

SOUTHSIDE RETAIL



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HIVE DESIGN COLLABORATIVE, INC.

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			<div>RELEASED FOR CONSTRUCTION As Noted on Plans Review Development Services Department Lee's Summit, Missouri 04/07/2022</div>	
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- SECTION 01 10 00 - SUMMARY**
- Project Name: Southside Retail
 - Owner's Name: Brain Dev 3 LLC
 - Architect's Name: HIVE Design Collaborative, Inc.
 - The Project consists of typical interior office construction / alteration
 - Coordinate with Owner / Tenant on all items to be supplied and installed by Owner.
 - Coordinate with Owner / Tenant on occupancy requirements during the construction period.
 - Coordinate with Owner / Tenant to minimize conflict and to facilitate building operations.
 - Coordinate with Owner / Tenant on Utility Outages and Shutdowns.
 - Provide access to and from spaces as required by law and by Owner.
 - Keep all exits required by code open during construction period; provide temporary exit signs if exit routes are temporarily altered.
 - Do not obstruct roadways, sidewalks, or other public ways without permit.

- SECTION 01 20 00 - PRICE AND PAYMENT PROCEDURES**
- Coordinate requirements with Owner / Tenant on all pricing and payment procedures.

- SECTION 01 30 00 - ADMINISTRATIVE REQUIREMENTS**
- Coordinate requirements with Owner / Tenant for progress meetings, construction schedules, shop drawings and submittals.

- SECTION 01 40 00 - QUALITY REQUIREMENTS**
- For products and workmanship specified by reference to a document or documents not included in these specifications, also referred to as reference standards, comply with requirements of the standard, except when more rigid requirements are specified or are required by applicable codes.
 - Conform to reference standard of date of issue current on date of Contract Documents, except where a specific date is established by applicable code.
 - Should specified reference standards conflict with Contract Documents, request clarification from Architect before proceeding.
 - Neither the contractual relationships, duties, or responsibilities of the parties in Contract nor those of Architect shall be altered from the Contract Documents by mention or inference otherwise in any reference document.
 - Monitor quality control over suppliers, manufacturers, products, services, site conditions, and workmanship, to produce Work of specified quality.
 - Comply with manufacturers' instructions, including each step in sequence.
 - Should manufacturers' instructions conflict with Contract Documents, request clarification from Architect before proceeding.
 - Comply with specified standards as minimum quality for the Work except where more stringent tolerances, codes, or specified requirements indicate higher standards or more precise workmanship.
 - Have Work performed by persons qualified to produce required and specified quality.
 - Verify that field measurements are as indicated on shop drawings or as instructed by the manufacturer.
 - Secure products in place with positive anchorage devices designed and sized to withstand stresses, vibration, physical distortion, and disfigurement.
 - Monitor fabrication and installation tolerance control of products to produce acceptable Work. Do not permit tolerances to accumulate.
 - Comply with manufacturers' tolerances. Should manufacturers' tolerances conflict with Contract Documents, request clarification from Architect before proceeding.
 - Adjust products to approximate dimensions; position before securing products in place.
 - Replace Work or portions of the Work not conforming to specified requirements.
 - If, in the opinion of the Owner or Architect, it is not practical to remove and replace the Work, the Owner or Architect will direct an appropriate remedy or adjust payment.

- SECTION 01 50 00 - TEMPORARY FACILITIES AND CONTROLS**
- Coordinate requirements and restrictions with Owner / Tenant on all temporary utilities, facilities, barriers and enclosures as well as security, vehicle access, parking, waste removal and project signs.

- SECTION 01 60 00 - PRODUCT REQUIREMENTS**
- Product Data Submittals: Submit manufacturer's standard published data. Mark each copy to identify applicable products, models, options, and other data. Supplement manufacturers' standard data to provide information specific to this Project.
 - Shop Drawing Submittals: Prepared specifically for this Project; indicate utility and electrical characteristics, utility connection requirements, and location of utility outlets for service for functional equipment and appliances.
 - Sample Submittals: Illustrate functional and aesthetic characteristics of the product, with integral parts and attachment devices. Coordinate sample submittals for interfacing work.
 - For selection from standard finishes, submit samples of the full range of the manufacturer's standard colors, textures, and patterns.
 - Provide new products unless specifically required or permitted by the Contract Documents.
 - Where all other criteria are met, Contractor shall give preference to products that are extracted, harvested, and/or manufactured closest to the location of the project, have longer documented life span under normal use, result in less construction waste, and are made of vegetable materials that are rapidly renewable.
 - Products Specified by Reference Standards or by Description Only: Use any product meeting those standards or description.
 - Products Specified by Naming One or More Manufacturers: Use a product of one of the manufacturers named and meeting specifications, no options or substitutions allowed.
 - Furnish extra materials, spare parts, tools, and software of types and in quantities specified in individual specification sections.
 - Coordinate schedule of product delivery to designated prepared areas in order to minimize site storage time and potential damage to stored materials.
 - Transport and handle products in accordance with manufacturer's instructions.
 - Provide equipment and personnel to handle products by methods to prevent soiling, disfigurement, or damage.
 - Arrange for the return of packing materials, such as wood pallets, where economically feasible.
 - Store and protect products in accordance with manufacturers' instructions.

- SECTION 01 70 00 - EXECUTION AND CLOSEOUT REQUIREMENTS**
- Verify that existing site conditions and substrate surfaces are acceptable for subsequent work. Start of work means acceptance of existing conditions.
 - Verify that existing substrate is capable of structural support or attachment of new work being applied or attached.
 - Examine and verify specific conditions described in individual specification sections.
 - Take field measurements before confirming product orders or beginning fabrication, to minimize waste due to over-ordering or misfabrication.
 - Verify that utility services are available, of the correct characteristics, and in the correct locations.
 - Prior to Cutting: Examine existing conditions prior to commencing work, including elements subject to damage or movement during cutting and patching. After uncovering existing work, assess conditions affecting performance of work. Beginning of cutting or patching means acceptance of existing conditions.

- PREPARATION**
- Clean substrate surfaces prior to applying next material or substance.
 - Seal cracks or openings of substrate prior to applying next material or substance.
 - Apply manufacturer required or recommended substrate primer, sealer, or conditioner prior to applying any new material or substance in contact or bond.

- GENERAL INSTALLATION REQUIREMENTS**
- Install products as specified in individual sections, in accordance with manufacturer's instructions and recommendations, and so as to avoid waste due to necessity for replacement.
 - Make vertical elements plumb and horizontal elements level, unless otherwise indicated.
 - Install equipment and fittings plumb and level, neatly aligned with adjacent vertical and horizontal lines, unless otherwise indicated.
 - Make consistent texture on surfaces, with seamless transitions, unless otherwise indicated.
 - Make neat transitions between different surfaces, maintaining texture and appearance.

- ALTERATIONS**
- Adapt existing work to fit new work: Make as neat and smooth transition as possible.
 - Patching: Where the existing surface is not indicated to be refinished, patch to match the surface finish that existed prior to cutting. Where the surface is indicated to be refinished, patch so that the substrate is ready for the new finish.

- Where rooms or spaces are indicated to be refinished, refinish all visible existing surfaces to remain to the specified condition for each material, with a neat transition to adjacent finishes.
- Clean existing systems and equipment.
- Do not begin new construction in alterations areas before demolition is complete.

- CUTTING AND PATCHING**
- Whenever possible, execute the work by methods that avoid cutting or patching.
 - Execute work by methods that avoid damage to other work and that will provide appropriate surfaces to receive patching and finishing. In existing work, minimize damage and restore to specified condition.
 - Employ skilled and experienced installer to perform cutting for weather exposed and moisture resistant elements, and sight exposed surfaces.
 - Cut rigid materials using masonry saw or core drill. Pneumatic tools not allowed without prior approval.
 - Restore work with new products in accordance with requirements of Contract Documents.
 - Fit work air tight to pipes, sleeves, ducts, conduit, and other penetrations through surfaces.
 - At penetrations of fire rated walls, partitions, ceiling, or floor construction, completely seal voids with fire rated material in accordance with Section 07 84 00, to full thickness of the penetrated element.
 - Finish patched surfaces to match finish that existed prior to patching. On continuous surfaces, refinish to nearest intersection or natural break. For an assembly, refinish entire unit. Match color, texture, and appearance.
 - Repair patched surfaces that are damaged, lifted, discolored, or showing other imperfections due to patching work. If effects are due to condition of substrate, repair substrate prior to repairing finish.

- PROGRESS CLEANING**
- Maintain areas free of waste materials, debris, and rubbish. Maintain site in a clean and orderly condition.
 - Remove debris and rubbish from pipe chases, plenums, attics, crawl spaces, and other closed or remote spaces, prior to enclosing the space.
 - Broom and vacuum clean interior areas prior to start of surface finishing, and continue cleaning to eliminate dust.
 - Collect and remove waste materials, debris, and trash/rubbish from site periodically and dispose off-site; do not burn or bury.

- PROTECTION OF INSTALLED WORK**
- Protect installed work from damage by construction operations.
 - Provide special protection where specified in individual specification sections.
 - Provide temporary and removable protection for installed products. Control activity in immediate work area to prevent damage.
 - Provide protective coverings at walls, projections, jambs, sills, and soffits of openings.
 - Protect finished floors, stairs, and other surfaces from traffic, dirt, wear, damage, or movement of heavy objects, by protecting with durable sheet materials.
 - Prohibit traffic or storage upon waterproofed or roofed surfaces. If traffic or activity is necessary, obtain recommendations for protection from waterproofing or roofing material manufacturer.
 - Remove protective coverings when no longer needed; reuse or recycle plastic coverings if possible.
- ADJUSTING**
- Adjust operating products and equipment to ensure smooth and unhindered operation.
- FINAL CLEANING AND CLOSEOUT PROCEDURES**
- Use cleaning materials that are nonhazardous.
 - Clean glass, surfaces exposed to view; remove temporary labels, stains and foreign substances, polish transparent and glossy surfaces, vacuum carpeted and soft surfaces.
 - Remove all labels that are not permanent. Do not paint or otherwise cover fire test labels or nameplates on mechanical and electrical equipment.
 - Clean equipment and fixtures to a sanitary condition with cleaning materials appropriate to the surface and material being cleaned.
 - Clean filters of operating equipment.
 - Remove waste, surplus materials, and trash/rubbish; dispose of in legal manner.
 - Coordinate with Owner / Tenant on project closeout procedures.

- SECTION 01 78 00 - CLOSEOUT SUBMITTALS**
- PROJECT RECORD DOCUMENTS**
- Maintain on site one set of the following record documents; record actual revisions to the Work: Drawings, Addenda, Change Orders and other modifications to the Contract.
 - Ensure entries are complete and accurate, enabling future reference by Owner.
 - Store record documents separate from documents used for construction.
 - Record information concurrent with construction progress.
 - Record Drawings: Legibly mark each item to record actual construction including: Field changes of dimension and detail. Details not on original Contract drawings.
- OPERATION AND MAINTENANCE DATA**
- For Each Product or System: List names, addresses and telephone numbers of Subcontractors and suppliers, including local source of supplies and replacement parts.
 - Product Data: Mark each sheet to clearly identify specific products and component parts, and data applicable to installation. Delete inapplicable information.
 - Drawings: Supplement product data to illustrate relations of component parts of equipment and systems, to show control and flow diagrams. Do not use Project Record Documents as maintenance drawings.
 - Typed Text: As required to supplement product data. Provide logical sequence of instructions for each procedure, incorporating manufacturer's instructions.

- OPERATION AND MAINTENANCE DATA FOR MATERIALS AND FINISHES**
- Instructions for Care and Maintenance: Manufacturer's recommendations for cleaning agents and methods, precautions against detrimental cleaning agents and methods, and recommended schedule for cleaning and maintenance.

- OPERATION AND MAINTENANCE MANUALS**
- Prepare instructions and data by personnel experienced in maintenance and operation of described products.
 - Prepare data in the form of an instructional manual.
- WARRANTIES AND BONDS**
- Obtain warranties and bonds, executed in duplicate by responsible Subcontractors, suppliers, and manufacturers, within 10 days after completion of the applicable item of work. Except for items put into use with Owner's permission, leave date of beginning of time of warranty until the Date of Substantial completion is determined.
 - Verify that documents are in proper form, contain full information, and are notarized.
 - Co-execute submittals when required.
 - Retain warranties and bonds until time specified for submittal.

- SECTION 02 41 19 - SELECTIVE STRUCTURE DEMOLITION**
- Comply with applicable codes and regulations for demolition operations and safety of adjacent structures and equipment.
 - Obtain required permits.
 - Comply with applicable requirements of NFPA 241.
 - Provide, erect, and maintain temporary barriers and security devices.
 - Conduct operations to minimize effects on and interference with adjacent spaces, structures and occupants.
 - Do not cut through or obstruct roadways or sidewalks without permit.
 - Conduct operations to minimize obstruction of public and private entrances and exits; do not obstruct required exits at any time; protect persons using entrances and exits from removal operations.
 - Do not begin removal until receipt of notification to proceed from Owner.
 - Protect existing structures and other elements that are not to be removed.
 - Provide bracing and shoring.
 - Prevent movement or settlement of adjacent structures.
 - Stop work immediately if adjacent structures appear to be in danger.
 - If hazardous materials are discovered during removal operations, stop work and notify Architect and Owner.
 - Perform demolition in a manner that maximizes salvage and recycling of materials.
 - Drawings showing existing construction and utilities are based on casual field observation and existing record documents only. Verify that construction and utility arrangements are as shown. Report discrepancies to Architect before disturbing existing installation.
 - Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition.
 - Maintain weatherproof exterior building enclosure except for interruptions required for replacement or modifications; take care to prevent water and humidity damage.
 - Remove existing work as indicated and as required to accomplish new work.
 - Remove existing systems and equipment as indicated.
 - Maintain existing active systems that are to remain in operation; maintain access to equipment and operational components.
 - Where existing active systems serve occupied facilities but are to be replaced with new services, maintain existing systems in service until new systems are complete and ready for service.
 - Verify that abandoned services serve only abandoned facilities before removal.
 - Remove abandoned pipe, ducts, conduits, and equipment, including those above accessible ceilings; remove back to source of supply where possible, otherwise cap stub and tag with identification.
 - Protect existing work to remain.
 - Prevent movement of structure; provide shoring and bracing if necessary.
 - Perform cutting to accomplish removals neatly and as specified for cutting new work.
 - Repair adjacent construction and finishes damaged during removal work.
 - Patch as specified for patching new work.
 - Remove debris, junk, and trash from site.
 - Leave site in clean condition, ready for subsequent work.

SECTION 04 70 00 - SIMULATED MASONRY (MANUFACTURED STONE VENEER AND TRIM)

- PART 1 - GENERAL**
- Related documents
 - SUMMARY**
 - Section includes:
 - Manufactured Stone Veneer and Trim
 - Manufactured Brick Veneer and Trim
 - Related Sections:
 - Division 07 Sections for Water-resistive Barriers, Sealants and Flashings.
 - REFERENCES**
 - American Society for Testing and Materials (ASTM): Philadelphia, PA, (215) 299-5420.
 - ASTM C 39 - Test Method for Compressive Strength of Cylindrical Concrete Specimens.
 - ASTM C 67 - Standard Test Methods for Sampling and Testing Brick and Structural Clay Tile.
 - ASTM C 140 - Standard Test Methods for Sampling and Testing Concrete Masonry Units and Related Units.
 - ASTM C 144 - Standard Specification for Aggregate for Masonry Mortar.
 - ASTM C 150 - Standard Specification for Portland cement.
 - ASTM C 207 - Standard Specification for Hydrated Lime for Masonry Purposes.
 - ASTM C 270 - Standard Specification for Mortar for Unit Masonry.
 - ASTM C 518 - Standard Test Method for Steady-State Thermal Transmission Properties by Means of the Heat Flow Meter Apparatus.
 - ASTM C 778 - Standard Specification for Standard Sand.
 - ASTM C 847 - Standard Specification for Metal Lath.
 - ASTM C 979 - Standard Specification for Pigments for Integrally Colored Concrete.
 - ASTM C 1059-Standard Specification for Latex Agents for Bonding Fresh to Hardened Concrete.
 - ASTM D 226 - Standard Specification for Asphalt-Saturated Organic Felt Used in Roofing and Waterproofing.
 - ASTM C 1032 - Standard Specification for Woven Wire Plaster Base.
 - ASTM C 932 - Standard Specification for Surface-Applied Bonding Compounds for Exterior Plastering.
 - ASTM C 482 - Standard Test Method for Bond Strength of Ceramic Tile to Portland Cement.
 - ASTM C 348 - Standard Test Method for Flexural Strength of Hydraulic-Cement Mortars.
 - ASTM F 1667 - Standard Specification for Driven Fasteners, Nails, Spikes & Staples.
 - American National Standards Institute (ANSI): New York, (212) 642-4000.
 - ANSI A118.4 Specification for Latex-Portland Cement Mortar.
 - Building Code Compliance:
 - The International Association of Plumbing and Mechanical Officials (IAPMO)
 - Masonry Veneer Manufacturers Association (MVMA)

- 1.4 SUBMITTALS**
- Product Data: For each type of product indicated.
 - Shop Drawings: Indicate layout, show profiles and product components, including anchorage, accessories, finish colors, patterns, and textures.
 - Qualification Data: Environmental StoneWorks manufacturing and installing qualifications, safety and quality documents.
 - Test Reports: Certified test reports showing compliance with specified performance requirements and physical properties.
 - Samples: Board containing sample including mortar.
 - Manufacturer's instructions: Environmental StoneWorks Installation Procedures.
 - Certificates: IAMPO - ER-386.
 - Minutes of pre-installation conference.
 - Maintenance Data: Environmental StoneWorks Installation Procedures.
 - Warranty: Environmental StoneWorks product and installation warranties.
- 1.5 QUALITY ASSURANCE**
- IAMPO Certification: Environmental StoneWorks current IAMPO report - ER-386, which include AC-51 testing data.
 - Single Source Responsibility: Obtain primary manufactured stone/brick veneer and trim from a single manufacturer with not less than thirty-five years of successful experience in manufacturing and five years of successful experience in installing primary materials described in this section. Manufacturer and installer shall have completed at least ten projects of similar size and complexity. Provide secondary materials only of type and from source recommended by manufacturer of primary materials.
 - Manufacturer Qualifications: Environmental StoneWorks...
 - has over 30 years experience in producing simulated masonry.
 - provides field service representative.
 - has IAMPO certification.
 - has a 50 year product warranty.
 - is in good standing with the MVMA.
 - Installer Qualifications: Environmental StoneWorks...
 - provides installers with a minimum of 15 years experience installing simulated masonry.
 - has documented installation procedures and field quality control program.
 - provides OSHA 10/30 Hour trained project management.
 - provides extensive jobsite safety programs including scaffold safety, fall protection and personal protective equipment.
 - Product Compatibility: Manufacturers of products and systems certify in writing that products are compatible.
 - Pre-Installation Conference:
 - General contractor shall arrange a meeting not less than thirty days prior to starting work.
 - Attendees:
 - General Contractor
 - Architect/Owner's Representative
 - Environmental StoneWorks Representative
 - Warranty: Single Source Warranty.
 - Environmental StoneWorks Fifty (50) year product warranty.
 - Environmental StoneWorks One (1) year installation warranty.

- 1.6 DELIVERY, STORAGE, AND HANDLING**
- Delivery: Deliver materials in Environmental StoneWorks original, unopened, undamaged containers with identification labels intact.
 - Storage and Protection: Store materials to comply with Environmental StoneWorks written instructions to prevent deterioration from moisture, temperature or other detrimental effects.

- 1.7 SITE CONDITIONS**
- Environmental Site Conditions: Comply with Environmental StoneWorks Installation Procedures for environmental conditions.

