRA GS
B. PACKING MATERIAL - MIN 3 IN. THICKNESS OF MIN 4 PCF MINERAL WOOL BATT INSULATION FIRMLY PACKED INTO OPENING AS A PERMANENT FORM. PACKING MATERIAL TO BE RECESSED FROM TOP SURFACE OF FLOOR TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL.
C. FILL/VOID OR CAVITY MATERIALS* - CAULK, SEALANT OR PUTTY - MIN 1/2 IN. THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNUUS, FLUSH WITH TOP SURFACE OF FLOOR. MIN 1/2 IN. DIAM BEAD OF FILL MATERIAL APPLIED TO THE PENETRANT/CONCRETE INTERFACE AT THE POINT CONTACT LOCATION ON THE TOP SURFACE OF FLOOR.
SM COMPANY - MP+ STIX PUTTY, CP 25WB+ CAULK OR FB-3000 WT SEALANT.

*BEARING THE UL CLASSIFICATION MARKING

*BEARING THE UL RECOGNIZED COMPONENT MARKING



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David Lawrence Peratt - Engineer
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David Lawrence Peratt - Engineer
MO# E-200807

PROFESSIONAL SEAL

MEP002

ISSUE DATE: APRIL 21, 2022
COLLINS WEBB #: 21121

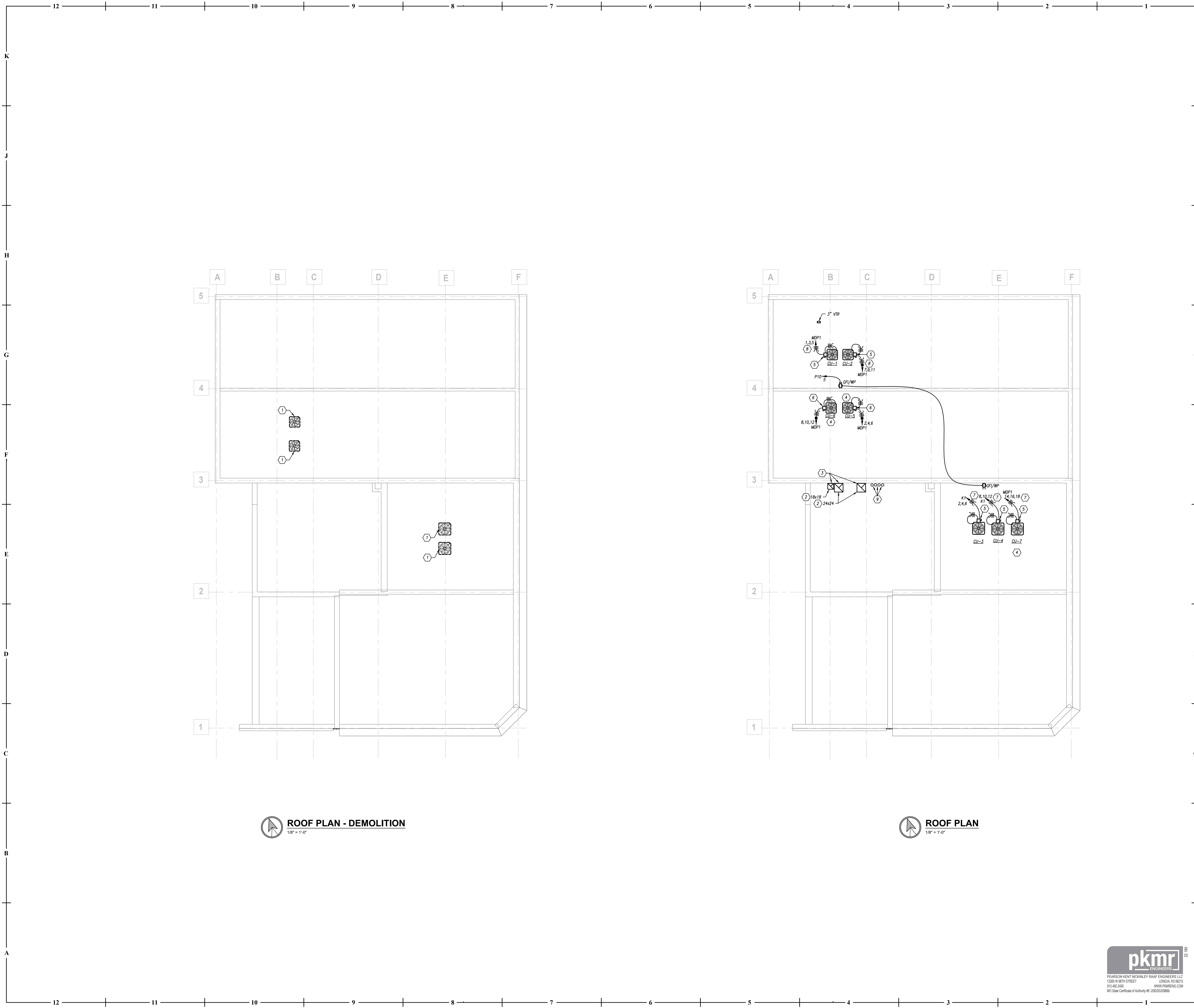
THROUGH PENETRATION DETAILS

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GENERAL ROOF PLAN

NOTES

1. REFER TO GENERAL NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.
2. MAINTAIN CODE-REQUIRED DISTANCES FOR ALL VENTS, EXHAUSTS, ETC. FROM MECHANICAL EQUIPMENT OUTSIDE AIR INTAKES.
3. ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE MOUNTED A MINIMUM OF 36" ABOVE THE ROOF ON SUITABLE STEEL SUPPORTS UNLESS OTHERWISE NOTED.

ROOF PLAN KEYED NOTES

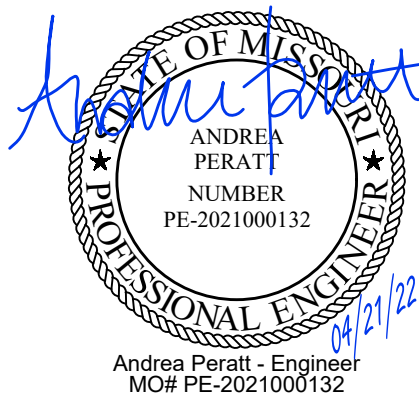
- 1 CONTRACTOR TO FIELD VERIFY LOCATION AND REMOVE EXISTING CONDENSING UNITS. REUSE EXISTING LOCATIONS. REFRIGERANT PIPE PENETRATIONS AND ACCESSORIES OF CONDENSING UNITS SERVING SECOND FLOOR. REFER TO NEW WORK PLAN.
- 2 DISHWASHER, GREASE AND MAKE-UP AIR DUCT FROM/ TO FIRST FLOOR TO/ FROM 2ND FLOOR ROOF.
- 3 CAP DUCTWORK ON ROOF FOR FUTURE USE.
- 4 CONDENSING UNIT SERVING 2ND FLOOR TO BE INSTALLED IN EXISTING LOCATION.
- 5 60AMP, 3-POLE, NON-FUSED HEAVY-DUTY DISCONNECT SWITCH IN NEMA 3R ENCLOSURE.
- 6 30AMP, 3-POLE, NON-FUSED HEAVY DUTY DISCONNECT SWITCH IN NEMA 3R ENCLOSURE.
- 7 (3) #6 WIRE AND (1) #10 GROUND IN 3/4" CONDUIT.
- 8 (3) #8 WIRE AND (1) #10 GROUND IN 3/4" CONDUIT.
- 9 CONDUIT PENETRATIONS FOR FUTURE MECHANICAL EQUIPMENT. REFER TO SHEET E111 FOR ADDITIONAL INFORMATION.

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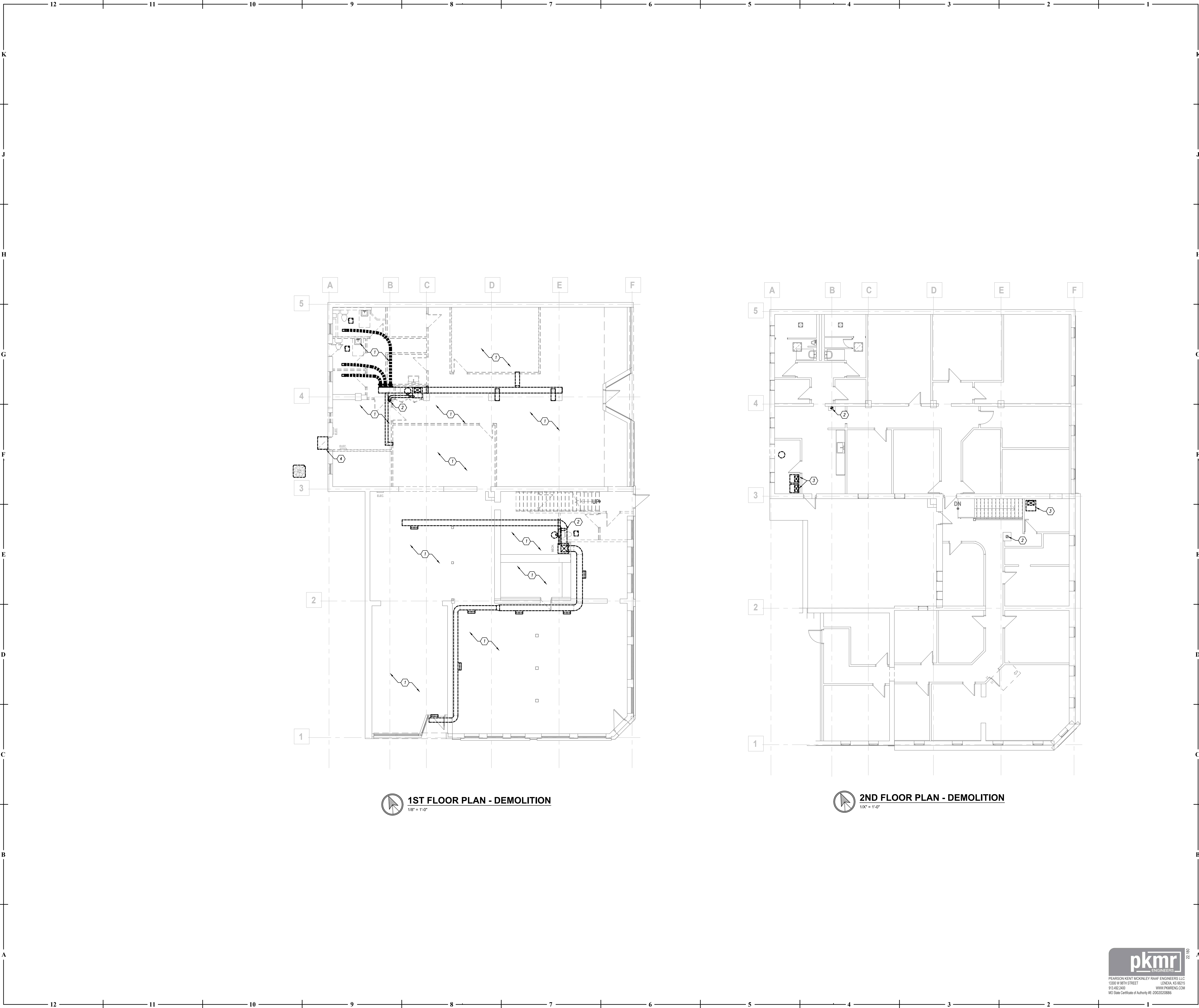
PROFESSIONAL SEAL

MEP101

ISSUE DATE: APRIL 21, 2022
COLLINS WEBB #: 21121

ROOF PLAN





GENERAL DEMOLITION NOTES

1. REFER TO GENERAL DEMOLITION NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.

DEMOLITION PLAN KEYED NOTES

- 1 REMOVE ALL DUCTWORK, DIFFUSERS AND EQUIPMENT IN THIS AREA. PATCH/ REPAIR WALL/ CEILING IF REQUIRED. REFER TO NEW WORK PLAN.
- 2 REMOVE VERTICAL FLUE DUCT GOING THROUGH SECOND FLOOR TO ROOF. REFER TO NEW WORK PLAN.
- 3 REMOVE EXISTING FURNACE. KEEP ALL DUCTWORK, FLUE AND ACCESSORIES. CLEAN RETURN PLENUM, GRILLE AND PROVIDE NEW FILTERS. PREPARE DUCTWORK FOR NEW FURNACE INSTALLATION. REFER TO NEW WORK PLAN.
- 4 REMOVE EXISTING WEATHER HOOD AND INTAKE OPENING. PATCH AND REPAIR OPENING WITH CONSTRUCTION MATERIALS TO MATCH EXISTING CONDITIONS. REFER TO ARCHITECT.



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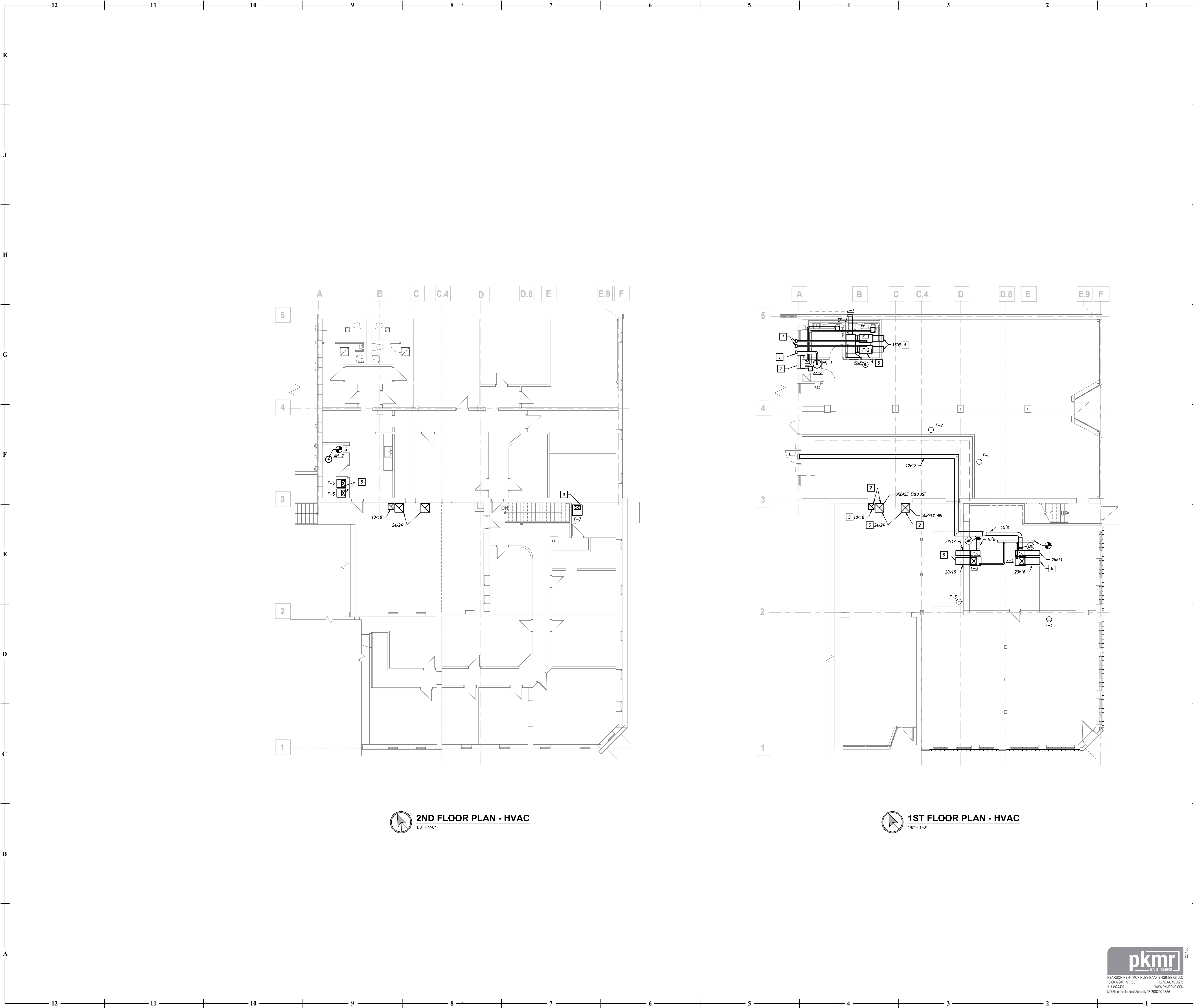
REVISION DATES:



M011
ISSUE DATE: APRIL 21, 2022
COLLINS WEBB #: 21121



DEMOLITION - FLOOR PLANS



GENERAL HVAC NOTES

- 1. REFER TO GENERAL NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.
- 2. ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE AS THE DIFFUSER NECK UNLESS NOTED OTHERWISE.
- 3. MAXIMUM FLEXIBLE DUCT LENGTH SHALL BE 5'-0".
- 4. ALL RUNOUTS TO TERMINAL BOXES SHALL BE ONE SIZE LARGER THAN BOX INLETS UNLESS NOTED OTHERWISE.
- 5. ALL AIR DISTRIBUTION DEVICES SHALL HAVE LOCKABLE VOLUME CONTROL DEVICES.
- 6. ALL 90 DEGREE TURNING ELBOWS SHALL BE SMOOTH ROUND OR SQUARE WITH TURNING VANES.
- 7. DUCT SIZES SHOWN ON PLANS ARE INSIDE FREE AREA.
- 8. PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC FIRE AND SMOKE DAMPERS.
- 9. FOR BALANCING THE OUTSIDE AIRFLOW QUANTITIES, REFER TO HVAC SCHEDULES.

