

2100 AND 2150 NW LOWENSTEIN DR. LEE'S SUMMIT, MISSOURI 64081

PROJECT NO.: 20-001

ISSUE DATE: 3.1.2022 Revision 2

GENERAL NOTES

1. AIA DOCUMENT A-201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, CURRENT EDITION, AND SPECIAL CONDITIONS AS NOTED IN THE PROJECT MANUAL, SHALL GOVERN THE WORK.
2. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY EXISTING FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
3. GENERAL CONTRACTOR SHALL CROSS-REFERENCE THE VARIOUS DISCIPLINES' PLANS HEREIN AND REVIEWED SHOP DRAWINGS PRIOR TO STARTING CONSTRUCTION PHASE OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
4. ONLY CONTRACT DOCUMENTS APPROVED FOR CONSTRUCTION AND REVIEWED SHOP DRAWINGS SHALL BE USED FOR CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF SAID DOCUMENTS AND UPDATES TO THE FIELD FOR CONSTRUCTION.
5. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE SUBCONTRACTOR WORK WITH THESE PROJECT DOCUMENTS.
6. DIMENSIONS TO THE EXTERIOR OF THE BUILDING ARE TO THE EXTERIOR OF FOUNDATION/MASONRY UNLESS NOTED OTHERWISE.
7. DO NOT SCALE DRAWINGS.
8. THE WORD 'ALIGN' AS USED IN THESE DOCUMENTS SHALL SUPERSEDE DIMENSIONAL INFORMATION.
9. NO PRODUCTS CONTAINING ASBESTOS SHALL BE INSTALLED IN OR USED DURING THE CONSTRUCTION OF THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CERTIFY TO THE OWNER THAT THIS REQUIREMENT HAS BEEN COMPLIED WITH.
10. ALL HVAC EQUIPMENT AND DUCTWORK SHALL COMPLY WITH THE CURRENT APPLICABLE MECHANICAL CODE AND INSTALLED PER SMACNA RECOMMENDATIONS.
11. CODE COMPLIANCE - THE WORK SHALL BE GOVERNED BY ALL CURRENT APPLICABLE LOCAL, CITY, STATE AND NATIONAL CODES AND LAWS. THESE AUTHORITIES INCLUDE, BUT ARE NOT LIMITED TO THE INTERNATIONAL BUILDING CODE, NATIONAL ELECTRIC CODE, NATIONAL FIRE PROTECTION ASSOCIATION OR ANY OTHER AUTHORITY OR BODY HAVING JURISDICTION OVER WORK. THE SITE, PARKING LOT, AND BUILDING SHALL COMPLY WITH THE ADA (AMERICANS WITH DISABILITIES ACT) REGULATIONS. NOTIFY ARCHITECT OF ANY REQUIRED CHANGES TO COMPLY WITH ADA.
12. REFERENCE CIVIL DRAWINGS FOR SITE WORK, INCLUDING THE BUILDING LOCATION ON THE SITE.

ABBREVIATIONS

ABV	ABOVE	HDWD	HARDWOOD	SCHED	SCHEDULE
AFF	ABOVE FINISH FLOOR	HDPB	HIGH DENSITY	SECT	SECTION
ACT	ACOUSTICAL		PARTICLE BOARD	SHT	SHEET
ALUM	ALUMINUM	HT	HEIGHT	SIM	SIMILAR
&	AND	HR	HOUR	SC	SOLID CORE
@	AT	INSUL	INSULATION	SPEC	SPECIFICATION
BLK	BLOCK			SQ	SQUARE
BD	BOARD	JT	JOINT	SF	SQUARE FOOT
BO	BOTTOM OF			SS	STAINLESS STEEL
CLG	CEILING	LAV	LAVATORY	STD	STANDARD
CT	CENTER LINE			STL	STEEL
CT	CERAMIC TILE	MO	MASONRY OPENING	STRUCT	STRUCTURAL
CLR	CLEAR	MSRY	MASONRY	SUSP	SUSPENDED
CLR	CONCRETE	MDF	MEDIUM DENSITY	TEL	TELEPHONE
CONC	CONC. MASONRY UNIT		FIBERBOARD	THK	THICK
CONC	CONCRETE	MECH	MECHANICAL	TO	TOP OF
CONT	CONTINUOUS	MTL	METAL	T&G	TONGUE & GROOVE
CONTR	CONTRACTOR			TYP	TYPICAL
CFCI	CONTRACTOR FURNISHED	NIC	NOT IN CONTRACT	UNF	UNFINISHED
	CONTRACTOR INSTALLED	NTS	NOT TO SCALE	UNO	UNLESS NOTED OTHERWISE
CJ	CONTROL JOINT			VERT	VERTICAL
CG	CORNER GUARD	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	VEST	VESTIBULE
DTL	DETAIL	OFOI	OWNER FURNISHED OWNER INSTALLED		
DA	DIAMETER	OC	ON CENTER	WP	WATERPROOF
DR	DOOR	OPNG	OPENING	WT	WEIGHT
DS	DOWNSPOUT			W/	WITH
DWG	DRAWING	PTD	PAINTED	W/O	WITH OUT
EOS	EDGE OF SLAB	PLAM	PLASTIC LAMINATE	WD	WOOD
ELEC	ELECTRICAL	PLYWD	PLYWOOD		
ELEV	ELEVATION	PT	PRESSURE TREATED		
EQ	EQUAL				
EQUIP	EQUIPMENT	RAD	RADIUS		
EXIST	EXISTING	RE	REFERENCE		
EJ	EXPANSION JOINT	REIN	REINFORCING		
FT	FEET	RCP	REFLECTED CEILING PLAN		
FG	FINISH GRADE	REQD	REQUIRED		
FF	FINISH FLOOR	RD	ROOF DRAIN		
FR	FIRE RETARDANT	RM	ROOM		
FL	FLOOR	RO	ROUGH OPENING		
GC	GENERAL CONTR.				
GYP	GYPSUM				

SYMBOLS

	CONCRETE		BUILDING SECTION		COL GRID
	BRICK		WALL SECTION		ROOM
	BLOCKING		TEMPERED GLASS		NEW CONSTRUCTION
	BATT INSULATION		DETAIL		EXISTING CONSTR. TO REMAIN
	RIGID INSULATION		PARTITION TYPE		EXISTING CONSTR. REMOVED
	CONCRETE BLOCK				

PROJECT DIRECTORY

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PROJECT SUMMARY

*FOR COMPLETE CODE ANALYSIS SEE LIFE SAFETY PLAN SHEET AXXX - AXXX

PROJECT NAME: The Signature at West Pryor

PROJECT ADDRESS: 2100 AND 2150 NW LOWENSTEIN DR.
LEE'S SUMMIT, MISSOURI 64081

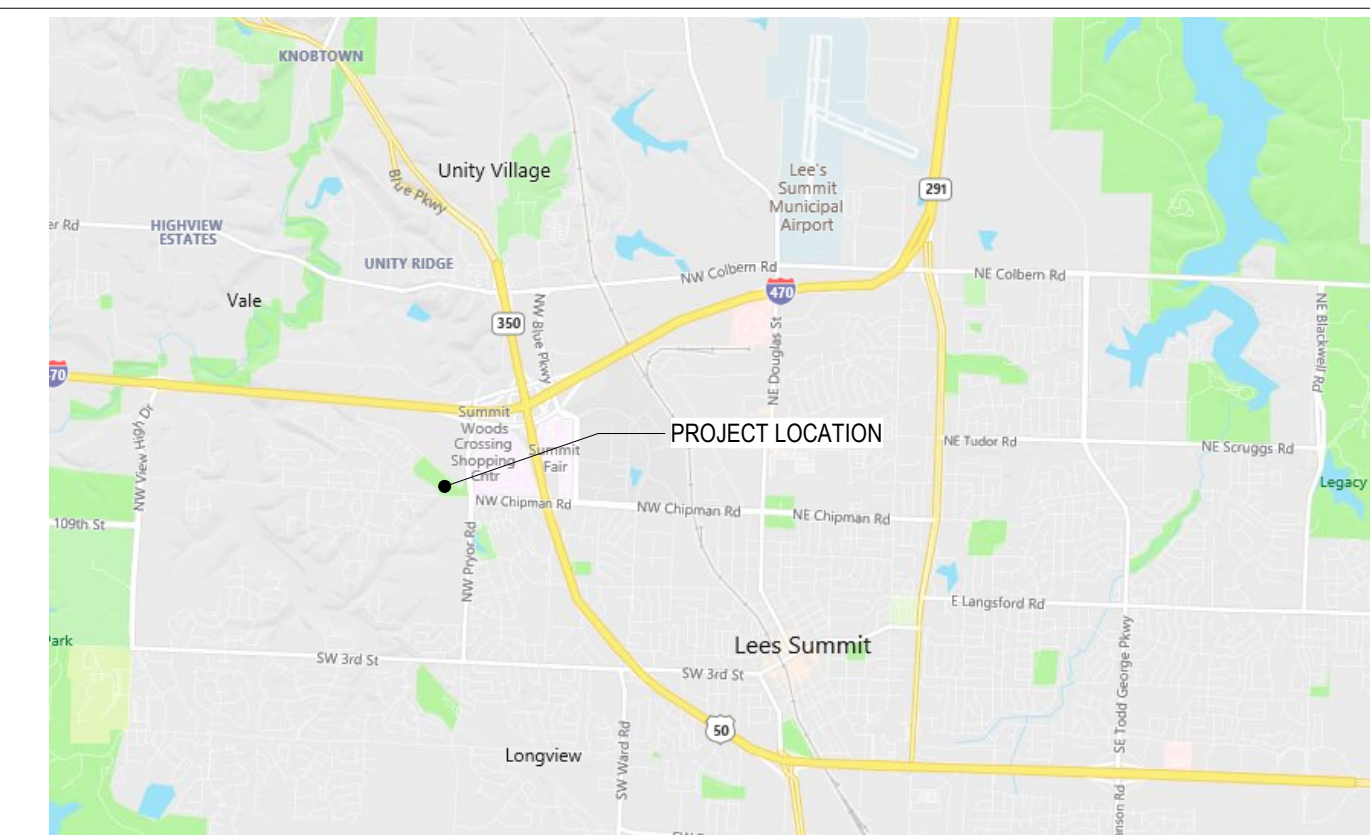
PROJECT DESCRIPTION:

BUILDING CODES: 2018 International Building Code
2017 National Electric Code
2018 International Mechanical Code
2018 International Plumbing Code
2018 International Fire Code
2018 International Energy Conservation Code

ACCESSIBILITY: 2010 ADA Guidelines & 2009 ICC/ANSI A117.1 & FAIR HOUSING ACT

OCCUPANCY TYPE / USE GROUP: R-2

LOCATION MAP



ARCHITECT	STRUCTURAL ENGINEER	CIVIL ENGINEER	GENERAL CONTRACTOR	MECHANICAL ENGINEER	PLUMBING ENGINEER	ELECTRICAL ENGINEER
TRi ARCHITECTS	BOB D CAMPBELL & COMPANY	SM ENGINEERING	BRINKMANN CONSTRUCTORS	LATIMER SOMMERS & ASSOCIATES	LATIMER SOMMERS & ASSOCIATES	LATIMER SOMMERS & ASSOCIATES



The Signature at West Pryor

2100 AND 2150 NW LOWENSTEIN DR.
LEE'S SUMMIT, MISSOURI 64081



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DATE: 7.15.2021

REVISIONS

4 Revision 2 3.1.2022

DWG BY MKSS

TRi PROJECT NO. 20-001

SHEET NO.

A000
COVER SHEET

● = REVISED SHEET
○ = REISSUED SHEET/NO REVISION
X = ISSUED AS 8.5x11

		BID / PERMIT SET - 1/15/2021	PERMIT COMMENTS & 1/7/2021	FOUNDATION PERMIT 10.11.2021	REVISION 1 - 2/1/2022	REVISION 2 - 3/1/2022			
ARCHITECTURAL									
A541	BLDG 2 ELEVATOR - PLAN & SECTIONS	•			•				
A600	BLDG 1 - INTERIOR ELEVATIONS	•	•		•				
A601	BLDG 1 - INTERIOR ELEVATIONS	•	•						
A650	BLDG 2 - INTERIOR ELEVATIONS	•	•						
A651	BLDG 2 - INTERIOR ELEVATIONS	•	•						
A700	FINISH SCHEDULE	•							
A701	BLDG 1 - FIRST FLOOR FINISH PLAN	•	•						
A702	BLDG 1 - SECOND FLOOR FINISH PLAN	•							
A703	BLDG 1 - THIRD FLOOR FINISH PLAN	•							
A704	BLDG 1 - ENLARGED AMENITY FINISH PLAN	•							
A720	BLDG 2 - FIRST FLOOR FINISH PLAN	•	•						
A721	BLDG 2 - SECOND FLOOR FINISH PLAN	•							
A722	BLDG 2 - THIRD FLOOR FINISH PLAN	•							
A723	BLDG 2 - ENLARGED AMENITY FINISH PLAN	•							
A750	INTERIOR DETAILS	•			•				