- PART 2 - PRODUCTS**
- 2.1 MANUFACTURER**
- Environmental StoneWorks stone veneer is engineered from Portland cement, light weight aggregates, mineral oxide and chemical additives. The product is engineered to achieve a specified strength, color, and texture and resistance to effects of weathering. Environmental StoneWorks manufactured stone veneers is engineered in various shapes and patterns to simulate natural stone and are installed in a non-load bearing veneer and trim capacity e.g., drip ledge and quoins, caps, etc.
- Manufactured Stone & Brick Veneer Properties:
 - Stone Thickness: 1 1/4" to 2 1/2".
 - Thin Brick Thickness: 3/4" to 1" (2 1/2" wide x 8" length)
 - Weight: maximum 15 lbs./sq.ft.
 - Density to be determined under ASTM C 567
 - Compressive Strength: Minimum of 1,800 PSI when tested in accordance with ASTM C 192
 - Water absorption: less than 18% when tested in accordance with ASTM C 140 or UBC standard 15-5
 - Freeze-thaw: less than 3% mass loss when tested in accordance with ASTM C 67
 - Shear Bond Strength: minimum of 50 PSI when conducted in accordance with ASTM C 482
 - Thermal Resistance: R ≥ .865 when tested at a thickness of 1.0" (25.4 mm) in accordance with ASTM C 518
 - Smoke and fuel contribution: UL listed 0/0
 - Flexural strength: tested in accordance with ASTM C 348, Section 4.4
 - Tensile strength: tested in accordance with ASTM C 190, Section 4.5
 - Weather resistance: Mix design proven by test results to be resistant to degradation by weather.
 - Architectural Trim:
 - Products: Single source from Environmental StoneWorks.
 - Wall Capstones:
 - Texture: As selected by Architect from manufacturer's full range.
 - Color: As selected by Architect from manufacturer's full range.
 - Size: As selected by Architect from manufacturer's full range.
 - Pier Capstones:
 - Texture: Chiseled
 - Color: As selected by Architect from manufacturer's full range.
 - Size: As selected by Architect from manufacturer's full range.
 - Water table/sill:
 - Color: As selected by Architect from manufacturer's full range.
 - Size: As selected from manufactured full range.
 - Provide sloped top surface and drip edge.
 - Light Fixture Stones:
 - Color: As selected by Architect from manufacturer's full range.
 - Size: As necessary for light fixture indicated.
 - UL approved metal extension box may be provided.
 - Receptacle Stones:
 - Color: As selected by Architect from manufacturer's full range.
 - Size: As necessary for light electrical outlet.
 - UL approved metal extension box may be provided.
 - Water Resistant Barrier: ASTM D 226. 2 layers of No. 15 non-perforated asphalt-saturated organic felt paper or 1 layer and a house-wrap product supported by a current evaluation report showing equivalency to Grade D building paper. Install weather resistive barrier (per manufacturer's instructions) over all exterior surfaces designated to receive stone veneer and require waterproofing. WRB shall be applied horizontally with the upper layer lapped over the lower layer at not less than 2". Lap weather-resistive barrier not less than 6" at the vertical joints. In the case of applications with two layers, start with two horizontal layers at the bottom of exterior wall or structure.
 - Reinforcing (Lath): Corrosion resistant minimum 2.5 lbs. per square yard expanded metal lath that complies with ASTM C 847, or, corrosion resistant minimum 18 gauge woven wire mesh that complies with ASTM C 1032. For open studs and non-solid sheathing (e.g. rigid insulation board) use corrosion resistant minimum 3.4 lbs. per square yard, 3/4" paper backed lath (paper backing shall meet the requirements of ASTM D 226) to be considered a substitute for Weather Resistive Barrier). Any alternative lath material shall carry an evaluation report that rates the lath as an acceptable substitute to the above listed materials. Lap lath not less than 2" all around vertically and horizontally. Terminate lath a minimum of 2' on the foundation and/or flange of the weep screed or as directed by project specifications and local building codes. Metal lath can be installed with the small cups pointing upward to better capture mortar scratch coat.
 - Fasteners: Galvanized steel fasteners (nails, staples or screws), for wood stud applications (open, rigid sheathing, rigid foam insulation) should penetrate the stud a minimum of 3/4". Spacing of these fasteners should be a maximum of 6" vertical and should be 16" horizontal (on the studs). These fasteners should be a minimum of 1 1/2" long. 11 gauge nails having a 7/16" head or 7/8" long. 16 gauge staples. Corrosion resistant screws should have a 7/16" head and should penetrate the metal stud a minimum of 3/4". Refer to governing building code for information on specific fastener penetration depth. In the case of rigid sheathing, care should be taken to avoid excessive fasteners applied between wall framing. In the case of exterior gypsum sheathing, fasteners should only be applied into wall framing unless additional fasteners are approved by the design professional.
 - Weep Screed: Foundation Weep Screed shall be corrosion resistant and a minimum 0.019" (No. 26 galvanized sheet gauge, fabricated plastic or vinyl material) with a minimum vertical attachment of 3/16". Weep screed should have holes with a minimum diameter of 3/16" spaced at a maximum of 33" on center. Install Foundation Weep Screed per manufacturer's instructions and integrate with WRB and metal lath. Weep screed shall have a minimum of 3/4" attachment flange at or below the foundation plate line on exterior walls in accordance with ASTM C 826. The exterior lath shall cover and terminate on the attachment flange of the weep screed. Weep holes should not be covered during installation.
 - Clearances: Weep Screed and/or stone should be held a minimum of 4" above finished grade or per local code and building practices. Weep screed and/or stone shall be held at a clearance above hard surfaces a minimum of 2" or as per local code and building practices. Weep screed terminations that meet concrete surfaces that are supported by a footing shall be held at a clearance above the concrete a minimum of 1/2".

- H. Mortar:** To be mixed with potable water clean and free from injurious amounts of oils, acids, alkalis, salts, organic minerals or other deleterious substances.
- | Parts by Volume | | | | | |
|-----------------|---|-----------------------------|---------------------------------------|--------------------|--------------------|
| | Portland or Blended Cement
ASTM C 150 | Masonry Cement
ASTM C 91 | Masonry Cement
Type S
ASTM C 91 | Lime
ASTM C 207 | Sand
ASTM C 144 |
| Mix 1 | | 1 | | | 2.25-3 |
| Mix 2 | 1 | | | 1 | 4.5 |
| Mix 3 | | | 1 | | 2.25-3 |
| Mix 4 | | 1 | | | 2.25-3 |
| Mix 5 | Mix 1 part Type S Mortar Mix with volume of water indicated on instructions | | | | |
- PART 3 - EXECUTION**
- A. Environmental StoneWorks Installation Procedures:**
- Comply with Environmental StoneWorks product data, including but not limited to: product technical bulletins, manufacturer's installation procedures and product carton procedures for installation.
- B. Examination:**
- Examine substrates, with installer present, for conditions affecting performance and proceed with application only after unsatisfactory conditions have been corrected.
- C. Preparation:**
- General: Prepare and clean substrate according to Environmental StoneWorks Installation Procedures.
- D. Application:**
- General: Comply with Environmental StoneWorks Installation Procedures.
 - Corners: Provide Environmental StoneWorks pre-manufactured corner units. Field built corners are not recommended.
- E. Cleaning:**
- Clean stone veneer in accordance with Environmental StoneWorks Installation Procedures.

- SECTION 06 10 00 - ROUGH CARPENTRY**
- Dimension Lumber: Comply with PS 20 and requirements of specified grading agencies. If no species is specified, provide any species graded by any grading agency whose rules are approved by the Board of Review, American Lumber Standard Committee and who provides grading service for the species and grade.
 - Dimensional Lumber for Concealed Applications: Nominal sizes as indicated on Drawings, S4S. Moisture Content: S-dry or MC19
 - Miscellaneous Framing, Blocking, Nailers, Grounds, and Furring: S4S, No. 2 or Standard Grade Lumber. Standard or No. 3 Boards.
 - Communications and Electrical Room Mounting Boards: PS 1 A-D plywood, or medium density fiberboard; 3/4 inch thick; flange spread index of 25 or less, smoke developed index of 450 or less, when tested in accordance with ASTM E84.
 - Treated Lumber and Plywood: Comply with requirements of AWPA U1 - Use Category System for wood treatments determined by use categories, expected service conditions, and specific applications.
 - Fire-Retardant Treated Wood: Mark each piece of wood with producer's stamp indicating compliance with specified requirements. Kin dry wood after treatment to a maximum moisture content of 19 percent for lumber and 15 percent for plywood. Treat rough carpentry items as indicated.
 - Fire Retardant Treatment: Interior Type A: AWPA U1, Use Category UCFA, Commodity Specification H, low temperature (low hygroscopic) type, chemically treated and pressure impregnated; capable of providing a maximum flame spread rating of 25 when tested in accordance with ASTM E84, with no evidence of significant combustion when test is extended for an additional 20 minutes.
 - Prevent exposure to precipitation during shipping, storage, or installation.
 - Provide lumber stamped with grade mark unless otherwise indicated.
 - Lumber fabricated from old growth timber is not permitted.
 - Select material sizes to minimize waste.
 - Reuse scrap to the greatest extent possible.
 - Provide temporary ventilation during and immediately after installation of treated wood sufficient to remove indoor air contaminants.
 - Provide framing and blocking members as indicated or as required to support finishes, fixtures, specialty items, and trim.
 - In walls, provide blocking attached to studs as backing and support for wall-mounted items, unless item can be securely fastened to two or more studs or other method of support is explicitly indicated.
 - Where ceiling-mounting is indicated, provide blocking and supplementary supports above ceiling, unless other method of support is explicitly indicated.
 - Communications and Electrical Room Mounting Boards: Secure with screws to studs with edges over firm bearing; space fasteners at maximum 24 inches on center on all edges and into studs in field of board. At fire-rated walls, install board over wall board indicated as part of the fire-rated assembly. Where boards are indicated as full floor-to-ceiling height, install with long edge of board parallel to studs. Install adjacent boards without gaps.
 - Framing Member Tolerances: 1/4 inch from true position, maximum.
 - Variation from Plane (Other than Floors): 1/4 inch in 10 feet maximum, and 1/4 inch in 30 feet maximum.

- SECTION 06 20 00 - FINISH CARPENTRY**
- Softwood Lumber: As indicated on Drawings, maximum moisture content of 6 percent; with vertical grain, of quality suitable for transparent finish.
 - Hardwood Lumber: As indicated on Drawings, maximum moisture content of 6 percent ; with vertical grain, of quality suitable for transparent finish.
 - Softwood Plywood Not Exposed to View: Any face species, veneer core; PS 1 Grade A-B; glue type as recommended for application.
 - Softwood Plywood Exposed to View: Face species as indicated, plain sawn, medium density fiberboard core; glue type as recommended for application.
 - Hardwood Plywood: Face species as indicated, plain sawn, book matched, medium density fiberboard core; glue type as recommended for application.
 - Particleboard: ANSI A208.1; composed of wood chips, sawdust, or flakes of medium density, made with waterproof resin binders; of grade to suit application; sanded faces.
 - Hardboard: AHA A135.4; Pressed wood fiber with resin binder, Class 1 - Tempered, 1/4 inch thick, smooth one side (S1S).
 - Protect work from moisture damage.
 - Quality Grade: Unless otherwise indicated provide products of quality specified by AWII/AWMAC/WI Architectural Woodwork Standards for Premium Grade.
 - Surface Burning Characteristics: Provide materials having fire and smoke properties as required by authority having jurisdiction.
 - Wood fabricated from old growth timber is not permitted.
 - Shop assemble work for delivery to site, permitting passage through building openings.
 - When necessary to cut and fit on site, provide materials with ample allowance for cutting. Provide trim for scribing and site cutting.
 - Apply plastic laminate finish in full uninterrupted sheets consistent with manufactured sizes. Fit corners and joints hairline; secure with concealed fasteners. Slightly bevel arises. Locate counter butt joints minimum 2 feet from sink cut-outs.
 - Install work in accordance with AWII/AWMAC/WI Architectural Woodwork Standards requirements for grade indicated.
 - Set and secure materials and components in place, plumb and level.
 - Carefully scribe work abutting other components, with maximum gaps of 1/32 inch. Do not use additional overlay trim to conceal larger gaps.
 - Maximum Variation from True Position: 1/16 inch.
 - Maximum Offset from True Alignment with Abutting Materials: 1/32 inch.



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A002

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SPECIFICATIONS

A003

SECTION 07 46 60 - FIBER CEMENT SIDING		Over Foam Sheathing: Read and comply with manufacturer's recommendations.	
PART 1 - GENERAL		1. For sheathing of 1 inch (25 mm) thickness or less, nail through sheathing into studs using correspondingly longer nails.	
1.1 Section Includes		I. Over Masonry Walls: Install furring strips of adequate thickness to accept full length of nails and spaced at 16 inches (406 mm) on center.	
A. Siding panels.		J. Over Steel Studs: Minimum 20 gauge steel, 3 5/8" (92 mm) C-studs. Use 1-5/8" (41 mm) long, #8-18 x 3/8" HD self-tapping, corrosion-resistant ribbed bugle head screws. Attach siding at each stud ensuring that at least 3 screw threads penetrate the studs.	
B. Soffit panels.		K. Allow space between both ends of siding panels that butt against trim for thermal movement; seal joint between panel and trim with exterior grade sealant.	
C. Accessories and trim.		L. Joints in Horizontal Siding: Avoid joints in lap siding except at corners; where joints are inevitable stagger joints between successive courses.	
Related Sections		M. Joints in Vertical Siding: Install Z-flashing in horizontal joints between successive courses of vertical siding.	
D. Section 061000 - Rough Carpentry: Framing and Sheathing.		N. Furred Installation: Leave space at top and bottom open; top may be behind soffit; at bottom install insect screen over opening by wrapping a strip of screen over bottom ends of vertical furring strips.	
E. Section 079005 - Joint Sealers.		O. Install steel metal flashing above door and window casings and horizontal trim in field of siding.	
F. Section 099000 - Paints and Coatings: Field painting.		P. Do not install siding less than 6 inches (150 mm) from surface of ground nor closer than 1 inch (25 mm) to roofs, patios, porches, and other surfaces where water may collect.	
References		Q. After installation, seal all joints except lap joints of lap siding. Seal around all penetrations. Paint all exposed cut edges.	
A. ASTM C 920 - Standard Specification for Elastomeric Joint Sealants		R. Finish Painting: Specified in Section 09900.	
B. ASTM C 1185 - Standard Test Methods for Sampling and Testing Non-Asbestos Fiber-Cement Flat Sheet, Roofing and Siding Shingles, and Clapboards		S. Finish Painting: Within 6 months after installation, paint siding and trim with one coat primer paint.	
C. ASTM C 1186 - Standard Specification for Flat Non-Asbestos Fiber Cement Sheets		T. Finish Painting: Within 6 months after installation, paint siding and trim with one coat primer and two coats finish paint.	
D. ASTM E 72 - Standard Test Methods of Conducting Strength Tests of Panels for Building Construction		3.4 Cleaning	
E. ASTM E 84 -- Standard Test Method for Surface Burning Characteristics of Building Materials		A. At completion of work, remove debris caused by siding installation from project site.	
F. ASTM E 136 - Standard Test Method for Behavior of Materials in a Vertical Tube Furnace at 750 Degrees C		B. Touch-up, repair or replace damaged products before Substantial Completion.	
G. ASTM E 330-97 -- Structural Performance of exterior windows, curtain walls and doors by uniform static air pressure difference.			
1.4 Submittals			
A. Make submittals under provisions of Section 01300.			
B. Product Data: Manufacturer's data sheets on each product to be used, including:			
1. Preparation instructions and recommendations.			
2. Storage and handling requirements and recommendations.			
3. Installation methods, including nailing patterns.			
4. Applicable model code authority evaluation report (ICC, CCMC, etc.)			
1.5 Quality Assurance			
A. Installer Qualifications: Provide installer with not less than three years of experience with products similar to those specified.			
1.6 Delivery, Storage, and Handling			
A. Store products off the ground, on a flat surface, and under a roof or separate waterproof covering.			
1.7 WARRANTY			
A. Provide Allura 50 year limited siding warranty.			
B. Allura ColorMax Finish -- provide 15 year limited paint warranty			
C. Register manufacturer's warranty, made out in Owner's name, with copy to Owner.			
PART 2 - PRODUCTS			
2.1 Manufacturer			
A. Allura by Plycem, 396 W. Greens Rd Suite 300 Houston, Texas 77067			
main: (444) 4 ALLURA or (844) 425-5872 email: info@elementia.com www.alluraUSA.com			
B. Substitutions: Not permitted.			
C. Requests for substitutions will be considered in accordance with provisions of Section 016000.			
2.2 Panels			
A. Fiber Cement Board Panels - General: Allura Fiber Cement Board Panels consist of cement, cellulose fiber and specialty additives formed under high pressure into boards with integral surface texture; complying with ASTM C 1186 Type A Grade II; machined edges; for nail attachment.			
1. Surface Burning Characteristics: Flame spread index of 0, smoke developed index of 5, maximum; when tested in accordance with ASTM E 84 (Class I/A).			
2. Flammability: Noncombustible, when tested in accordance with ASTM E 136.			
3. Flexural Strength: At least 1450 psi (10 MPa) when in equilibrium condition, and at least 1015 psi (7 MPa) when in wet condition, tested in accordance with ASTM C 1185.			
4. Coefficient of Thermal Expansion: Less than 1 x 10^-5 inch/inch/degree F (0.5 x 10^-5/degree C), when tested in accordance with ASTM E 228.			
5. Freeze Thaw Resistance: At least 80 percent flexural strength retained, when tested in accordance with ASTM C 1185.			
6. UV Resistance: No cracking, checking, or erosion, when tested for 2000 hours in accordance with ASTM G 26.			
7. Water Tightness: No water droplets on underside, when tested in accordance with ASTM C 1185.			
Horizontal Siding: Allura Lap Siding.			
1. Thickness: 5/16 inch (7.9 mm), plus or minus .04 inch (1 mm).			
2. Length: 12 feet (3657 mm), plus 0, minus 1/8 inch (3 mm).			
3. Style: Smooth or Traditional Cedar lap siding.			
a. Width: 5-1/4 inches (133 mm) wide.			
b. Width: 6-1/4 inches (159 mm) wide.			
c. Width: 7-1/4 inches (185 mm) wide.			
d. Width: 8-1/4 inches (210 mm) wide.			
e. Width: 9-1/4 inches (235 mm) wide.			
f. Width: 12 inches (305 mm) wide.			
4. Field Finish Paint: 100 percent acrylic latex as specified in Section 099000.			
Vertical Siding: Allura Vertical Siding.			
1. Thickness: 5/16 inch (7.9 mm), plus or minus .04 inch (1 mm).			
2. Size: 48 by 96 inches (1220 by 2440 mm). 3. Size: 48 by 108 inches (1220 by 2743 mm). 4. Size: 48 by 120 inches (1220 by 3048 mm).			
3. Style: Cedar panel, no grooves.			
4. Sealant/Primer: Our primary Sealant/Primer.			
5. Field Finish Paint: 100 percent acrylic latex as specified in Section 099000.			
2.3 ACCESSORIES			
Trim: Allura Trim/Fascia Board			
A. Trim have been tested according to ASTM C-1 186 and ASTM C-1 185 standards and are classified as Type "A". Grade 1 fiber cement sheets intended for exterior applications, subjected to the direct action of sun, rain, or snow.			
1. Size:			
a. Thickness: 7/16 inch (11 mm) plus or minus (1 mm).			
1) Width:			
i. 3-1/2 inch (89 mm)			
ii. 5-1/2 inch (140 mm)			
iii. 7-1/4 inch (185 mm)			
iv. 9-1/4 inch (235 mm)			
v. 11-1/4 inch (288 mm)			
2) Length: 12 feet (3,657 m) plus or minus 1/8 inch (3.17 mm).			
b. Thickness: 4/4" (3/4")			
1) Width:			
i. 2" (59 mm)			
ii. 3" (76 mm)			
iii. 4" (102 mm)			
iv. 6" (153 mm)			
v. 8" (203 mm)			
vi. 10" (254 mm)			
vii. 12" (305 mm)			
2) Length: 12 feet (3,657 m) plus or minus 1/8 inch (3.17 mm).			
c. Thickness: 5/4" (1")			
1. Width:			
i. 3" (76 mm)			
ii. 4" (102 mm)			
iii. 5" (127 mm)			
iv. 6" (153 mm)			
v. 8" (203 mm)			
vi. 10" (254 mm)			
vii. 12" (305 mm)			
2) Length: 12 feet (3,657 m) plus or minus 1/8 inch (3.17 mm).			
d. Thickness: 8/4" (1 1/2")			
i. 2" (59mm)			
ii. 4" (102mm)			
iii. 6" (153mm)			
iv. 8" (203mm)			
v. 10" (254mm)			
vi. 12" (305mm)			
2) Length: 12 feet (3,657 m) plus or minus 1/8 inch (3.17 mm).			
B. Sealant/Primer: Our primary Sealant/Primer.			
Provide the following trim:			
1. Starter strip for lap siding.			
2. Outside corners, butted to siding.			
3. Outside corners, overlapping siding.			
4. Fascia board.			
C. Sealant: Paintable, 100 percent acrylic latex caulk complying with ASTM C 920.			
D. Sheet Metal Flashing: Minimum 24 gauge hot-dipped galvanized steel sheet, or coated aluminum.			
E. Nails: Length as required to penetrate minimum 1-1/4 inch (32mm) into solid backing; hot-dipped galvanized or stainless steel.			
F. Building Paper: Kraft or bituminous paper; not polyethylene or foil.			
G. Field Finish Paint: 100 percent acrylic latex as specified in Section 099000.			
PART 3 - EXECUTION			
3.1 Examination			
A. Prior to commencing installation, verify governing dimensions of building and condition of substrate.			
B. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.			
3.2 Preparation			
C. Examine, clean, and repair as necessary any substrate conditions that would be detrimental to proper installation.			
D. Do not begin installation until unacceptable conditions have been corrected.			
3.3 Installation			
E. Install in accordance with manufacturer's instructions and Drawing details.			
1. Read warranty and comply with all terms necessary to maintain warranty coverage.			
2. Install in accordance with conditions stated in model code evaluation report applicable to location of project.			
3. Use trim details indicated on drawings.			
4. Touch up all field cut edges before installing.			
5. Pre-drill nail holes if necessary, to prevent breakage.			
F. Over Wood Studs Without Sheathing: Install building paper over studs prior to installing siding.			
G. Over Wood and Wood-Composite Sheathing: Fasten siding through sheathing into studs.			