HVAC PLAN KEYED NOTES

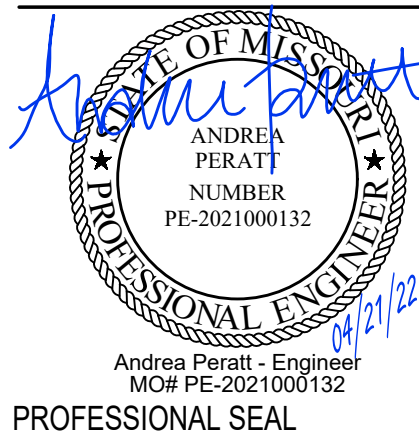
- 1. TERMINATE 4" FLUE/VENT WITH PRINTABLE WALL CAP. REFER TO DETAIL.
- 2. DISHWASHER, GREASE AND MAKE-UP AIR DUCT CAPPED IN SPACE FOR FUTURE USE.
- 3. DISHWASHER AND GREASE DUCT FROM FIRST FLOOR TO 2ND FLOOR ROOF. DUCT TO BE ROUTED ON EXTERIOR WALL AND CAPPED OVER 2ND FLOOR ROOF. REFER TO ROOF PLAN.
- 4. CAP SPIRAL DUCTWORK IN SPACE. ROUTE DUCTWORK RIGHT TO STRUCTURE.
- 5. FURNACES TO BE INSTALLED ABOVE TOILET. REFER TO DETAIL FOR INSTALLATION.
- 6. SUPPLY AND RETURN AIR DUCTWORK ROUTED THROUGH STRUCTURAL WALL. BOTTOM OF DUCT TO BE ROUTED AT 10'-0" A.F.F. COORDINATE PENETRATIONS WITH STRUCTURE.
- 7. ROUTE GENERAL EXHAUST TO PLENUM ON BACKSIDE OF EXISTING LOUVER. PLENUM TO MATCH EXISTING SIZE OF LOUVER. REFER TO DETAIL.
- 8. REPLACE EXISTING FURNACES, CONNECT TO EXISTING DUCTWORK, FLUES, ELECTRICAL AND CONDENSATE.
- 9. REPLACE EXISTING WATER HEATER TO CONNECT INTO EXISTING FLUES.

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MECHANICAL - FLOOR PLANS



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EXHAUST FAN SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	TYPE	SERVICE	CFM	E.S.P. (IN)	BHP	HP	DRIVE	SONES	RPM	ELECTRICAL	CONTROL	REMARKS
EF-1	COOK	GC-146	CEILING CABINET	BATHROOM	90	0.250	----	36W	DIRECT	1.3	900	120V / 1PH	SWITCH	ALL
EF-2	COOK	GC-146	CEILING CABINET	BATHROOM	90	0.250	----	36W	DIRECT	1.3	900	120V / 1PH	SWITCH	ALL
EF-3	COOK	GC-146	CEILING CABINET	BATHROOM	90	0.250	----	36W	DIRECT	1.3	900	120V / 1PH	SWITCH	ALL

REMARKS:

- UNIT SHALL BE PROVIDED WITH SOLID STATE SPEED CONTROL MOUNTED AT FAN.
- PROVIDE WITH STARTER AND WIRE TO START SWITCH.

FURNACE SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	CFM	O.A. CFM	FAN DATA		HEATING			ELECTRICAL				REMARKS
					E.S.P. (IN)	HP	CAPACITY (MBH)	INPUT (MBH)	OUTPUT (MBH)	EFF.	VOLTS / PH	M.C.A.	M.O.C.P.	
F-1	LENNOX	SL297UH090V48B	1,400	210	0.5"	1/2	45.0	110.0	106.7	97.0%	120V / 1PH	12.0	20	2
F-2	LENNOX	SL297UH090V48B	1,400	210	0.5"	1/2	45.0	110.0	106.7	97.0%	120V / 1PH	12.0	20	2
F-3	LENNOX	SL280UH135V60D	1,990	299	0.5"	1	60.0	165.0	132.0	80.0%	120V / 1PH	12.0	20	1
F-4	LENNOX	SL280UH135V60D	1,990	299	0.5"	1	60.0	165.0	132.0	80.0%	120V / 1PH	12.0	20	1
F-5	LENNOX	SL280UH090V36B	1,200	180	0.5"	1/2	36.0	110.0	88.0	80.0%	120V / 1PH	12	15	1
F-6	LENNOX	SL280UH090V36B	1,200	180	0.5"	1/2	36.0	110.0	88.0	80.0%	120V / 1PH	12	15	1
F-7	LENNOX	SL280UH135V60D	1,990	299	0.5"	1	60.0	165.0	132.0	80.0%	120V / 1PH	12	20	1

REMARKS:

- STANDARD EFFICIENCY FURNACE.
- HIGH EFFICIENCY FURNACE. PROVIDE WITH MANUFACTURER'S VERTICAL DISCHARGE KIT. REFER TO DETAIL.

CONDENSING UNIT SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	CAPACITY (MBH)	MINIMUM SEER	AMBIENT TEMP. (°F)	ELECTRICAL			REMARKS
						VOLTS / PH	M.C.A.	M.O.C.P.	
CU-1	LENNOX	16ACX-048-230	45.0	15.0	105°	208V / 3PH	29.0	40	ALL
CU-2	LENNOX	16ACX-048-230	45.0	15.0	105°	208V / 3PH	29.0	40	ALL
CU-3	LENNOX	16ACX-060-230	60.0	15.5	105°	208V / 3PH	36.0	50	ALL
CU-4	LENNOX	16ACX-060-230	60.0	15.5	105°	208V / 3PH	36.0	50	ALL
CU-5	LENNOX	16ACX-036-230	36.0	16.0	105°	208V / 3PH	21.0	30	ALL
CU-6	LENNOX	16ACX-036-230	36.0	16.0	105°	208V / 3PH	21.0	30	ALL
CU-7	LENNOX	16ACX-060-230	60.0	15.5	105°	208V / 3PH	36.0	50	ALL

REMARKS:

- COOLING CAPACITY BASED ON A SUCTION TEMPERATURE OF 49°F.
- ENERGY-STAR COMPLIANT.
- PROVIDE WITH 3-1/2" CONCRETE PAD.

LOUVER SCHEDULE

PLAN MARK	QTY.	MANUFACTURER	MODEL NUMBER	STYLE	SERVICE	WIDTH (IN)	HEIGHT (IN)	APD (IN)	FREE AREA (SQ FT)	VELOCITY (FPM)	REMARKS
L-1	2	GREENECK	EDJ-401	STATIONARY	INTAKE	14	14	0.006	0.3	200	ALL

REMARKS:

- PROVIDE EXTENDED SILL AND MOUNTING FRAME TO MATCH CONSTRUCTION. COORDINATE EXACT LOUVER SIZE TO INSTALL WITHIN MASONRY DIMENSIONS.
- PROVIDE COLOR AS SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD COLORS.

GRILLE, REGISTER & DIFFUSER SCHEDULE

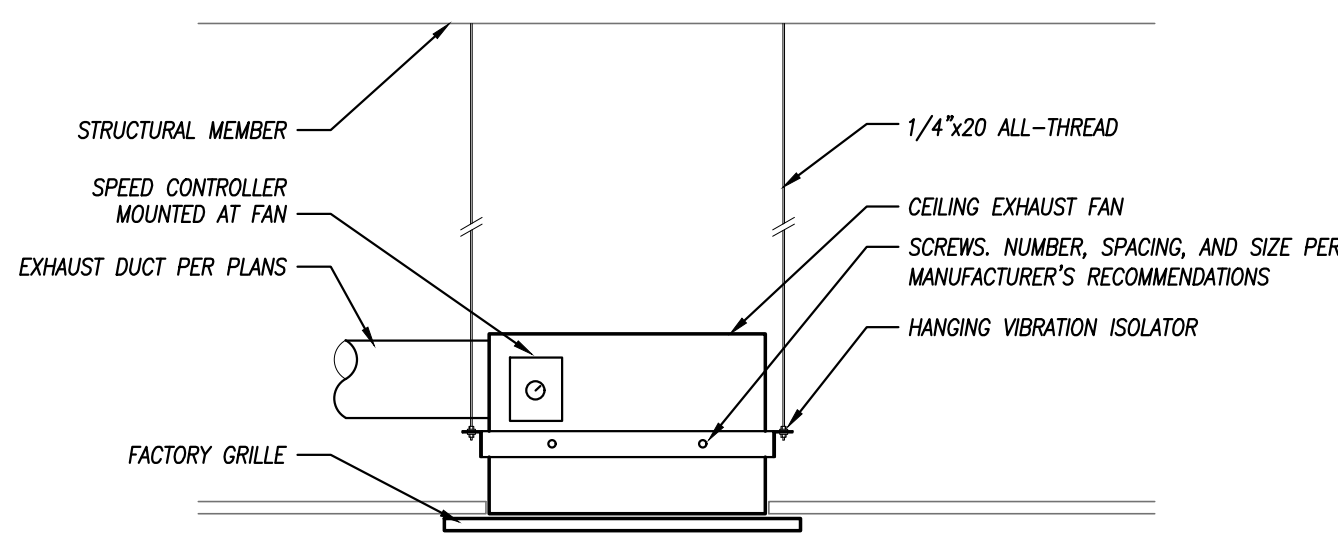
PLAN MARK	MANUFACTURER	MODEL NUMBER	MATERIAL	STYLE	DESCRIPTION	MOUNT TYPE	FACE SIZE (IN)	NECK SIZE (IN)	VOLUME DAMPER	MAX APD (IN. WG.)	MAX NC	FINISH COLOR	REMARKS
RT	TITUS	350FLF2	STEEL	SQUARE WALL	35 DEG SINGLE DEFLECTION AEROBLADE 3/4" SPACING	WALL	AS INDICATED	AS INDICATED	NO	0.08	25	WHITE	ALL

GENERAL REMARKS:

- PROVIDE ALL GRD WITH ALL NECESSARY MOUNTING HARDWARE.
- PROVIDE GRD WITHOUT SCREWBOLTS WHEN INSTALLED IN JAY-IN CEILINGS
- VERIFY CEILING CONFIGURATION, COLOR AND SPECIFICS WITH ARCHITECTURAL CEILING PLANS.

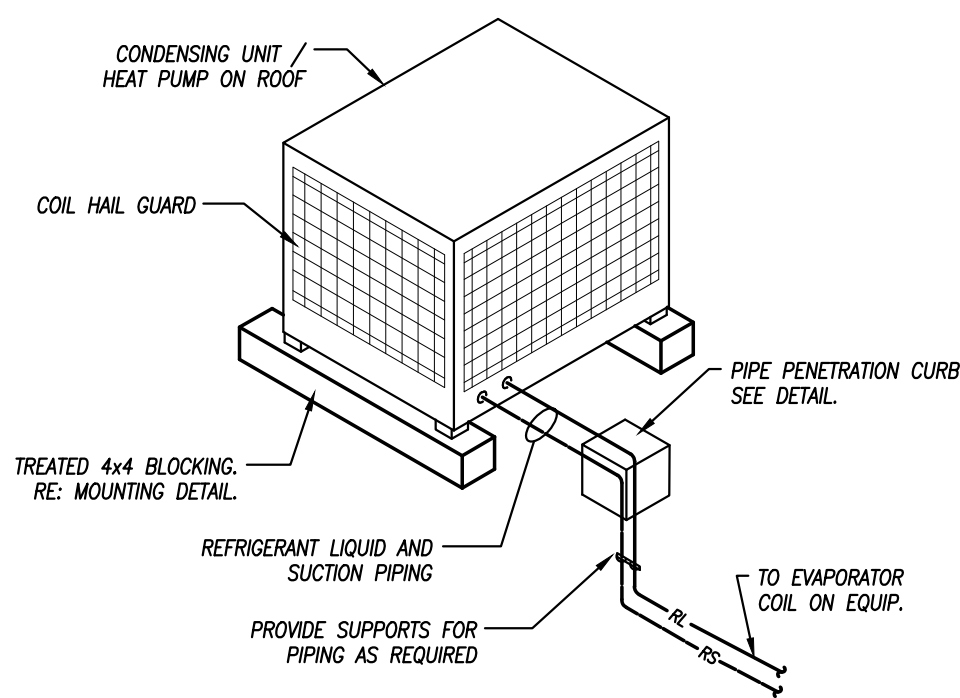
NOTES:

