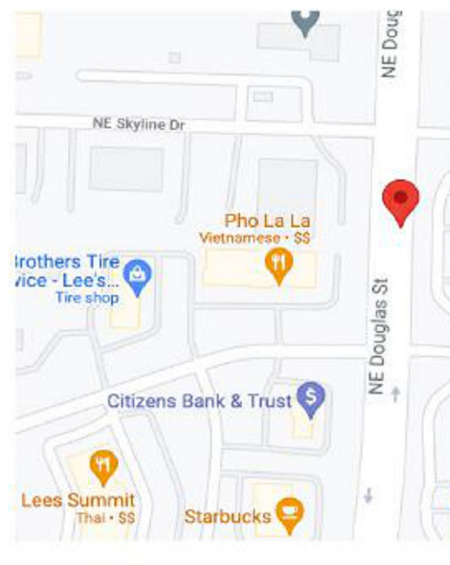




1237 NE DOUGLAS STREET  
LEE'S SUMMIT, MO 64086



#### PROJECT DATA

PROJECT DESCRIPTION TENANT FINISH IN EXISTING BUILDING  
VACANT LEASE SPACE

ZONING BUSINESS

OCCUPANCY MERCANTILE

NO. OF STORIES 1

TOTAL AREA SQ. FEET 1380

OCCUPANT LOAD 17

EGRESS

EXITS REQUIRED 2

EXITS PROVIDED 2

RESTROOMS

RESTROOMS PROVIDED 1

#### SCOPE OF WORK

TENANT FINISH PLANS IN EXISTING SHELL BUILDING SPACE  
CONSTRUCT PARTITION WALLS TO 12' OR 13' AFF - FRAMED/DRYWALLED  
SET PLUMBING FIXTURES IN EXISTING RESTROOM PLUMBING  
INSTALL HVAC UNIT AND DUCTWORK TO PROVIDE HEATING/COOLING TO SPACE  
INSTALL GYP BOARD CEILING OR ACT CEILING  
INSTALL ALL NEW LIGHTING PER SPECS  
COMPLETE FLOORING AND PAINTING FINISHES  
INSTALL WALL FIXTURES AND FLOOR FIXTURES FOR RETAIL SPACE