Install insulation under area of roofing to achieve required thickness. Where overall insulation thickness is 2 inches (50 mm) or greater, install two or more layers with joints of each succeeding layer staggered from joints of previous layer a minimum of 6 inches (150 mm) in each direction.		SECTION 07 62 00 - SHEET METAL FLASHING AND TRIM	
1. Where installing composite and noncomposite insulation in two or more layers, install noncomposite board insulation for bottom layer and intermediate layers, if applicable, and install composite board insulation for top layer.		PART 1 GENERAL	
2. Install tapered insulation at a thickness to achieve a minimum aged R-20.		1.01 SECTION INCLUDES	
D. Mechanically Fastened and Adhered Installation: Install each layer of insulation to deck using mechanical fasteners specifically designed and sized for fastening specified board-type roof insulation to deck type.		A. Fabricated sheet metal items, including flashings and counterflashings.	
1. Fasten first layer of insulation to resist uplift pressure at corners, perimeter, and field of roof.		B. Sealants for joints within sheet metal fabrications.	
2. Set each subsequent layer of insulation in insulation adhesive, firmly pressing and maintaining insulation in place.		1.02 REFERENCE STANDARDS	
3.4 ADHERED ROOFING INSTALLATION		A. AAMA 2604 - Voluntary Specification, Performance Requirements and Test Procedures for High Performance Organic Coatings on Aluminum Extrusions and Panels (with Coit Coating Appendix) 2017a.	
A. Adhere roofing over area to receive roofing according to roofing system manufacturer's written instructions. Unroll roofing and allow to relax before retaining.		B. ASTM B209 - Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate 2014.	
B. Accurately align roofing, and maintain uniform side and end laps of minimum dimensions required by manufacturer. Stagger end laps.		C. ASTM B209M - Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate (Metric) 2014.	
C. Bonding Adhesive: Apply to substrate and underside of roofing at rate required by manufacturer, and allow to partially dry before installing roofing. Do not apply to splice area of roofing.		D. ASTM C920 - Standard Specification for Elastomeric Joint Sealants 2018.	
D. In addition to adhering, mechanically fasten roofing securely at terminations, penetrations, and perimeter of roofing.		E. ASTM D4586/D4586M - Standard Specification for Asphalt Roof Cement, Asbestos-Free 2007, with Editorial Revision (2012).	
E. Seams: Clean seam areas, overlap roofing, and hot-air weld side and end laps of roofing and sheet flashings according to manufacturer's written instructions, to ensure a watertight seam installation.		F. CDA A4050 - Copper in Architecture - Handbook current edition.	
1. Test lap edges with probe to verify seam weld continuity. Apply lap sealant to seal cut edges of sheet.		G. SMACNA (ASMM) - Architectural Sheet Metal Manual 2012.	
2. Verify field strength of seams a minimum of twice daily, and repair seam sample areas.		1.03 SUBMITTALS	
3. Repair tears, voids, and lapped seams in roofing that do not comply with requirements.		A. See Section 01 3000 - Administrative Requirements, for submittal procedures.	
F. Spread sealant bead over deck-drain flange at roof drains, and securely seal roofing in place with clamping ring		B. Shop Drawings: Indicate material profile, jointing pattern, jointing details, fastening methods, flashings, terminations, and installation details.	
		1.04 QUALITY ASSURANCE	
		A. Perform work in accordance with SMACNA (ASMM) and CDA A4050 requirements and standard details, except as otherwise indicated.	
		B. Fabricator and Installer Qualifications: Company specializing in sheet metal work with five years of documented experience.	
		1.05 DELIVERY, STORAGE, AND HANDLING	
		A. Stack material to prevent twisting, bending, and abrasion, and to provide ventilation. Slope metal sheets to ensure drainage.	
		B. Prevent contact with materials that could cause discoloration or staining.	
		PART 2 - PRODUCTS	
		2.01 SHEET MATERIALS	
		A. Pre-Finished Aluminum: ASTM B209 (ASTM B209M); 20 gage, (0.032 inch) thick; plain finish shop pre-coated with modified silicone coating.	
		1. Fluoropolymer Coating: High Performance Organic Finish, AAMA 2604; multiple coat, thermally cured fluoropolymer finish system.	
		2. Color: As indicated on drawings.	
		2.02 FABRICATION	
		A. Form sections true to shape, accurate in size, square, and free from distortion or defects.	
		B. Form pieces in longest possible lengths.	
		C. Hem exposed edges on underside 1/2 inch; miter and seam corners.	
		D. Form material with flat lock seams, except where otherwise indicated; at moving joints, use sealed lapped, bayonet-type or interlocking hooked seams.	
		E. Fabricate corners from one piece with minimum 18 inch long legs; seam for rigidity, seal with sealant.	
		F. Fabricate flashings to allow toe to extend 2 inches over roofing gravel. Return and brake edges.	
		2.03 ACCESSORIES	
		A. Fasteners: Galvanized steel, with soft neoprene washers.	
		B. Primer: Zinc chromate type.	
		C. Concealed Sealants: Non-curing butyl sealant.	
		D. Exposed Sealants: ASTM C920; elastomeric sealant, with minimum movement capability as recommended by manufacturer for substrates to be sealed; color to match adjacent material.	
		E. Plastic Cement: ASTM D4586/D4586M, Type I.	
		F. Reglets: Surface mounted type, galvanized steel.	
		PART 3 - EXECUTION	
		3.01 EXAMINATION	
		A. Verify roof openings, curbs, pipes, sleeves, ducts, and vents through roof are solidly set, reglets in place, and nailing strips located.	
		B. Verify roofing termination and base flashings are in place, sealed, and secure.	
		3.02 PREPARATION	
		A. Install starter and edge strips, and cleats before starting installation.	
		B. Install surface mounted reglets true to lines and levels, and seal top of reglets with sealant.	
		C. Back paint concealed metal surfaces with protective backing paint to a minimum dry film thickness of 15 mil.	
		3.03 INSTALLATION	
		A. Insert flashings into reglets to form tight fit; secure in place with plastic wedges ; seal flashings into reglets with sealant.	
		B. Secure flashings in place using concealed fasteners, and use exposed fasteners only where permitted.	
		C. Apply plastic cement compound between metal flashings and felt flashings.	
		D. Fit flashings tight in place; make corners square, surfaces true and straight in planes, and lines accurate to profiles.	
		E. Seal metal joints watertight.	
		F. Slope gutters 1/4 inch per 10 feet, minimum.	
		G. Connect downspouts to storm sewer system , and grout connection watertight.	
		SECTION 07 90 05 - JOINT SEALERS	
		1. General Purpose Interior Sealant for interior wall and ceiling control joints, joints between door and window frames and wall surfaces, and other interior joints for which no other type or sealant is indicated: Acrylic emulsion latex; ASTM C834, Type OP, Grade NF single component, paintable.	
		2. Bathtub/Tile Sealant for joints between plumbing fixtures and floor and wall surfaces and joints between kitchen and bath countertops and wall surfaces.: White silicone, ASTM C920, Uses I, M and A; single component, mildew resistant.	
		3. Acoustical Sealant bead between top stud runner and structure and between bottom stud track and floor: Permanently tacky non-hardening butyl sealant.	
		4. Interior Floor Joint Sealant for use at expansion joints in floors: Polyurethane, self-leveling; ASTM C920, Grade P, Class 25, Uses T, M and A; single component.	
		5. Sealants and Primers - General: Promote only products having lower volatile organic compound (VOC) content than required by South Coast Air Quality Management District Rule No. 1168.	
		6. Sealant colors to be selected by Architect from manufacturer's standard range.	
		7. Maintain temperature and humidity recommended by the sealant manufacturer during and after installation.	
		8. Perform work in accordance with sealant manufacturer's requirements for preparation of surfaces and material installation instructions.	
		9. Perform installation in accordance with ASTM C1193.	
		10. Perform acoustical sealant application work in accordance with ASTM C919.	
		11. Measure joint dimensions and size joint backers to achieve width-to-depth ratio, neck dimension, and surface bond area as recommended by manufacturer.	
		12. Install bond breaker where joint backing is not used.	
		13. Install sealant free of air pockets, foreign embedded matter, ridges, and sags.	
		14. Apply sealant within recommended application temperature ranges. Consult manufacturer when sealant cannot be applied within these temperature ranges.	
		15. Tool joints concave.	
		16. Protect sealants until cured.	



SOUTHSIDE RETAIL

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DEMO - SITE
PLAN

sheet number

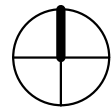
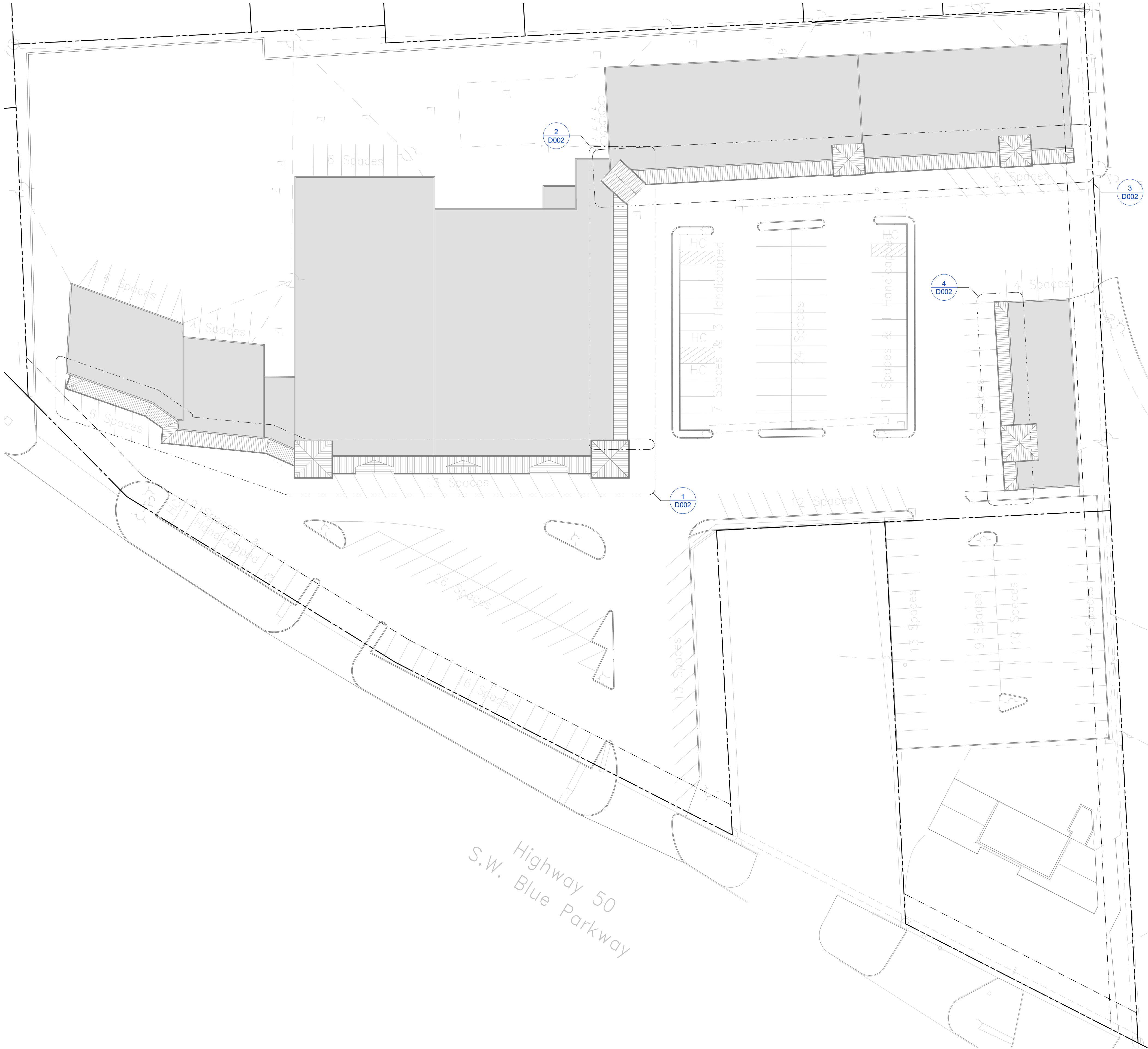
D001

DEMOLITION PLAN GENERAL NOTES:

- a. REMOVE ALL EXISTING SOFFIT LIGHTING, TO BE REPLACED W/ LED EQUIVALENT LIGHT FIXTURE OF SIMILAR TYPE.

DEMOLITION PLAN KEY NOTES:

- 1 EXISTING COLUMN WRAP TO BE REMOVED. PATCH AND REPAIR EXISTING ADJACENT CONSTRUCTION TO REMAIN TO MATCH EXISTING ADJACENT CONDITIONS.
- 2 EXISTING PILASTER TO REMAIN. PREPARE FOR NEW COLUMN FINISH. REMOVE EXISTING WALL SCONCES @ EXISTING LARGE & MEDIUM PILASTERS.
- 3 REMOVE EXISTING EIFS DECORATIVE ARCH & DIAMOND SHAPED BUMP-OUTS @ TOWER ELEMENT ABOVE. PATCH & REPAIR EIFS AS REQ'D TO RECEIVE NEW FACADE FINISH.

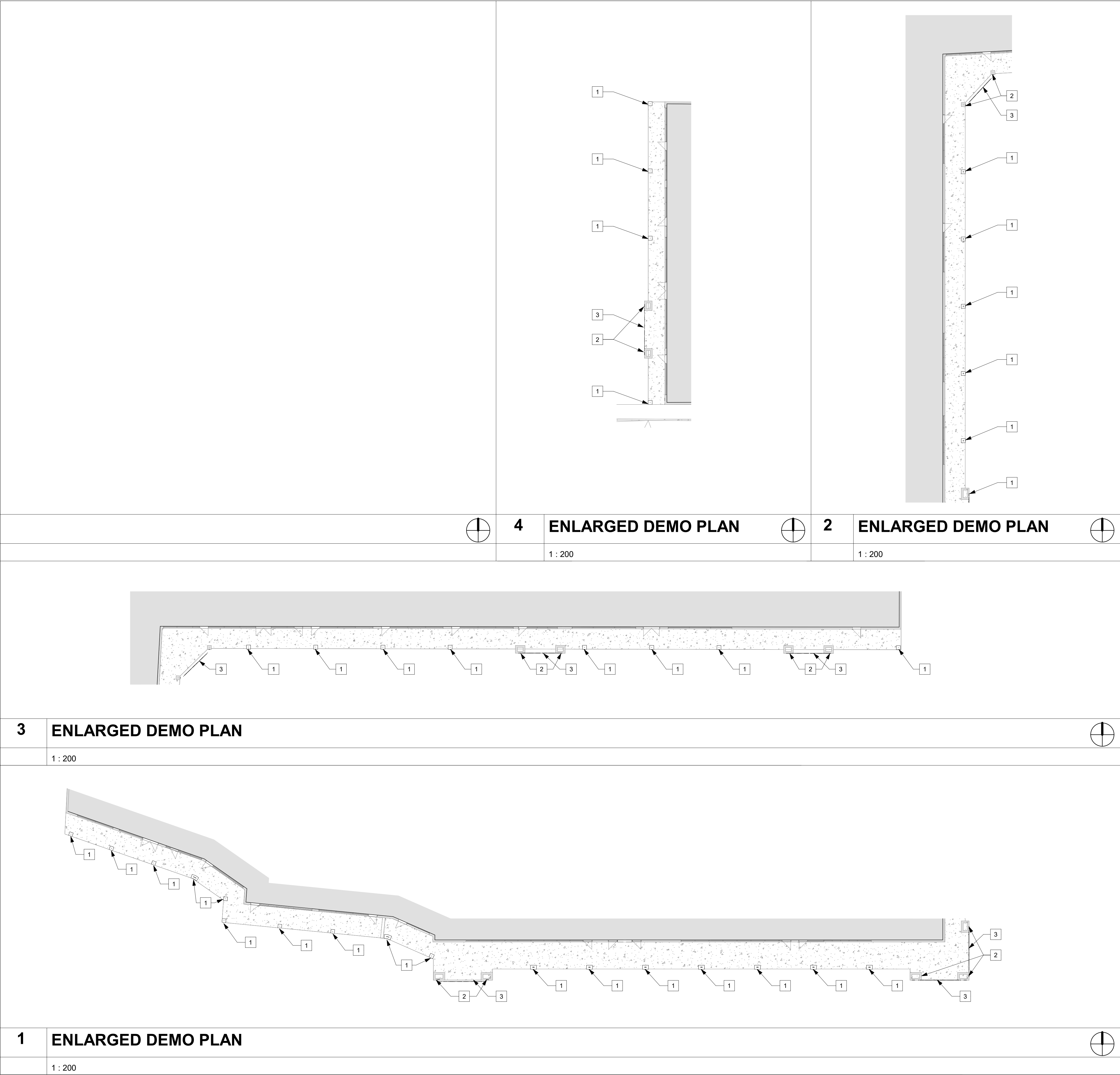


1 SITE / ROOF PLAN - DEMO

1" = 30'-0"

DEMO PLAN NOTES

1/8" = 1'-0"



- DEMOLITION PLAN GENERAL NOTES:**
- a. REMOVE ALL EXISTING SOFFIT LIGHTING, TO BE REPLACED W/ LED EQUIVALENT LIGHT FIXTURE OF SIMILAR TYPE.
- DEMOLITION PLAN KEY NOTES:**
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DEMO -
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PLAN

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D002

DEMO PLAN NOTES

1/8" = 1'-0"



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SITE / ROOF
PLAN

sheet number

A100

APPLICABLE CODES JURISDICTION :
THE CITY OF LEE'S SUMMIT, MISSOURI
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE
ICC/ANSI A117.1-2009 STANDARDS FOR ACCESSIBLE DESIGN

PROJECT DESCRIPTION
EXISTING RETAIL SHOPPING CENTER CONSISTING OF TWO BUILDINGS. THE
SCOPE OF THE PROJECT INCLUDES THE RENOVATION OF THE EXISTING
EXTERIOR FACADES ONLY.