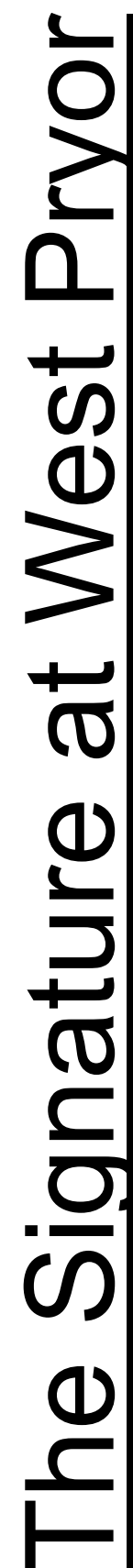
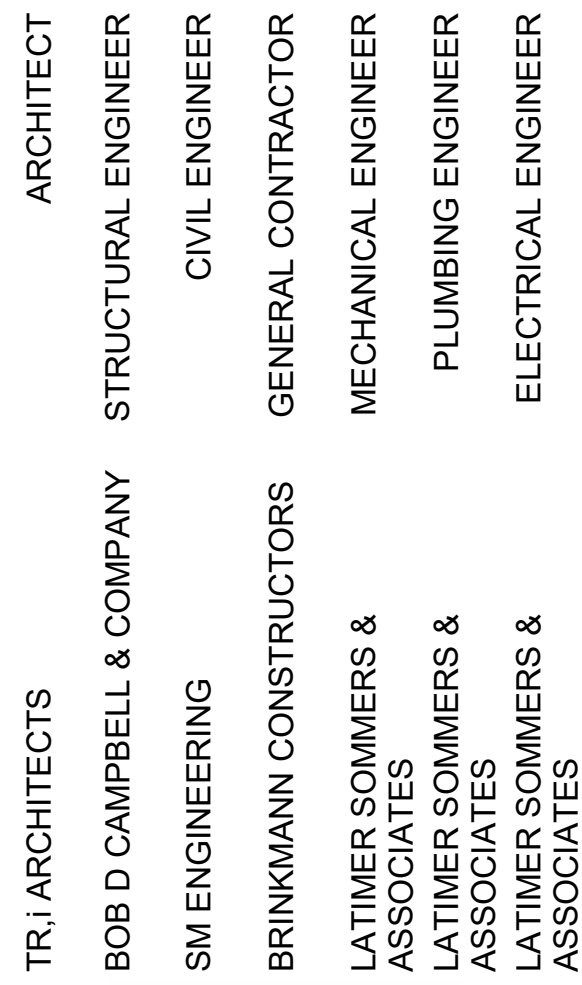
		BID / PERMIT SET 7.15.2021	PERMIT COMMENTS & 1.7.2021	FOUNDATION PERMIT 10.11.2021		
				REVISION 1 - 2.11.2022	REVISION 2 - 3.11.2022	
	STRUCTURAL					
S001	GENERAL NOTES	•				
S002	SCHEDULES & CMU DETAILS	•		•		
S003	TYPICAL WOOD GRAVITY SCHEDULES & DETAILS	•				
S004	TYPICAL WOOD LATERAL SCHEDULES & DETAILS	•	•			
S005	TYPICAL WOOD DETAILS	•				
S006	TYPICAL WOOD DETAILS	•				
S007	TYPICAL WOOD DETAILS	•				
S022	MAINTENANCE SHED/POOL HOUSE		•	•		
S023	MAINTENANCE SHED/POOL HOUSE		•			
S101	FOUNDATION PLAN	•	•	•		
S101A	FOUNDATION PLAN - AREA A	•	•			
S101B	FOUNDATION PLAN - AREA B	•		•		
S101C	FOUNDATION PLAN - AREA C	•	•	•		
S102	SECOND FLOOR FRAMING PLAN	•				
S102A	SECOND FLOOR FRAMING PLAN- AREA A	•				
S102B	SECOND FLOOR FRAMING PLAN- AREA B	•		•		
S102C	SECOND FLOOR FRAMING PLAN- AREA C	•				
S103	THIRD FLOOR FRAMING PLAN	•				
S103A	THIRD FLOOR FRAMING PLAN- AREA A	•				
S103B	THIRD FLOOR FRAMING PLAN- AREA B	•		•		
S103C	THIRD FLOOR FRAMING PLAN- AREA C	•				
S104	ROOF FRAMING PLAN	•				
S104A	ROOF FRAMING PLAN- AREA A	•				
S104B	ROOF FRAMING PLAN- AREA B	•		•		
S104C	ROOF FRAMING PLAN- AREA C	•				
S121	BLDG 2 - FOUNDATION PLAN	•		•		
S121A	BLDG 2 - FOUNDATION PLAN - AREA A	•		•		
S121B	BLDG 2 - FOUNDATION PLAN - AREA B	•		•		
S121C	BLDG 2 - FOUNDATION PLAN - AREA C	•		•		
S122	BLDG 2 - SECOND FLOOR FRAMING PLAN	•				
S122A	BLDG 2 - SECOND FLOOR FRAMING PLAN - AREA A	•				
S122B	BLDG 2 - SECOND FLOOR FRAMING PLAN - AREA B	•		•		
S122C	BLDG 2 - SECOND FLOOR FRAMING PLAN - AREA C	•				
S123	BLDG 2 - THIRD FLOOR FRAMING PLAN	•				
S123A	BLDG 2 - THIRD FLOOR FRAMING PLAN - AREA A	•				
S123B	BLDG 2 - THIRD FLOOR FRAMING PLAN - AREA B	•		•		
S123C	BLDG 2 - THIRD FLOOR FRAMING PLAN - AREA C	•				
S124	BLDG 2 - ROOF FRAMING PLAN	•				
S124A	BLDG 2 - ROOF FRAMING PLAN - AREA A	•				
S124B	BLDG 2 - ROOF FRAMING PLAN - AREA B	•		•		
S124C	BLDG 2 - ROOF FRAMING PLAN - AREA C	•				
S200	FOUNDATION SECTIONS			•		
S201	FOUNDATION SECTIONS	•	•			
S202	FOUNDATION SECTIONS	•	•			
S300	STEEL FRAMING SECTIONS	•				
S301	STEEL FRAMING SECTIONS	•				
S330	WOOD FLOOR FRAMING SECTIONS	•		•		
S331	WOOD FLOOR FRAMING SECTIONS	•				
S332	WOOD FLOOR FRAMING SECTIONS	•		•		
S333	WOOD FLOOR FRAMING SECTIONS	•				
S340	WOOD ROOF FRAMING SECTIONS	•				
S341	WOOD ROOF FRAMING SECTIONS	•				
S342	WOOD ROOF FRAMING SECTIONS	•				

		BID / PERMIT SET 7-14-2021	PERMIT COMMENTS & 8.17.2021	* FOUNDATION PERMIT 10.11.2021	REVISION - 2.11.2022	REVISION - 2.3.2022				
	UNDERGROUND PLUMBING & ELECTRICAL									
UG101	BLDG 1-A, PARTIAL FIRST FLOOR PLAN - BELOW GRADE									
UG102	BLDG 1-B, PARTIAL FIRST FLOOR PLAN - BELOW GRADE				•					
UG103	BLDG 1-C, PARTIAL FIRST FLOOR PLAN - BELOW GRADE				•					
UG104	BLDG 2-A, PARTIAL FIRST FLOOR PLAN - BELOW GRADE				•					
UG105	BLDG 2-B, PARTIAL FIRST FLOOR PLAN - BELOW GRADE				•					
UG106	BLDG 2-C, PARTIAL FIRST FLOOR PLAN - BELOW GRADE				•					

		BID / PERMIT SET 7.15.2021	PERMIT COMMENTS 8.17.2021	FOUNDATION PERMIT 10.11.2021	REVISION 1 - 2.11.2022	REVISION 2 - 3.1.2022			
	ELECTRICAL								
E001	SITE PLAN - PHOTOMETRIC	•			•				
E001a	SITE PLAN - PHOTOMETRIC	•							
E101	BLDG 1-A, PARTIAL FIRST FLOOR PLAN - ELECTRICAL	•							
E102	BLDG 1-B, PARTIAL FIRST FLOOR PLAN - ELECTRICAL	•							
E102a	BLDG 1-B, PARTIAL FIRST FLOOR PLAN - ELECTRICAL	•	•		•				
E102b	BLDG 1-B, PARTIAL FIRST FLOOR PLAN - ELECTRICAL	•							
E103	BLDG 1-C, PARTIAL FIRST FLOOR PLAN - ELECTRICAL	•							
E104	BLDG 1-A, PARTIAL SECOND FLOOR PLAN - ELECTRICAL	•			•				
E105	BLDG 1-B, PARTIAL SECOND FLOOR PLAN - ELECTRICAL	•							
E106	BLDG 1-C, PARTIAL SECOND FLOOR PLAN - ELECTRICAL	•							
E107	BLDG 1-A, PARTIAL THIRD FLOOR PLAN - ELECTRICAL	•							
E108	BLDG 1-B, PARTIAL THIRD FLOOR PLAN - ELECTRICAL	•							
E109	BLDG 1-C, PARTIAL THIRD FLOOR PLAN - ELECTRICAL	•							
E110	BLDG 1-A, PARTIAL ROOF PLAN - ELECTRICAL	•							
E111	BLDG 1-B, PARTIAL ROOF PLAN - ELECTRICAL	•							
E112	BLDG 1-C, PARTIAL ROOF PLAN - ELECTRICAL	•							
E113	BLDG 2-A, PARTIAL FIRST FLOOR PLAN - ELECTRICAL	•				•			
E114	BLDG 2-B, PARTIAL FIRST FLOOR PLAN - ELECTRICAL	•							
E114a	BLDG 2-B, PARTIAL FIRST FLOOR PLAN - ELECTRICAL	•	•		•				
E115	BLDG 2-C, PARTIAL FIRST FLOOR PLAN - ELECTRICAL	•							
E116	BLDG 2-A, PARTIAL SECOND FLOOR PLAN - ELECTRICAL	•							
E117	BLDG 2-B, PARTIAL SECOND FLOOR PLAN - ELECTRICAL	•							
E118	BLDG 2-C, PARTIAL SECOND FLOOR PLAN - ELECTRICAL	•							
E119	BLDG 2-A, PARTIAL THIRD FLOOR PLAN - ELECTRICAL	•							
E120	BLDG 2-B, PARTIAL THIRD FLOOR PLAN - ELECTRICAL	•							
E121	BLDG 2-C, PARTIAL THIRD FLOOR PLAN - ELECTRICAL	•							
E122	BLDG 2-A, PARTIAL ROOF PLAN - ELECTRICAL	•							
E123	BLDG 2-B, PARTIAL ROOF PLAN - ELECTRICAL	•							
E124	BLDG 2-C, PARTIAL ROOF PLAN - ELECTRICAL	•							
E201	TYPICAL UNIT PLANS - ELECTRICAL	•			•				
E202	TYPICAL UNIT PLANS - ELECTRICAL	•	•		•				
E203	TYPICAL UNIT PLANS - ELECTRICAL	•			•				
E301	ELECTRICAL DETAILS	•							
E302	ELECTRICAL DETAILS	•							
E303	ELECTRICAL DETAILS	•							
E304	ELECTRICAL DETAILS	•	•			•			
E305	ELECTRICAL DETAILS	•			•	•			
E306	ELECTRICAL DETAILS	•							

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		BID / PERMIT SET 7-15-2021	PERMIT COMMENTS & 7/2021	FOUNDATION PERMIT 10-11-2021	REVISION 1 - 2.11.2022	REVISION 2 - 3.1.2022				
T101	TELECOM	•	•	•						
T102	BUILDING A FIRST FLOOR PLAN - TELECOM	•	•	•						
T201	BUILDING A PARTIAL FIRST FLOOR PLAN - TELECOM	•	•	•						
T202	TELECOM DETAILS	•	•	•						