- PROVIDE WITH FILTERED GRILLE. PROVIDE WITH MERV 8 2" FILTER TO FIT WITHIN GRILLE ASSEMBLY



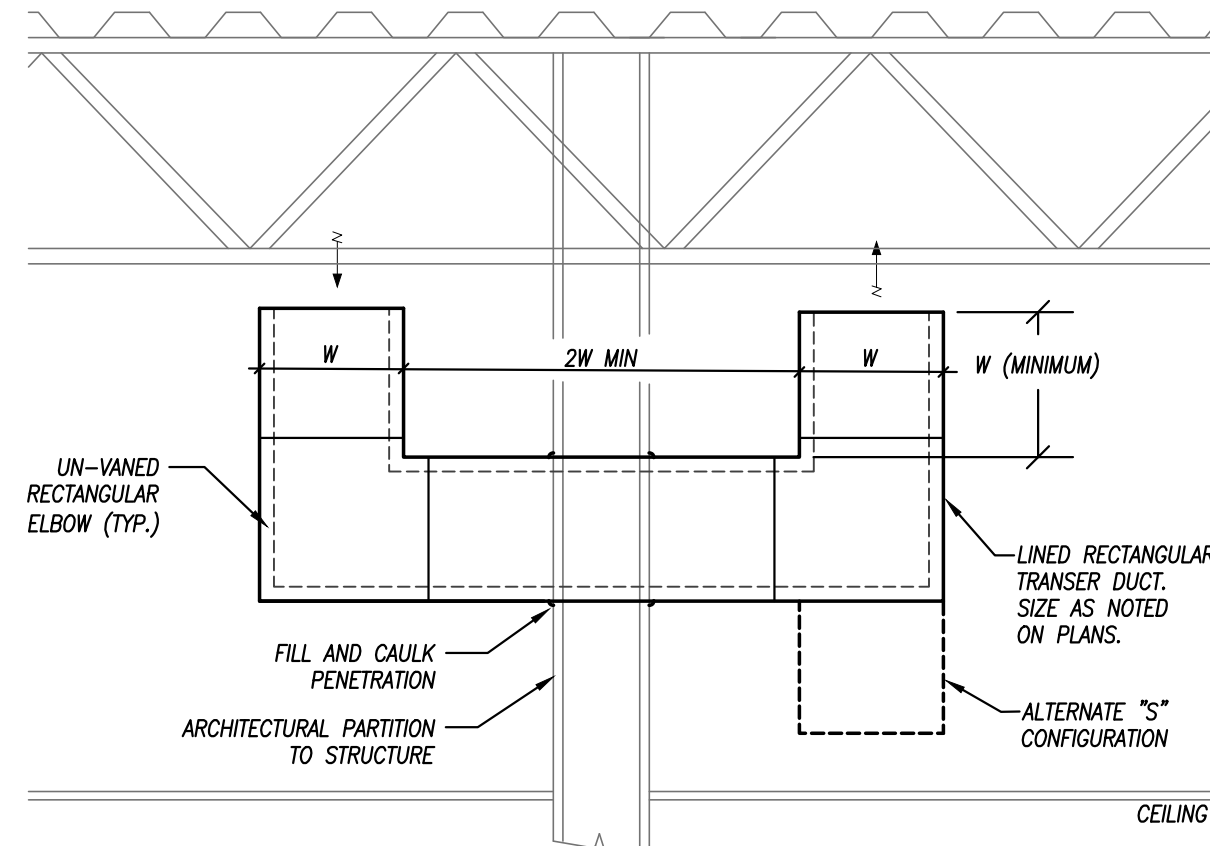
CABINET EXHAUST FAN MOUNTING DETAIL

NOT TO SCALE



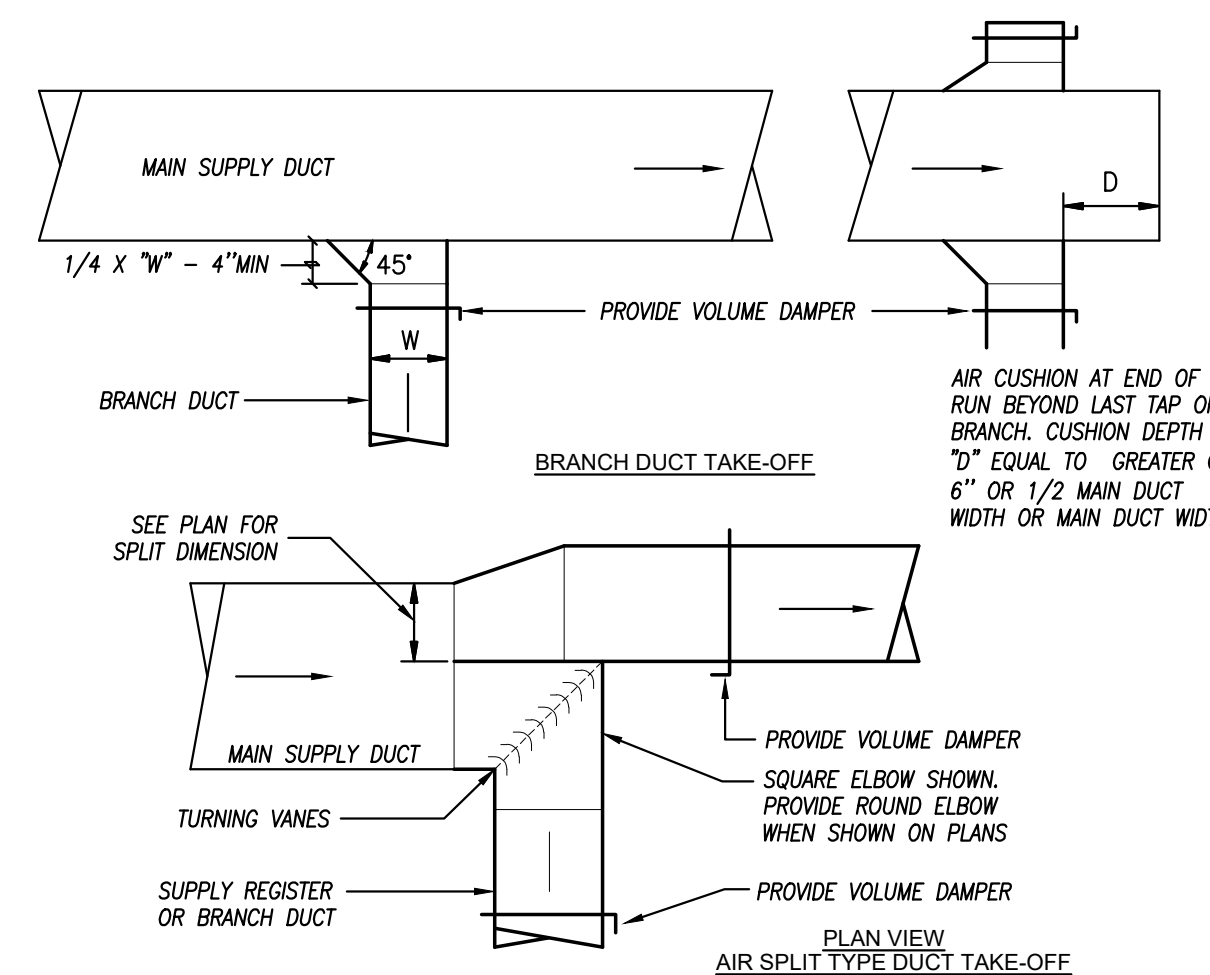
CONDENSING UNIT / HEAT PUMP DETAIL

NOT TO SCALE



TRANSFER BOOT DETAIL

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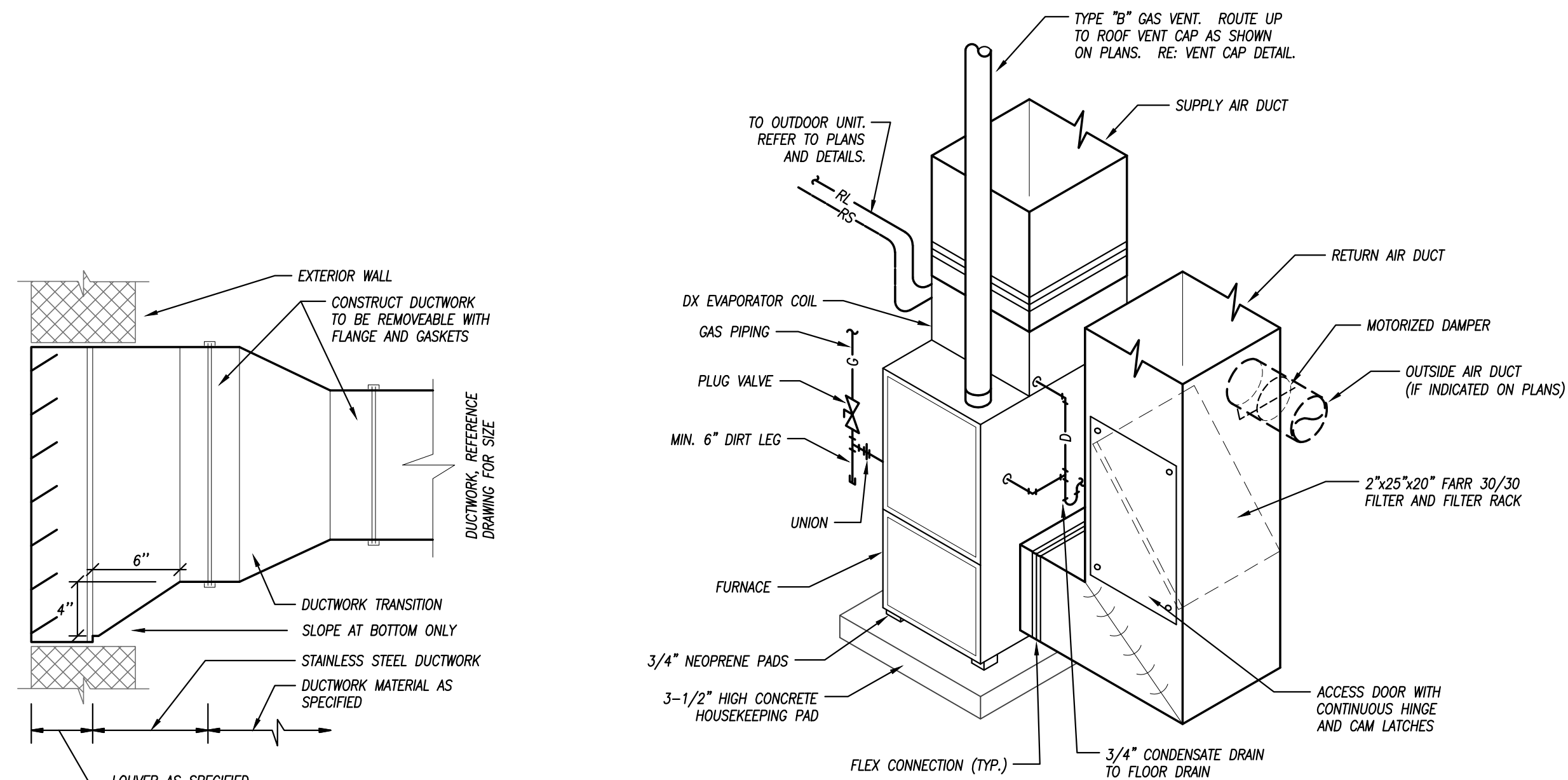


DUCTWORK TAKEOFFS

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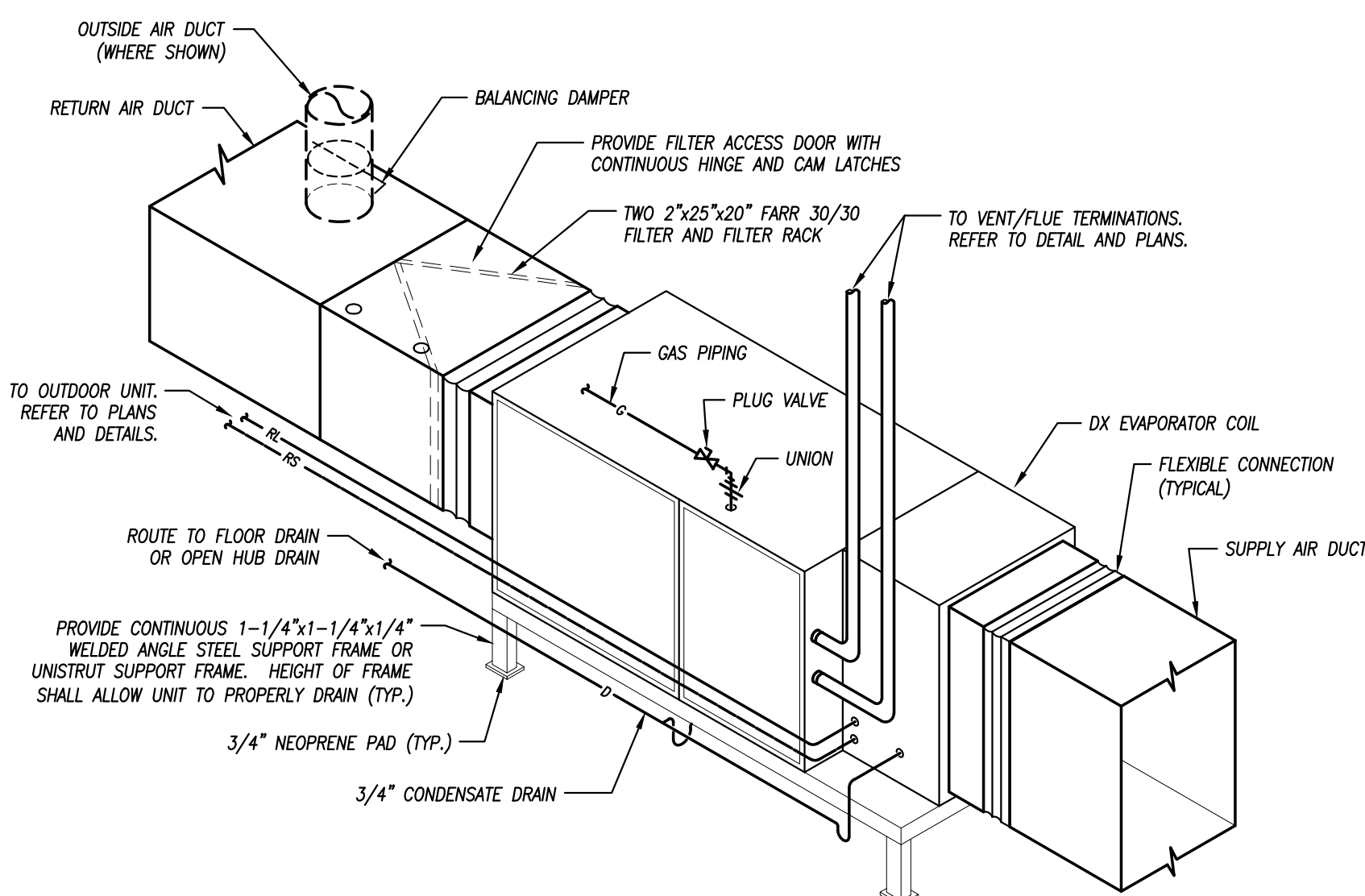
WALL VENT/COMBUSTION AIR DETAIL

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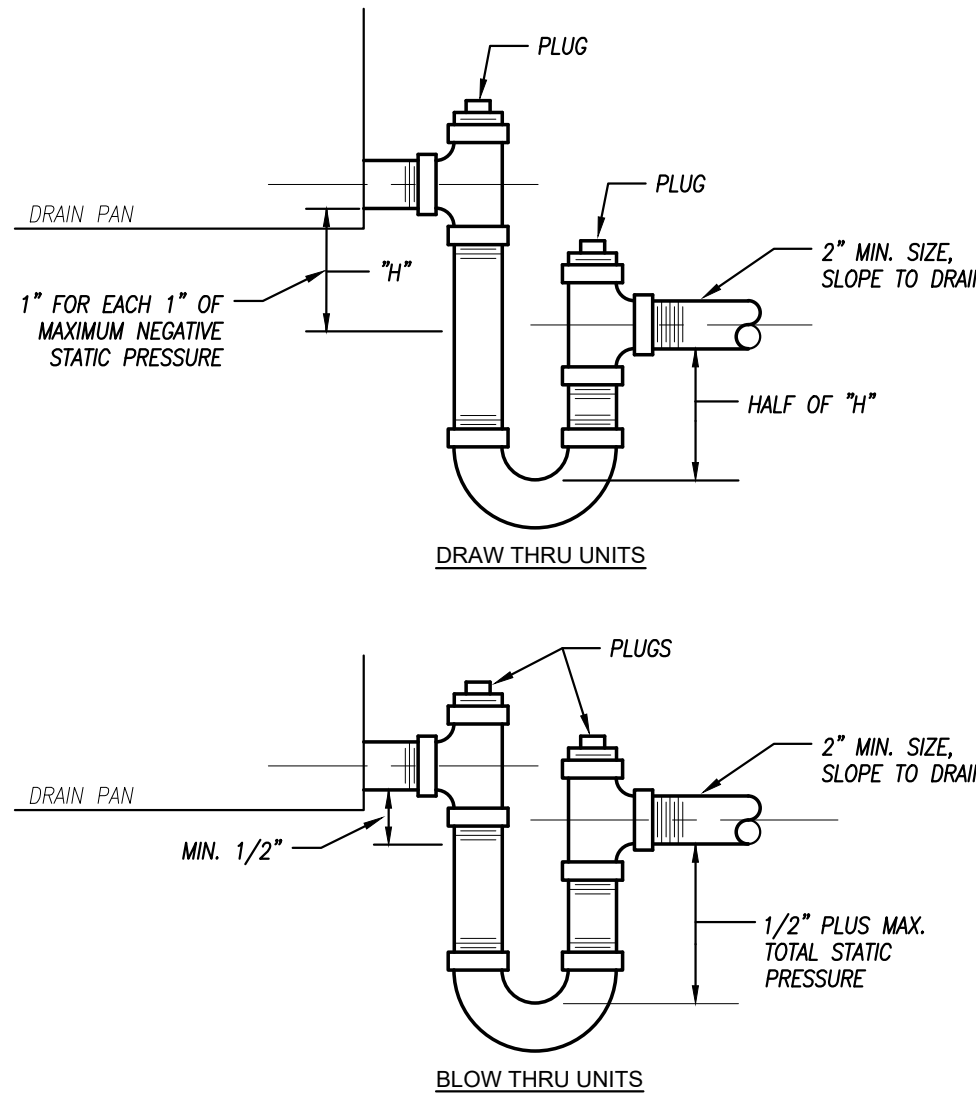
FURNACE DETAIL

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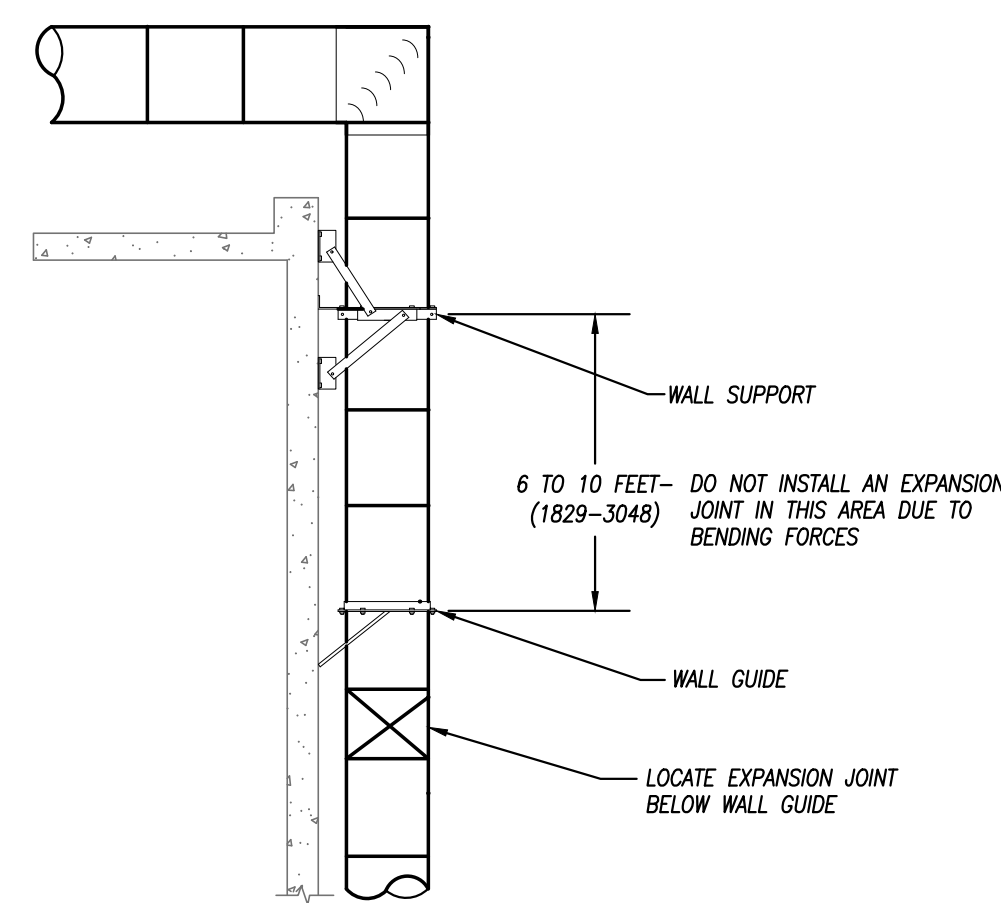
HORIZONTAL FURNACE DETAIL

NOT TO SCALE



CONDENSATE TRAP DETAIL

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GREASE DUCT ON WALL DETAIL

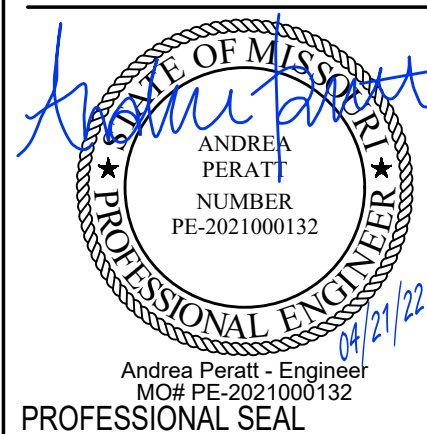
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MECHANICAL - SCHED. /DETAILS



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WWW.PKMRENGINEERS.COM
MO State Certificate of Authority #E-000020886



 **1ST FLOOR PLAN - DEMOLITION**
1/8" = 1'-0"

 **2ND FLOOR PLAN - DEMOLITION**
1/8" = 1'-0"

GENERAL DEMOLITION NOTES

1. REFER TO GENERAL DEMOLITION NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.

DEMOLITION PLAN KEYED NOTES

- ① REMOVE ALL DOMESTIC COLD WATER, HOT WATER, SANITARY & VENT PIPE SERVING FIRST FLOOR FIXTURES AND EQUIPMENT. DO NOT DEMOLISH SANITARY PIPES FROM SECOND FLOOR. REFER TO NEW WORK PLAN.
- ② GAS PIPE SERVING FIRST FLOOR TO BE REMOVED.
- ③ EXISTING WATER HEATER TO BE REPLACED ON SAME LOCATION. REUSE ALL EXISTING PIPES AND ACCESSORIES. REFER TO NEW WORK PLAN.
- ④ EXISTING FURNACE TO BE REPLACED ON SAME LOCATION. RECONNECT EXISTING GAS AND PROVIDE NEW CONDENSATE DRAIN PIPE.