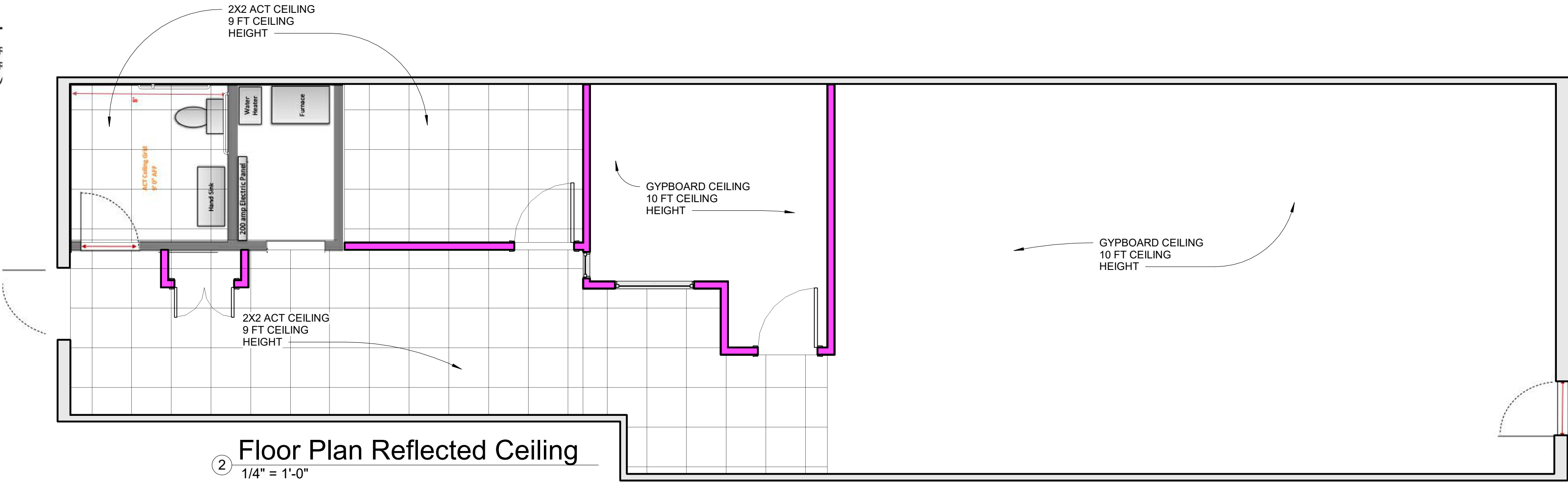
#### SHEET INDEX

FLOOR PLAN A-1  
REFLECTED CEILING PLAN  
ELECTRIC LIGHTING PLAN E-1  
ELECTRIC POWER PLAN  
HVAC PLAN

#### PROJECT TEAM

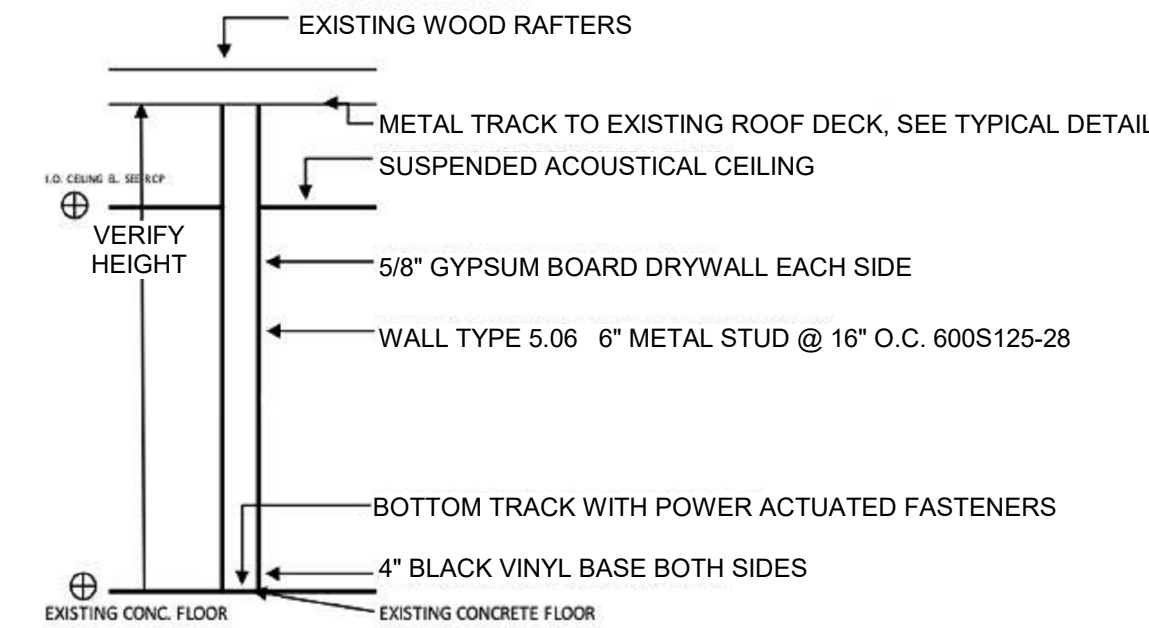
DIAMOND CONT  
4224 NE PORT DF  
LEE'S SUMMIT, MO

Occupancy Calculations:  
Mercantile 1:60 - 810 SF / 60 = 13.5  
Business Offices 1:100 - 231 SF / 100 = 02.31  
Storage Room 1:300 -  
Occupancy = 00.74  
17