2100 AND 2150 NW LOWENSTEIN DR.
LEE'S SUMMIT, MISSOURI 64081



DATE: 7.15.202

Revisions

FOUNDATION PERMIT 10.11.20

Revision 2 3.1.20

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TR : PROJECT NO. 20.001

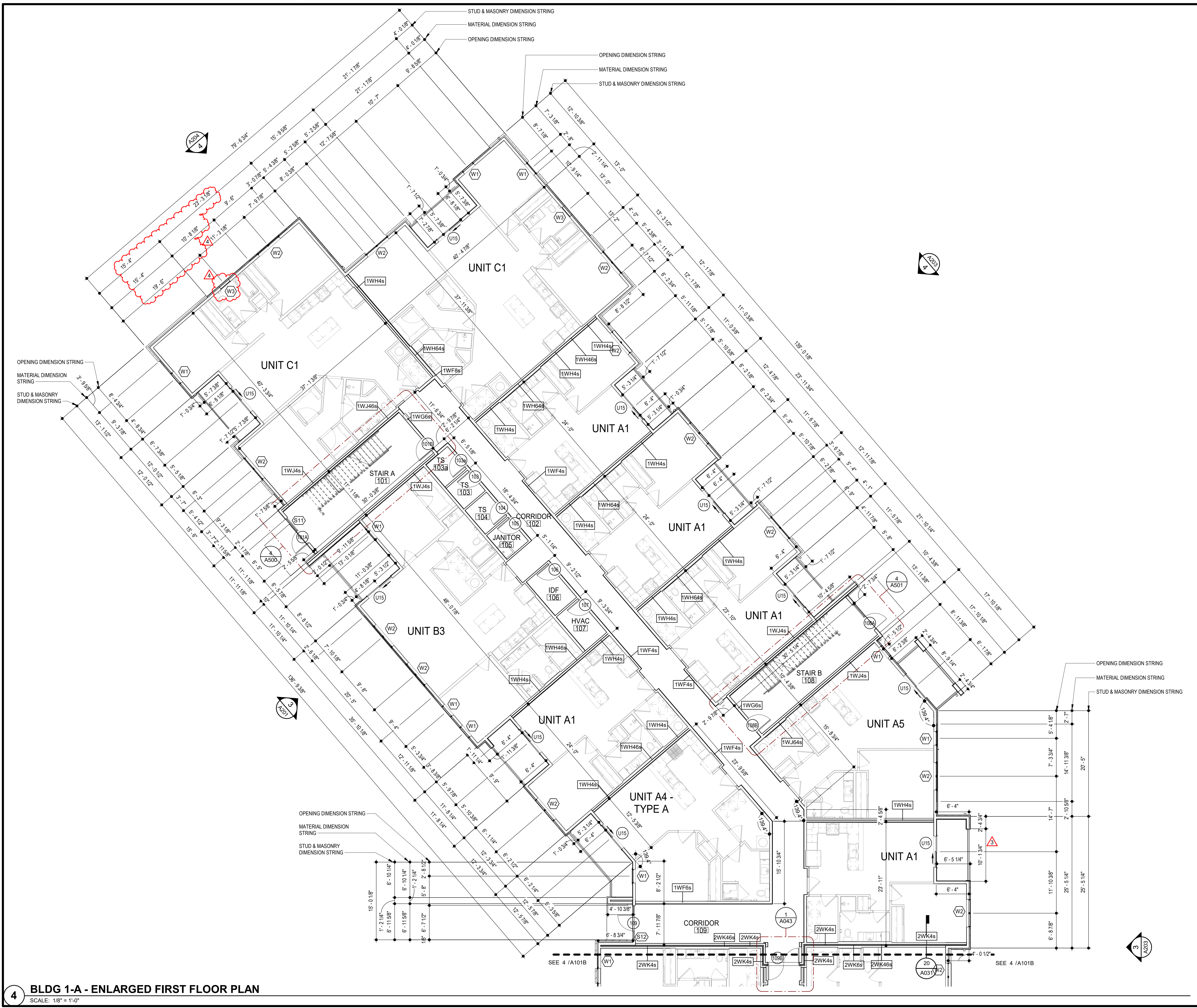
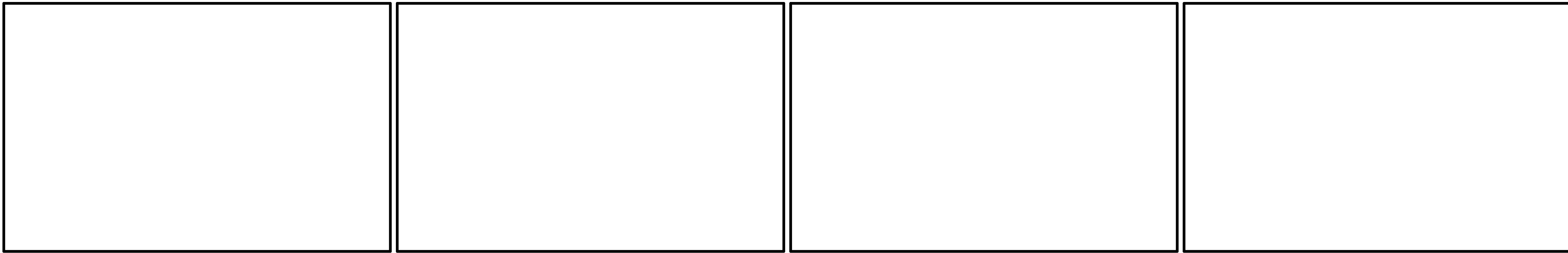
SHEET NO.

A0001

ADD


7001

SHEET INDEX



GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY.
B. FOR DOOR SCHEDULE SEE SHEET A040 XXX
C. FOR WINDOW SCHEDULE SEE SHEET A060 (X)
D. FOR PARTITION TYPES SEE SHEET A030 (X)
E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A400 THROUGH A415).
F. GENERAL CONTRACTOR WILL FURNISH & INSTALL 5 LB MULTIPURPOSE DRY CHEMICAL 2A-10B C RATED FIRE EXTINGUISHERS w/ MOUNTING BRACKETS & ACCESSORIES @ 4'-0" A-F-F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT IN PUBLIC SPACES AND CORRIDORS. A MINIMUM RATED 1A-10B C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT.
G. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 30'-0" MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50'-0" IN EITHER DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING/FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
H. UNLESS NOTED OTHERWISE, CORRIDOR PARTITION TYPE IN RESIDENTIAL AREA TO BE [1WF6s] UNIT ENTRY RECESS PARTITION TYPE TO BE [1WH4s] AND PARTITION TYPE BEHIND REFRIGERATOR TO BE [1WF4s].
I. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS.
J. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.
K. NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD.
L. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL, STUB-UPS, SPOT GRADING AT PERIMETER FOUNDATIONS.
M. THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
N. * ASSUMED FINISH FLOOR ELEVATION = 100.00" VERIFY ACTUAL FINISH FLOOR ELEVATION WITH CIVIL DRAWINGS.
O. GENERAL CONTRACTOR TO CAULK AND SEAL EXPANSION JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE - SEE MASONRY SPECIFICATIONS.
P. GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIO/VISUAL DEVICES AND PULL STATIONS WHERE REQUIRED.
Q. ALL WINDOW AND SLIDER DOOR DIMENSIONS ARE TO CENTERLINE



3.1.2022

ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

GENERAL CONTRACTOR

MECHANICAL ENGINEER

PLUMBING ENGINEER

ELECTRICAL ENGINEER

TRI ARCHITECTS

BOB D CAMPBELL & COMPANY


SM ENGINEERING

BRINKMANN CONSTRUCTORS

LATIMER SOMMERS & ASSOCIATES

LATIMER SOMMERS & ASSOCIATES

LATIMER SOMMERS & ASSOCIATES



The Signature at West Pryor

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LEE'S SUMMIT, MISSOURI 64081



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DATE: 7.15.2021

REVISIONS

3	Revision 1	2.11.2022
4	Revision 2	3.1.2022

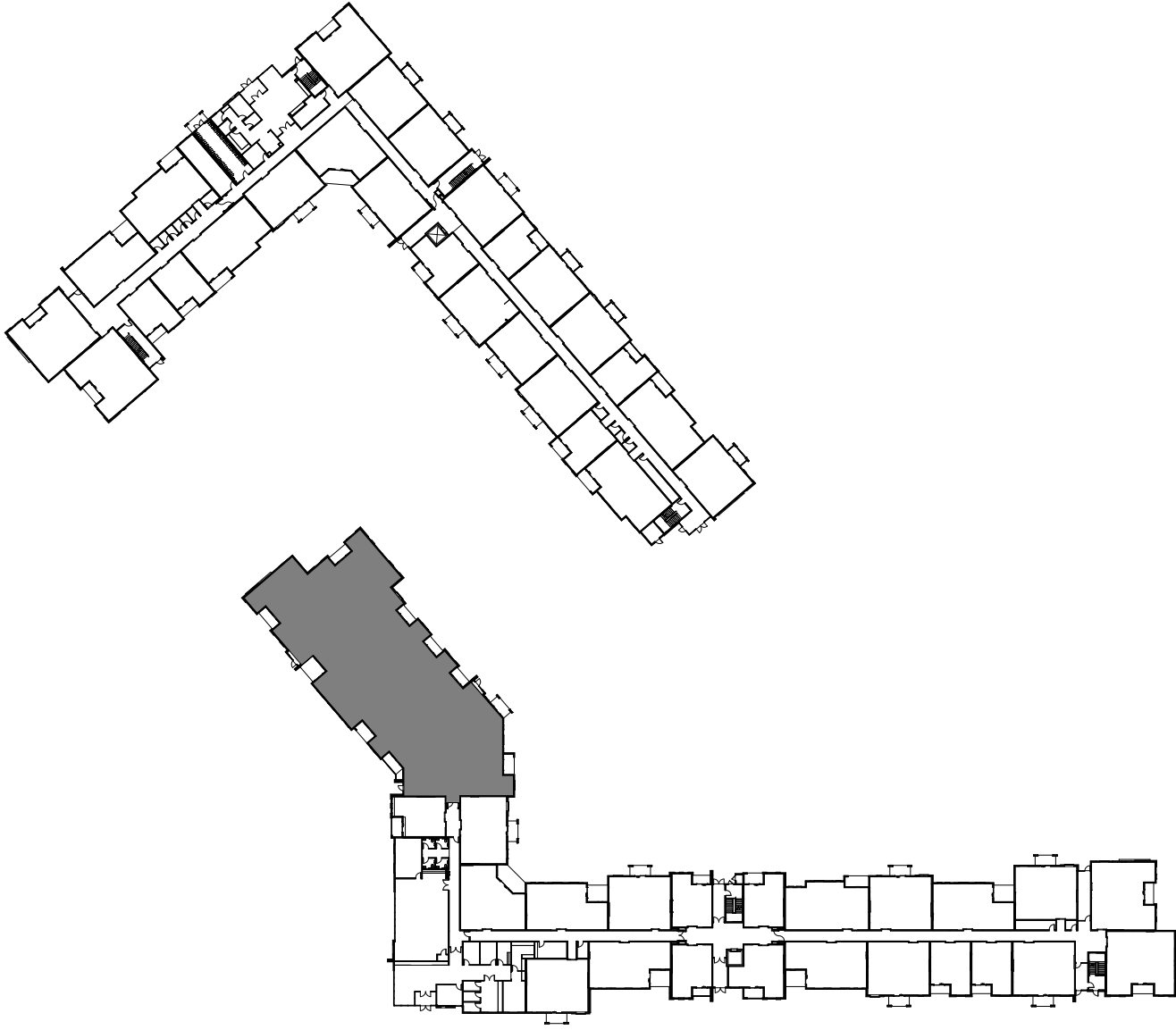
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TR,i PROJECT NO. 20-001

SHEET NO.

A101A

BLDG 1-A - ENLARGED FIRST FLOOR PLAN



LOCATION PLAN



TRJ ARCHITECTS
BOB D CAMPBELL & COMPANY
SM ENGINEERING
BRINKMANN CONSTRUCTORS
LATIMER SOMMERS &
ASSOCIATES
LATIMER SOMMERS &
ASSOCIATES
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I. COORDINATE LOCATION OF BEARING WALLS WITHIN DWELLING UNITS WITH UNIT PLANS.

J. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.

K. NO PENETRATIONS WITHIN 4" OF FIRE WALLS. VERIFY IN FIELD.

L. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR, SINK, UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL, STUB-UPS, SPOT GRADING AT PERIMETER FOUNDATIONS

M. THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.

N. * ASSUMED FINISH FLOOR ELEVATION = 100.00" VERY ACTUAL FINISH FLOOR ELEVATION WITH CIVIL DRAWINGS.

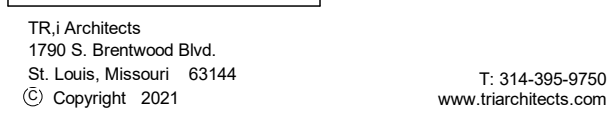
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P. GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIOVISUAL DEVICES AND PULL STATIONS WHERE REQUIRED.