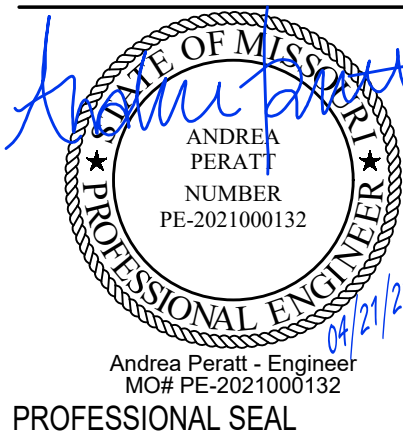
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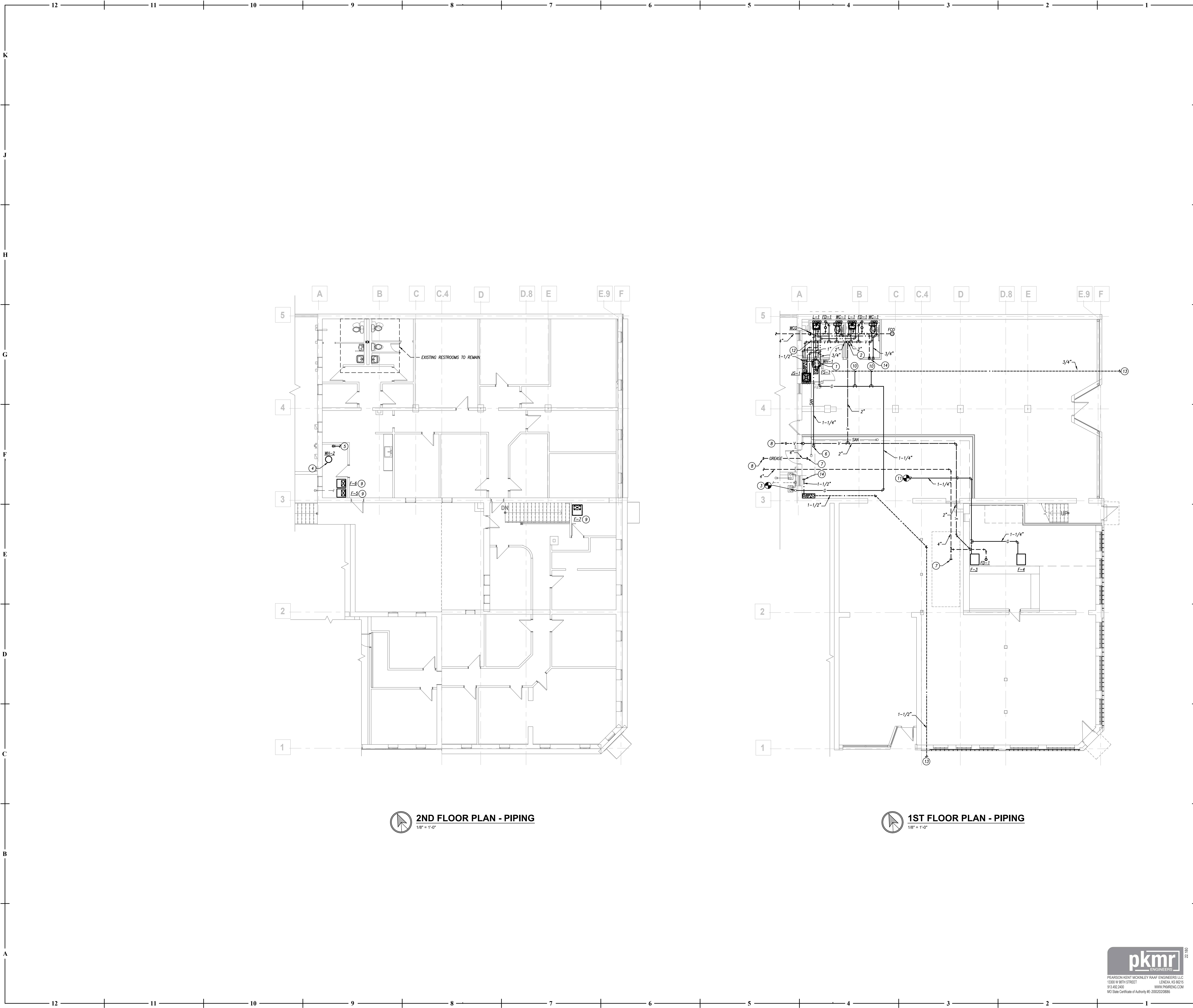


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DEMOLITION - FLOOR PLANS



2ND FLOOR PLAN - PIPING
1/8" = 1'-0"

1ST FLOOR PLAN - PIPING
1/8" = 1'-0"

GENERAL PLUMBING
NOTES

1. REFER TO GENERAL NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.
2. REFER TO PLUMBING FIXTURE / DRAIN SCHEDULES FOR PIPING SIZES FOR INDIVIDUAL CONNECTIONS TO FIXTURES AND RISERS NOT SHOWN ON PLANS.
3. NO SANITARY OR VENT PIPING BELOW GRADE SHALL BE LESS THAN 2'.
4. NO DOMESTIC WATER PIPING SHALL BE SMALLER THAN 3/4" UNLESS NOTED OTHERWISE.
5. ALL VENT PIPING SHOWN IS DIAGRAMMATIC. USE APPROPRIATE FITTINGS FOR VENT PIPING BELOW FLOOD SIM OF FIXTURE.
6. NOT ALL INTERIOR CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE-REQUIRED CLEANOUTS (RE: GENERAL NOTES ON COVER SHEET). COORDINATE EXACT LOCATIONS OF CLEANOUTS WITH ARCHITECT.
7. ALL FLOOR DRAIN TRAPS SHALL BE PROTECTED BY ONE OF THE FOLLOWING METHODS, TO BE INSTALLED AT CONTRACTOR'S DISCRETION AND IN COMPLIANCE WITH ADOPTED VERSION OF PLUMBING CODE AND/OR ANI.
 - 7.1. PROVIDE TRAP SEALS LISTED FOR PROPOSED USE.
 - 7.2. PROVIDE TRAP PRIMERS. 1/2" TRAP PRIMER PIPING TO NEAREST TRAP PRIMER VALVE. PIPING SHALL BE TYPE "K" SOFT COPPER SEAMLESS WITH NO JOINTS FROM VALVE TO DRAIN.

PLUMBING PLAN KEYED
NOTES

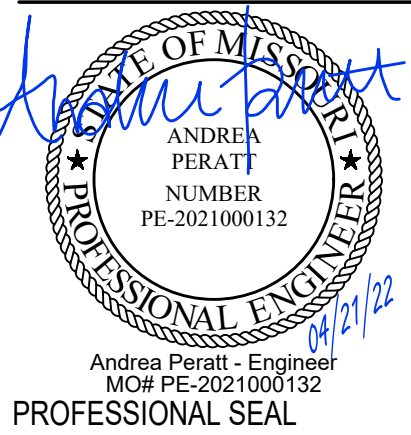
1. INSTALL WATER HEATER NEXT TO JANITOR'S SINK.
2. 3" VENT THROUGH CHASE ON 2ND FLOOR TO ROOF. TERMINATE VENT 10" CLEAR FROM ANY OUTSIDE AIR INTAKE.
3. CONNECT TO EXISTING GAS MAIN FOR NORTH/SECOND FLOOR TENANT. CONTRACTOR SHALL FIELD VERIFY GAS PIPE ROUTING AND SIZING PRIOR TO NEW SCOPE OF WORK.
4. NEW WATER HEATER. RECONNECT WATER HEATER TO EXISTING PLUMBING. PROVIDE NEW PIPE/ PIPE FITTING IF REQUIRED.
5. 3/4" DOMESTIC WATER PIPE UP FROM FLOOR BELOW. CONNECT TO EXISTING COLD WATER MAIN TO SERVE ALL 2ND FLOOR PLUMBING FIXTURES AND EQUIPMENT. CONTRACTOR TO VERIFY LOCATION OF EXISTING PIPE.
6. 3/4" COLD WATER PIPE TO 2ND FLOOR.
7. PIPE TO BE CAPPED FOR FUTURE TENANT USE. PIPING TO BE 36" BELOW FINISH GRADE FOR FUTURE TENANT USE.
8. UNDERGROUND GREASE AND VENT TO BE CAPPED OUTSIDE FOR FUTURE GREASE INTERCEPTOR.
9. RECONNECT EXISTING GAS TO FURNACES. PROVIDE NEW CONDENSATE DRAIN AND TERMINATE TO NEAREST FLOOR DRAIN.
10. GAS PIPE FOR FURNACE F-1 AND F-2 RESPECTIVELY. REFER TO DETAIL FOR CONNECTION.
11. CONNECT TO EXISTING GAS MAIN FOR SOUTH TENANT. CONTRACTOR SHALL FIELD VERIFY GAS PIPE ROUTING AND SIZING PRIOR TO NEW SCOPE OF WORK.
12. CONNECT EXISTING SANITARY LINE FROM SECOND FLOOR EXISTING PIPING TO REMAIN. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK.
13. REFER TO CIVIL FOR CONTINUATION.
14. CAP PLUMBING PIPING FOR FUTURE TENANT BUILD OUT.

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PLUMBING - FLOOR PLANS



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PIPING MATERIAL & INSULATION SCHEDULE

PIPING SYSTEM	SIZE	TYPE/SCHED	MATERIAL	ACCEPTABLE FITTINGS	FIELD TEST PRESSURE/TIME	ALLOWABLE IN PLENUMS	INSULATION TYPE	THICKNESS
DOMESTIC COLD WATER	1/2"-2"-1/2"	L	COPPER	SOLDER, PRO-PRESS	130 PSI - 1/2HR	YES	FIBERGLASS W/ ASJ	1/2"
DOMESTIC HOT WATER & HW RETURN	1/2"-1-1/4"	L	COPPER	SOLDER, PRO-PRESS	130 PSI - 1/2HR	YES	FIBERGLASS W/ ASJ	1"
DOMESTIC HOT WATER & HW RETURN	1/2"-2-1/2"	L	COPPER	SOLDER, PRO-PRESS	130 PSI - 1/2HR	YES	FIBERGLASS W/ ASJ	1-1/2"
NATURAL GAS - ABOVE GRADE	1/2"-2"	SCH. 40	STEEL - SEAMLESS	THREADED IRON OR WELDED	75 PSI - 1HR	YES	-----	----
SOIL & WASTE ABOVE GRADE	1-1/2"-6"	NO HUB / SERVICE WT.	CAST IRON	NO HUB	10 FT - 1/2HR	YES	-----	----
SOIL & WASTE ABOVE GRADE	2"-8"	SCH. 40	PVC	SOLVENT JOINED	10 FT - 1/2HR	NO	-----	----
SOIL & WASTE BELOW GRADE	2"-8"	SCH. 40	PVC	SOLVENT JOINED	10 FT - 1/2HR	NO	-----	----
RPTZ AND SIMILAR EXPOSED DRAIN LINES	ALL	ALL	COPPER	SOLDER, PRO-PRESS	10 FT - 1/2HR	YES	-----	----
CONDENSATE DRAIN ON ROOF	3/4"-3"	SCH. 40	PVC	SOLVENT JOINED	10 FT - 1/2HR	NO	-----	----
CONDENSATE DRAIN INTERIOR	3/4"-2"	SCH. 40	CPVC	SOLVENT JOINED	10 FT - 1/2HR	YES	FIBERGLASS W/ ASJ	1/2" (PLENUM ONLY)
CONDENSATE DRAIN INTERIOR	1/2"-2"	L	COPPER	SOLDER, PRO-PRESS	10 FT - 1/2HR	YES	FIBERGLASS W/ ASJ	1/2" (PLENUM ONLY)

- NOTES:
 1. ALL PIPING AND MATERIALS IN PLENUMS MUST MEET ASTM E84 FLAME/SMOKE RATING OF 25/50.
 2. ALL INSULATION THICKNESSES SHALL MEET ADOPTED EEC AND ASHRAE 90.1 - 2016 REQUIREMENTS AT A MINIMUM.
 3. REFER TO SPECIFICATIONS FOR MORE DETAILED INFORMATION.
 4. WELDED PIPING IS REQUIRED FOR GAS PIPING WHEN: A) PIPING IS AT OR OVER 2PSI; B) WHEN PIPING OF ANY PRESSURE IS ROUTED THROUGH CONCEALED SPACES.

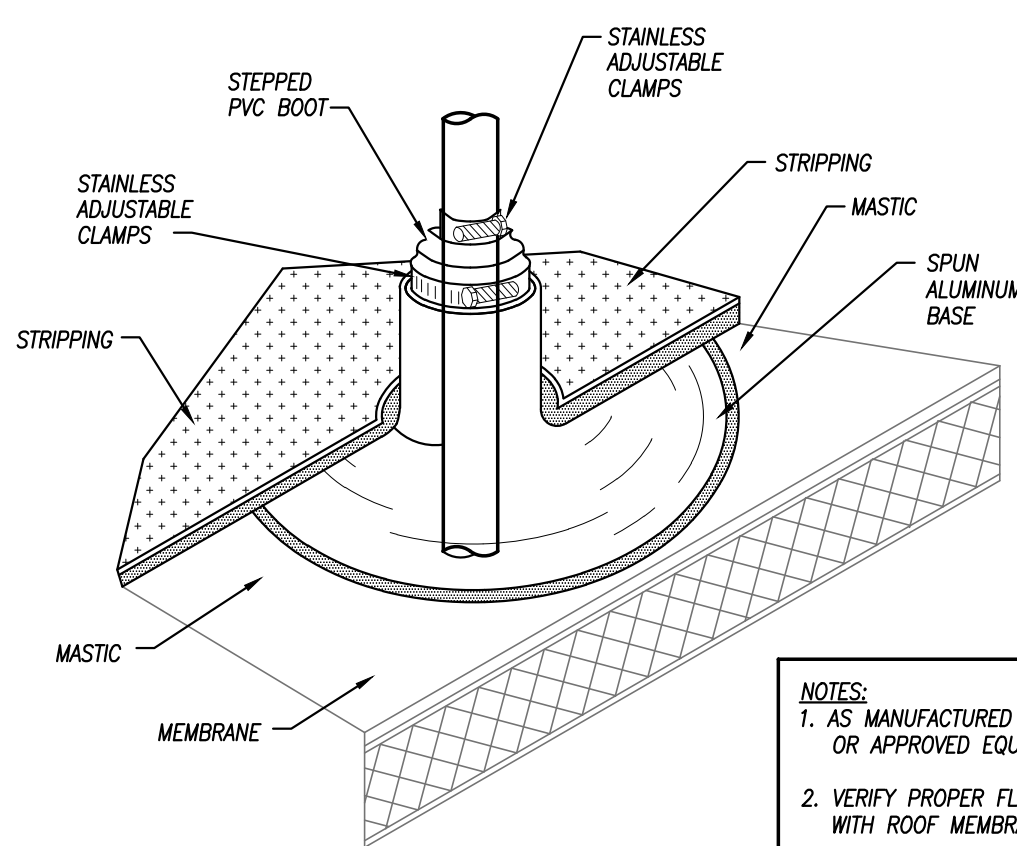
PLUMBING FIXTURE BRANCH CONNECTION SCHEDULE

FIXTURE TYPE	TRAP	WASTE	VENT	DCW	DHW
WATER CLOSET (FLUSH VALVE)	INTEGRAL	4"	2"	1"	----
URINAL (FLUSH VALVE)	INTEGRAL	2"	2"	3/4"	----
FLUSH TANK WATER CLOSET	INTEGRAL	4"	2"	1/2"	----
LAVATORY	PROVIDE TRAP	2"	1-1/2"	1/2"	1/2"
SINK	PROVIDE TRAP	2"	2"	1/2"	1/2"
MOP SINK	PROVIDE DEEP SEAL TRAP	3"	2"	1/2"	1/2"
FLOOR DRAIN	PROVIDE DEEP SEAL TRAP	AS SCHEDULED	1-1/2"	----	----
FLOOR SINK	PROVIDE TRAP	AS SCHEDULED	1-1/2"	----	----
DRINKING FOUNTAINS/ENC'S	PROVIDE TRAP	1-1/2"	1-1/2"	1/2"	----
SHOWERS/TUBS	PROVIDE TRAP	2"	1-1/2"	1/2"	1/2"
SHOWERS	PROVIDE TRAP	2"	1-1/2"	1/2"	1/2"
ICE MACHINE HOOKUP BOX	----	----	----	1/2"	----
WASHER HOOKUP BOXES	PROVIDE TRAP	2"	1-1/2"	1/2"	1/2"

FLOOR / ROOF DRAIN SCHEDULE

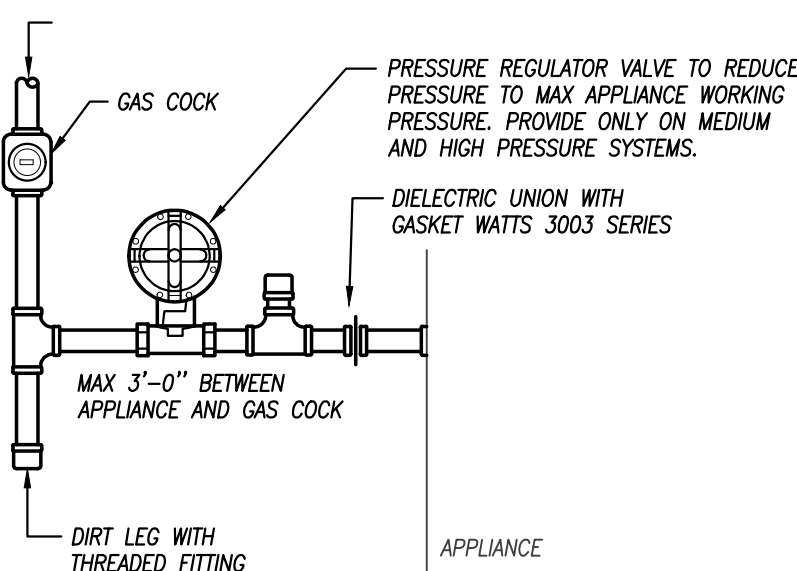
PLAN MARK	MANUFACTURER	MODEL NUMBER	SERVICE	TOP/GRADE SIZE	WASTE SIZE	REMARKS
FD-1	WADE	1100	FLOOR DRAIN	6"	2"	1
FS-1	WADE	9100	FLOOR SINK	12"x12"	4"	2

- REMARKS:
 1. PROVIDE WITH NICKEL BRONZE TOP.
 2. PROVIDE WITH 3/4" GRATE.