CODE INFORMATION

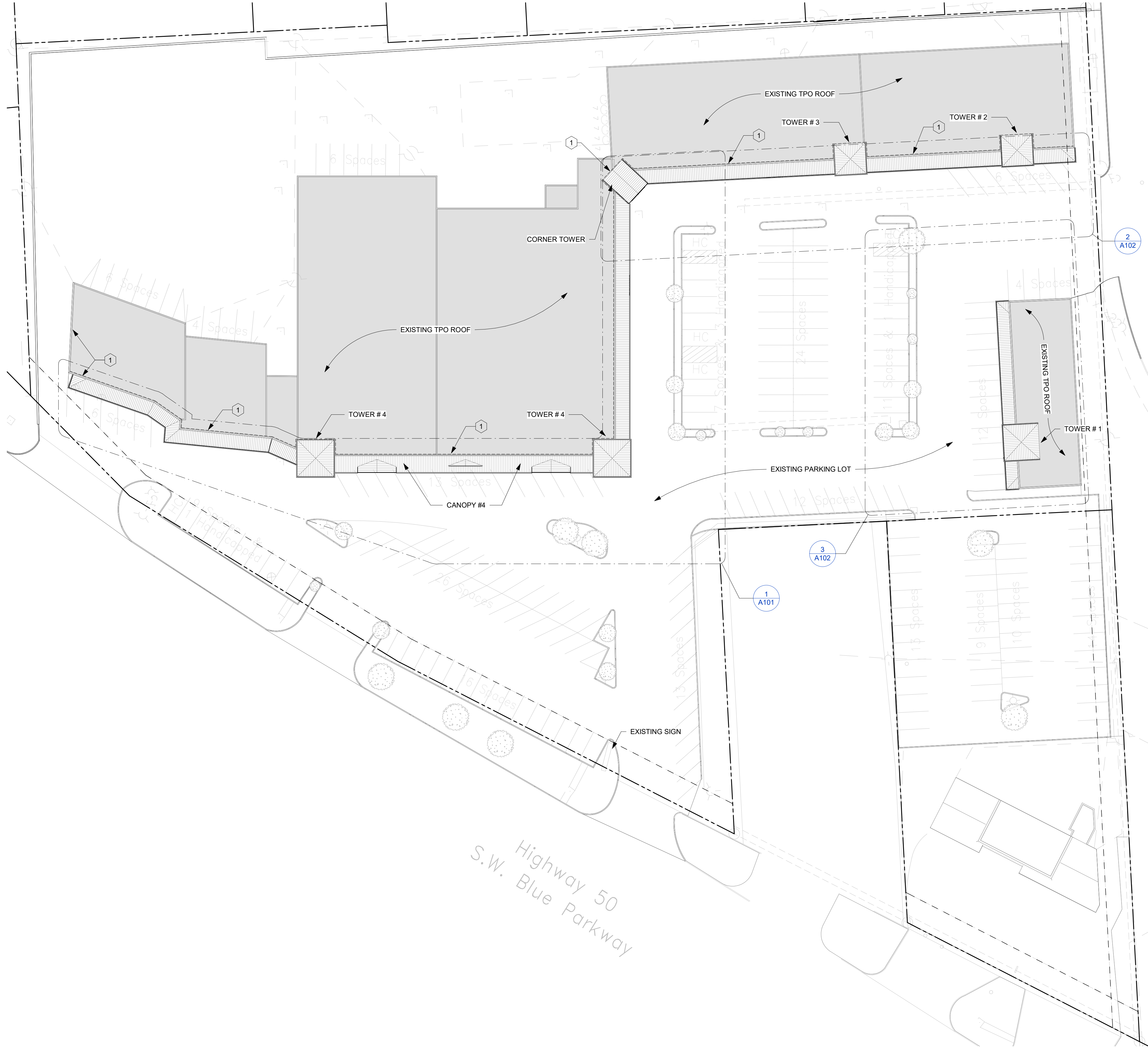
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SITE AND ROOF PLAN GENERAL NOTES:

- PATCH AND REPAIR EXISTING CONCRETE WHERE
EFFECTED BY DEMOLITION.
- PROVIDE NEW TPO ROOFING @ BACK SIDE OF
PARAPETS & TOWERS. REMOVE EXISTING EIFS/STUCCO
FINISHES AS REQ'D PRIOR TO INSTALLATION OF NEW
TPO ROOFING. PROVIDE NEW COUNTER-FLASHING AT
EXISTING ROOF COPINGS (AND AT DIFFERING MATERIAL
TRANSITIONS) FOR TPO TERMINATION. COORDINATE
EXACT LOCATIONS W/ GC. MATCH EXISTING TPO
COLOR.

SITE PLAN KEY NOTES:

- NEW TPO ROOFING @ BACK SIDE OF PARAPETS &
TOWERS, COORDINATE EXACT LOCATIONS W/ GC. RE:
GENERAL NOTES ABOVE.



SITE PLAN NOTES

/ N.T.S.

1 SITE / ROOF PLAN

1" = 30'-0"



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ENLARGED PLANS

sheet number

A101

FLOOR PLAN GENERAL NOTES

- a. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
- b. PATCH ALL EXISTING WALLS WHERE ADJACENT WALLS AND/OR CASEWORK, EQUIPMENT, ETC. WERE REMOVED. PREPARE FOR PAINT FINISH.
- c. PATCH ALL EXISTING CEILING JOINTS TO PROTECT FROM DAMAGE DURING DEMOLITION & CONSTRUCTION.
- d. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATER TIGHT, AIR TIGHT, ETC. PERFORMANCE.
- e. PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRE STOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- f. PATCH AND REPAIR EXISTING CONCRETE WHERE EFFECTED BY DEMOLITION.

FLOOR PLAN KEY NOTES

- 1 EXISTING CONCRETE SIDEWALK. PATCH AND REPAIR AS NEEDED.
- 2 FIBER CEMENT PANEL WRAPPED PILASTER (SMALL PILASTER, TYP.).
- 3 FIBER CEMENT LAP SIDING WRAPPED PILASTER (LARGE PILASTER, TYP.).
- 4 FIBER CEMENT LAP SIDING WRAPPED PILASTER (MEDIUM PILASTER, TYP.).



1	ENLARGED PLAN
---	---------------

$$1/16'' = 1'-0''$$

PLAN NOTES

$$1/8'' = 1'-0''$$



FLOOR PLAN GENERAL NOTES:

- a. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
- b. PATCH ALL EXISTING WALLS WHERE ADJACENT WALLS AND/OR CASEWORK, EQUIPMENT, ETC. WERE REMOVED. PREPARE FOR PAINT FINISH.
- c. CLEAN ALL EXISTING WINDOW SILLS. PROTECT FROM DAMANGE DURING DEMOLITION & CONSTRUCTION.
- d. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- e. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- f. PATCH AND REPAIR EXISTING CONCRETE WHERE EFFECTED BY DEMOLITION.

FLOOR PLAN KEY NOTES:

- 1 EXISTING CONCRETE SIDEWALK. PATCH AND REPAIR AS NEEDED.
- 2 FIBER CEMENT PANEL WRAPPED PILASTER (SMALL PILASTER, TYP.).
- 3 FIBER CEMENT LAP SIDING WRAPPED PILASTER (LARGE PILASTER, TYP.).
- 4 FIBER CEMENT LAP SIDING WRAPPED PILASTER (MEDIUM PILASTER, TYP.).

SOUTHSIDE RETAIL

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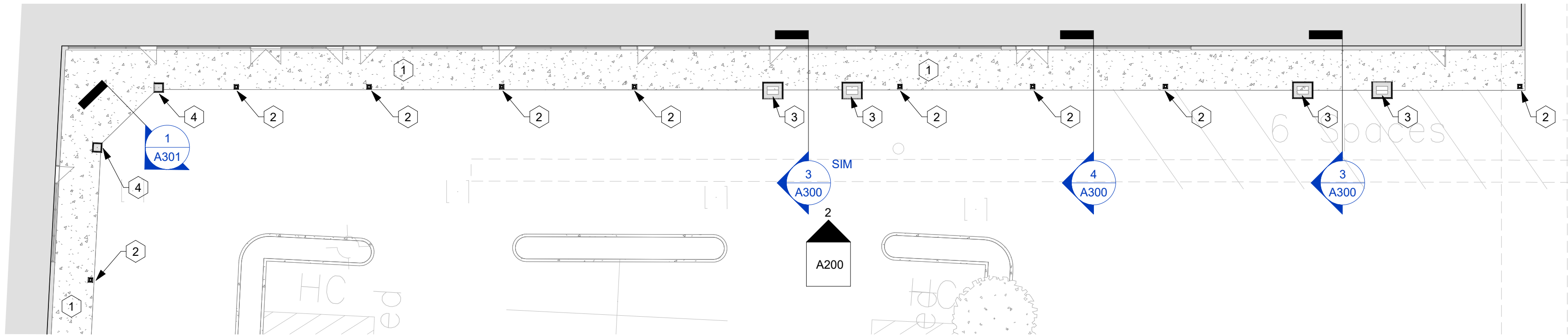
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ENLARGED
PLANS

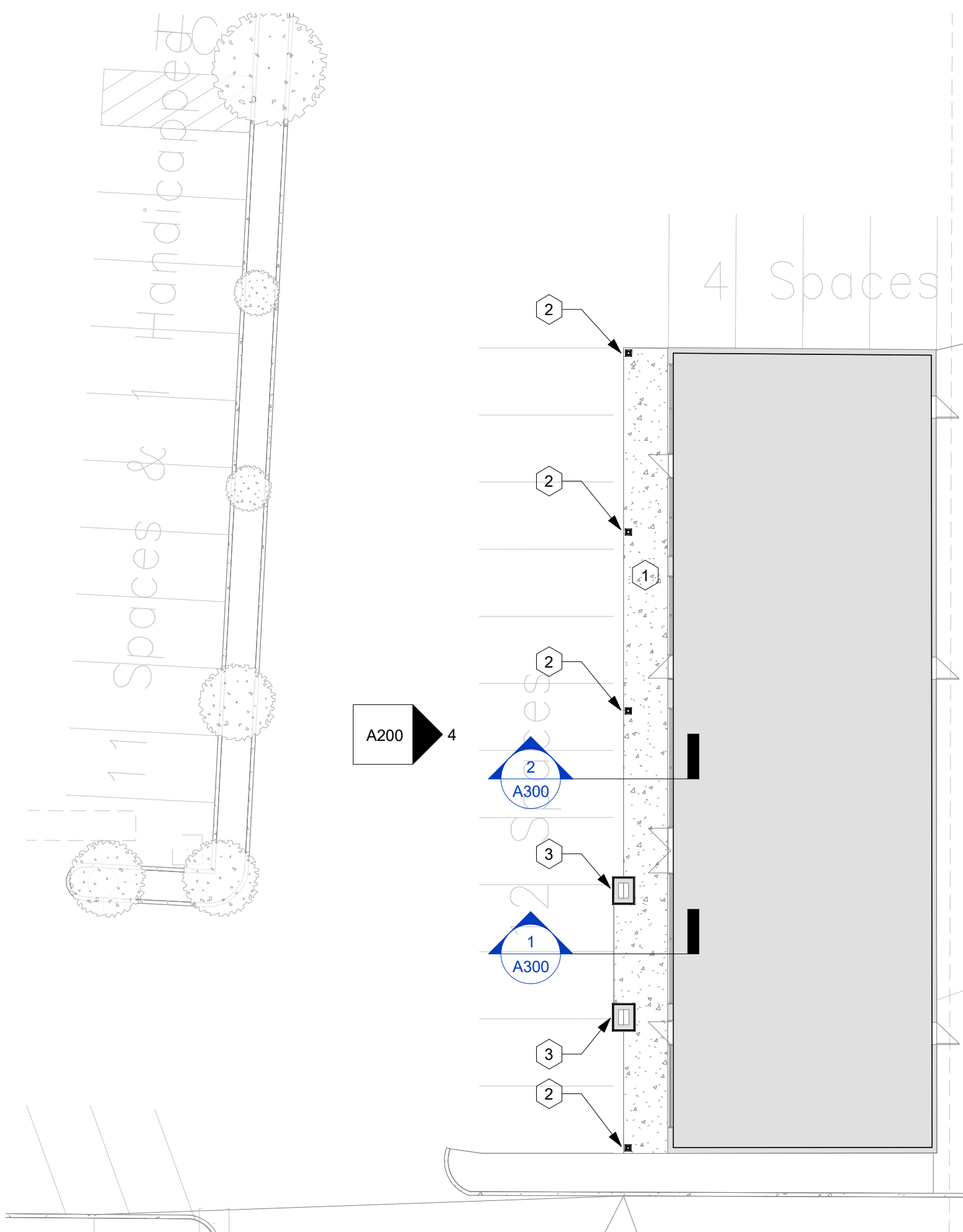
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A102



2 ENLARGED PLAN

1/16" = 1'-0"



3 ENLARGED PLAN

1/16" = 1'-0"

PLAN NOTES

1/8" = 1'-0"



SOUTHSIDE RETAIL

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EXTERIOR
ELEVATIONS

sheet number

A200

EXTERIOR ELEVATION GENERAL NOTES:

- a. EXISTING STANDING SEAM ROOFING TO REMAIN.
b. ALL EXISTING EIFS / STUCCO AND STOREFRONT TO BE REPAIRED AS NEEDED. NEW SEALANT IN ALL CASES.
c. REFER TO DETAILS 7/A500 & 8/A500 FOR TYPICAL FIBER CEMENT JOINT DETAILS (FOR @ LOCATIONS NOT INDICATED IN EXTERIOR ELEVATIONS).
d. EXIST. MASONRY WALLS @ SIDES & REARS OF EXISTING BUILDINGS TO BE PAINTED.
e. PROVIDE MOCK-UP FOR PAINT COLOR SELECTIONS BY OWNER. PRELIMINARY PAINT FINISH COLORS AS FOLLOWS:

SW2861 - EXIST. EIFS, STUCCO, & MASONRY, DOWNSPOUTS (WHERE APPLICABLE)

SW2803 - LAP & PANEL SIDING, GUTTERS & DOWNSPOUTS

f. THIN STONE VENEER:

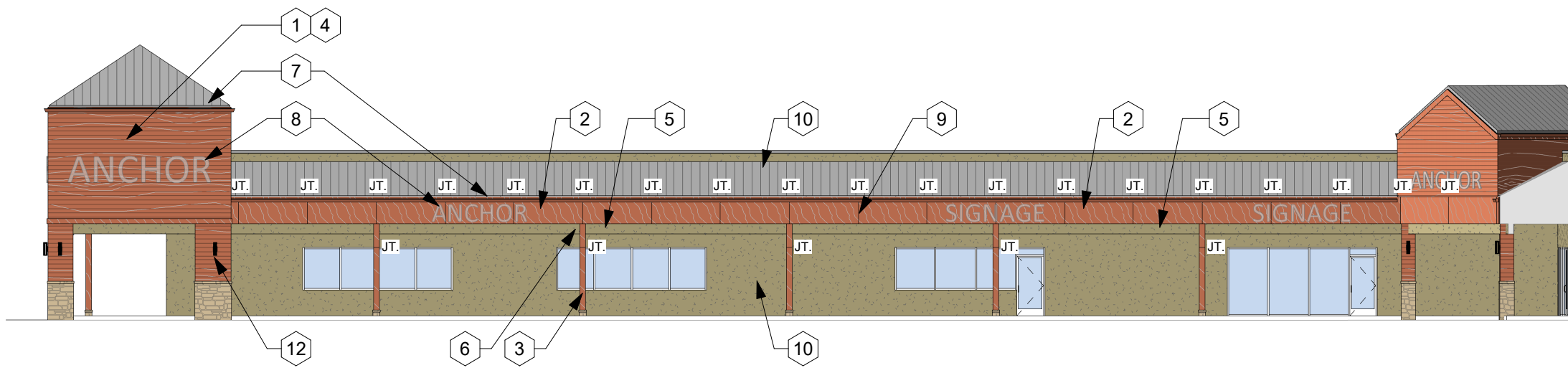
CANYON STONE "CHALK TIMBER LEDGE" BY ENVIRONMENTAL STONE WORKS

EXTERIOR ELEVATION KEY NOTES:

- 1 FIBER CEMENT LAP SIDING, PAINTED. REMOVE EXISTING EIFS DECORATIVE BUMP-OUTS & PATCH/REPAIR PRIOR TO FURRING & SIDING INSTALLATION.
2 WOOD TEXTURED PANELED FIBER CEMENT SIDING, PAINTED, W/ ALUMINUM TRIM, JOINTS & TRANSITIONS.
3 WOOD TEXTURED PANELED FIBER CEMENT SIDING CLADDING, PAINTED, @ EXISTING COLUMNS, W/ ALUMINUM TRIM CORNERS
4 PATCH & REPAIR EXISTING EIFS AS REQ'D & PREPARE FOR NEW PAINT FINISH.
5 PAINT EXISTING EIFS DROP SOFFIT & EXISTING SOFFIT BEYOND.
6 EXTEND SOFFIT EIFS FINISH AT TOPS OF PILASTERS WHERE PREVIOUS PILASTER MATERIAL WAS REMOVED. PROVIDE SEAMLESS FINISH.
7 REMOVE & SALVAGE FOR RE-USE EXISTING GUTTERS & DOWNSPOUTS. PROVIDE NEW FLASHING EXTENSIONS OVER NEW CLADDING MATERIALS. PAINTED TO MATCH PAINTED LAP & PANEL SIDING TYPICAL. EXCEPT WHERE DOWNSPOUTS OCCUR UP AGAINST EXISTING EIFS, PAINT TO MATCH EIFS PAINT COLOR.
8 SIGNAGE SHOWN AS GENERIC, COORDINATE W/ CURRENT TENANTS & ACTUAL SIGNAGE. REMOVE & SALVAGE FOR RE-USE ALL EXISTING SIGNAGE. PROVIDE FOR ELECTRICAL AS NEEDED TO ALL EXISTING & POTENTIAL SIGNAGE LOCATIONS.
9 VERTICAL ALUMINUM PANEL JOINT (TYP.), RE: DETAILS.
10 EXIST. EIFS TO BE PAINTED.
11 FIBER CEMENT TRIM.
12 TURBO 18 OUTDOOR WALL SCNCE BY TECH LIGHTING. COORDINATE APPROVAL WITH OWNER.