Q. WINDOW AND SLIDER DOOR DIMENSIONS ARE TO CENTERLINE



2100 AND 2150 NW LOWENSTEIN DR.
LEE'S SUMMIT, MISSOURI 64081



DATE: 7.15.2021

REVISIONS

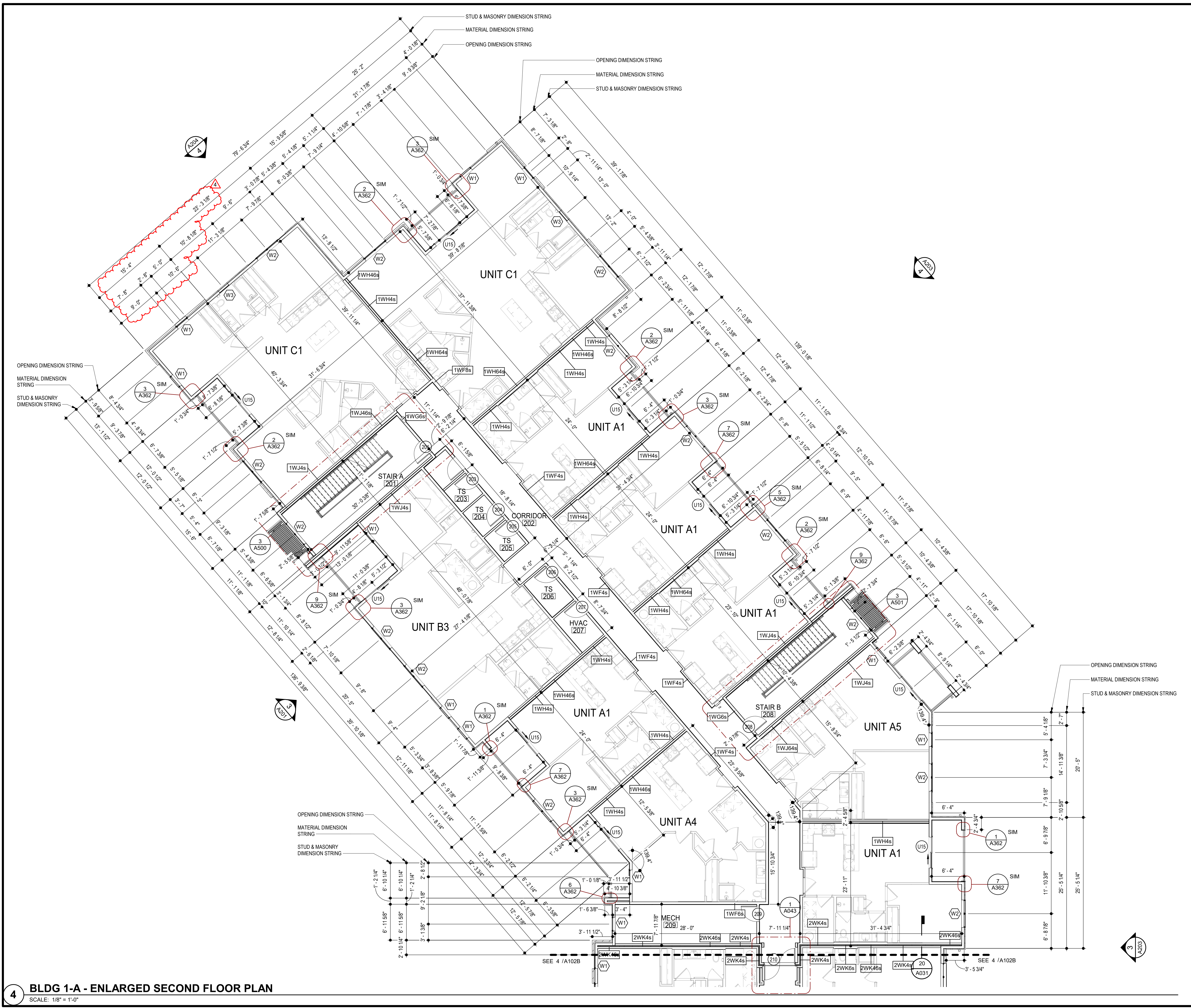
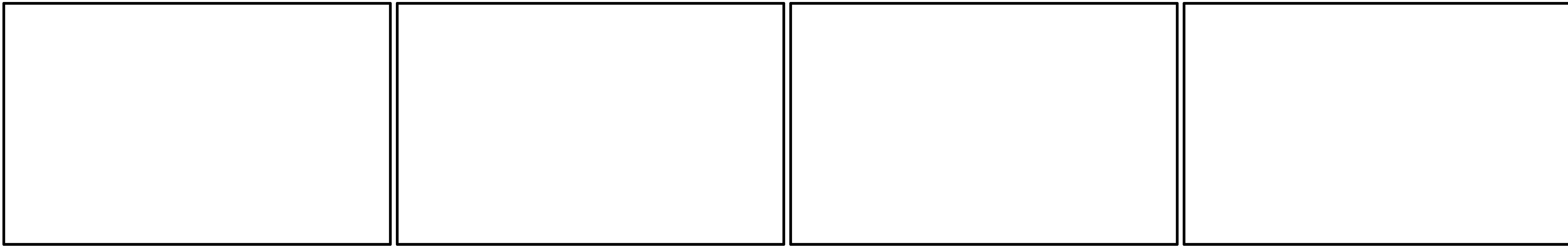
4	Revision 2	3.1.2022
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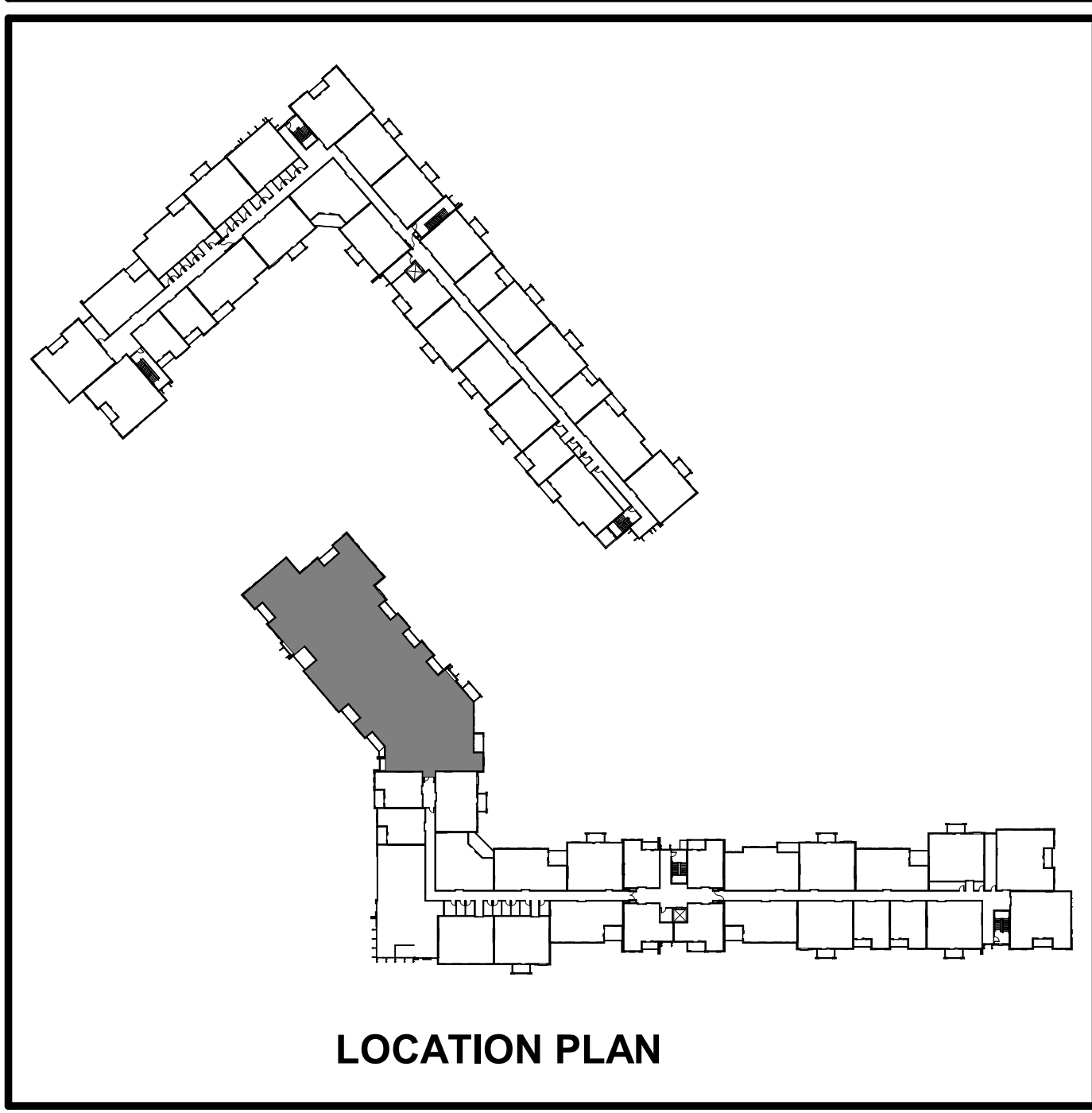
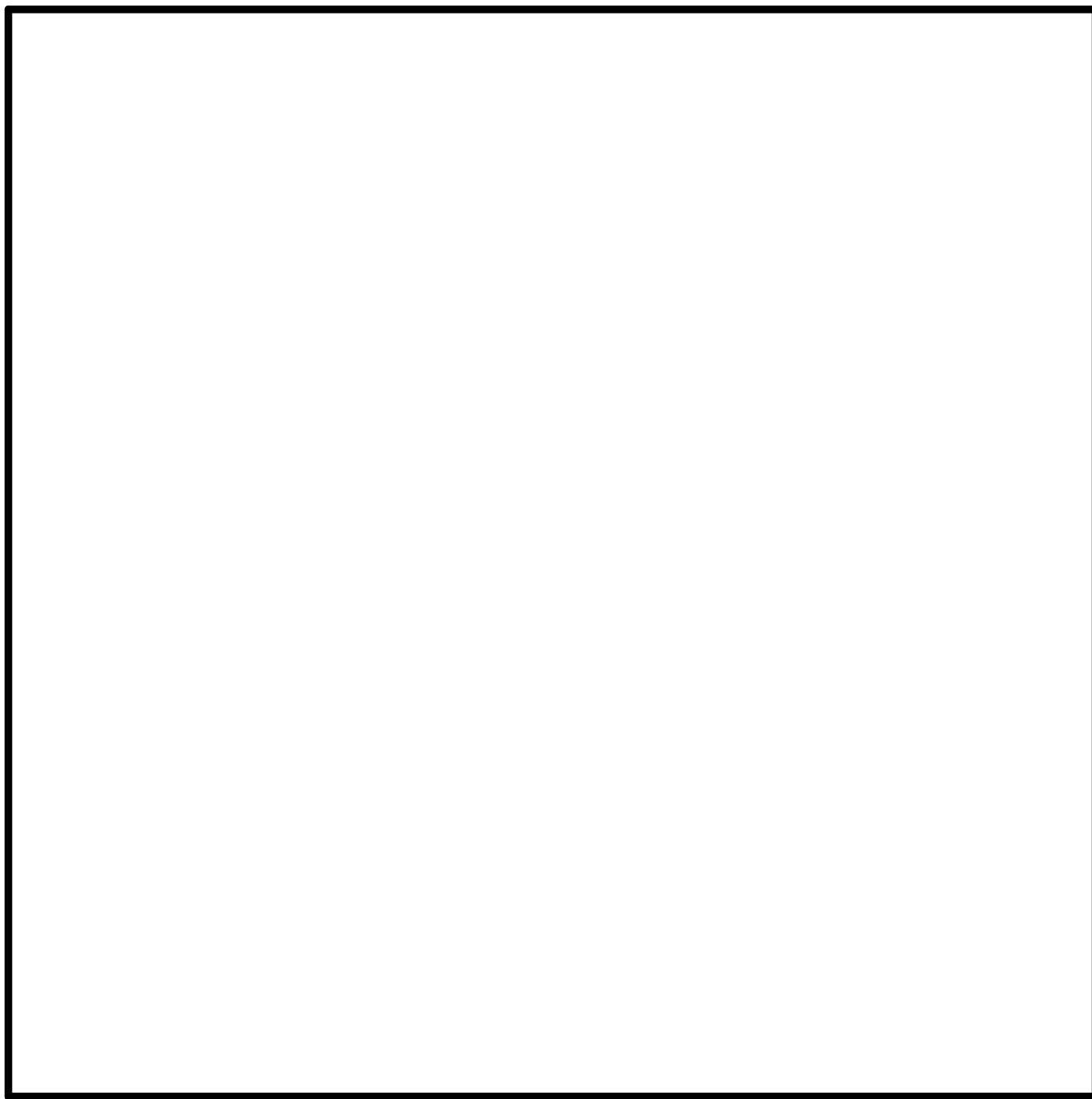
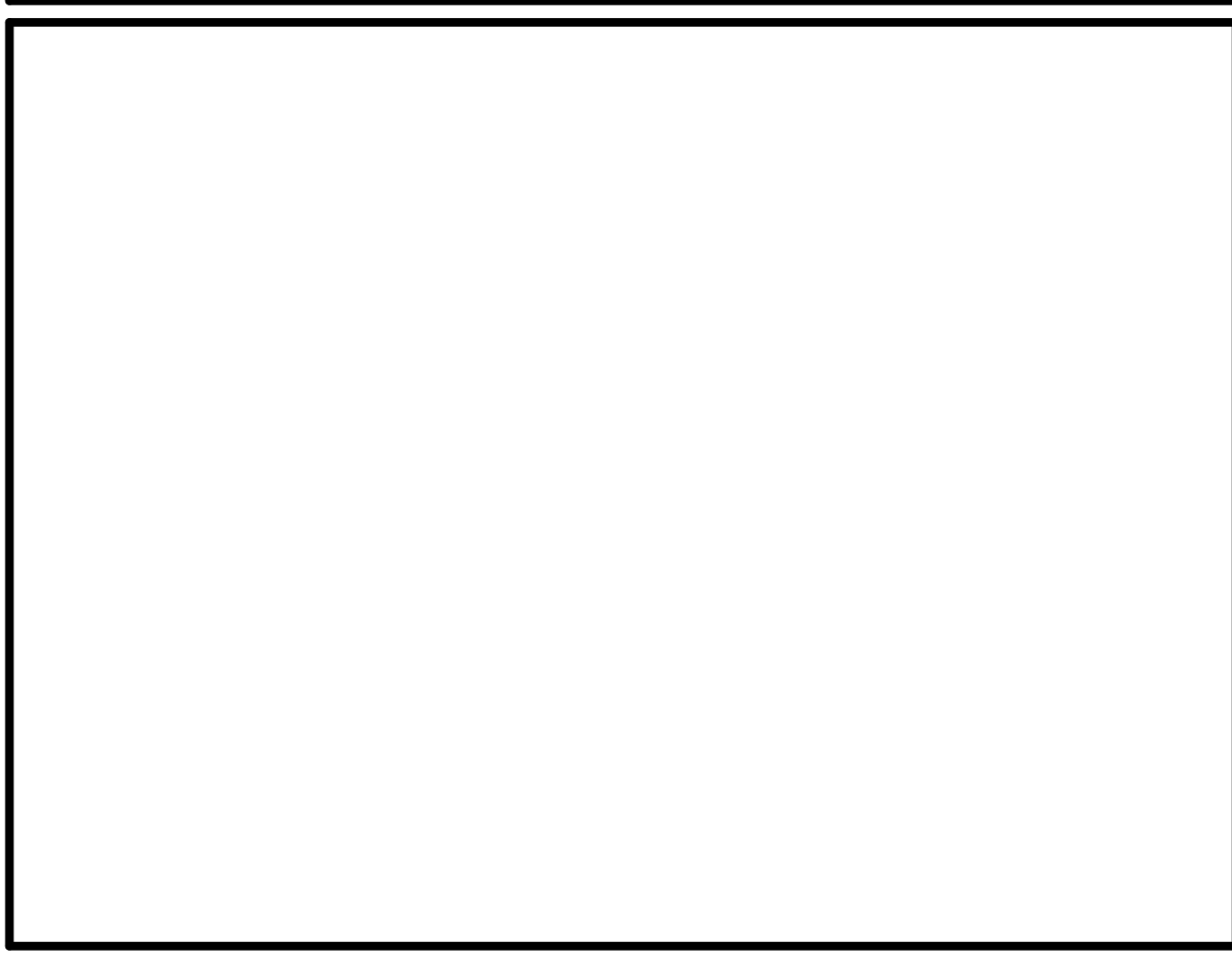
TR,i PROJECT NO. 20-001


SHEET NO.