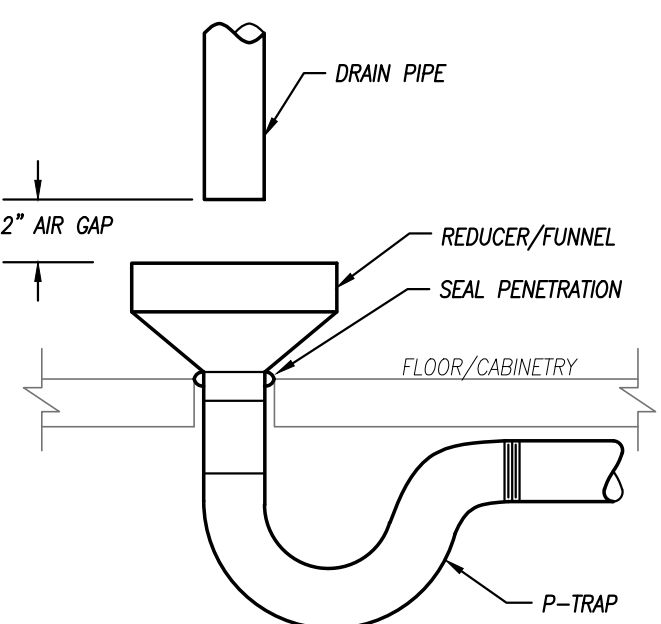
ROOF PLUMBING VENT

NOT TO SCALE



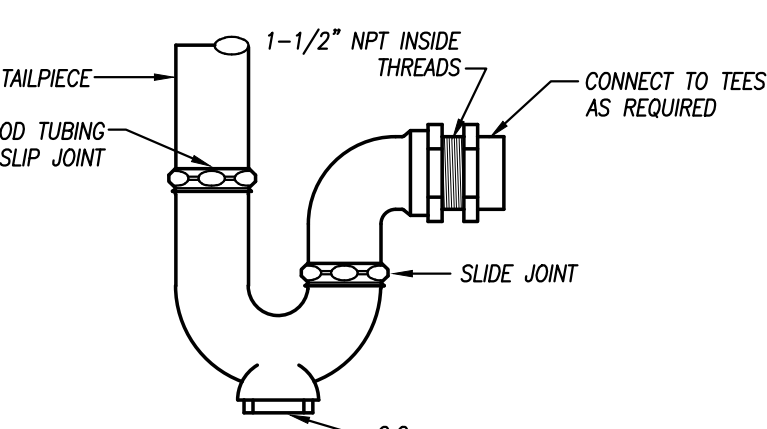
TYPICAL GAS CONNECTION

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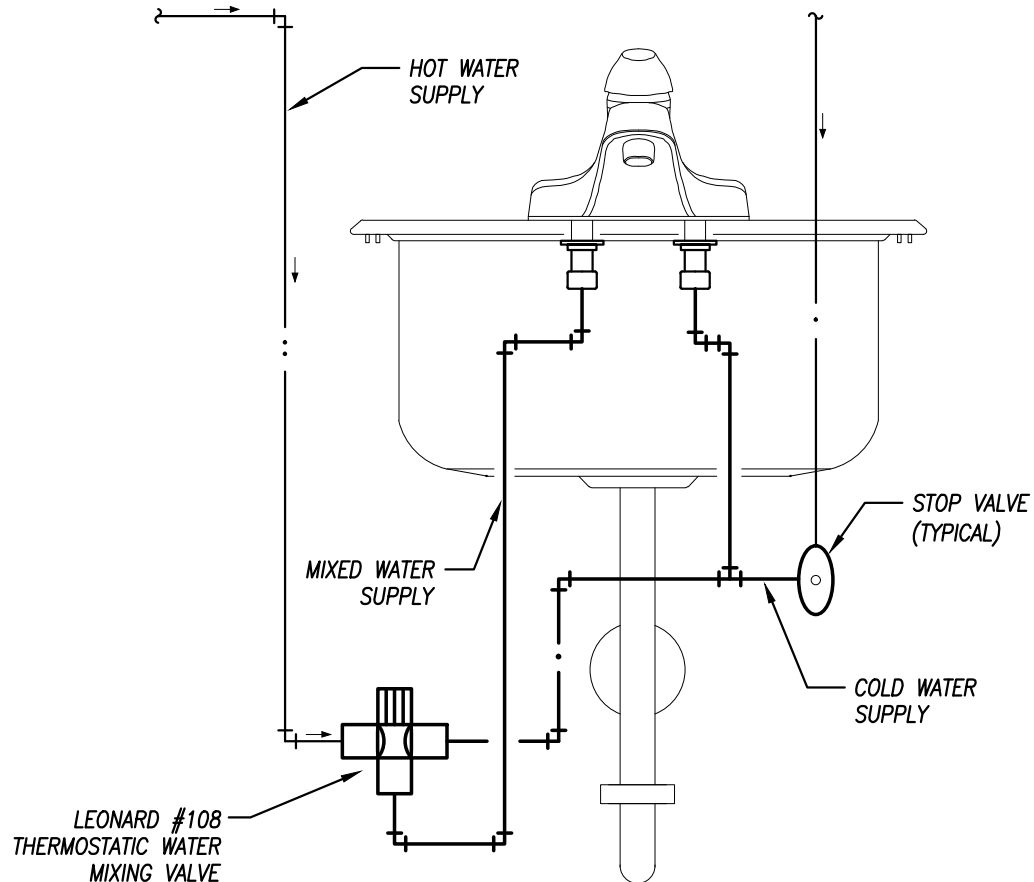
AIR GAP DETAIL

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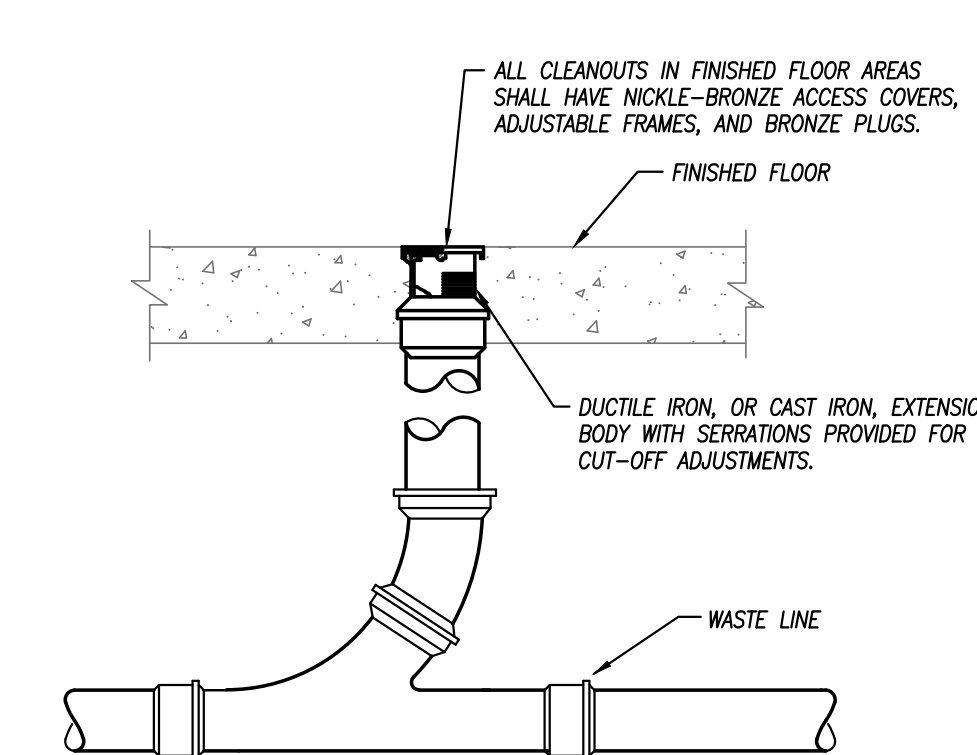
P-TRAP DETAIL

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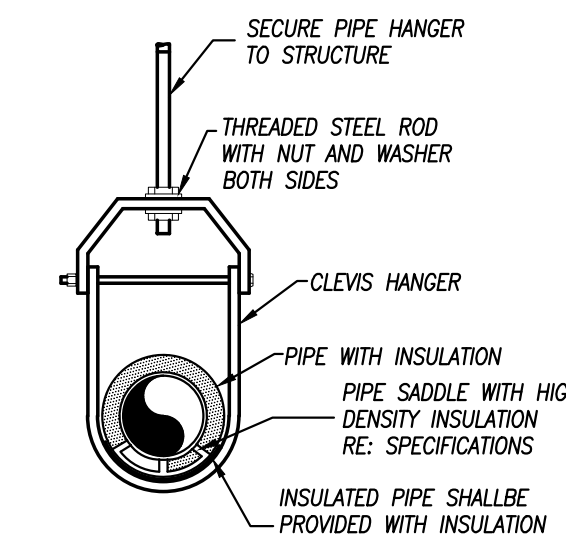
HAND WASHING SINK/LAVATORY TEMPERED WATER SCHEMATIC

NOT TO SCALE



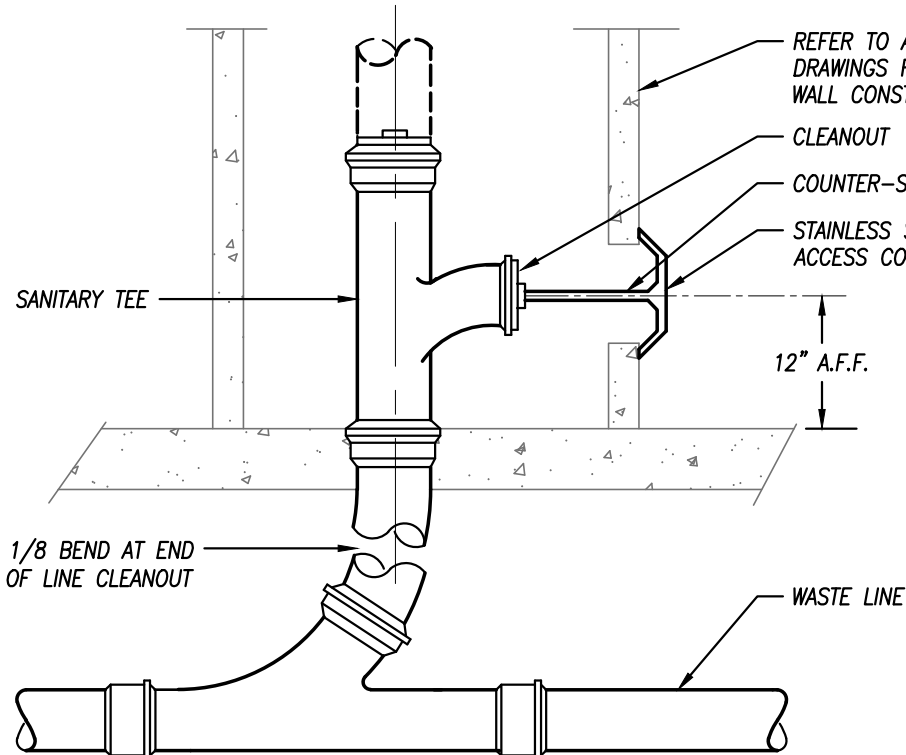
FLOOR CLEANOUT DETAIL

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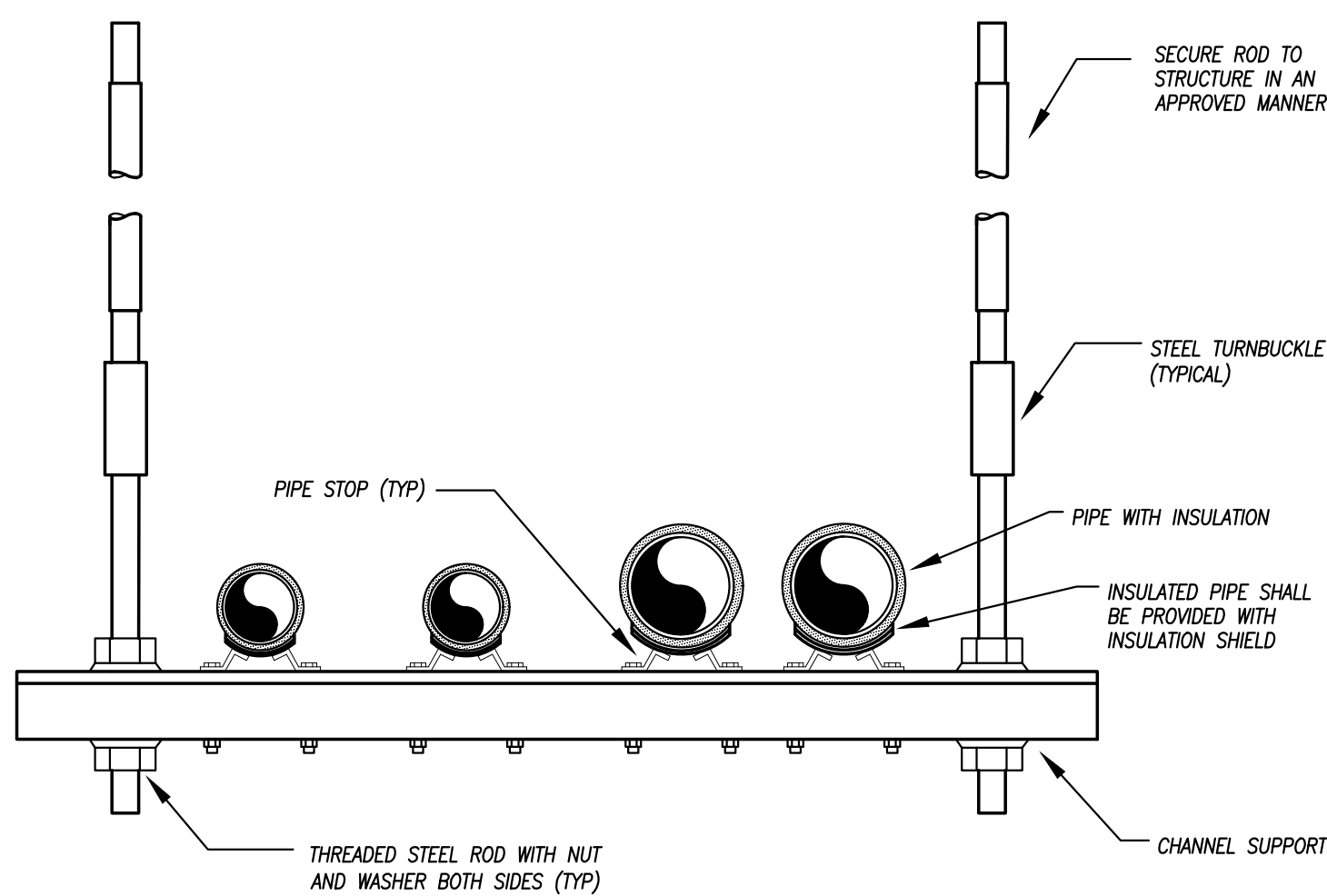
PIPE HANGER DETAIL

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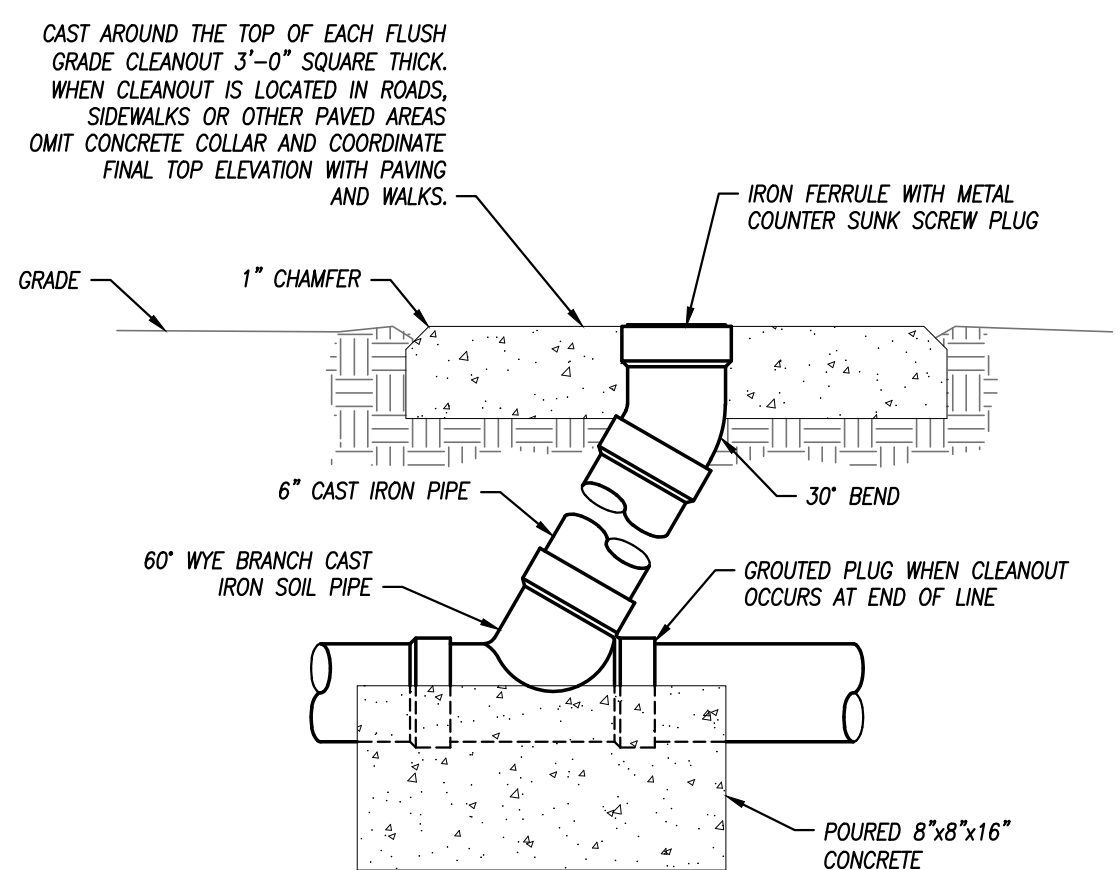
WALL CLEANOUT DETAIL