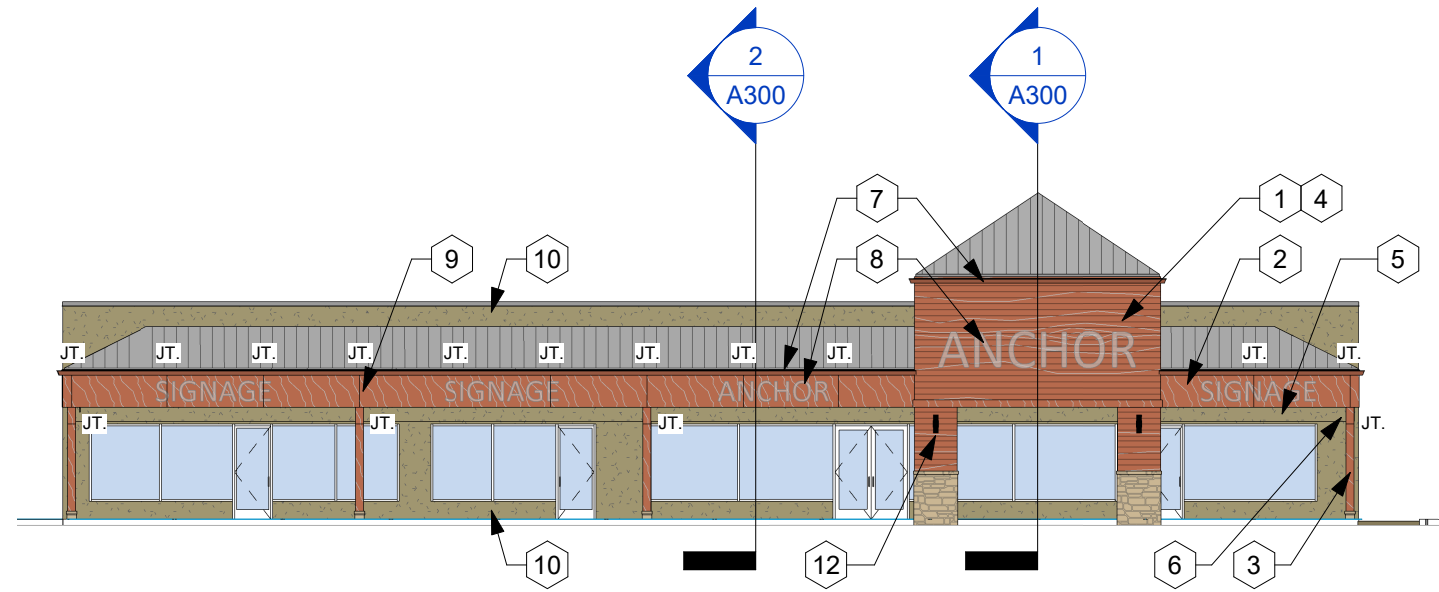
ELEVATION NOTES

N.T.S.



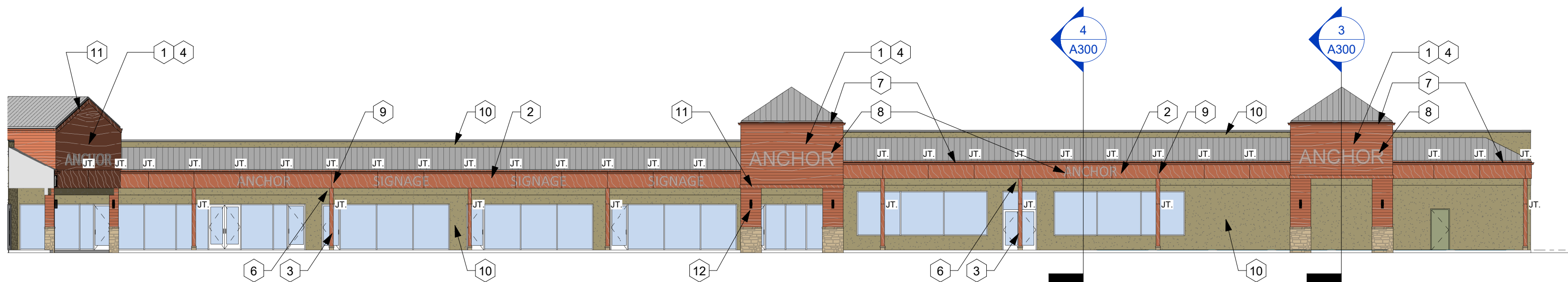
3 EAST ELEVATION

1/16" = 1'-0"



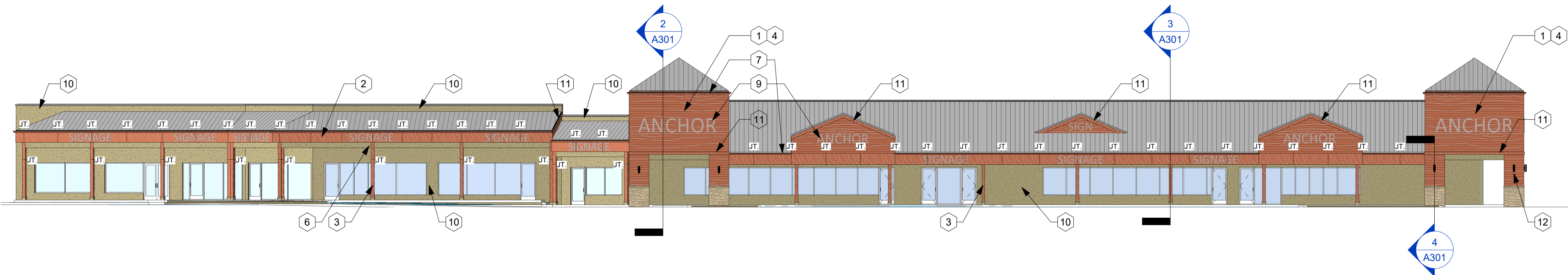
4 WEST ELEVATION (OUTBUILDING)

1/16" = 1'-0"



2 SOUTH ELEVATION (EAST)

1/16" = 1'-0"



1 SOUTH ELEVATION (WEST)

1/16" = 1'-0"




SOUTHSIDE RETAIL

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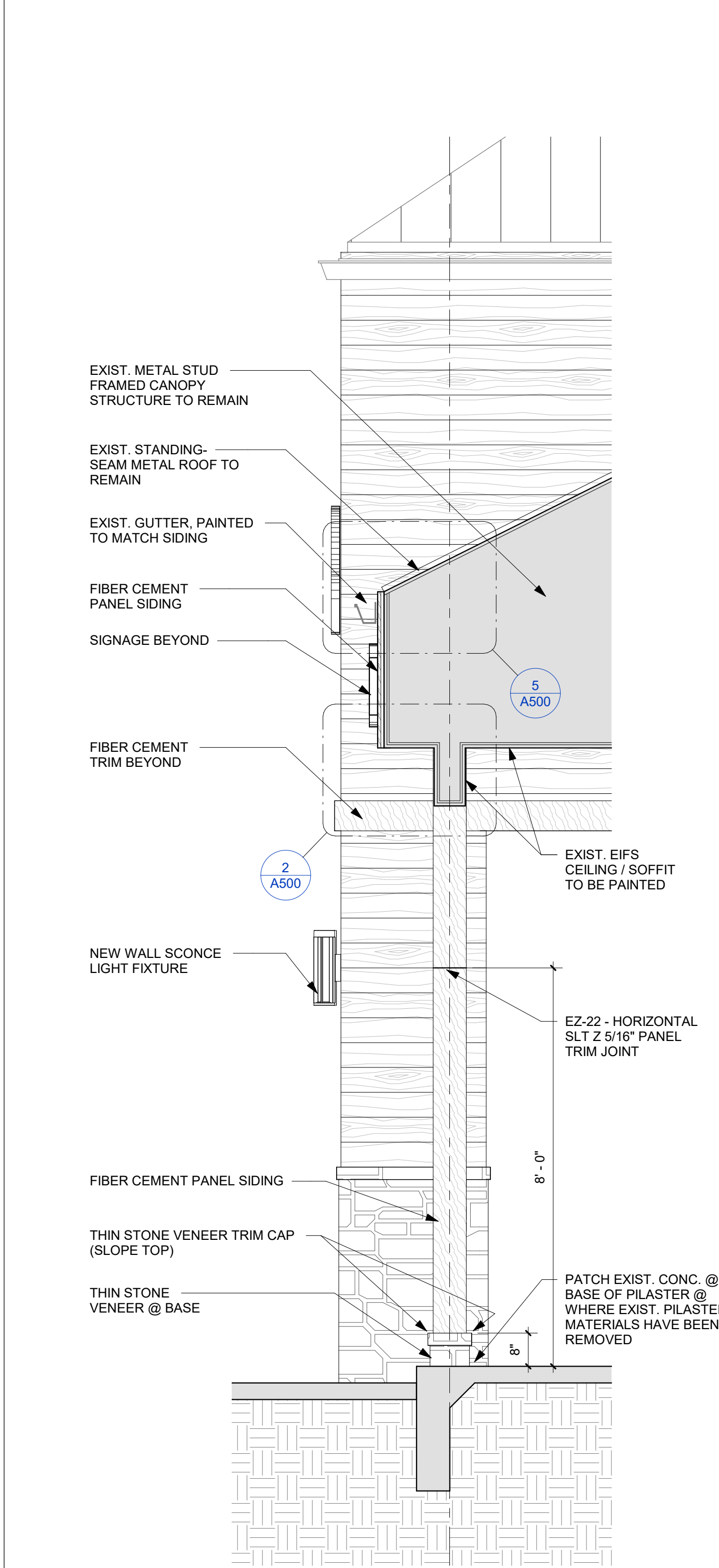
02/24/22

project number		2021-045
date		02.24.22
issued for		PERMIT/BID
rev	date	description

WALL
SECTIONS

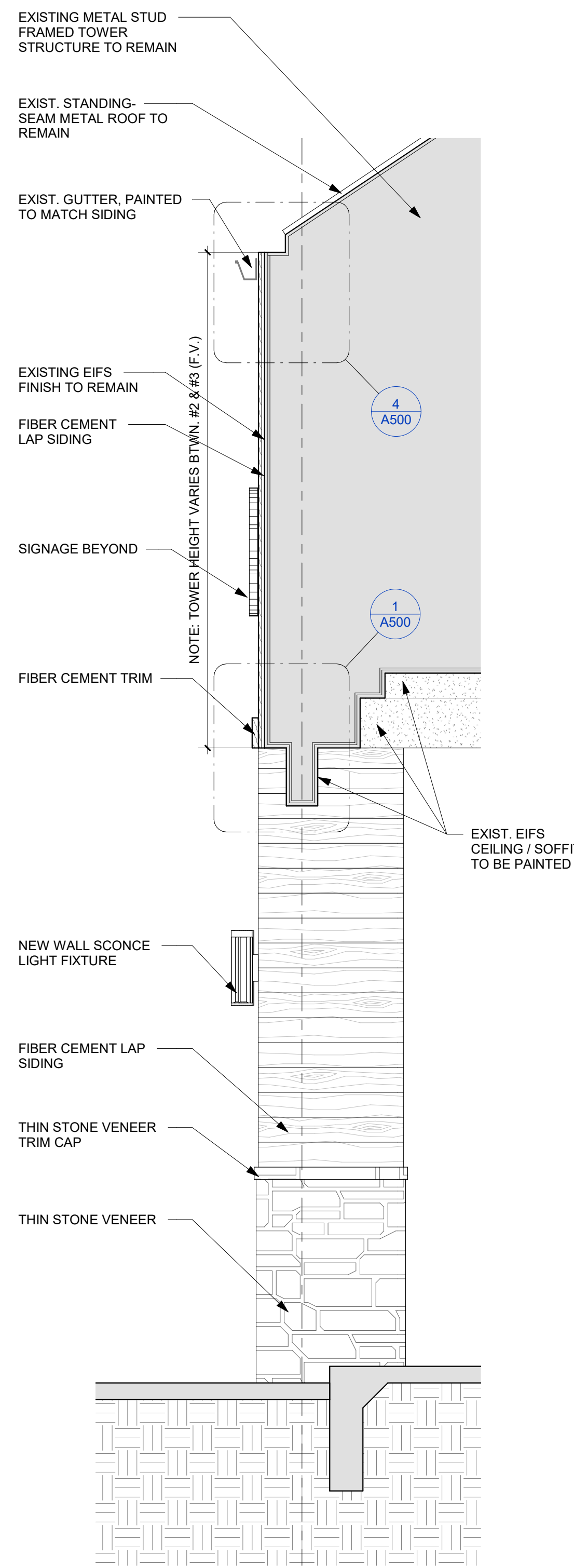
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A300



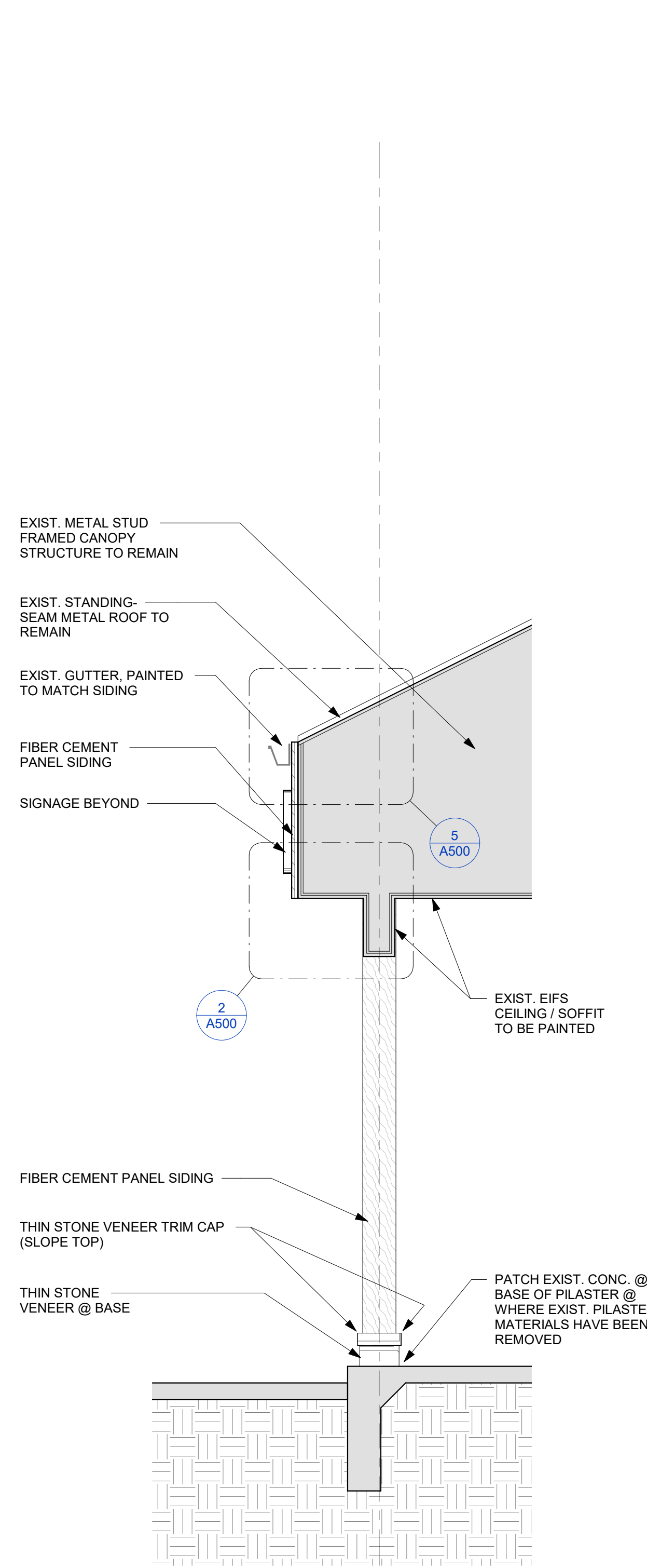
4 CANOPY #2 & #3

1/2" = 1'-0"



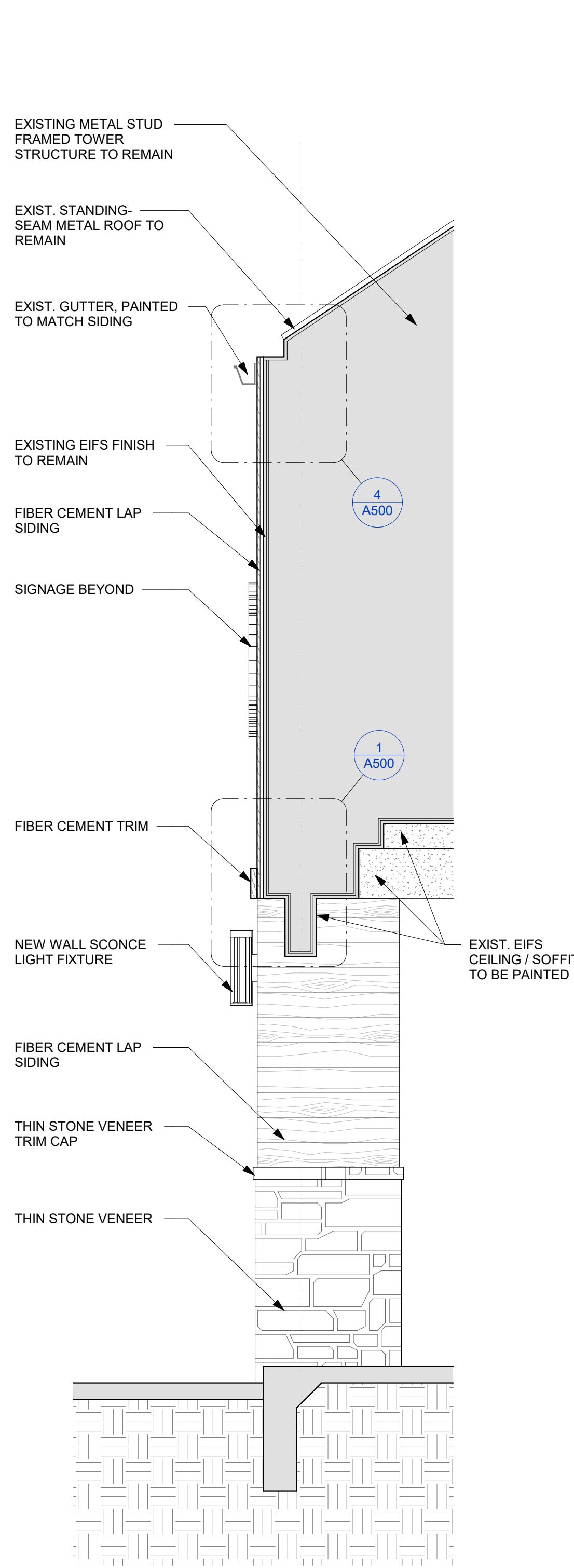
3 TOWER #2 & #3

1/2" = 1'-0"



2 CANOPY #1

1/2" = 1'-0"



1 TOWER #1

1/2" = 1'-0"