A101D
BLDG 1-D - ENLARGED FIRST FLOOR
PLAN



- ### GENERAL NOTES
- A. DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY.
- B. FOR DOOR SCHEDULE SEE SHEET A040 XXX
- C. FOR WINDOW SCHEDULE SEE SHEET A060 (X)
- D. FOR PARTITION TYPES SEE SHEET A030 (X)
- E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A400 THROUGH A415).
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- H. UNLESS NOTED OTHERWISE, CORRIDOR PARTITION TYPE IN RESIDENTIAL AREA TO BE [1WF6] UNIT ENTRY RECESS PARTITION TYPE TO BE [1WA4] AND PARTITION TYPE BEHIND REFRIGERATOR TO BE [1WF4].
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3.1.2022

ARCHITECT
STRUCTURAL ENGINEER
CIVIL ENGINEER
GENERAL CONTRACTOR
MECHANICAL ENGINEER
PLUMBING ENGINEER
ELECTRICAL ENGINEER

TRI ARCHITECTS
BOB D CAMPBELL & COMPANY
SM ENGINEERING
BRINKMANN CONSTRUCTORS
LATIMER SOMMERS & ASSOCIATES
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The Signature at West Pryor

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DATE: 7.15.2021

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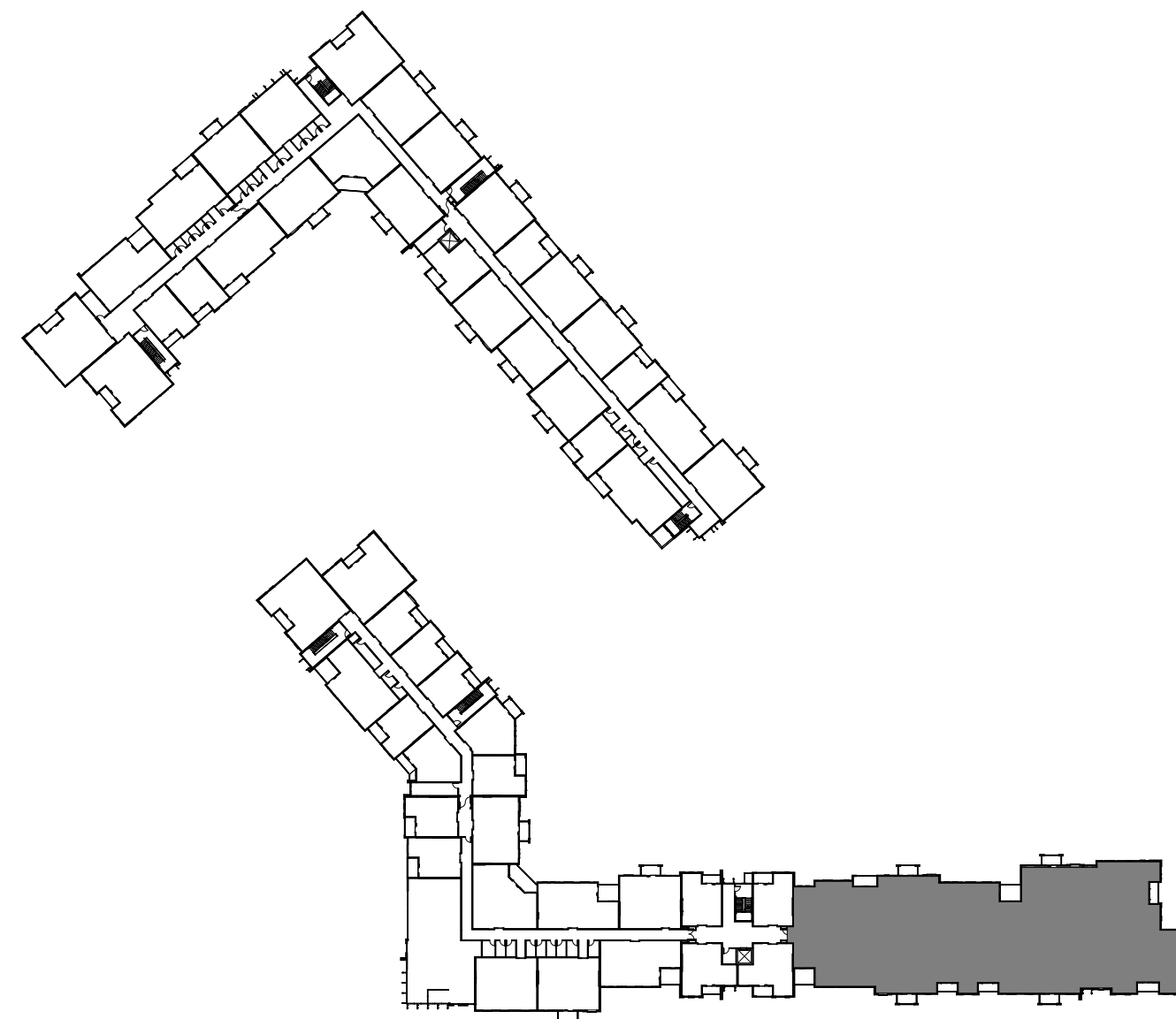
NO.	REVISION	DATE
4	Revision 2	3.1.2022

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TR,i PROJECT NO. 20-001

SHEET NO. A102A

BLDG 1-A - ENLARGED SECOND FLOOR PLAN



LOCATION PLAN

GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY.
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- C. FOR WINDOW SCHEDULE SEE SHEET A060 (X)
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ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

GENERAL CONTRACTOR

MECHANICAL ENGINEER

PLUMBING ENGINEER

ELECTRICAL ENGINEER

TR,i ARCHITECTS

BOB D CAMPBELL & COMPANY


SM ENGINEERING

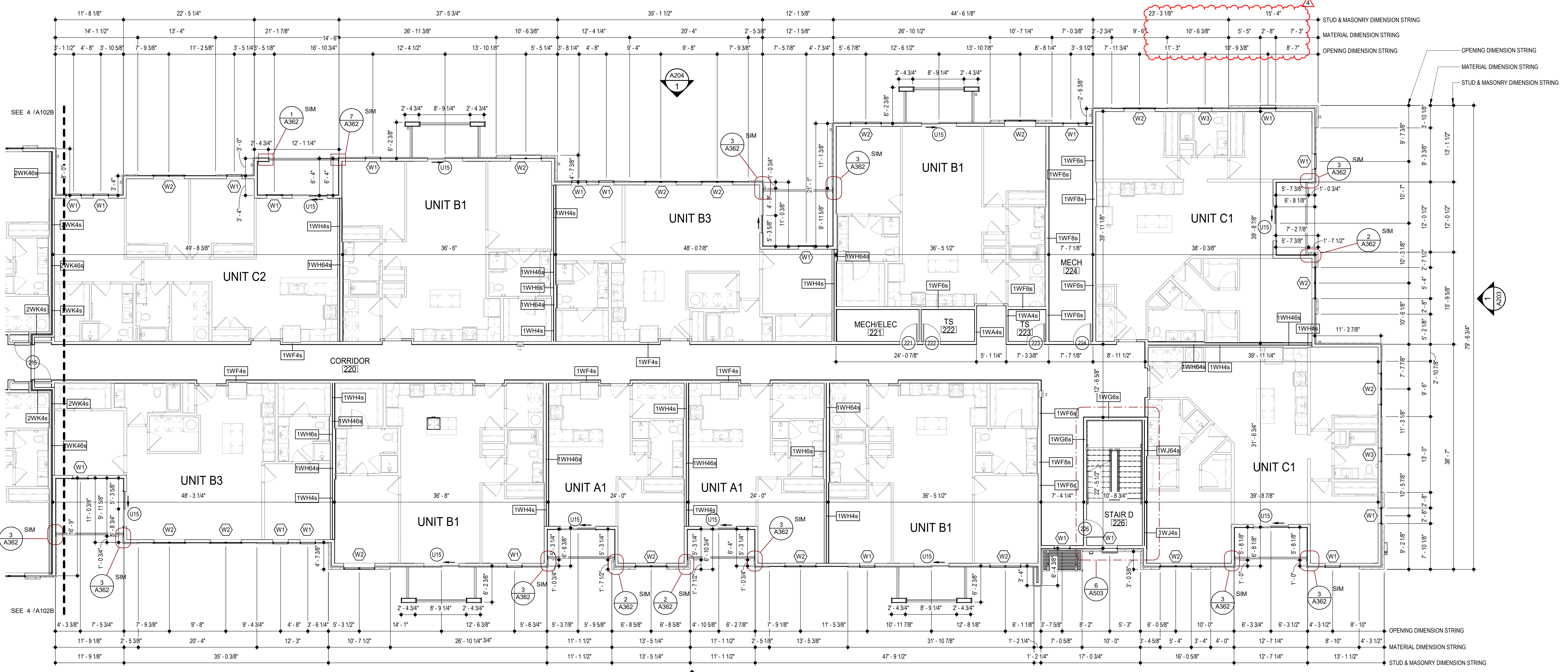
BRINKMANN CONSTRUCTORS

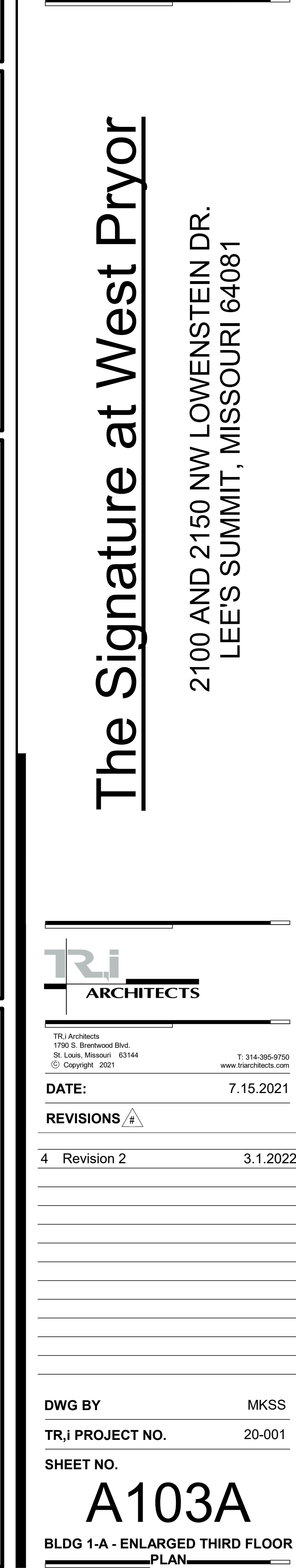
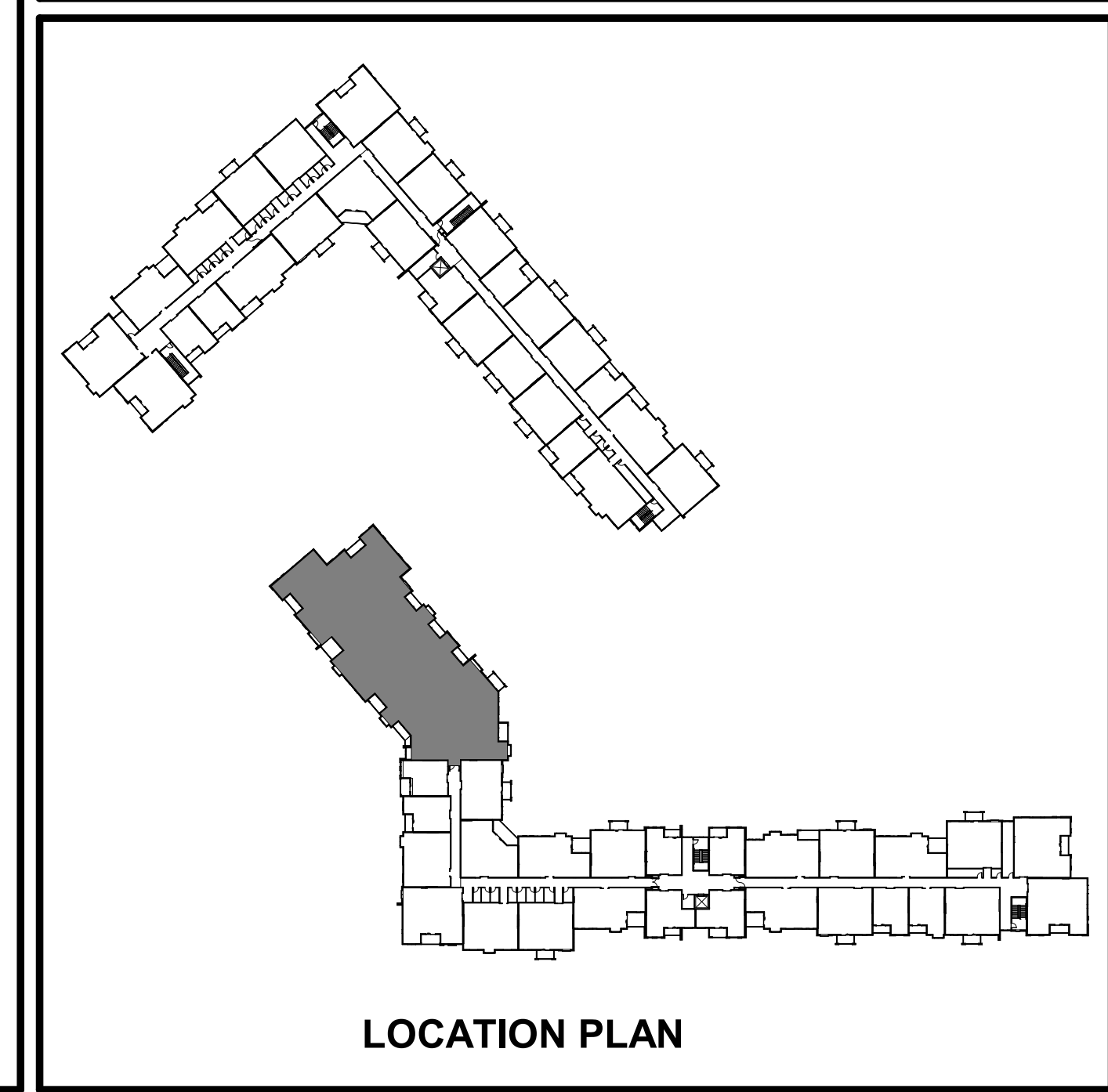
LATIMER SOMMERS & ASSOCIATES