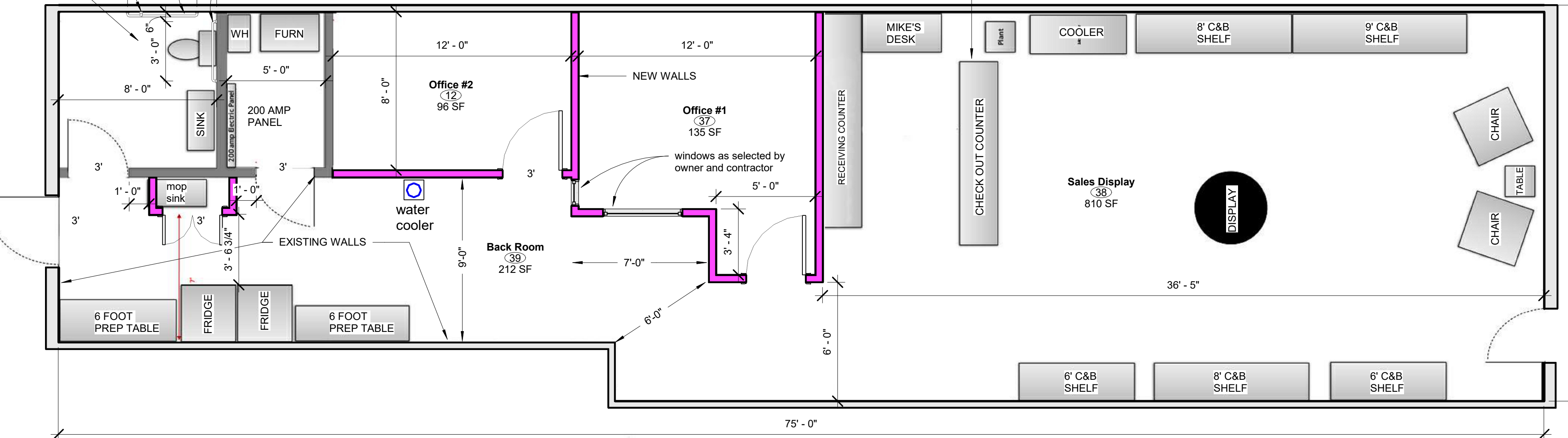
2 Floor Plan Reflected Ceiling  
1/4" = 1'-0"