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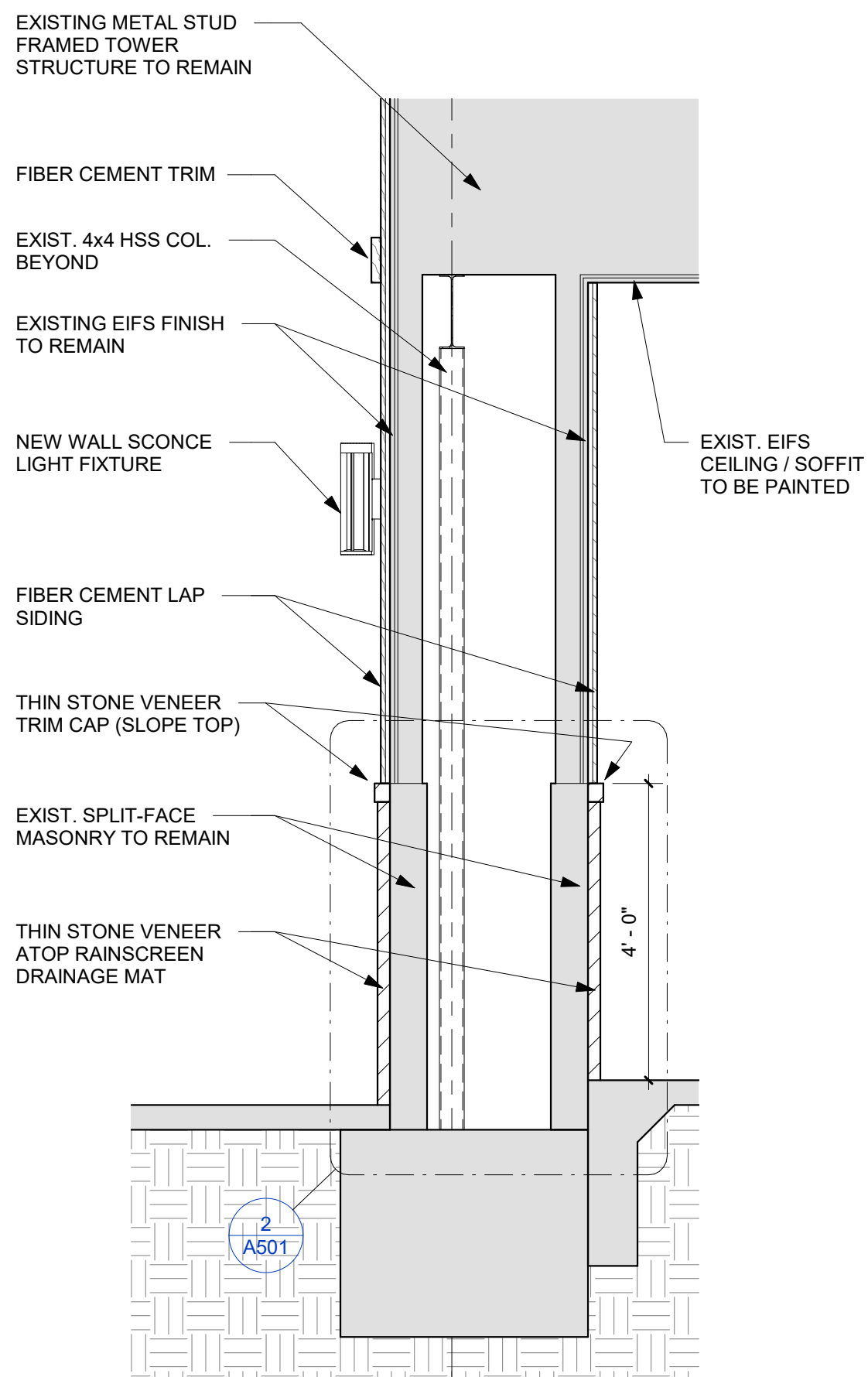
issued for PERMIT/BID

rev	date	description
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WALL
SECTIONS

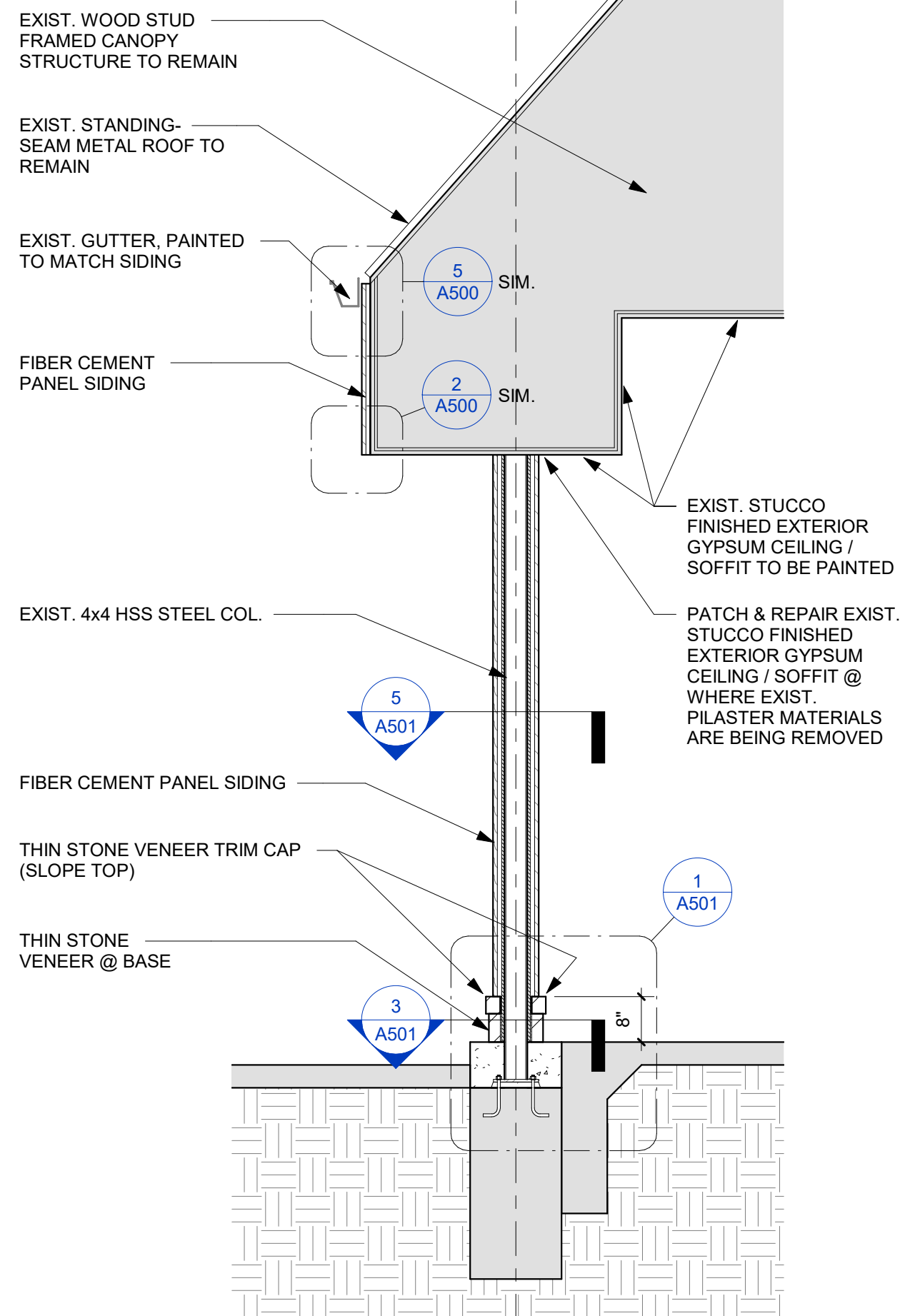
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A301



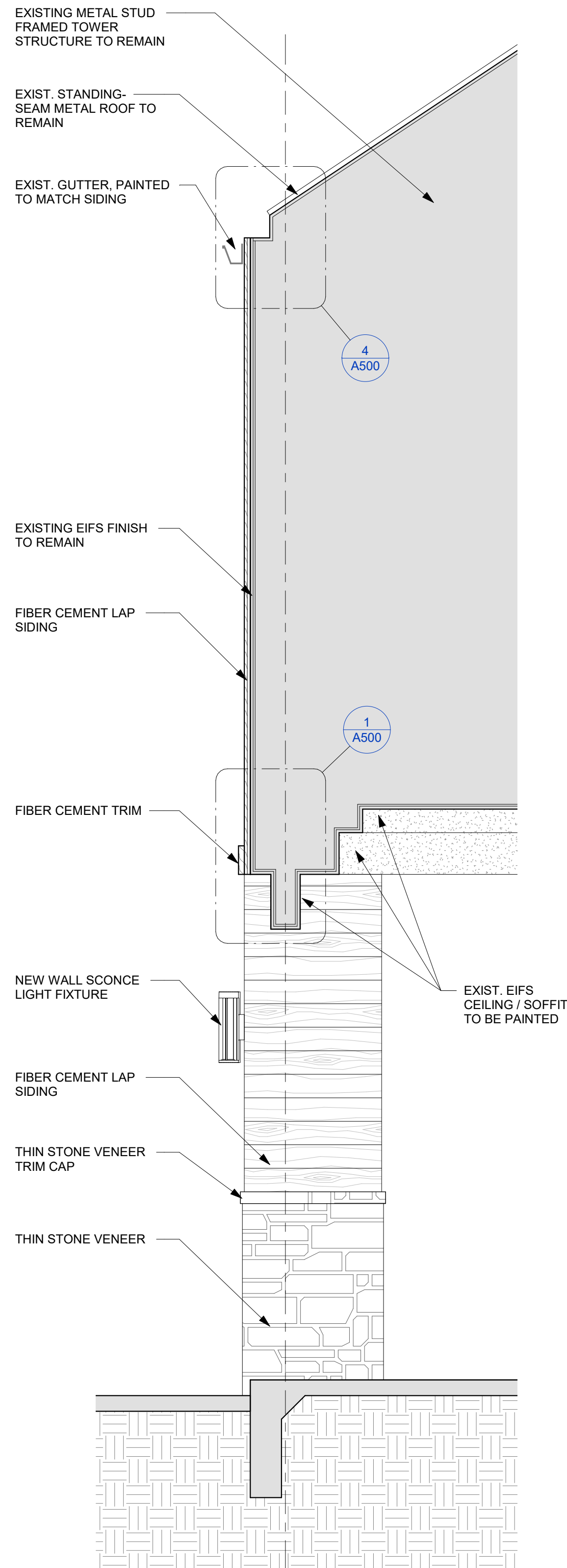
4 PILASTER - LARGE

1/2" = 1'-0"



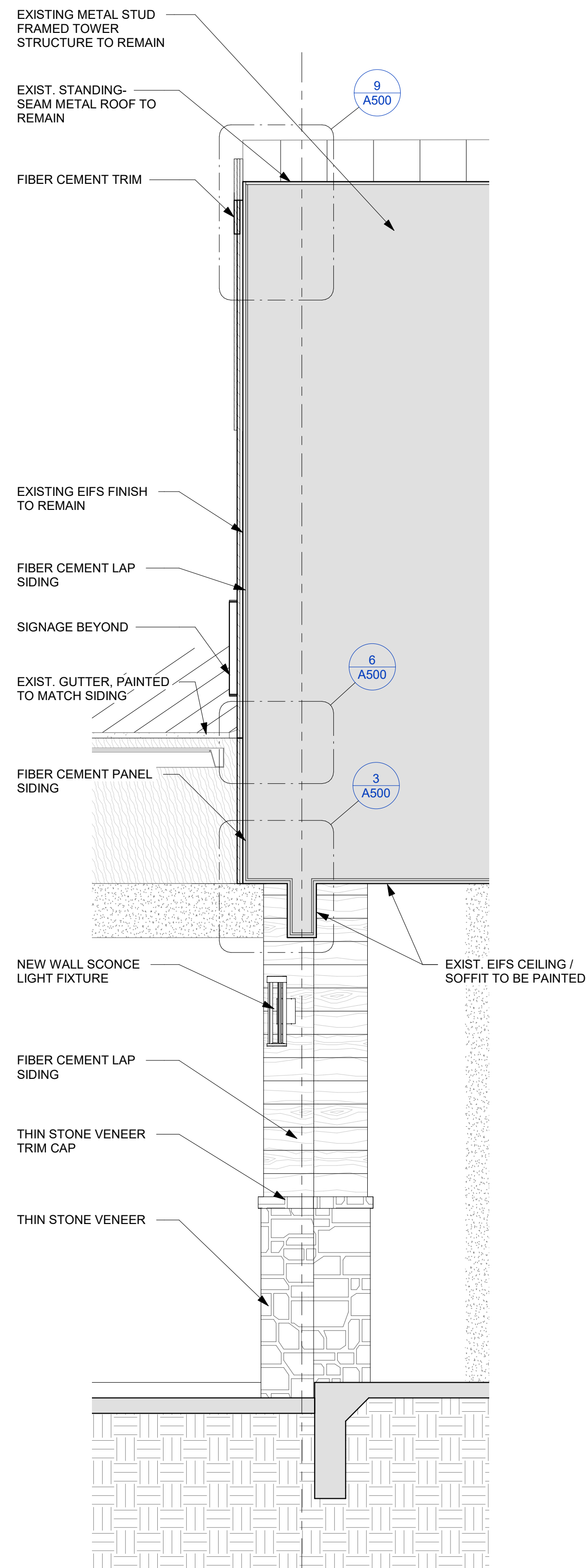
3 CANOPY #4 / PILASTER - SMALL

1/2" = 1'-0"