LATIMER SOMMERS & ASSOCIATES

3.1.2022

 **TR,i** ARCHITECTS
DEVELOPMENT





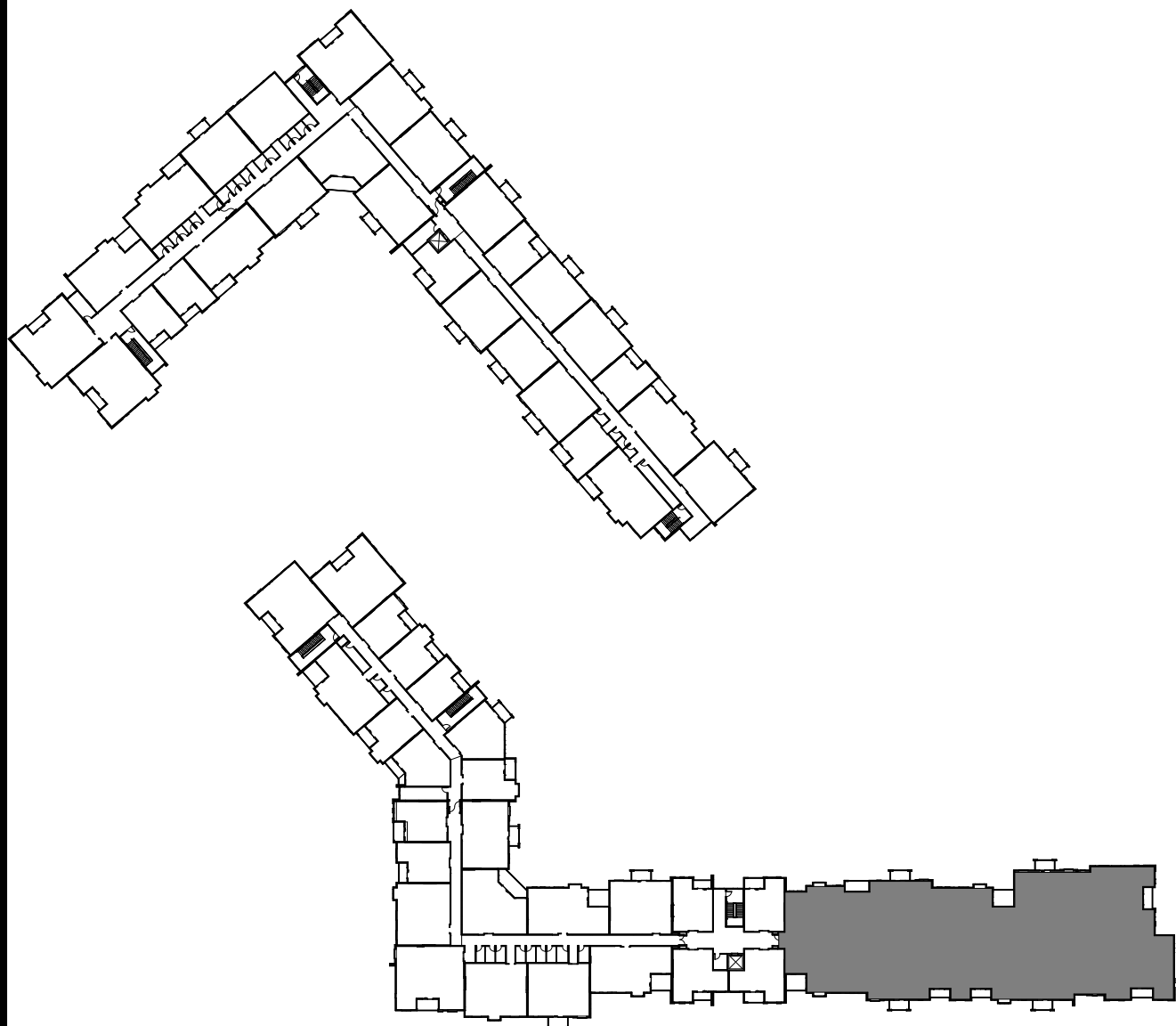


ARCHITECT	STRUCTURAL ENGINEER	CIVIL ENGINEER	GENERAL CONTRACTOR	MECHANICAL ENGINEER	PLUMBING ENGINEER	ELECTRICAL ENGINEER
TR,I ARCHITECTS	BOB D CAMPBELL & COMPANY	SM ENGINEERING	BRINKMANN CONSTRUCTORS	LATIMER SOMMERS & ASSOCIATES	LATIMER SOMMERS & ASSOCIATES	LATIMER SOMMERS & ASSOCIATES

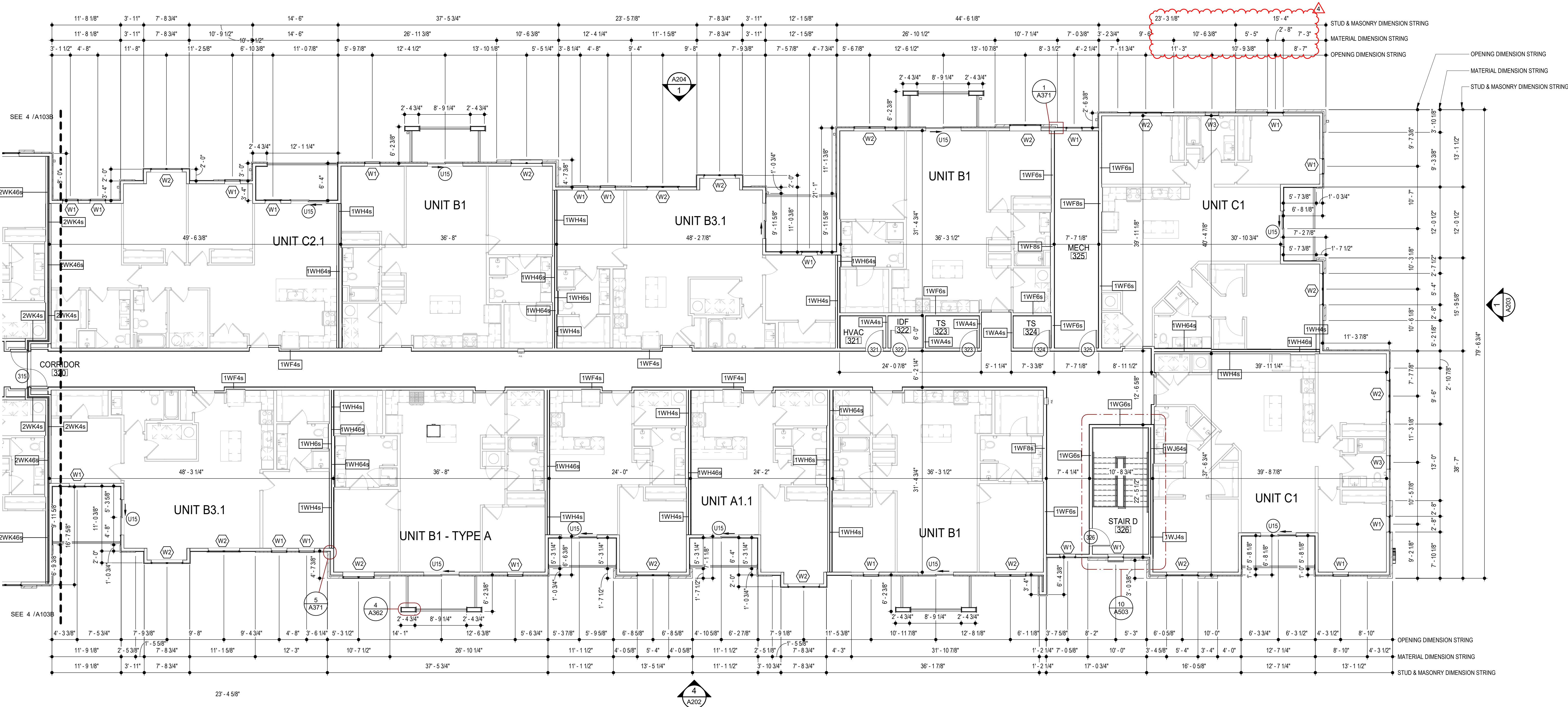


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LOCATION PLAN



The Signature at West Pryor

2100 AND 2150 NW LOWENSTEIN DR.
LEE'S SUMMIT, MISSOURI 64081



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DATE: 7.15.2021

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4 Revision 2 3.1.2022

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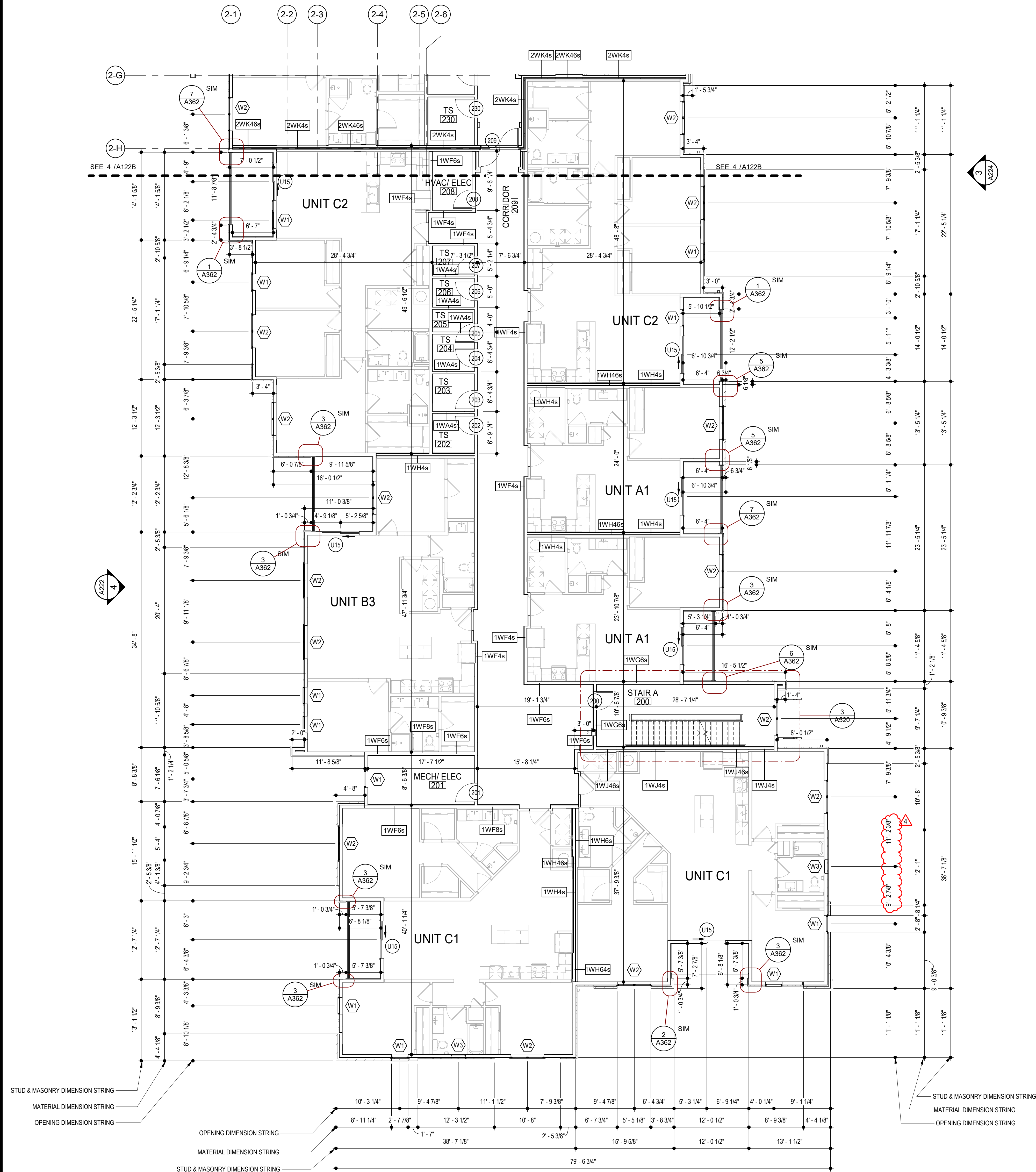
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BLDG 1-D - ENLARGED THIRD FLOOR PLAN