#### NEW WALL SECTION

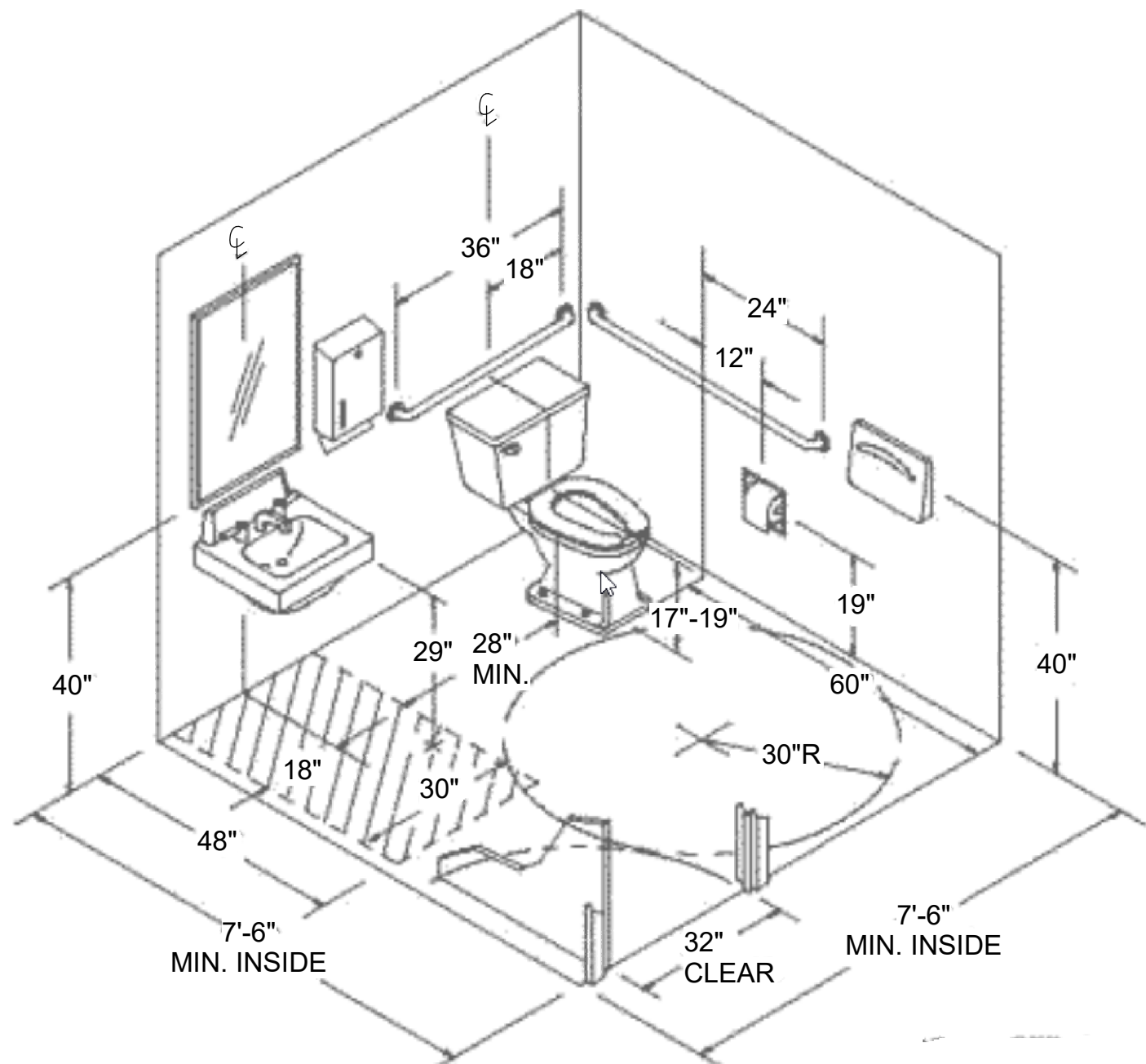


2018 IBC 1209.2 Finish Materials. Walls, Floors and partitions in toilet and bathrooms shall comply with Sections 209.2.1 through 1209.2.4. 2018 1209.2.1 Floors and wall bases. In other than dwelling units, toilet, bathing and shower room floor finish materials shall have a smooth, hard, nonabsorbent surface. The intersections of such floors with walls shall have a smooth, hard, nonabsorbent vertical base that extends upward onto the walls not less than 4 inches. 2018 1209.2.2 Walls and partitions. Walls and partitions within 2 feet of service sinks, urinals and water closets shall have a smooth, hard, nonabsorbent surface, to a height of not less than 4 feet above the floor, and except for structural elements, the materials used in such walls shall be of a type that is not adversely affected by moisture. (See code section for possible exceptions.) 1209.2.3 Showers. (see code for details) 1209.2.4 Waterproof joints. (see code for details) Action required: Provide finish material schedule to demonstrate compliance at water closet and mop sink. If paint is used it must be epoxy based.

18" VERT. GRAB BAR  
42" GRAB BAR  
36" GRAB BAR



1 Floor Plan  
1/4" = 1'-0"

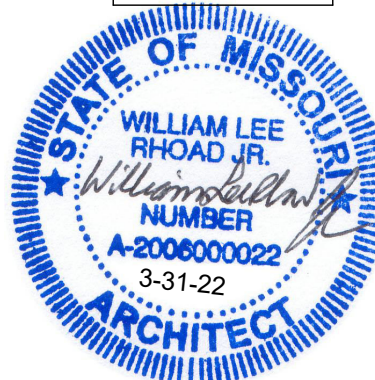


2018 IBC

ICC A117.1 Section 904.3 Sales and service counters and windows. Sales and service counters and windows shall comply with Section 904.3.1 and either 904.3.2 or 904.3.3. Where counters are provided, the accessible portion of the countertop shall extend the same depth as the public portion of the sales and service counter provided for standing customers. (see code for exception) 904.3.1 Vertical barriers. At service windows or service counters, any vertical barrier between service personnel and customers shall be at a height of 43 inches maximum above the floor. (see code for exception regarding security glazing) 904.3.2 Parallel Approach. A portion of the public use side of the counter surface 36 inches minimum in length and 26 inches minimum and 36 inches maximum in height above the floor shall be provided. A clear floor space positioned for a parallel approach adjacent to the accessible counter shall be provided. The space between the accessible counter surface and any projecting objects above the accessible counter shall be 12 inches minimum. (see code for exception) 904.3.3 Forward Approach. A portion of the public use side of the counter surface 30 inches minimum in length and 36 inches maximum in height above the floor shall be provided. A clear floor space positioned for a forward approach to the accessible counter shall be provided. Knee and toe clearance complying with Section 306 shall be provided under the accessible counter. The space between the accessible counter surface and any projecting objects above the accessible counter shall be 12" minimum. Action required: Modify design to demonstrate compliance at check out counter.