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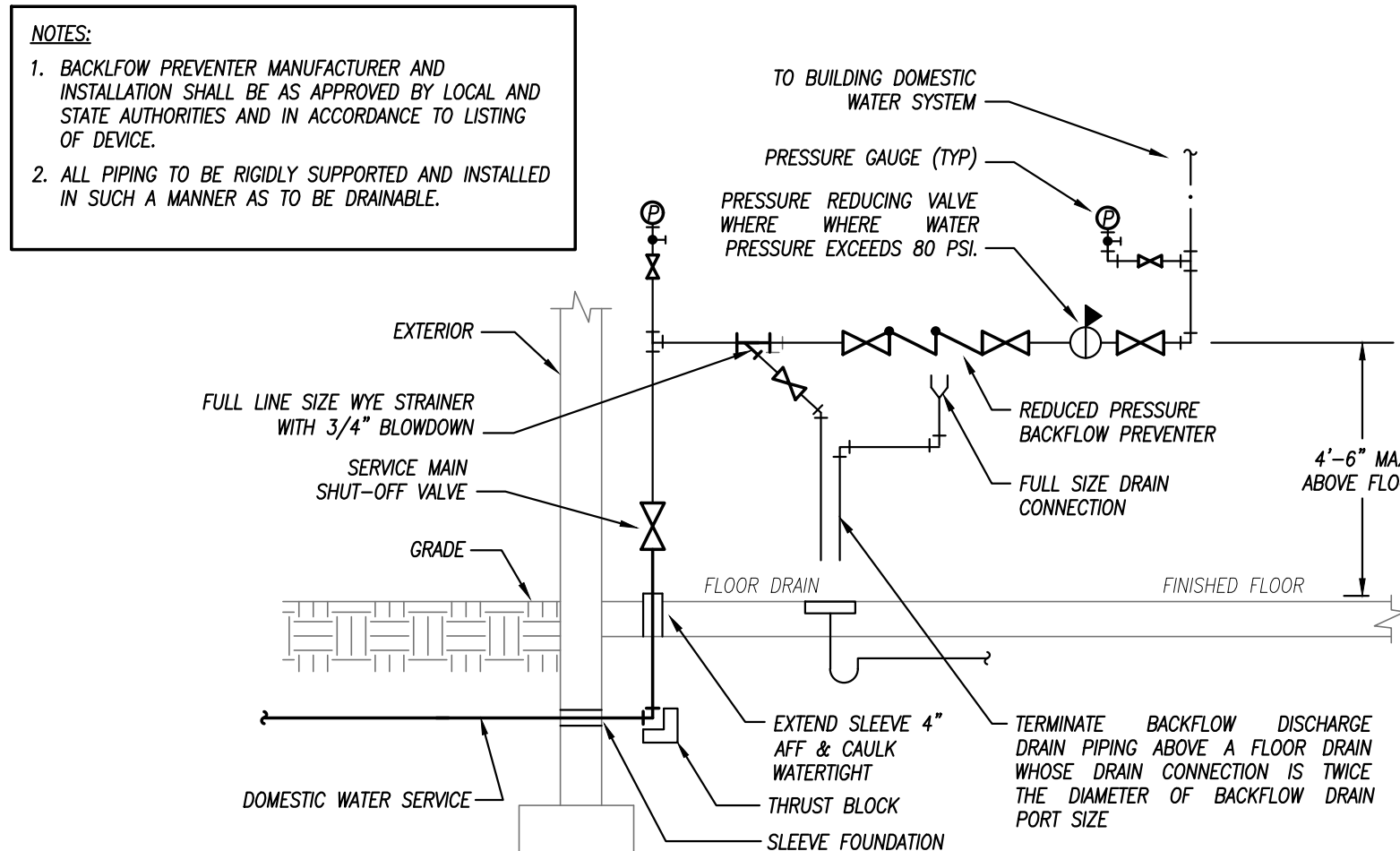
MULTIPLE PIPE TRAPEZE HANGER DETAIL

NOT TO SCALE



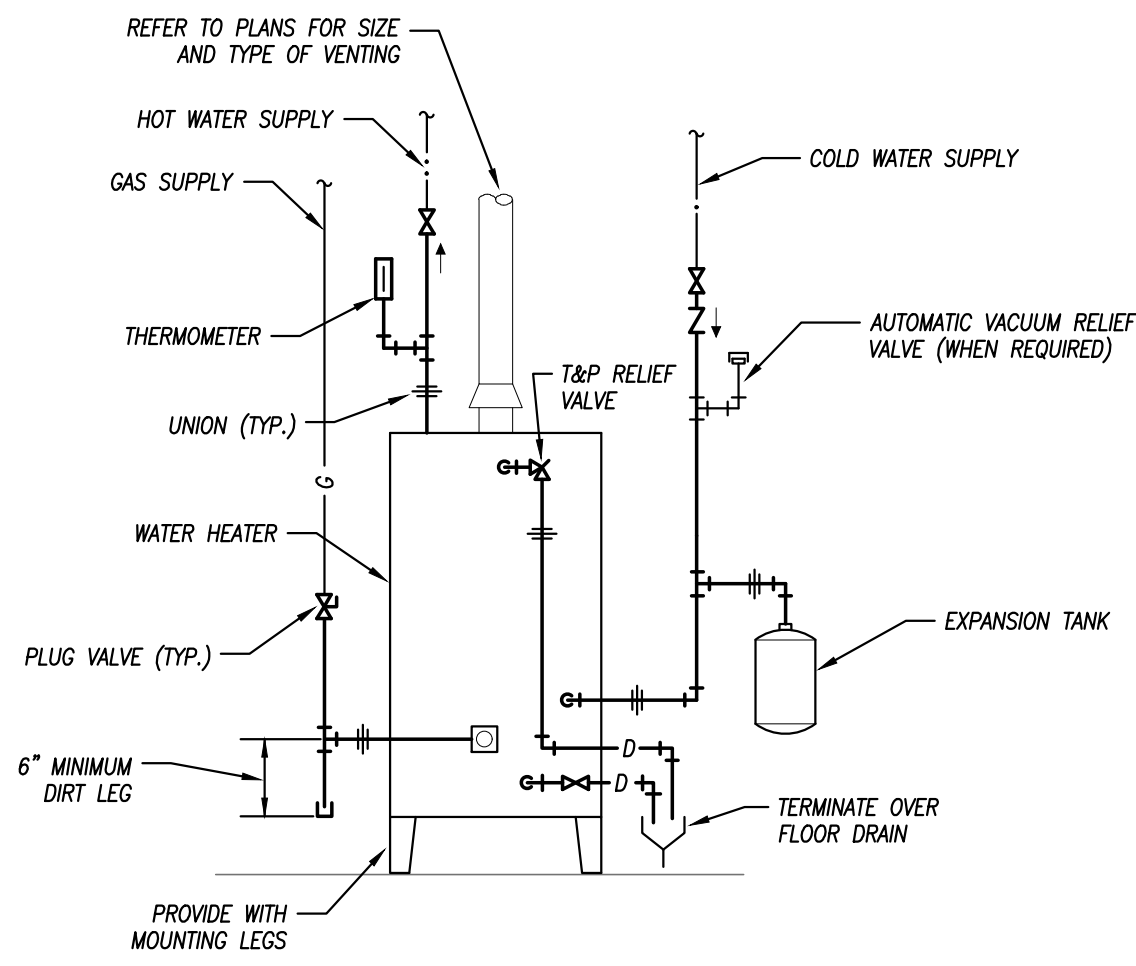
FLUSH GRADE CLEANOUT DETAIL

NOT TO SCALE



WATER SERVICE REDUCED PRESSURE BACKFLOW PREVENTER DETAIL

NOT TO SCALE



GAS WATER HEATER DETAIL

NOT TO SCALE

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE MODEL	FIXTURE DESCRIPTION	FITTINGS MODEL	FITTINGS AND TRIM	REMARKS	PLUMBING FIXTURE PIPE SIZES
L-1	TBD OWNER SELECTION	WALL-HUNG LAVATORY, 20"x18" WHITE VITREOUS CHINA BOWL WITH 4" BACK FOR USE WITH CONCEALED ARM HANGER. FAUCET HOLES COORDINATED WITH FAUCET AND TRIM. PROVIDE CONCEALED ARM CARRIER.	TBD OWNER SELECTION	CENTERSET SINGLE HOLE FAUCET WITH LOOP METAL LEVER HANDLE. 1/2" CONNECTIONS, WITH DRAIN AND POP-UP HOLE. POLISHED CHROME FINISH.	1,2,3,4,5	WASTE 2" VENT 1-1/2" DCW 1/2" DHW 1/2"
WC-1	TBD OWNER SELECTION	ADA-COMPLIANT, 128/0.9 GPF DUAL, FLUSH TANK WATER CLOSET. PRESSURE-ASSISTED SPIN-JET, WHITE VITREOUS CHINA ELONGATED BOWL AND TANK, 16-1/8" HIGH. TWO PIECE, 12" ROUGH-IN. FINISH WITH POLISHED CHROME FLUSH ACTUATOR ON WIDE SIDE OF STALL.	TBD OWNER SELECTION	WHITE, SOLID PLASTIC, CLOSED-FRONT SEAT FOR ELONGATED BOWL. INTEGRAL BUMPER, SOLID TOP LID. EXTERNAL CHECK HINGES WITH STAINLESS STEEL POSTS.	3,6	4" 2" 1/2" ----
JS-1	FIAT TSBC-6010	JANITORS SINK, 24"x24"x12" PRECAST TERRAZO FLOOR SERVICE SINK. CORNER CHAMFERED MODEL FOR INSTALLATION IN CORNER OF ROOM. STAINLESS STEEL CAP AND 2 SIDE WALL TUNG FLANGE. 3" STAINLESS STEEL CAST DRAIN AND STAINLESS STEEL STRAINER PLATE. PROVIDE STAINLESS STEEL WALL GUARDS, MOP BRACKETS, HOSE BACK.	CHICAGO FAUCET B97-CP	C.P. SERVICE SINK FITTING WITH VACUUM BREAKER, 3/4" HOSE THREAD ON SPOUT, ADJUSTABLE WALL BRACE, PAIL HOOK, AND 1/2" PLUNGED FEMALE ADJUSTABLE ARMS WITH INTERNAL STOPS. CAULK BETWEEN WALL AND FLANGE WITH GE SILICONE SEALANT. 3" C.I. "P" TRAP.	----	3" 2" 1/2" 1/2"

- REMARKS:
 1. PROVIDE CHROME-PLATED BRASS TAILPIECE AND GRID DRAIN.
 2. PROVIDE CHROME-PLATED BRASS P-TRAP.
 3. PROVIDE LOOSE KEY STOPS AND FLEXIBLE RISERS.
 4. PROVIDE CONCEALED ARM TYPE CARRIER WITH SQUARE, TUBULAR STEEL UP-RIGHTS AND BLOCK TYPE BASES.
 5. INSULATE EXPOSED TAILPIECE, P-TRAP, AND WATER RISERS. REFER TO SPECIFICATIONS FOR INSULATION METHODS.
 6. PROVIDE FLUSH VALVE HANDLE ON WIDE SIDE OF STALL.
 7. PROVIDE HANDLE STOPS AND FLEXIBLE RISERS.
 8. PROVIDE CHROME-PLATED BRASS TAILPIECE AND BASKET STRAINER.

- GENERAL NOTES (APPLICABLE TO ALL FIXTURES):
 1) ALL PUBLIC LAVATORIES AND SINKS SHALL BE PROVIDED WITH ANTI-SOILD ASSE 1070 LISTED VALVE ON HOT WATER SUPPLY.
 2) VERIFY PLUMBING MATERIALS AND EQUIPMENT COORDINATE BETWEEN TRADES. VERIFY CABINET SIZES, COUNTERTOP MATERIALS, WALL THICKNESSES, ETC ARE APPROPRIATE FOR SPECIFIED EQUIPMENT PRIOR TO ORDER.

GAS WATER HEATER SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	GALLONS	USE	STYLE	GAS INPUT (MBH)	ENERGY FACTOR	RECOVERY @ 90°F RISE	FLUE SIZE (IN/OUT)	VOLTAGE/ PHASE	REMARKS
WH-1	STATE	GSB 50	50	RESIDENTIAL	POWER DIRECT VENT	65	0.58	64	3" / 3"	120V / 1PH	2
WH-2	STATE	GPV 50	50	RESIDENTIAL	STANDARD EFF.	50	0.62	41	4"	120V / 1PH	1

- REMARKS:
 1. DIRECT-VENT STYLE WATER HEATER.
 2. PROVIDE WITH MANUFACTURERS CONCENTRIC VENT KIT.

MAIN STREET LANDLORD IMPROVEMENTS

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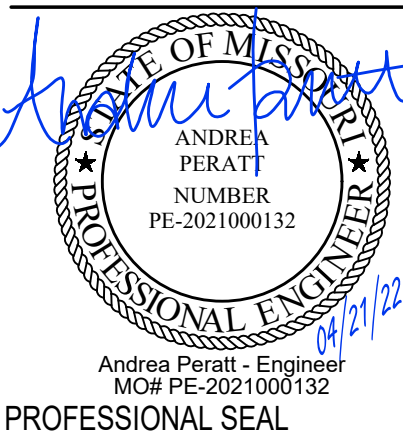
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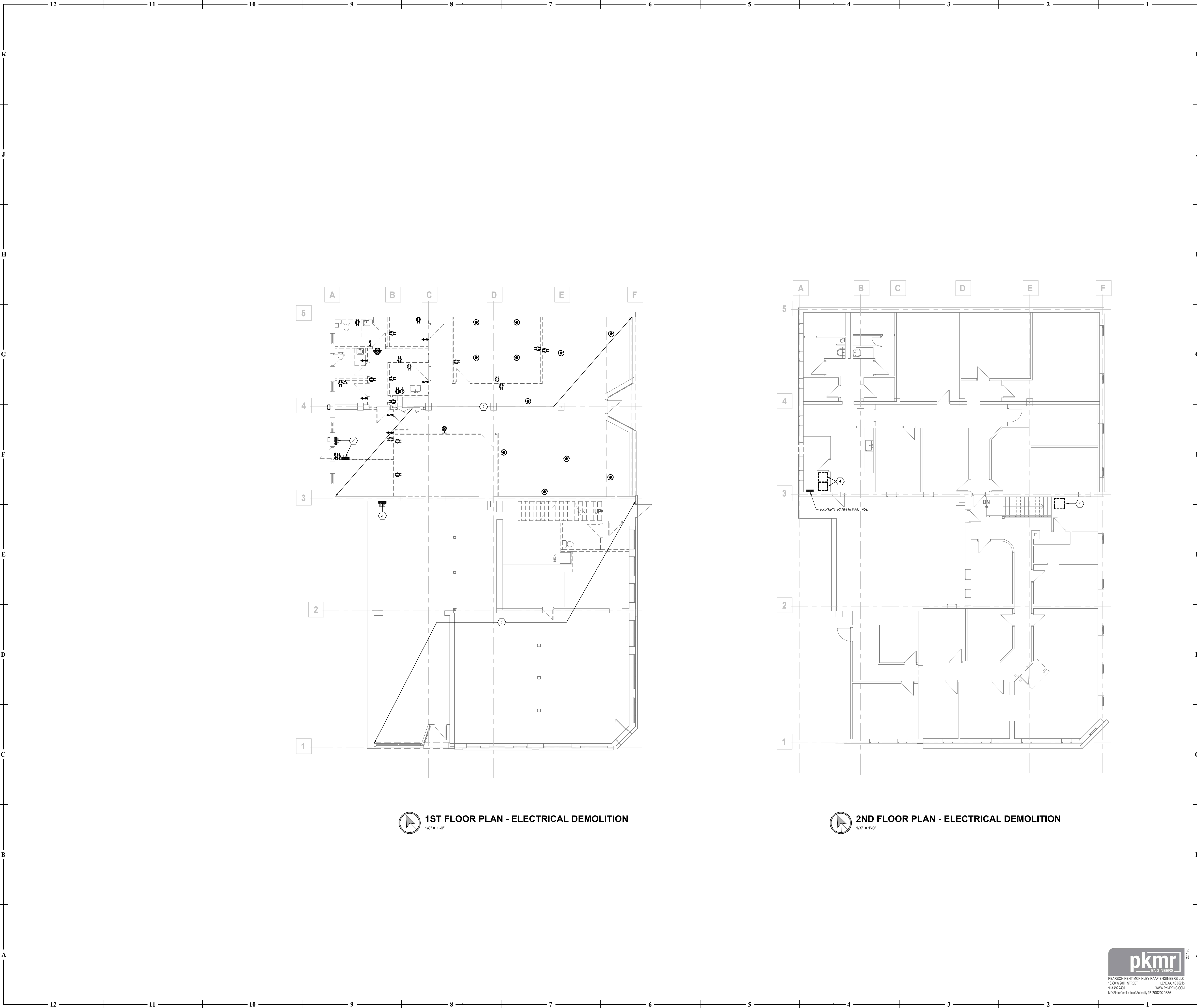


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PLUMBING - SCHED./DETAILS





 **1ST FLOOR PLAN - ELECTRICAL DEMOLITION**
1/8" = 1'-0"

 **2ND FLOOR PLAN - ELECTRICAL DEMOLITION**
1/8" = 1'-0"

GENERAL DEMOLITION NOTES

1. REFER TO GENERAL DEMOLITION NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.

DEMOLITION PLAN KEYED NOTES

- ① REMOVE ALL FIXTURES, EQUIPMENT, AND DEVICES THIS AREA. REMOVE ALL WIRING/CONDUIT AND PIPING TO SAME NOT REQUIRED TO REMAIN.
- ② REMOVE PANELBOARD AND MAINTAIN EXISTING CIRCUITS TO REMAIN. INCEPT AND EXTEND EXISTING BRANCH CIRCUITS NEW PANELBOARD IN NEW LOCATION. REFER TO NEW WORK DRAWINGS FOR MORE INFORMATION.
- ③ REMOVE EXISTING PANELBOARD. REMOVE FEEDERS AND BRANCH CIRCUITS TO SAME.
- ④ EXISTING FURNACE TO BE REPLACED. MAINTAIN EXISTING WIRING/CONDUIT TO RECONNECT TO NEW FURNACE.