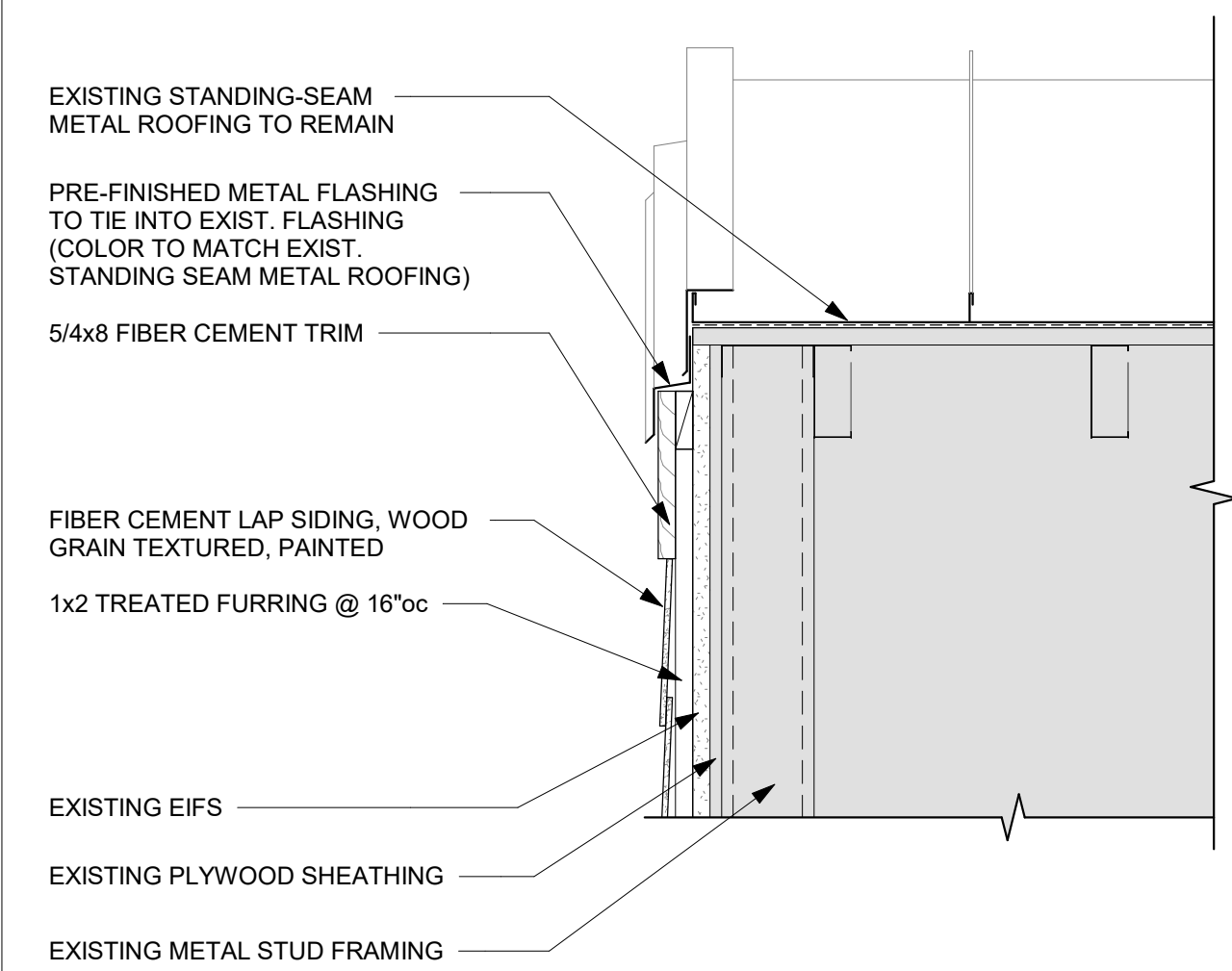
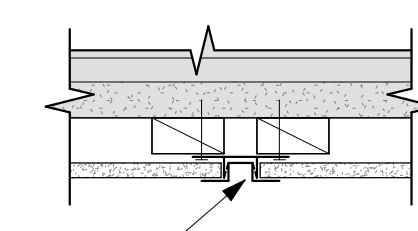
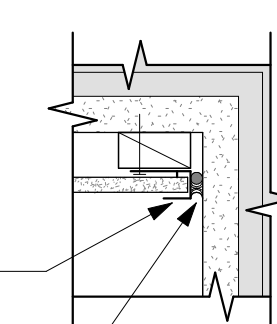
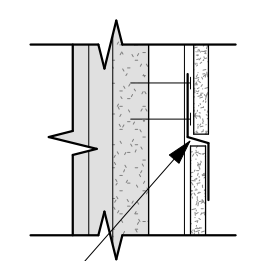
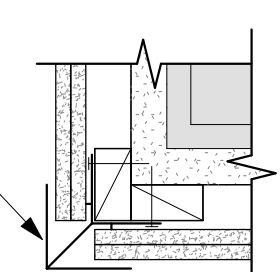
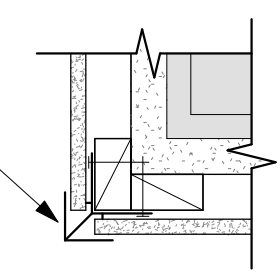
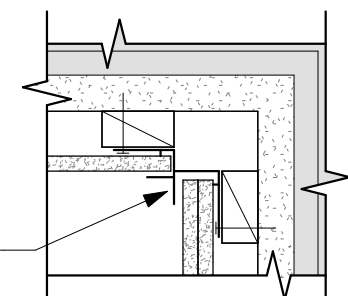
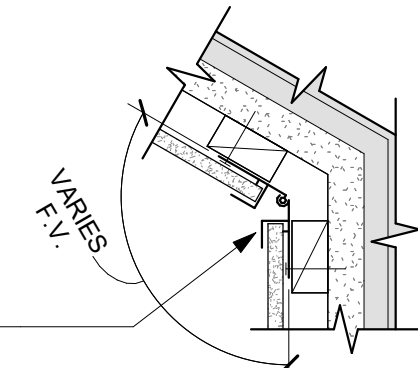
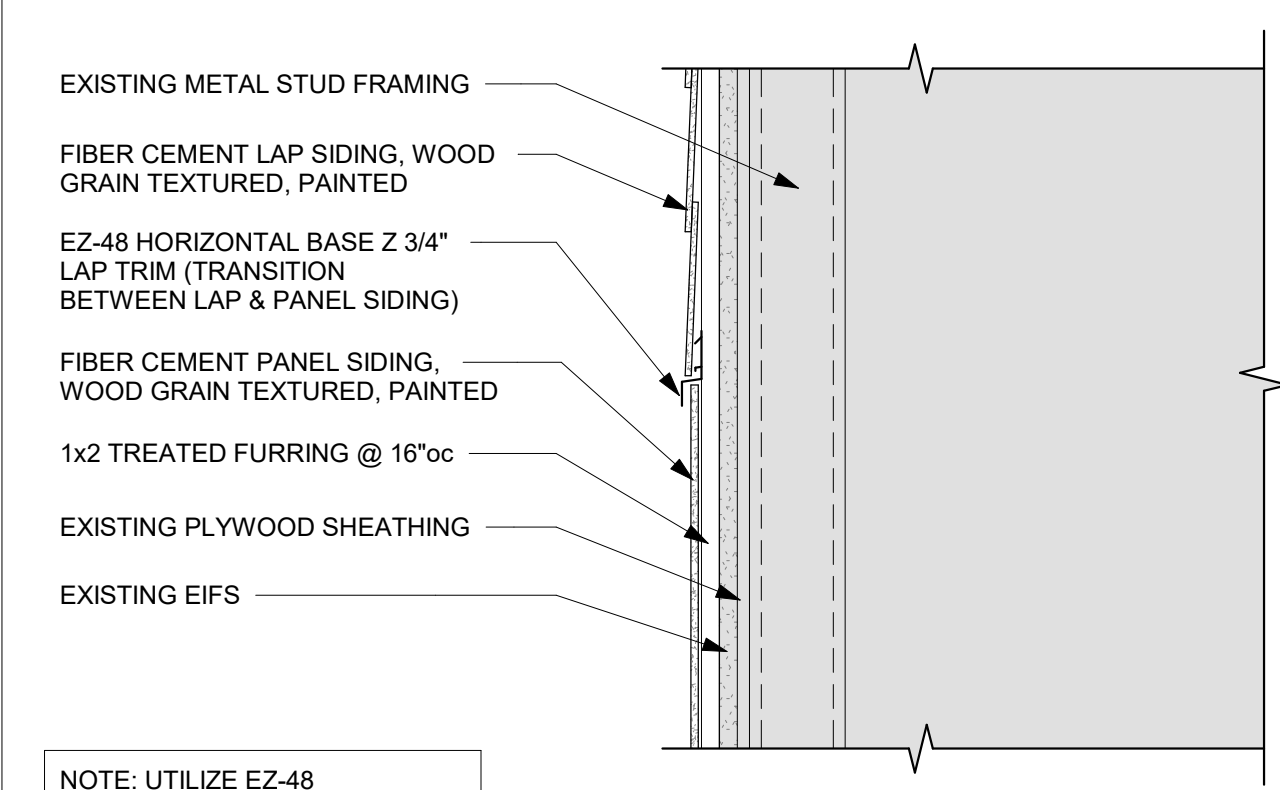
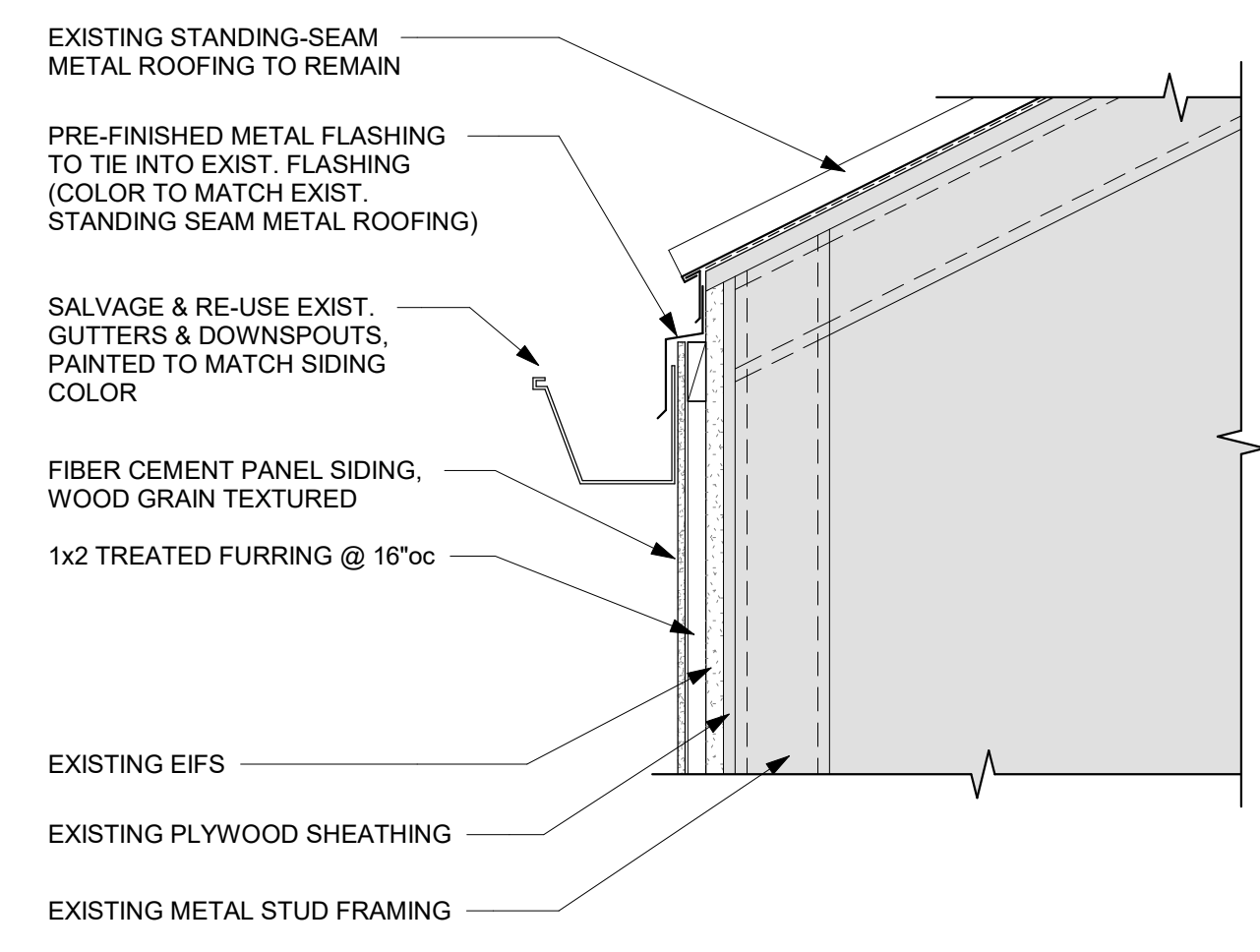
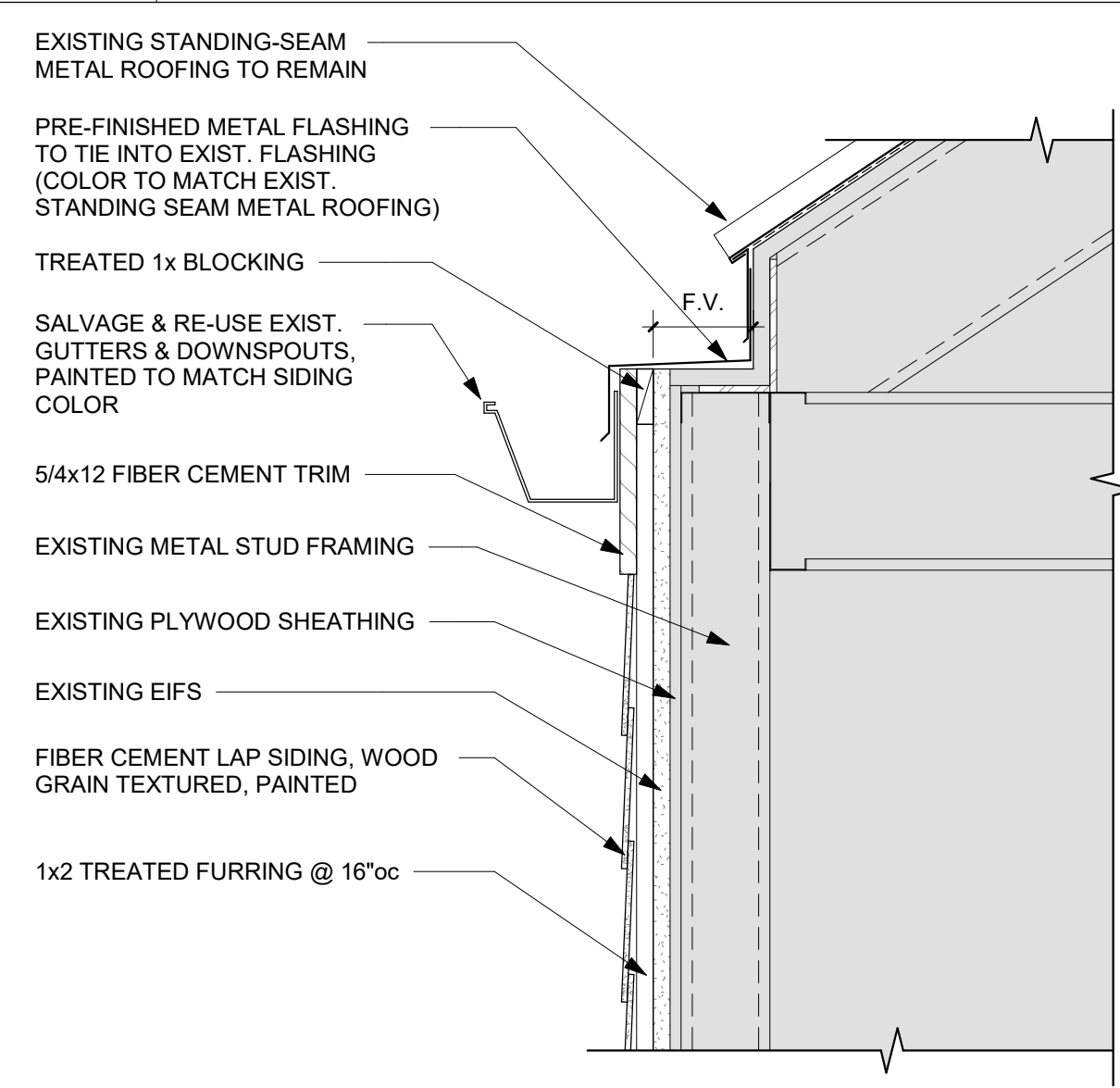
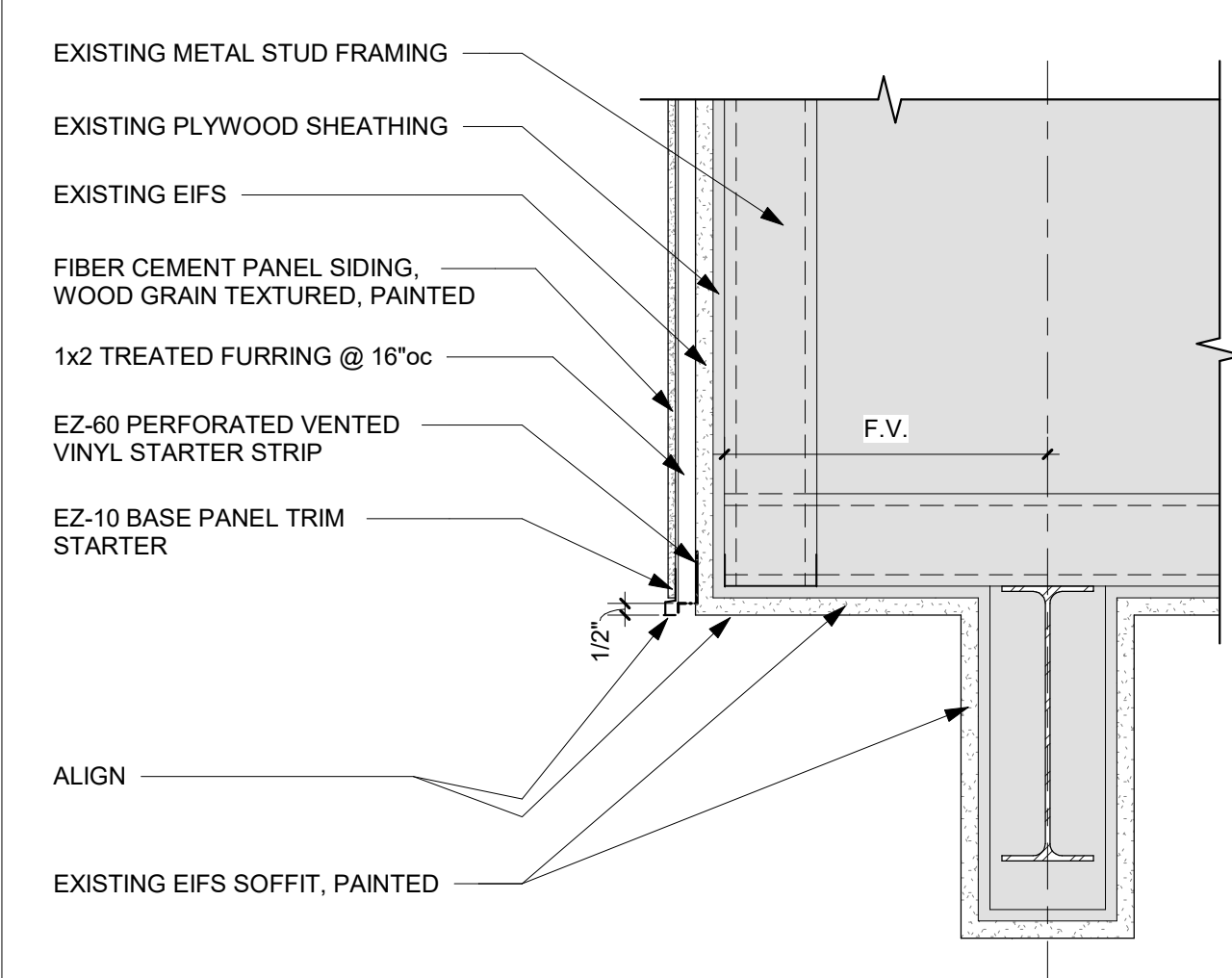
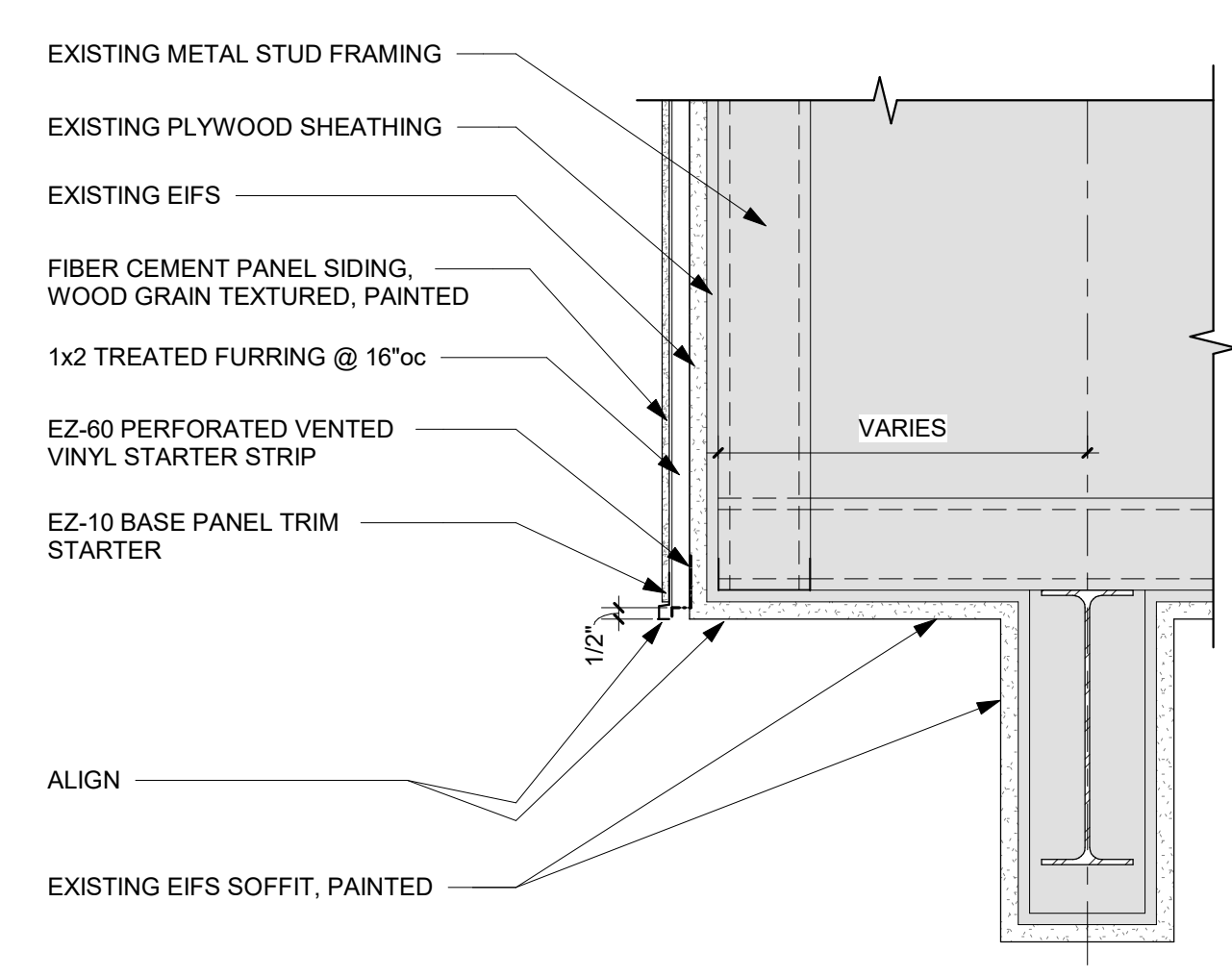
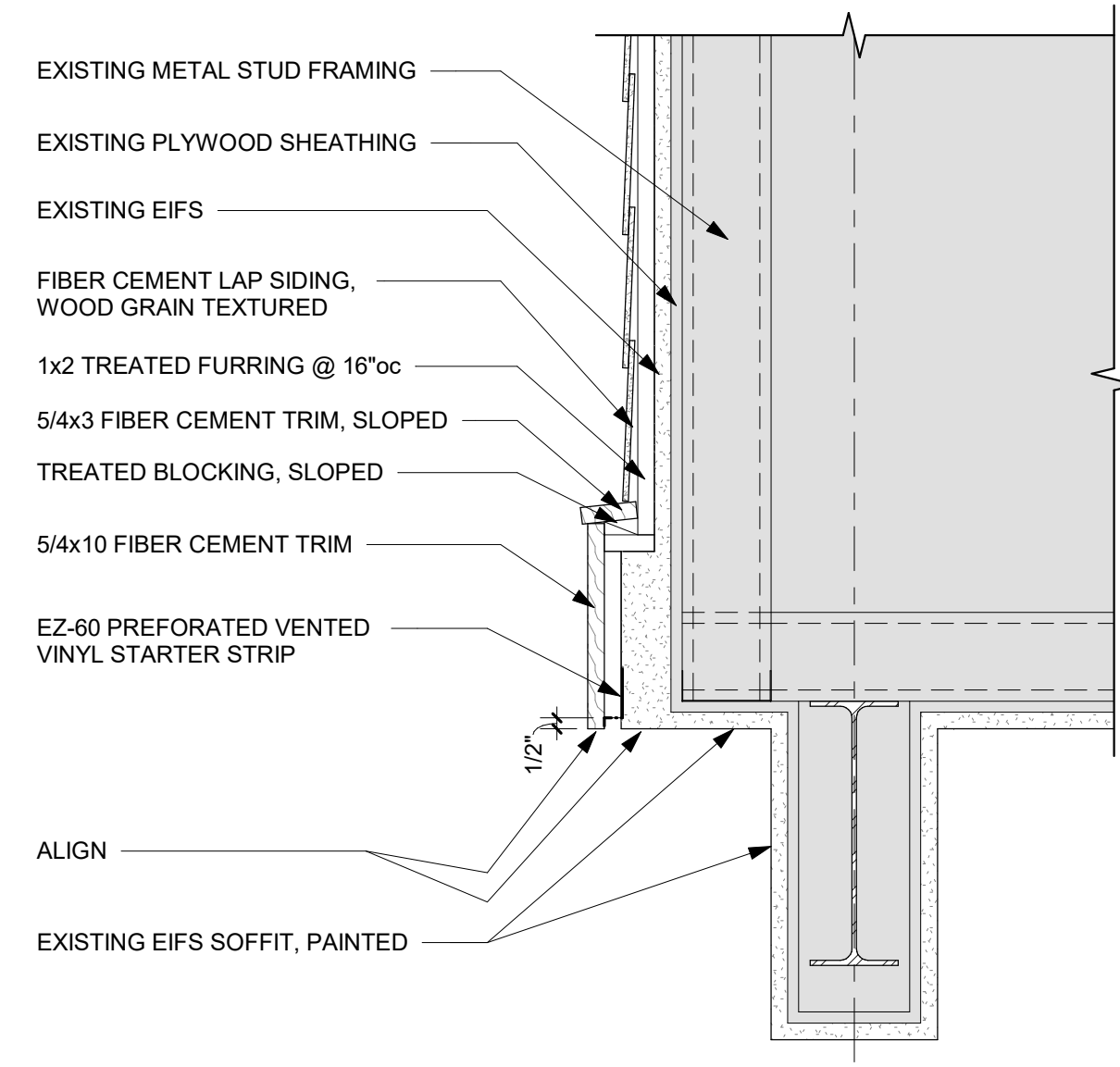
2 TOWER #4 - SOLID