W. LEE RHoad AIA ARCHITECT  
11871 SE STATE ROUTE H AGENCY MO 64401  
LEERHoad.COM 816-244-6588

Terra Supplements + Superfoods  
Tenant Finish  
1237 NE Douglas Street, Lee's Summit, Missouri



First Floor Plan  
Project number 2022-26  
Date 3-31-22

A1

Scale 1/4" = 1'-0"





NEXT DOOR TENANT COND. UNIT  
ON ROOF. THIS UNIT WILL LOOK  
THE SAME.... BOTH SCREENED BY  
PARAPET WALL

**MECHANICAL NOTES:**

1. CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES & REGULATIONS.
2. ON MULTI-SPEED FURNACE, SELECT A FAN SPEED THAT PRODUCES THE LISTED TEMPERATURE RISE SPECIFIED BY THE MANUFACTURER OF THE FURNACE.
3. MECHANICAL EQUIPMENT AS SELECTED BY OWNER AND CONTRACTOR.
4. HVAC LAYOUT IS SCHEMATIC - BALANCE LAYOUT TO DESIGNED CFM TO PROVIDE EVEN HEATING / COOLING.

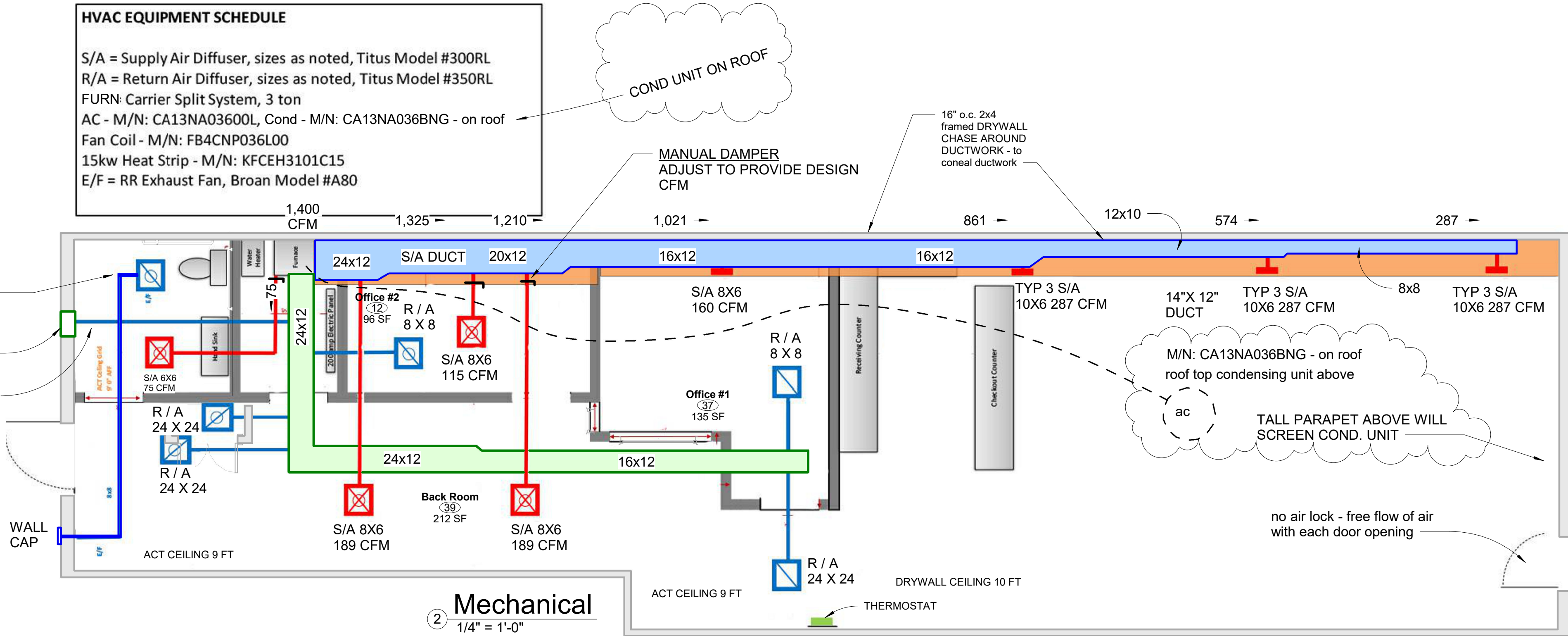
**HVAC EQUIPMENT SCHEDULE**

S/A = Supply Air Diffuser, sizes as noted, Titus Model #300RL  
R/A = Return Air Diffuser, sizes as noted, Titus Model #350RL  
FURN Carrier Split System, 3 ton  
AC - M/N: CA13NA03600L, Cond - M/N: CA13NA036BNG - on roof  
Fan Coil - M/N: FB4CNP036L00  
15kw Heat Strip - M/N: KFCEH3101C15  
E/F = RR Exhaust Fan, Broan Model #A80