307B SW Market Street, Lee's Summit, Mo. 64063 P: 816.249.2270
(www.collinsandwebb.com)

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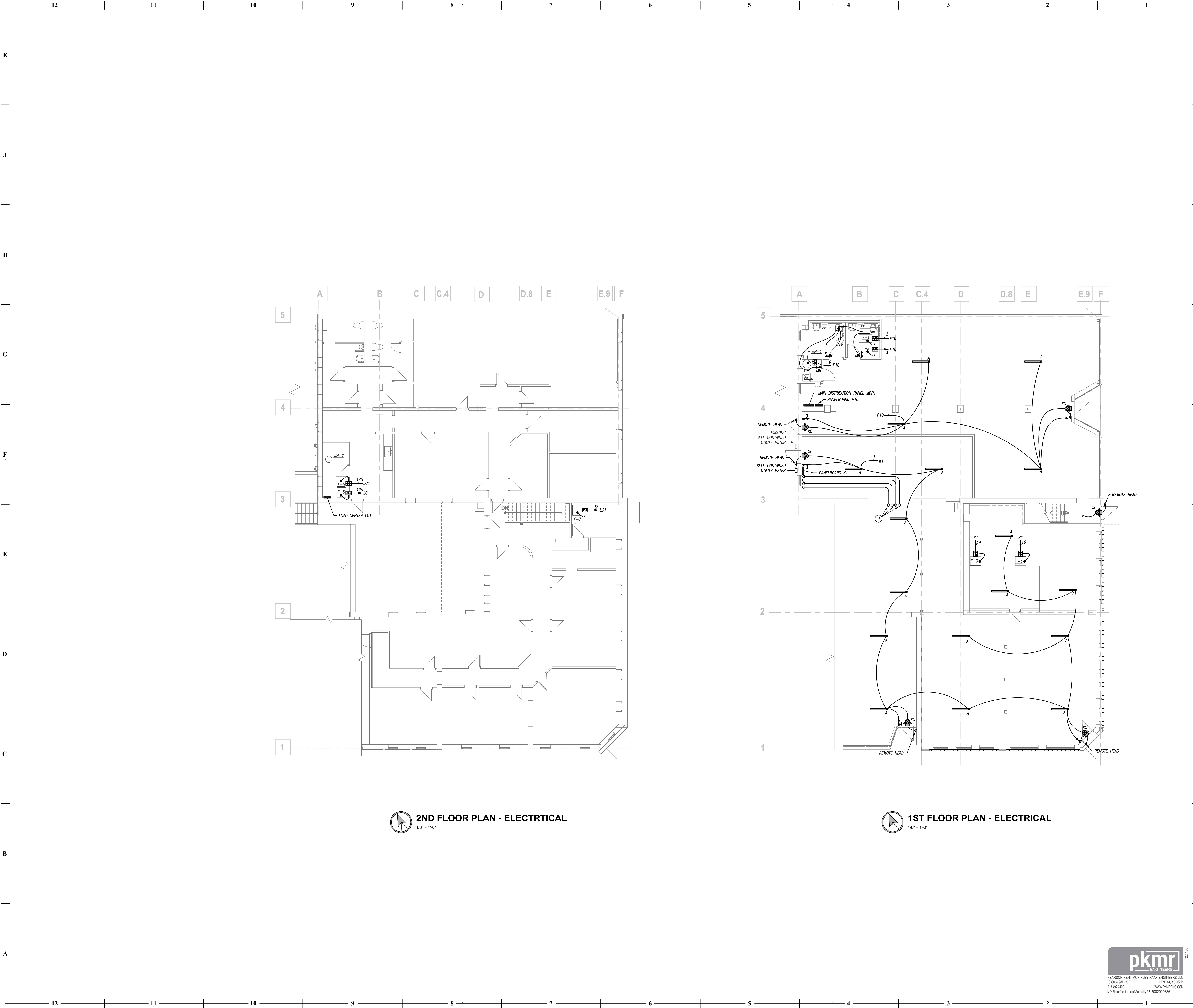
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913.482.2403 WWW.PKMRNG.COM
MO State Certificate of Authority #E-0002020886

ELECTRICAL DEMOLITION - FLOOR PLANS



2ND FLOOR PLAN - ELECTRICAL
1/8" = 1'-0"

1ST FLOOR PLAN - ELECTRICAL
1/8" = 1'-0"

GENERAL LIGHTING
NOTES

1. REFER TO GENERAL NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.
2. LIGHT FIXTURES INDICATED AS EMERGENCY FIXTURES ARE TO FUNCTION AS NIGHT LIGHTS UNLESS SPECIFICALLY SHOWN SWITCHED.
3. ALL CIRCUITING SHOWN ON THIS PLAN IS DIAGRAMMATIC.
 - 3.1. ALL FIXTURES SHALL BE FED FROM JUNCTION BOXES WITH LIGHT FIXTURE WIRING (<1). GASTY-CIRCUITING OF FIXTURES IS NOT ALLOWED.
 - 3.2. SWITCH BOX LOCATIONS SHALL BE WIRED SO THAT A NEUTRAL WIRE IS AVAILABLE AT THE SWITCH BOX LOCATION, EITHER IN THE BOX OR AVAILABLE TO BE ADDED VIA RACEWAY OR AN ACCESSIBLE WALL CAVITY.
 - 3.3. WALL SWITCHES FOR SEPARATE LOAD TYPES (CM/NORMAL, 120/277V, ETC.) SHALL NOT BE IN A SINGLE BOX.
 - 3.4. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

ELECTRICAL PLAN KEYED
NOTES

1. PROVIDE (3) 2" CONDUIT AND (1) 1" CONDUIT WITH PULL STINGS FOR FUTURE MECHANICAL EQUIPMENT. ROUTE CONDUIT TO TOP OF CEILING AND TURN UP THROUGH CEILING PATCH ALL PENETRATIONS WATERTIGHT. CAP CONDUIT AT BOTH ENDS FOR FUTURE USE.

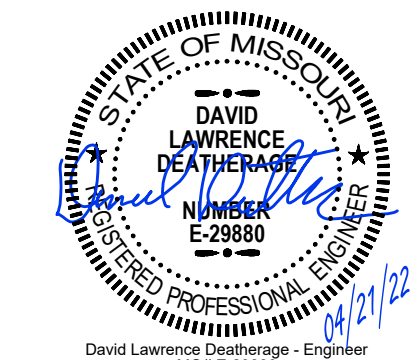


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ELECTRICAL - FLOOR PLANS



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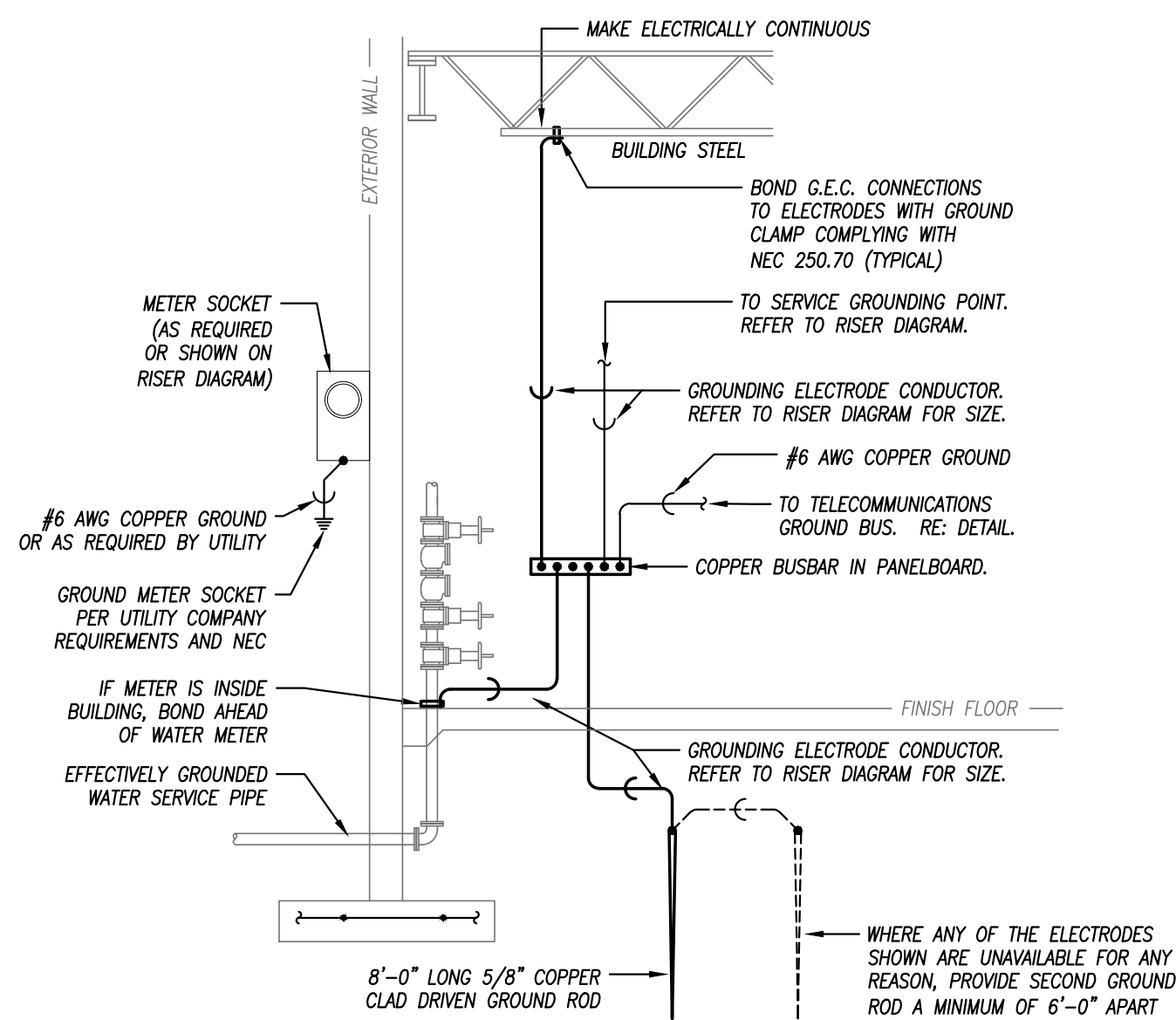
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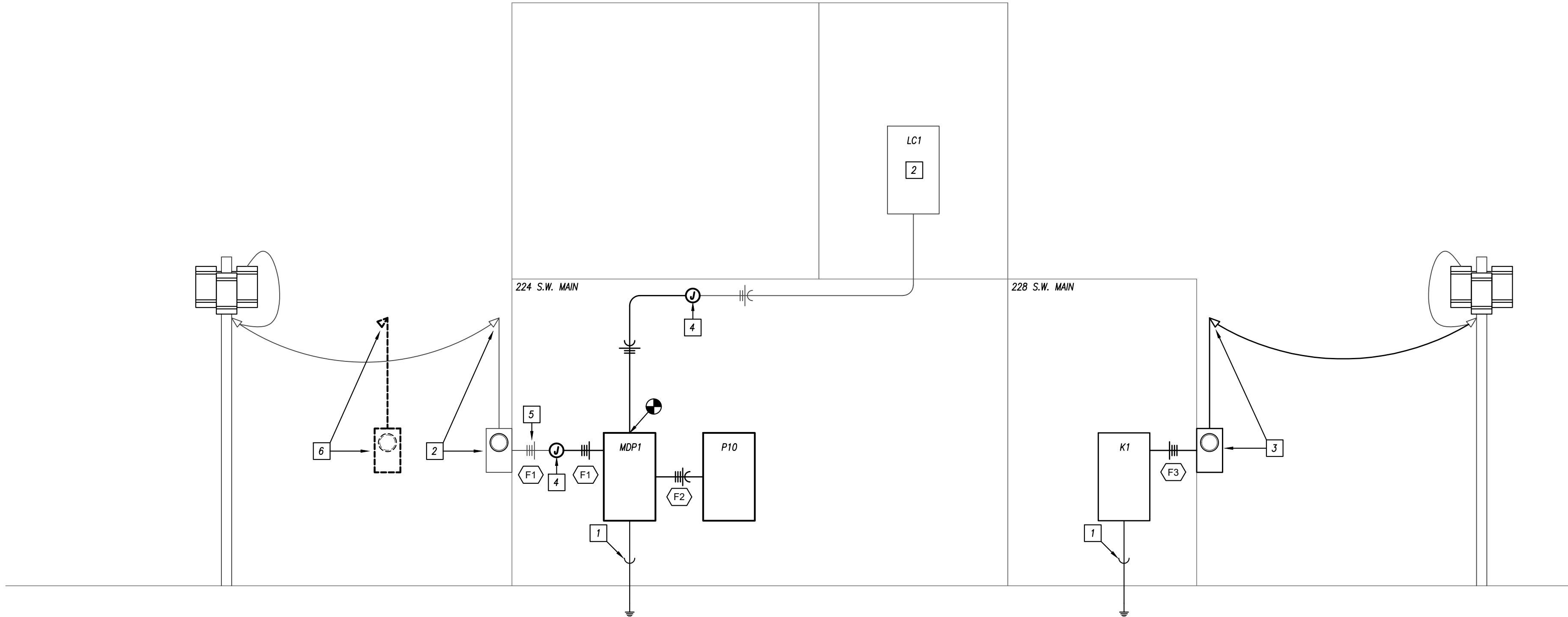
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ELECTRICAL SERVICE GROUNDING DETAIL

NOT TO SCALE



ELECTRICAL RISER DIAGRAM

NOT TO SCALE

SINGLE-SECTION PANELBOARD SCHEDULE											
PANEL DESIGNATION: K1						MAIN LUG AMPS: 400 MAIN BREAKER: 400 VOLTAGE: 208/120 PHASE/WIRE: 3Ø, 4W					
MOUNTING: SURFACE LOCATION: FUTURE TENANT S-100						SCCR RATING (AIC): 22,000					
DESCRIPTION	PHASE			C/B	POLE	CIRCUIT #	PHASE			C/B	DESCRIPTION
	A	B	C				A	B	C		
LTS: FUTURE TENANT S-100	546	-	-	20	1	1	20	1	3	4	CONDENSING UNIT CU-3
SPARE	-	-	-	20	1	3	4	3	50	3459	3459
SPARE	-	-	-	20	1	5	6	-	-	-	CONDENSING UNIT CU-4
SPARE	-	-	-	20	1	7	8	-	-	-	CONDENSING UNIT CU-4
SPARE	-	-	-	20	1	9	10	3	50	3459	3459
SPARE	-	-	-	20	1	11	12	-	-	-	FURNACE F-3
SPARE	-	-	-	20	1	13	14	1	20	1920	1920
SPARE	-	-	-	20	1	15	16	1	20	1920	FURNACE F-4
SPARE	-	-	-	20	1	17	18	1	20	-	SPARE
SPARE	-	-	-	20	1	19	20	1	20	-	SPARE
SPARE	-	-	-	20	1	21	22	1	20	-	SPARE
SPARE	-	-	-	20	1	23	24	1	20	-	SPARE
SPARE	-	-	-	20	1	25	26	1	20	-	SPARE
SPARE	-	-	-	20	1	27	28	1	20	-	SPARE
SPARE	-	-	-	20	1	29	30	1	20	-	SPARE
SPARE	-	-	-	20	1	31	32	1	20	-	SPARE
SPARE	-	-	-	20	1	33	34	1	20	-	SPARE
SPARE	-	-	-	20	1	35	36	1	20	-	SPARE
SPARE	-	-	-	20	1	37	38	1	20	-	SPARE
SPARE	-	-	-	20	1	39	40	1	20	-	SPARE
SPARE	-	-	-	20	1	41	42	1	20	-	SPARE
SPARE	-	-	-	20	1	43	44	1	20	-	SPARE
SPARE	-	-	-	20	1	45	46	1	20	-	SPARE
SPARE	-	-	-	20	1	47	48	1	20	-	SPARE
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SPARE	-	-	-	20	1	51	52	1	20	-	SPARE
SPARE	-	-	-	20	1	53	54	1	20	-	SPARE
SPARE	-	-	-	20	1	55	56	1	20	-	SPARE
SPARE	-	-	-	20	1	57	58	1	20	-	SPARE
SPARE	-	-	-	20	1	59	60	1	20	-	SPARE
SPARE	-	-	-	20	1	61	62	-	-	-	SPARE
SPARE	-	-	-	20	1	63	64	-	-	-	SPARE
SPARE	-	-	-	20	1	65	66	-	-	-	SPARE
LARGE SUB-FED BREAKER						67	68	3	-	-	-
TOTALS						546	0	0	8839	8839	8918 TOTALS

PANELBOARD SIZING LOAD			
LOAD DESCRIPTION	CONNECTED	DEMAND	CODE MIN. (VA)
LIGHTS	546	1.25	683
RECEPTACLES	0	10KVA + 50% REST	0
MOTORS	3,840	1.25 x LARGEST + SUM OF REST	4,320
AIR CONDITIONING	20,754	1.00	20,754
SPACE HEATING	0	0.00	0
HEAT PUMP	0	1.00	0
CONTINUOUS	0	1.25	0
NON-CONTINUOUS	0	1.00	0
MISC. LOADS 1	0	1.00	0
SIZING LOAD:		25,757	
SIZING LOAD (AMPS):		71	

CONNECTED PHASE LOADS			
PHASE	VA	AMPS	
A	9,384	78.1	
B	6,836	73.6	
C	6,918	57.6	
TOTALS	25,140	69.8	

REMARKS:
1. EATON POW-R-LINE 1X OR EQUAL.
2. SERVICE ENTRANCE RATED.

EQUIPMENT FAULT CURRENT RATING SCHEDULE					
EQUIPMENT	SCA **	SCCR	NOTES		
DISTRIBUTION PANELBOARD MDP1	11,046	22,000	1,2		
PANELBOARD P10	10,664	22,000	1,2		
PANELBOARD K1	9,924	22,000	1,2		

NOTES:
1. RATING BASED ON AN ASSUMED FAULT AT UTILITY CO. TRANSFORMER OF 38,914A.
2. EQUIPMENT MAY BE SERIES RATED.
** CALCULATIONS PERFORMED USING BUSSMANN POINT-TO-POINT METHOD.