1/2" = 1'-0"



1 CORNER TOWER

1/2" = 1'-0"

				<p>PLAN VIEW:</p>  <p>1. INTERMEDIATE TRIM @ PANEL SIDING: • @ PANEL BAND</p> <p>EZ-7 2-PIECE VERTICAL U 5/16" PANEL TRIM, PRIMED, PAINTED TO MATCH SIDING</p> <p>PLAN VIEW:</p>  <p>2. END / CORNER @ PANEL SIDING TO EXIST. EIFS SIDING TRANSITION: • @ PANEL BAND TO EXIST. EIFS • @ TOPS OF SMALL PILASTERS (HORIZONTAL)</p> <p>EZ-8 GENERAL J 5/16" PANEL TRIM, PRIMED, PAINTED TO MATCH SIDING</p> <p>BACKER ROD & SEALANT</p> <p>SECTION VIEW:</p>  <p>3. HORIZONTAL TRIM TRANSITION: • @ SMALL PILASTERS</p> <p>EZ-22 HORIZONTAL SLT Z 5/16" PANEL TRIM</p>			<p>PLAN VIEW:</p>  <p>1. OUTSIDE CORNER @ LAP SIDING: • @ TOWERS • @ TOWER LARGE & MEDIUM PILASTERS</p> <p>EZ-33 ARROW OUTSIDE CORNER 3/4" LAP TRIM, PRIMED, PAINTED TO MATCH SIDING</p> <p>PLAN VIEW:</p>  <p>2. OUTSIDE CORNER @ PANEL SIDING: • @ PANEL BAND • @ SMALL PILASTERS, SIM., RE: DETAIL 5/A501</p> <p>EZ-13 ARROW OUTSIDE CORNER 5/16" PANEL TRIM, PRIMED, PAINTED TO MATCH SIDING</p> <p>PLAN VIEW:</p>  <p>3. INSIDE CORNER @ PANEL SIDING TO LAP SIDING TRANSITION: • @ PANEL BAND TO TOWER</p> <p>EZ-17 INSIDE CORNER 5/16" TO 3/4" TRANSITION TRIM, PRIMED, PAINTED TO MATCH SIDING</p> <p>PLAN VIEW:</p>  <p>4. INSIDE CORNER @ ANGLED PANEL SIDING TRANSITION: • @ PANEL BAND</p> <p>EZ-18 MULTI-ANGLE INSIDE CORNER 5/16" PANEL TRIM, PRIMED, PAINTED TO MATCH SIDING</p> <p>VARIES F.V.</p>		
	9	DETAIL		8	DETAIL		7	DETAIL	
		1 1/2" = 1'-0"			3" = 1'-0"			3" = 1'-0"	
	 <p>EXISTING METAL STUD FRAMING</p> <p>FIBER CEMENT LAP SIDING, WOOD GRAIN TEXTURED, PAINTED</p> <p>EZ-48 HORIZONTAL BASE Z 3/4" LAP TRIM (TRANSITION BETWEEN LAP & PANEL SIDING)</p> <p>FIBER CEMENT PANEL SIDING, WOOD GRAIN TEXTURED, PAINTED</p> <p>1x2 TREATED FURRING @ 16"oc</p> <p>EXISTING PLYWOOD SHEATHING</p> <p>EXISTING EIFS</p> <p>NOTE: UTILIZE EZ-48 HORIZONTAL BASE Z 3/4" LAP TRIM TRANSITION AT SIDES OF TOWER WHERE EXIST. EIFS MEETS EXIST. PRE-FINISHED STANDING-SEAM METAL ROOF</p>			 <p>EXISTING STANDING-SEAM METAL ROOFING TO REMAIN</p> <p>PRE-FINISHED METAL FLASHING TO TIE INTO EXIST. FLASHING (COLOR TO MATCH EXIST. STANDING SEAM METAL ROOFING)</p> <p>SALVAGE & RE-USE EXIST. GUTTERS & DOWNSPOUTS, PAINTED TO MATCH SIDING COLOR</p> <p>FIBER CEMENT PANEL SIDING, WOOD GRAIN TEXTURED</p> <p>1x2 TREATED FURRING @ 16"oc</p> <p>EXISTING EIFS</p> <p>EXISTING PLYWOOD SHEATHING</p> <p>EXISTING METAL STUD FRAMING</p>			 <p>EXISTING STANDING-SEAM METAL ROOFING TO REMAIN</p> <p>PRE-FINISHED METAL FLASHING TO TIE INTO EXIST. FLASHING (COLOR TO MATCH EXIST. STANDING SEAM METAL ROOFING)</p> <p>TREATED 1x BLOCKING</p> <p>SALVAGE & RE-USE EXIST. GUTTERS & DOWNSPOUTS, PAINTED TO MATCH SIDING COLOR</p> <p>5/4x12 FIBER CEMENT TRIM</p> <p>EXISTING METAL STUD FRAMING</p> <p>EXISTING PLYWOOD SHEATHING</p> <p>EXISTING EIFS</p> <p>FIBER CEMENT LAP SIDING, WOOD GRAIN TEXTURED, PAINTED</p> <p>1x2 TREATED FURRING @ 16"oc</p> <p>F.V.</p>		
	6	DETAIL		5	DETAIL		4	DETAIL	
		1 1/2" = 1'-0"			1 1/2" = 1'-0"			1 1/2" = 1'-0"	
	 <p>EXISTING METAL STUD FRAMING</p> <p>EXISTING PLYWOOD SHEATHING</p> <p>EXISTING EIFS</p> <p>FIBER CEMENT PANEL SIDING, WOOD GRAIN TEXTURED, PAINTED</p> <p>1x2 TREATED FURRING @ 16"oc</p> <p>EZ-60 PERFORATED VENTED VINYL STARTER STRIP</p> <p>EZ-10 BASE PANEL TRIM STARTER</p> <p>1/2"</p> <p>ALIGN</p> <p>EXISTING EIFS SOFFIT, PAINTED</p> <p>F.V.</p>			 <p>EXISTING METAL STUD FRAMING</p> <p>EXISTING PLYWOOD SHEATHING</p> <p>EXISTING EIFS</p> <p>FIBER CEMENT PANEL SIDING, WOOD GRAIN TEXTURED, PAINTED</p> <p>1x2 TREATED FURRING @ 16"oc</p> <p>EZ-60 PERFORATED VENTED VINYL STARTER STRIP</p> <p>EZ-10 BASE PANEL TRIM STARTER</p> <p>1/2"</p> <p>ALIGN</p> <p>EXISTING EIFS SOFFIT, PAINTED</p> <p>VARIES</p>			 <p>EXISTING METAL STUD FRAMING</p> <p>EXISTING PLYWOOD SHEATHING</p> <p>EXISTING EIFS</p> <p>FIBER CEMENT LAP SIDING, WOOD GRAIN TEXTURED</p> <p>1x2 TREATED FURRING @ 16"oc</p> <p>5/4x3 FIBER CEMENT TRIM, SLOPED</p> <p>TREATED BLOCKING, SLOPED</p> <p>5/4x10 FIBER CEMENT TRIM</p> <p>EZ-60 PREFORMED VENTED VINYL STARTER STRIP</p> <p>1/2"</p> <p>ALIGN</p> <p>EXISTING EIFS SOFFIT, PAINTED</p>		
	3	DETAIL		2	DETAIL		1	DETAIL	
		1 1/2" = 1'-0"			1 1/2" = 1'-0"			1 1/2" = 1'-0"	



SOUTHSIDE RETAIL

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DETAILS

sheet number

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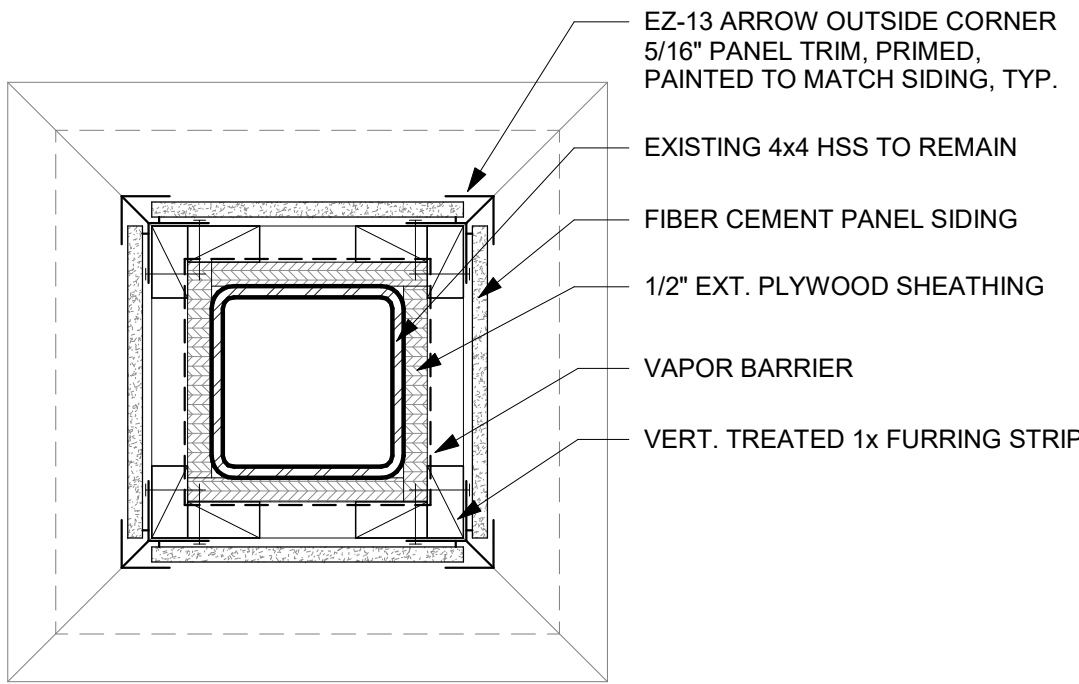
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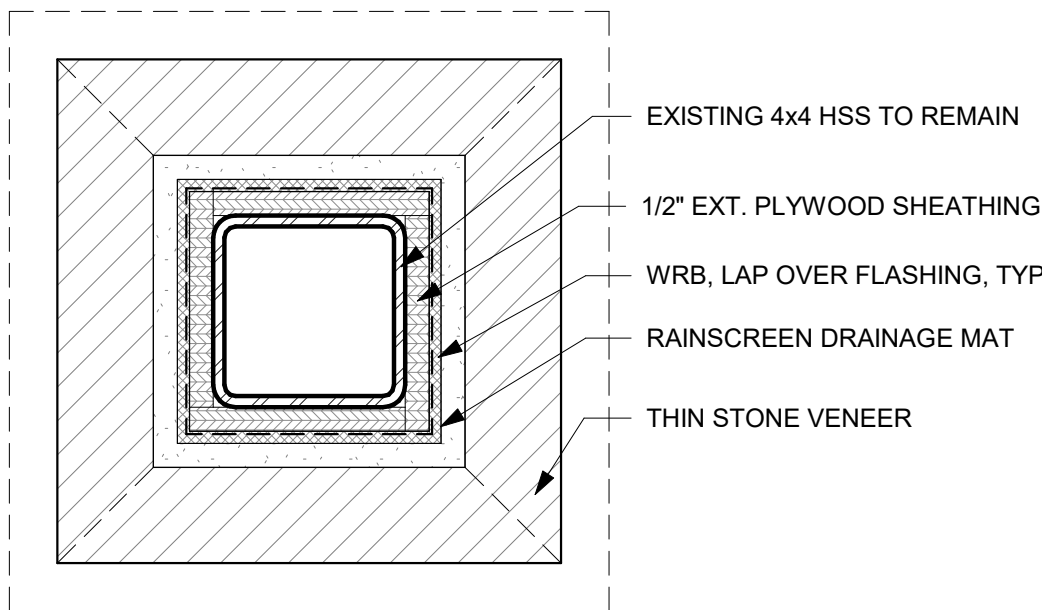
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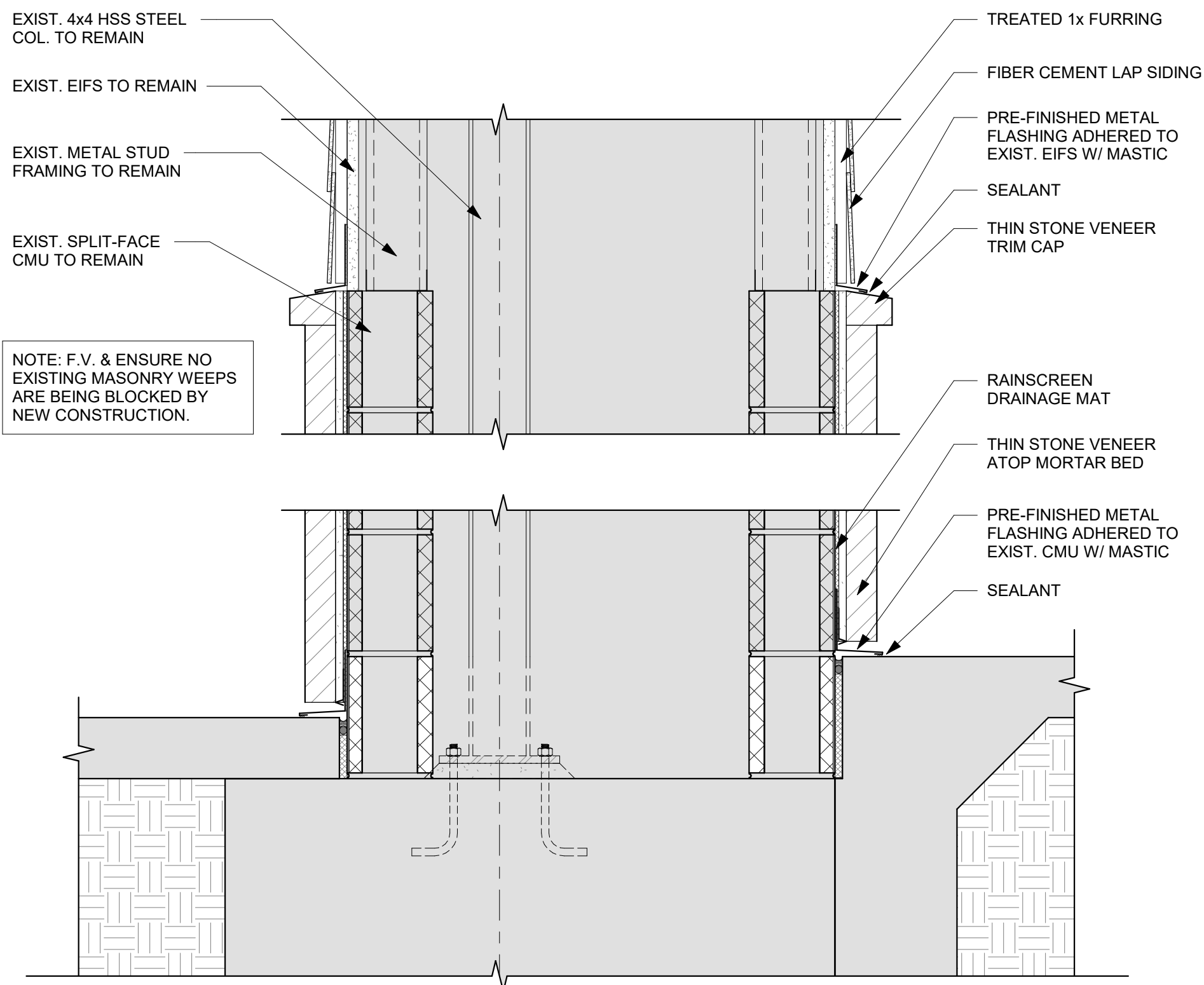
5 COLUMN PLAN DETAIL @ WOOD - TYP.

3" = 1'-0"



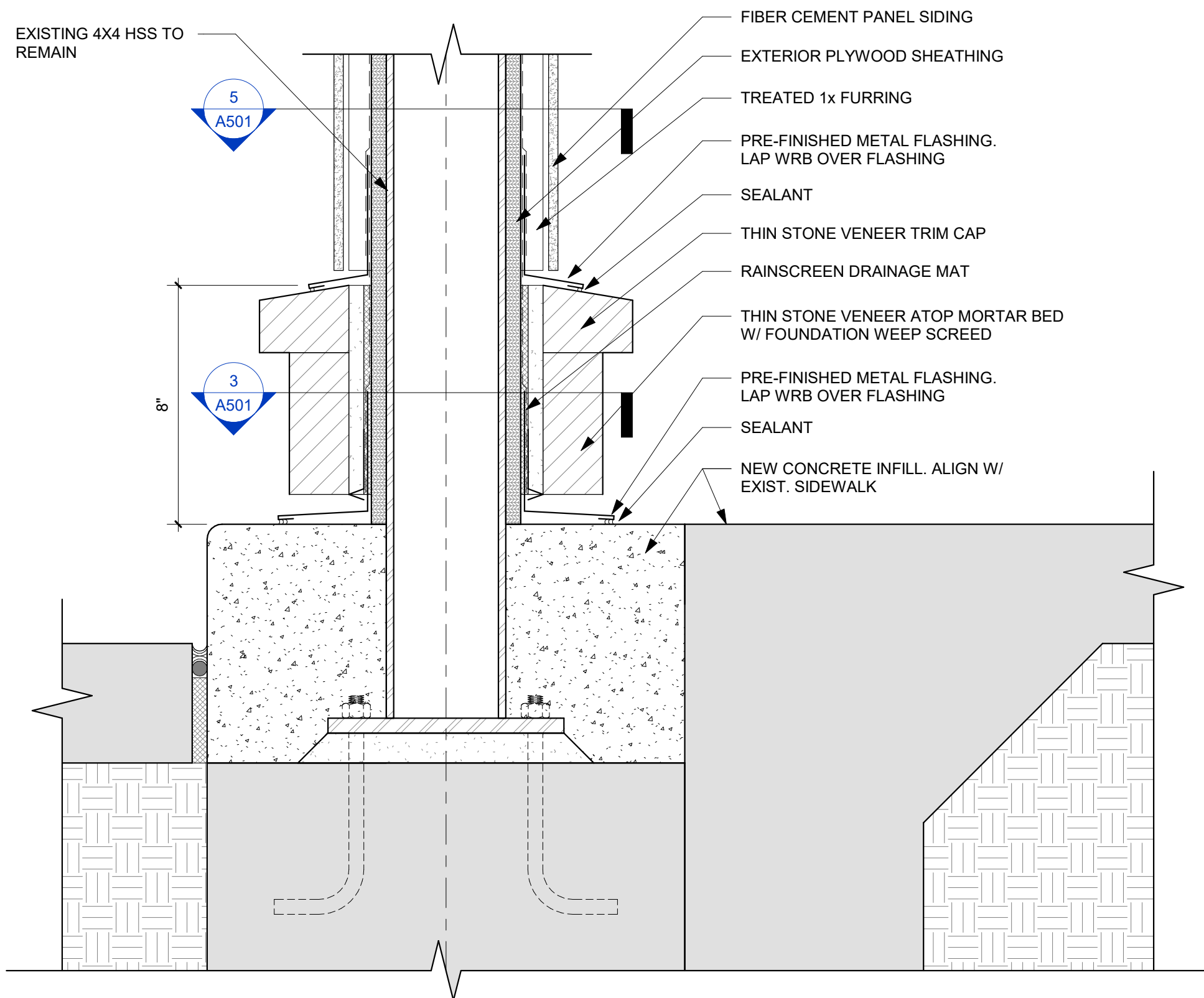
3 COLUMN PLAN DETAIL @ STONE - TYP.

3" = 1'-0"



2 DETAIL

1 1/2" = 1'-0"



1 DETAIL

3" = 1'-0"