80 CFM  
EXHAUST

FRESH AIR SOURCE AT  
WALL

FRESH AIR DUCT TO  
RETURN AIR NEAR FURNACE

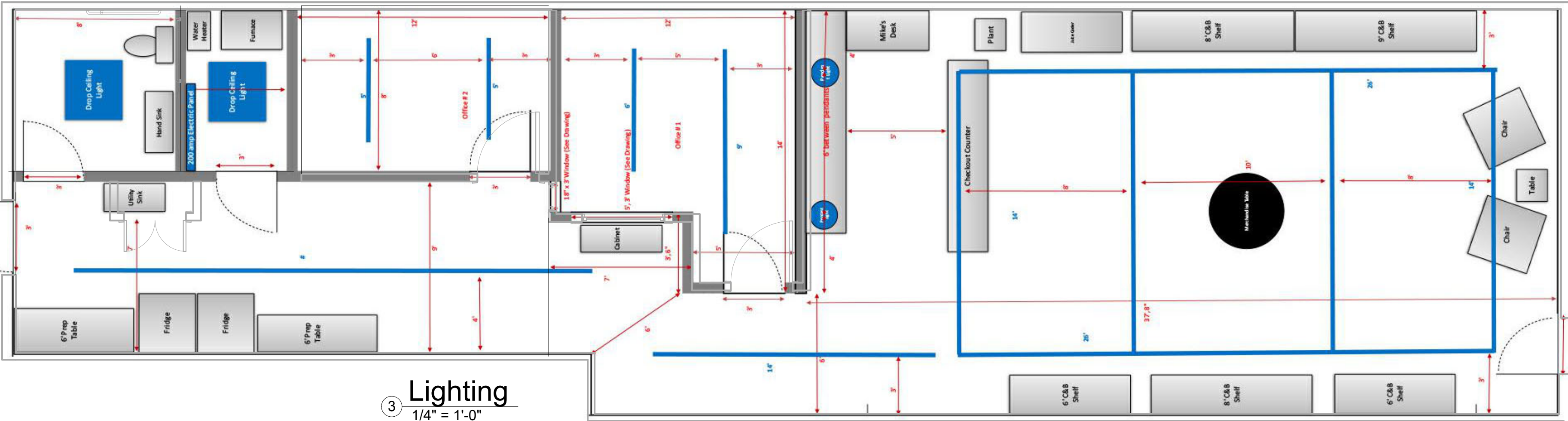


2 Mechanical  
1/4" = 1'-0"

**Track Lighting** WAC H-Track Lighting System



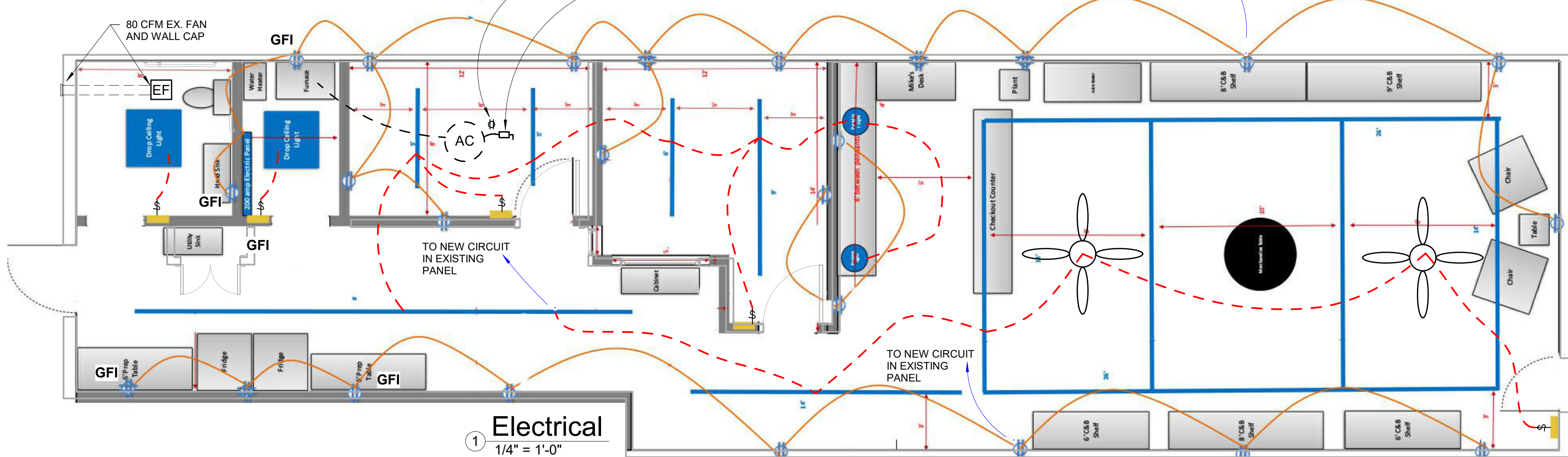
- Delivered Lumens: 2550lm
- CBCP-1196
- 3000K
- CRI: 90
- Power: 11W x 3
- Input: 120 VAC, 50/60Hz
- ELV Dimming: 100-5%
- TRAC Dimming: 100-5%
- Rated Life: 50000 Hours
- Construction: Die-cast aluminum with frosted TIR lens
- 350° horizontal and 90° vertical aiming
- Driver concealed within the fixture



3 Lighting  
1/4" = 1'-0"

**ELECTRICAL GENERAL NOTES:**

- A.) ALL MATERIAL, WORKMANSHIP AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRIC CODE.
- B.) ALL ELECTRICAL CONDUCTORS TO BE COPPER, TYPE THWN, THW, IN CONDUIT.
- C.) ALL BRANCH CIRCUIT WIRING SHALL NOT BE SMALLER THAN #12 AWG WIRE.