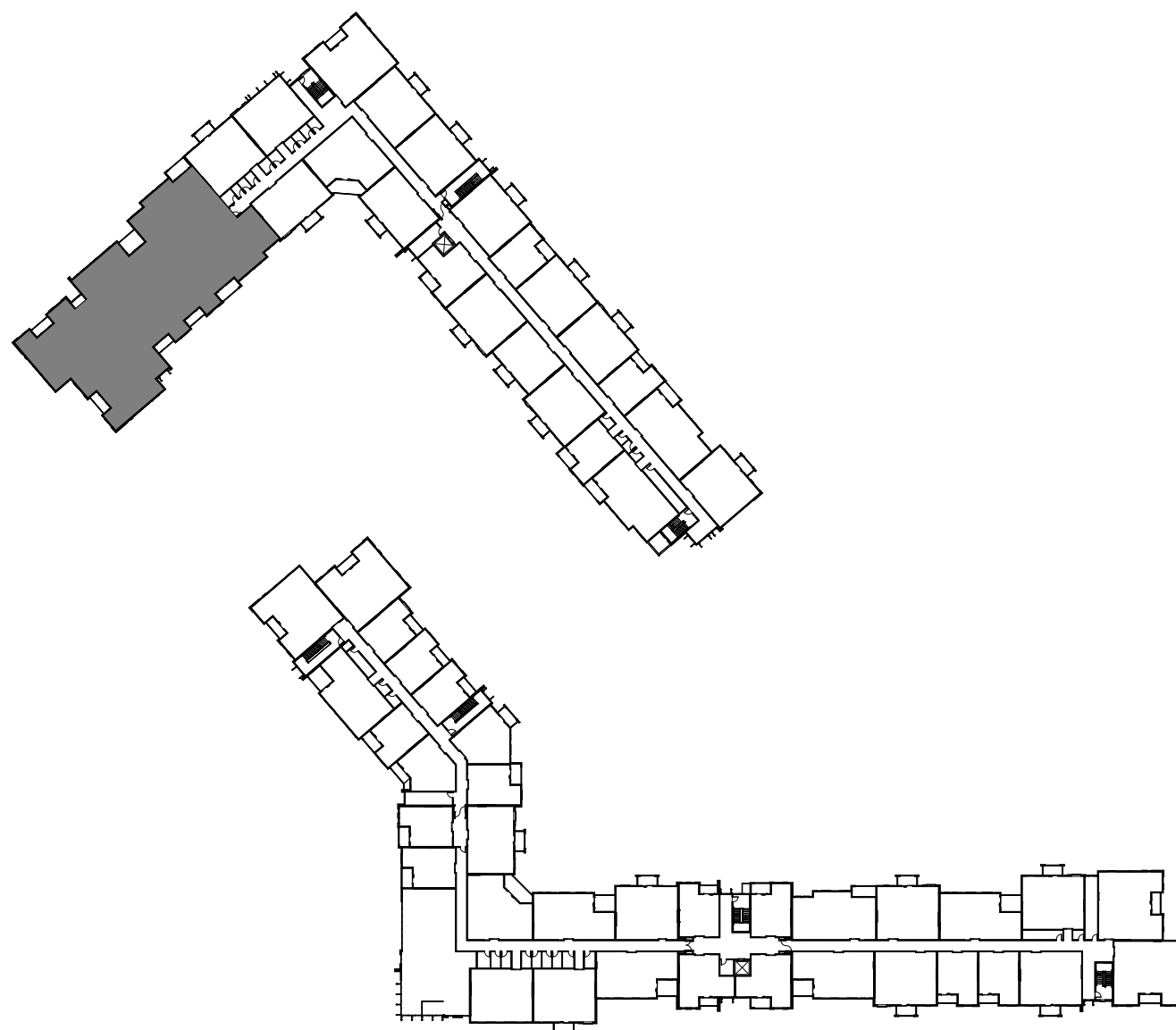
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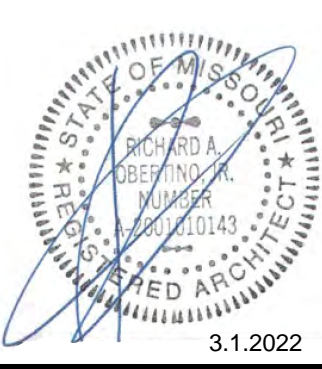
BLDG 2-A - ENLARGED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

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LOCATION PLAN



3.1.2022

ARCHITECT

STRUCTURAL ENGINEER

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PLUMBING ENGINEER

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TRI ARCHITECTS

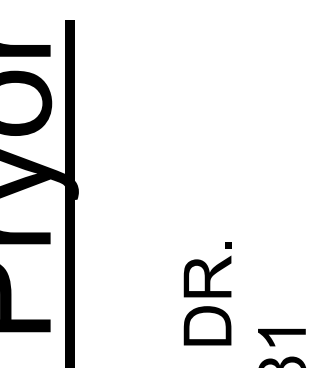
BOB D CAMPBELL & COMPANY

SM ENGINEERING

BRINKMANN CONSTRUCTORS

LATIMER SOMMERS & ASSOCIATES

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3.1.2022

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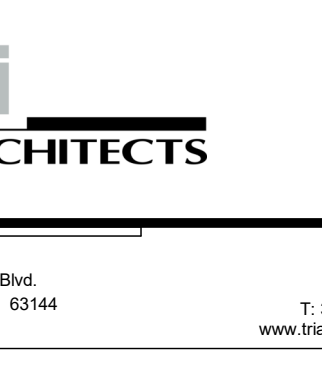
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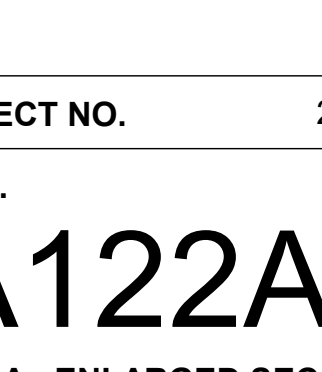
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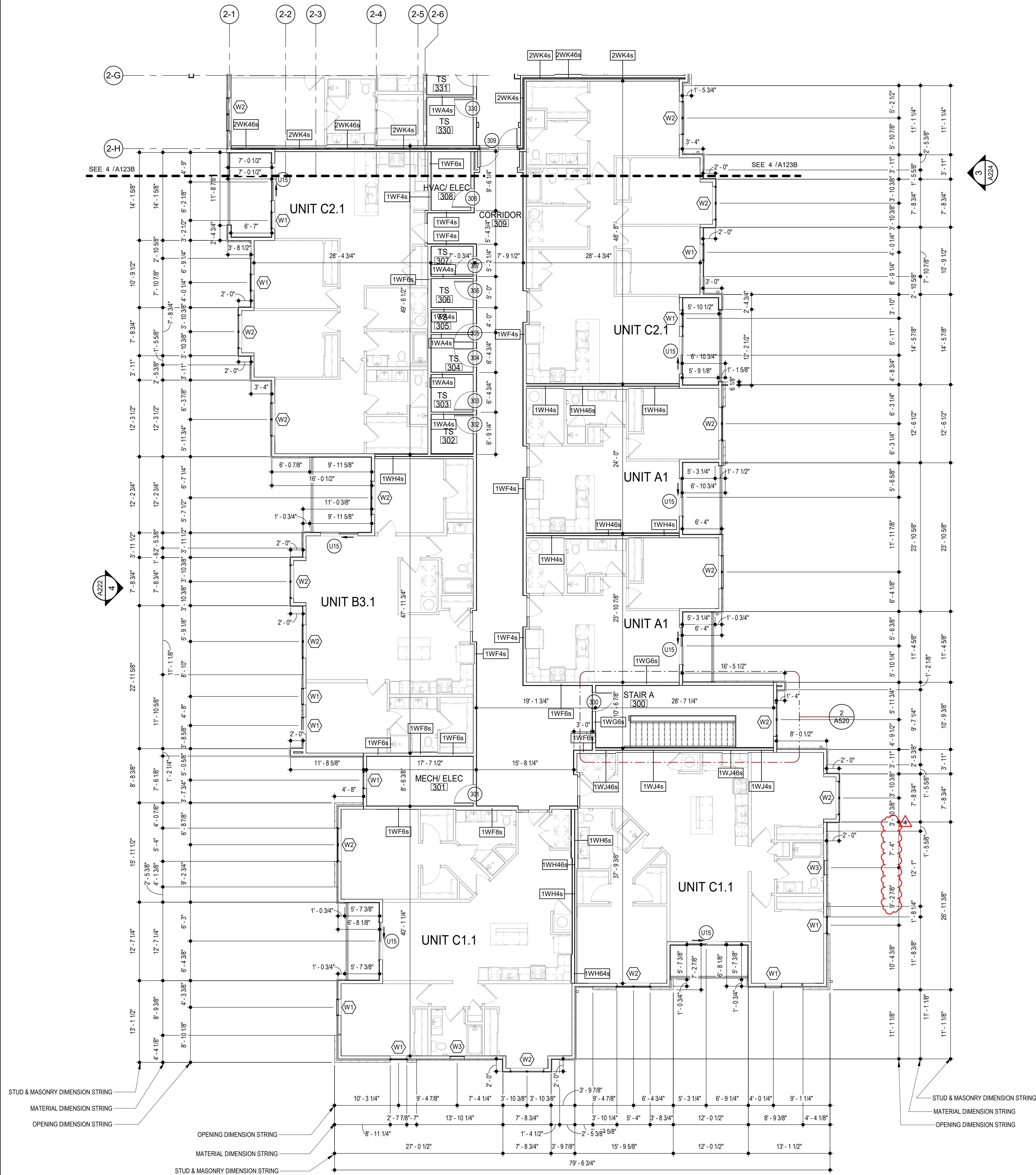
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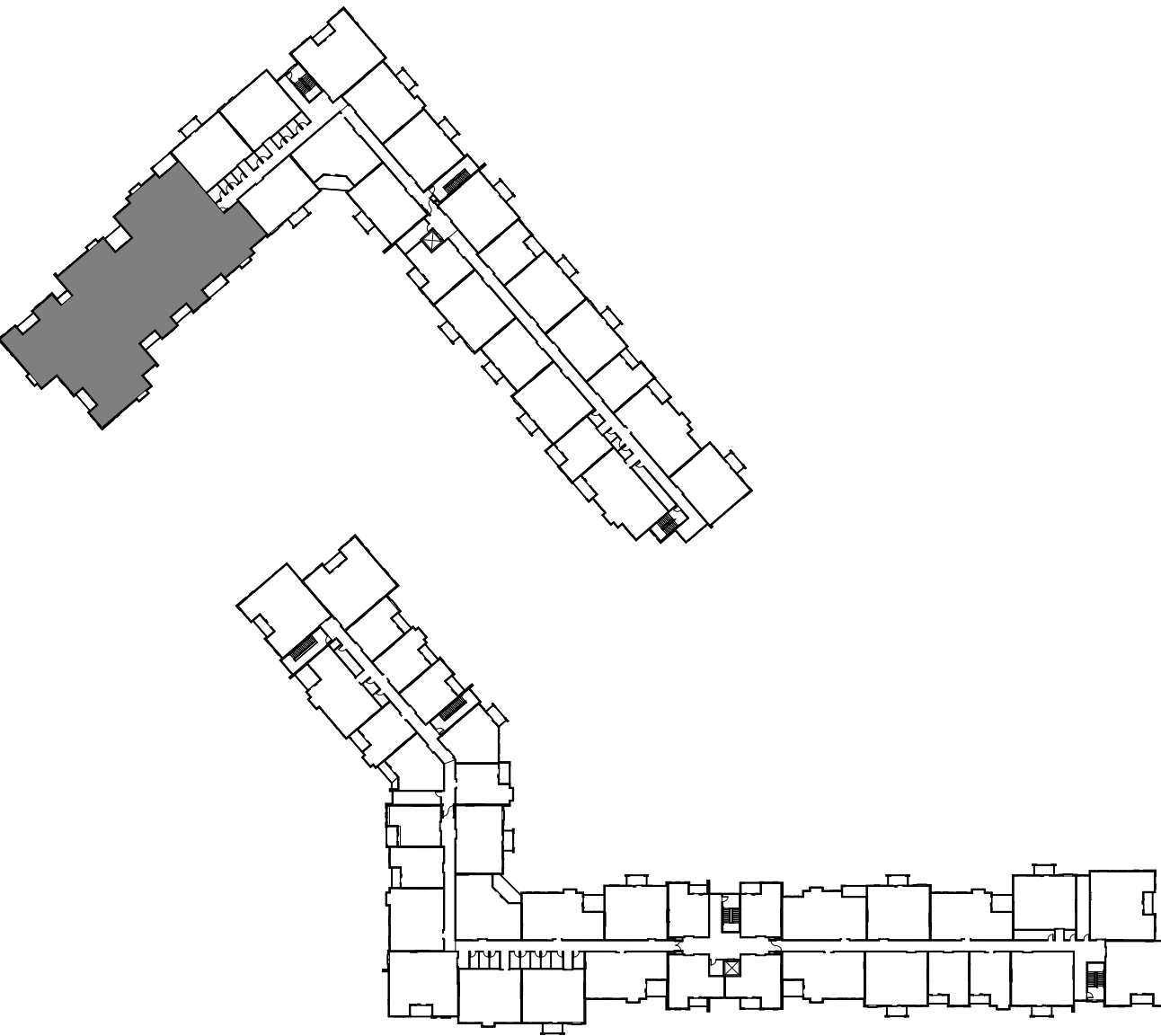
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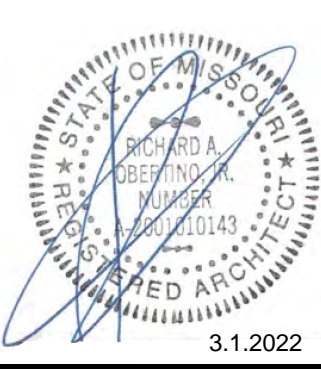
BLDG 2-A - ENLARGED THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

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- CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSION TO 30'-0" MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50'-0" IN EITHER DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING/FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
- UNLESS NOTED OTHERWISE, CORRIDOR PARTITION TYPE IN RESIDENTIAL AREA TO BE [1WF6s] UNIT ENTRY RECESS PARTITION TYPE TO BE [1WA4s] AND PARTITION TYPE BEHIND REFRIGERATOR TO BE [1WF4s]
- COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS.
- REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.
- NO PENETRATIONS WITHIN 4" OF FIRE WALLS. VERIFY IN FIELD.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL, STUB-UPS, SPOT GRADING AT PERIMETER FOUNDATIONS.
- THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
- * ASSUMED FINISH FLOOR ELEVATION = 100.00" VERIFY ACTUAL FINISH FLOOR ELEVATION WITH CIVIL DRAWINGS.
- GENERAL CONTRACTOR TO CAULK AND SEAL EXPANSION JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE - SEE MASONRY SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIO/VISUAL DEVICES AND PULL STATIONS WHERE REQUIRED.
- ALL WINDOW AND SLIDER DOOR DIMENSIONS ARE TO CENTERLINE