EQUIPMENT FEEDER SCHEDULE							
FEEDER NO.	EQUIPMENT	LOAD (AMPS)	SETS	# OF WIRES	FEEDER SIZE	GROUND MATERIAL	CONDUIT SIZE
F1	DISTRIBUTION PANELBOARD MDP1	174.3	2	4	#3/0	- COPPER	2"
F2	PANELBOARD P10	10.0	1	4	#3/0	#6 COPPER	2"
F3	PANELBOARD K1	71.5	1	4	500 MCW	- COPPER	3-1/2"

DISTRIBUTION PANELBOARD SCHEDULE											
PANEL DESIGNATION: MDP1						MAIN LUG AMPS: 400 MAIN BREAKER: 400 VOLTAGE: 208/120 PHASE/WIRE: 3Ø, 4W					
MOUNTING: SURFACE LOCATION: OFFICE N-100						SCCR RATING (AIC): 22,000					
DESCRIPTION	PHASE			C/B	POLE	CIRCUIT #	PHASE			C/B	DESCRIPTION
	A	B	C				A	B	C		
CONDENSING UNIT CU-1	2786	2786	2786	40	3	1	2	2018	2018	2018	CONDENSING UNIT CU-5
CONDENSING UNIT CU-2	2786	2786	2786	40	3	3	4	2018	2018	2018	CONDENSING UNIT CU-6
SPACE	-	-	-	1	15	16	3	50	3459	3459	CONDENSING UNIT CU-7
SPACE	-	-	-	1	17	18	1	20	-	-	SPARE
SPACE	-	-	-	1	19	20	1	20	-	-	SPARE
SPACE	-	-	-	1	21	22	1	20	-	-	SPARE
SPACE	-	-	-	1	23	24	1	20	-	-	SPARE
SPACE	-	-	-	1	25	26	1	20	-	-	SPARE
SPACE	-	-	-	1	27	28	1	20	-	-	SPARE
SPACE	-	-	-	1	29	30	1	20	-	-	SPARE
SPACE	-	-	-	20	1	31	32	1	20	-	SPARE
SPACE	-	-	-	20	1	33	34	1	20	-	SPARE
SPACE	-	-	-	20	1	35	36	1	20	-	SPARE
SPACE	-	-	-	20	1	37	38	1	20	-	SPARE
SPACE	-	-	-	20	1	39	40	2	200	10000	LOAD CENTER LC1
SPACE	-	-	-	20	1	41	42	2	200	10000	PANELBOARD P10
LARGE SUB-FED BREAKER						44	45	3	200	1344	1290
TOTALS						5572	5572	5572	8839	18785	17995 TOTALS

PANELBOARD SIZING LOAD			
LOAD DESCRIPTION	CONNECTED	DEMAND	CODE MIN. (VA)
LIGHTS	168	1.25	210
RECEPTACLES	0	10KVA + 50% REST	0
MOTORS	2,466	1.25 x LARGEST + SUM OF REST	2,760
AIR CONDITIONING	39,201	1.00	39,201
SPACE HEATING	0	0.00	0
HEAT PUMP	0	1.00	0
CONTINUOUS	500	1.25	625
NON-CONTINUOUS	0	1.00	0
MISC. LOADS 1	0	1.00	0
SIZING LOAD:		62,796	
SIZING LOAD (AMPS):		174	

CONNECTED PHASE LOADS			
PHASE	VA	AMPS	
A	14,411	120.0	
B	24,357	202.8	
C	23,567	196.2	
TOTALS	62,335	173.0	

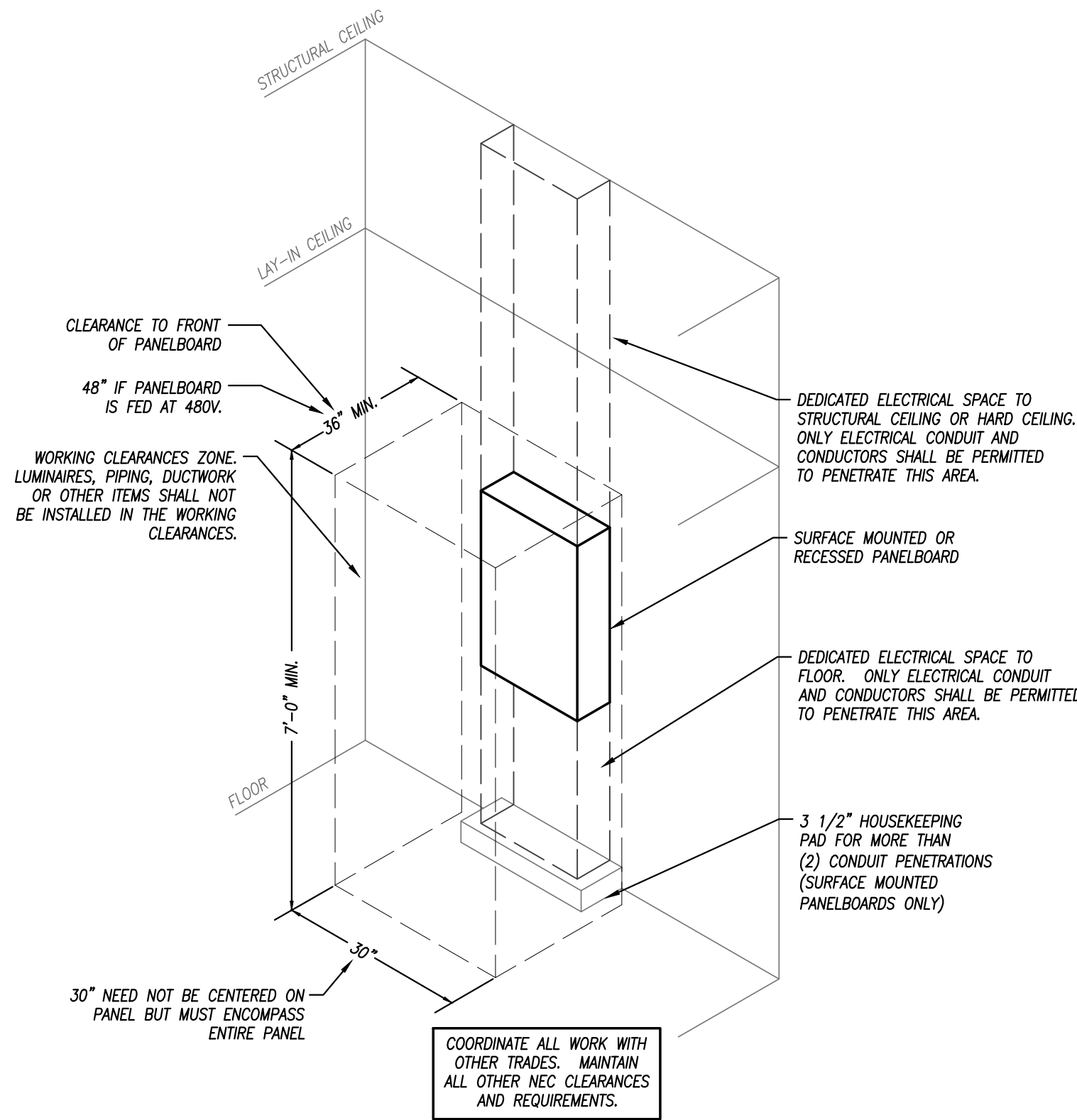
REMARKS:
1. EATON POW-R-LINE 3X OR EQUAL.
2. SERVICE ENTRANCE RATED.

SINGLE-SECTION PANELBOARD SCHEDULE											
PANEL DESIGNATION: P10						MAIN LUG AMPS: 225 MAIN BREAKER: M.L.O. VOLTAGE: 208/120 PHASE/WIRE: 3Ø, 4W					
MOUNTING: SURFACE LOCATION: OFFICE N-100						SCCR RATING (AIC): 22,000					
DESCRIPTION	PHASE			C/B	POLE	CIRCUIT #	PHASE			C/B	DESCRIPTION
	A	B	C				A	B	C		
LTS: OFFICE N-100	168	-	-	20	1	1	2	1176	1176	1176	FURNACE F-1
EXHAUST FANS	114	-	-	20	1	3	4	1	20	-	FURNACE F-2
RECEPT: ROOF	-	-	360	20	1	5	6	1	15	500	WATER HEATER WH-1
SPARE	-	-	-	20	1	7	8	1	20	-	SPARE
SPARE	-	-	-	20	1	9	10	1	20	-	SPARE
SPARE	-	-	-	20	1	11	12	1	20	-	SPARE
SPARE	-	-	-	20	1	13	14	1	20	-	SPARE
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SPARE	-	-	-	20	1	27	28	1	20	-	SPARE
SPARE	-	-	-	20	1	29	30	1	20	-	SPARE
SPARE	-	-	-	20	1	31	32	1	20	-	SPARE
SPARE	-	-	-	20	1	33	34	1	20	-	SPARE
SPARE	-	-	-	20	1	35	36	1	20	-	SPARE
SPARE	-	-	-	20	1	37	38	1	20	-	SPARE
SPARE	-	-	-	20	1	39	40	1	20	-	SPARE
SPARE	-	-	-	20	1	41	42	1	20	-	SPARE
TOTALS						168	114	360	1176	1176	500 TOTALS

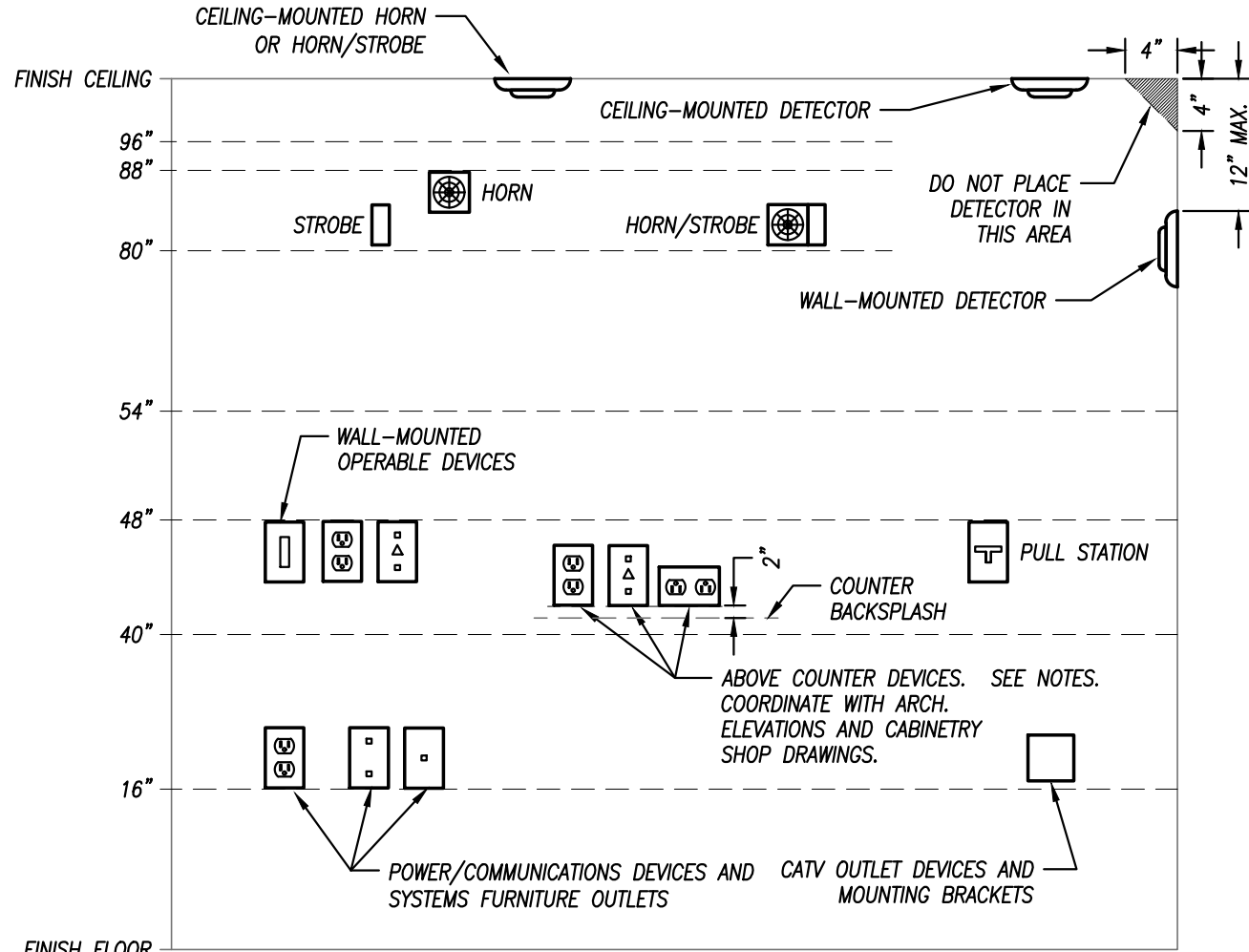
PANELBOARD SIZING LOAD			
LOAD DESCRIPTION	CONNECTED	DEMAND	CODE MIN. (VA)
LIGHTS	168	1.25	210
RECEPTACLES	360	10KVA + 50% REST	360
MOTORS	2,466	1.25 x LARGEST + SUM OF REST	2,760
AIR CONDITIONING	0	1.00	0
SPACE HEATING	0	0.00	0
HEAT PUMP	0	1.00	0
CONTINUOUS	500	1.25	625
NON-CONTINUOUS	0	1.00	0
MISC. LOADS 1	0	1.00	0
SIZING LOAD:		3,955	
SIZING LOAD (AMPS):		11	

CONNECTED PHASE LOADS			
PHASE	VA	AMPS	
A	1,344	11.2	
B	1,290	10.7	
C	860	7.2	
TOTALS	3,494	9.7	

REMARKS:
1. EATON POW-R-LINE 1X OR EQUAL.



TYPICAL PANELBOARD INSTALLATION DETAIL
NOT TO SCALE



GENERAL NOTES:
1. MOUNTING HEIGHTS SHOWN IN THIS DETAIL ARE TYPICAL UNLESS OTHERWISE NOTED ON THE PLANS.
2. SEE ARCHITECTURAL ELEVATIONS FOR SPECIAL CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS.
3. ALL INSTALLATIONS SHALL COMPLY WITH ADA.

VISUAL FIRE ALARM NOTIFICATION DEVICES (STROBES)
LOCATE DEVICE SO THE BOTTOM OF THE DEVICE IS BETWEEN 80" AND 96" A.F.F. (NFPA) OR 8" BELOW CEILING, WHICHEVER IS LOWER (ADA 2010).

AUDIBLE FIRE ALARM NOTIFICATION DEVICES (HORNS)
LOCATE DEVICE SO THAT THE TOP OF UNIT IS NOT MORE THAN 80" A.F.F. AND NOT LESS THAN 8" BELOW CEILING (NFPA).

FIRE ALARM ACTIVATION DEVICES (PULL STATION)
LOCATE FRONT-APPROACH DEVICES SO THAT THE HIGHEST OPERABLE PORTION OF THE DEVICE IS NOT MORE THAN 48" A.F.F. (ADA 2010) AND NOT LESS THAN 42" A.F.F. (NFPA).

POWER/COMMUNICATION DEVICES:
OUTLETS SHALL BE LOCATED AT 16" A.F.F. TO THE BOTTOM OF THE BOX. ABOVE COUNTER DEVICES SHALL BE LOCATED AT 2" ABOVE THE BACKSPASH OF THE COUNTER TO THE BOTTOM OF THE DEVICES. VERIFY WITH ARCHITECTURAL DETAILS.

WALL-MOUNTED OPERABLE DEVICES:
OPERABLE DEVICES SHALL BE LOCATED AT 48" A.F.F. TO THE TOP OF THE OPERABLE PORTION OF THE DEVICE.

WALL-MOUNTED OPERABLE DEVICES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
LIGHT SWITCHES, DIMMERS, CONTROLS, ETC.
PUSH BUTTONS
NURSE/PATIENT CALL DEVICES (INCLUDING THOSE FOR STAFF USE)
OTHER CONTROL OR "CALL" DEVICES

MOUNTING HEIGHTS FOR WALL-MOUNTED DEVICES
NOT TO SCALE

LIGHT FIXTURE SCHEDULE											
FIXTURE TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LED MODULE / DRIVER							REMARKS
				ID	WATTS	LUMENS	CRI	CCT	DIMMING	VOLTAGE	
A	WILLIAMS	SERIES 75S	4'-0" LONG COMMERCIAL-GRADE STRIP FIXTURE WITH SQUARE LENS. SURFACE MOUNT. WHITE FINISH.	L8S	42	6500	80	3500K	NO	277/120	1
XC	DUAL-LITE	EVC SERIES	COMBINATION EMERGENCY LIGHTING UNIT / EXIT LIGHT. UV-STABLE THERMOPLASTIC HOUSING, FINISH WHITE. ADJUSTABLE EYEBALL STYLE LIGHTING HEADS WITH GLASS LENS FOR EMERGENCY LIGHT. EXIT SIGN TO HAVE RED LETTERS WITH DIRECTIONAL ARROWS AS INDICATED ON THE PLANS. MAINTENANCE-FREE LITHIUM ION PHOSPHATE BATTERY FOR 90 MINUTE OPERATION OF LAMPS AND EXIT SIGN. FURNISH WITH CAPACITY FOR REMOTE HEAD. FULLY AUTOMATIC, SOLID-STATE CHARGER WITH TEST SWITCH AND AC-ON LIGHT.	TOTAL POWER CONSUMPTION =							1
				EMERGENCY FOUR (4) HIGH-OUTPUT							
				EXIT: FOUR (4) HIGH-OUTPUT LEADS							
		EVO	OUTDOOR REMOTE WITH 2 HEADS. BLACK FINISH.								
REMARKS: 1. FURNISH WITH AND INSTALL ALL NECESSARY HARDWARE AND MOUNTING BRACKETS.											
GENERAL NOTES (APPLICABLE TO ALL FIXTURES):											
1) EQUALS ARE ACCEPTABLE ON ALL LIGHT FIXTURES UNLESS SPECIFICALLY NOTED OTHERWISE. REFER TO SPECIFICATIONS FOR APPROVED EQUAL FIXTURE MANUFACTURERS.											
2) ALL DRIVERS ARE INTEGRAL TO FIXTURE UNLESS NOTED OTHERWISE. REFER TO SPECIFICATIONS FOR ADDITIONAL FIXTURE/DRIVER/BALLAST REQUIREMENTS.											
3) ALL FIXTURES WITH PAINTED METAL PARTS SHALL BE PAINTED AFTER FABRICATION.											
4) LUMENS LISTED FOR LED FIXTURES ARE GENERALLY DELIVERED LUMENS UNLESS NOTED OTHERWISE.											



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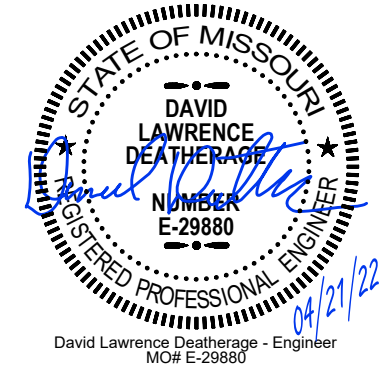
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ELECTRICAL - PANELBOARD SCHEDULES