- D.) EQUIPMENT AND FIXTURES AS SELECTED BY OWNER AND CONTRACTOR.
- E.) MONITORED FIRE / SECURITY ALARM SYSTEM TO BE INSTALLED IN BUILDING.
- F.) EXTERIOR LIGHTING TO BE ON TIMER / PHOTOCELL.
- G.) COFFEE AREA LED LIGHTING TO BE ON DIMMER SWITCHES.



1 Electrical  
1/4" = 1'-0"

FRESH AIR REQUIREMENTS							
Project: Staley Dental Arts							
Space No	Room Desc	Area (ft 2)	CFM/ft2	CFM1	No of Persons	CFM/Person	CFM2
1	Sales	810	0.06	49	13	5	65
2	Offices	231	0.06	14	2	5	10
3	Back Room	222	0.06	13	1	5	5
Total CFM Fresh Air Required							156

Chart Requirements From ASHRAE 62.1 Table 6-1

W. LEE RHoad AIA ARCHITECT  
11871 SE STATE ROUTE H AGENCY MO 64401  
LEERHoad.COM 816-244-6588

Terra Supplements + Superfoods  
Tenant Finish  
1237 NE Douglas Street, Lee's Summit, Missouri



First Floor Electrical  
Project number 2022-26  
Date 3-31-22  
E1  
Scale 1/4" = 1'-0"