LOCATION PLAN



3.1.2022

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STRUCTURAL ENGINEER

CIVIL ENGINEER

GENERAL CONTRACTOR

MECHANICAL ENGINEER

PLUMBING ENGINEER

ELECTRICAL ENGINEER

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4 Revision 2 3.1.2022

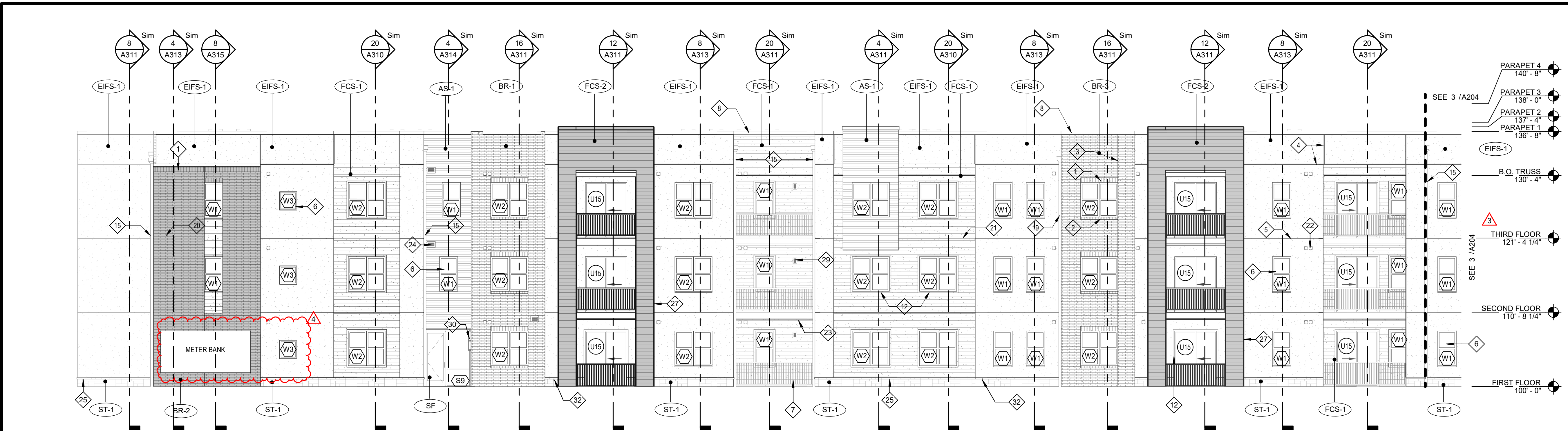
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TR,I PROJECT NO. 20-001

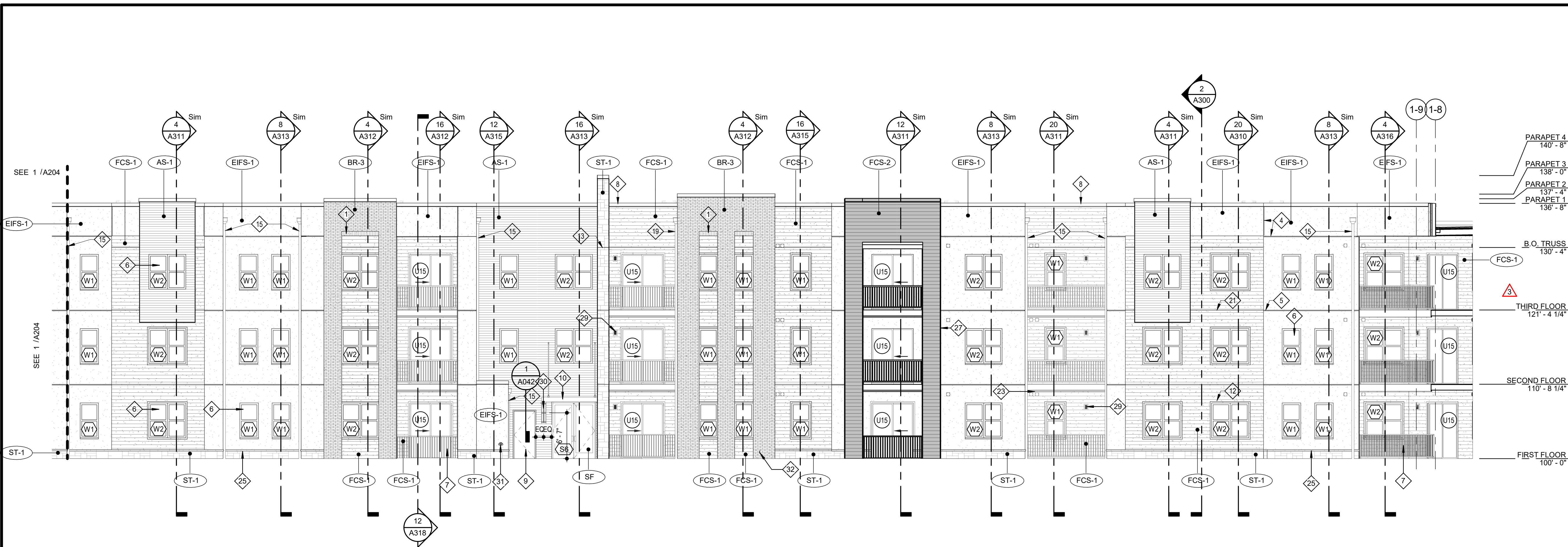
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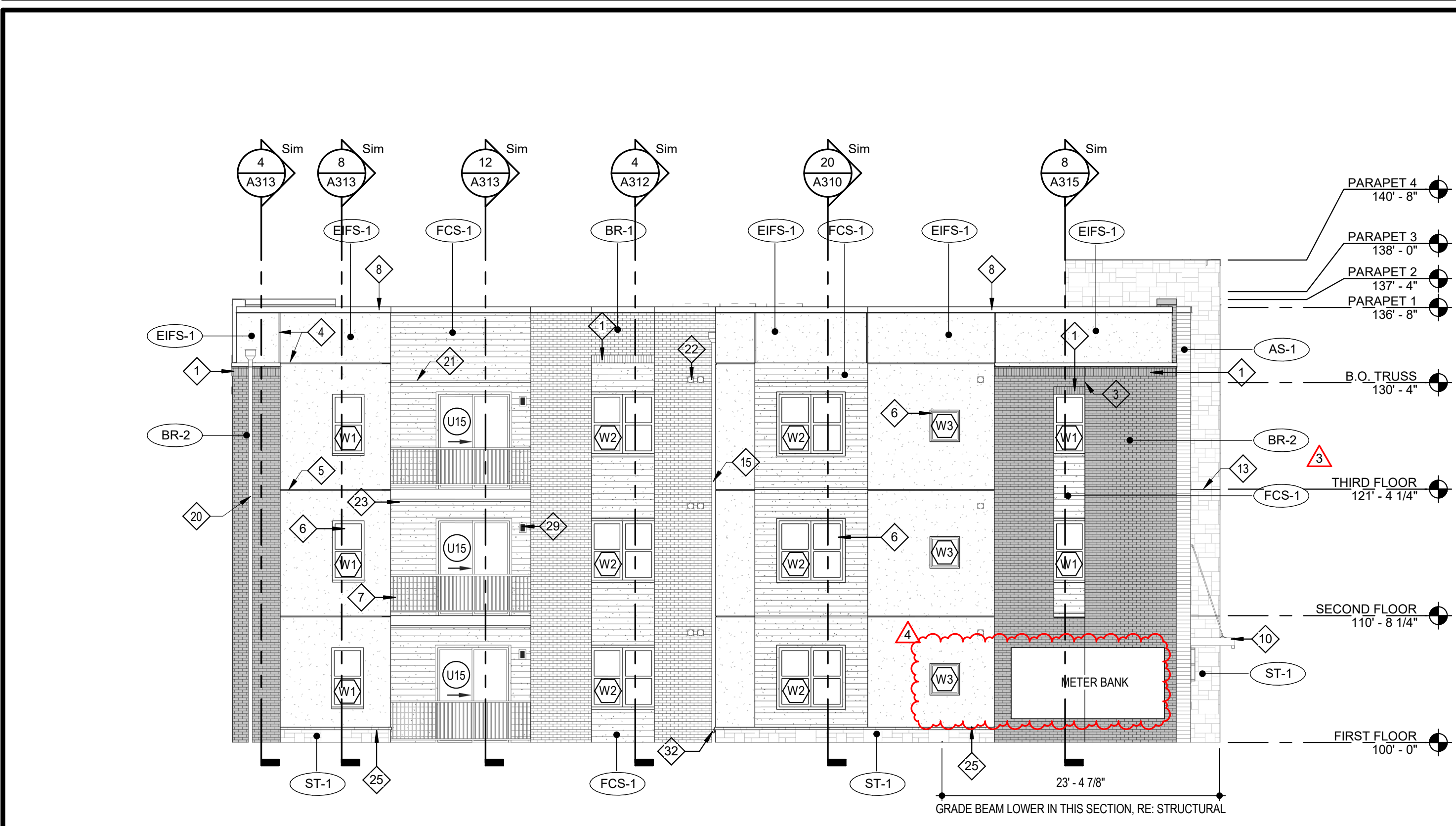
BLDG 2-A - ENLARGED THIRD FLOOR PLAN



1 BLDG 1 NORTH ELEVATION - EAST HALF
SCALE: 1/8" = 1'-0"



3 BLDG 1 NORTH ELEVATION - WEST HALF
SCALE: 1/8" = 1'-0"



4 BLDG 1 NORTHWEST ELEVATION - ENLARGED
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

	EIFS	MFR: DRYVIT, <u>COLOR</u> : MOONLIGHT, <u>TEXTURE</u> : SAND PEBBLE
	ALUMINUM SIDING	MFR: FASTPLANK, <u>COLOR</u> : DARK WALNUT
	FIBER CEMENT SIDING	MFR: JAMES HARDIE, <u>SIZE</u> : 5' <u>COLOR</u> : AGED PEWTER FCT-1, <u>TRIM THICKNESS</u> : 1" - <u>WIDTH</u> : 3 1/2"
	FIBER CEMENT SIDING	MFR: JAMES HARDIE, <u>SIZE</u> : 5' <u>COLOR</u> : IRON GRAY FCT-2, <u>TRIM THICKNESS</u> : 1" - <u>WIDTH</u> : 3 1/2"
	FIBER CEMENT TRIM	MFR: JAMES HARDIE, <u>THICKNESS</u> : 1", <u>WIDTH</u> : 3 1/2" <u>COLOR</u> : ARTIC WHITE
	BRICK	MFR: HEBRON, <u>COLOR</u> : SEA GRAY #6, <u>SIZE</u> : MODULAR
	BRICK	MFR: ENDICOTT, <u>COLOR</u> : DARK IRONSPOT, <u>SIZE</u> : MODULAR
	BRICK	MFR: HEBRON, <u>COLOR</u> : MAROON, <u>SIZE</u> : MODULAR, <u>TEXTURE</u> : SMOOTH
	STONE VENEER	MFR: ELBORADO STONE, <u>SERIES</u> : LEDGECUT, <u>COLOR</u> : BIRCH
	STOREFRONT	<u>COLOR</u> : BLACK <u>GLASS</u> : 1" CLEAR LOW-E GLASS, RE: SPEC

- ### KEYED NOTES
- BRICK SOLDIER COURSE PROJECTED 1/2".
 - BRICK ROWLOCK COURSE.
 - MASONRY VENEER CONTROL JOINT
 - EIFS REVEAL.
 - EIFS EXPANSION JOINT AT EACH FLOOR LEVEL, COORDINATE WITH MANUF. DETAILS AND REQUIREMENTS.
 - VINYL WINDOW SYSTEM (BLACK).
 - PREFINISHED GUARDRAIL (BLACK).
 - PRE-FINISHED SHEET METAL COPING. COLOR TO MATCH ADJACENT MATERIAL (EIFS, FIBER CEMENT SIDING, STONE, ALUMINUM SIDING).
 - HOLLOW METAL DOOR AND FRAMES TO BE PAINTED TO MATCH ADJACENT FINISH.
 - PREMANUFACTURED ALUM. CANOPY - COLOR BLACK.
 - BRAKE METAL TO MATCH STOREFRONT.
 - 3 1/2" WIDE HARDIE TRIM, TO MATCH ADJACENT FIBER CEMENT SIDING. TRIM AT SLIDER DOORS IN EIFS TO BE FCT-3
 - STONE VENEER EXPANSION JOINT AT EACH FLOOR LEVEL
 - 9 1/4" WIDE HARDIE TRIM TO MATCH ADJACENT FIBER CEMENT SIDING
 - PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH EIFS-1
 - PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH FCS-1
 - PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH FCS-2
 - PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH AS-1
 - PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH BR-2
 - PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH BR-3
 - SIDING EXPANSION JOINT AT EACH FLOOR LEVEL, COORDINATE WITH MFG. DETAILS AND REQUIREMENTS.
 - UNIT VENT CAP HEIGHTS PER DETAILS ON A230. TO MATCH ADJACENT MATERIAL
 - 1X12 TREX FASCIA
 - LOUVER TO MATCH ADJACENT MATERIAL
 - STONE WATERTABLE
 - METAL PANEL SYSTEM TO MATCH STOREFRONT
 - 11 1/4" WIDE HARDIE TRIM TO MATCH ADJACENT FIBER CEMENT SIDING
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 - UNIT PATIO LIGHT RE: UNIT LIGHTING SCHEDULE ON UNIT SHEETS
 - EXTERIOR SCENCE RE: LIGHTING SCHEDULE
 - FIRE DEPARTMENT CONNECTION
 - WALL HYDRANT AT 11' ABOVE GRADE

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REVISIONS

3	Revision 1	2.11.2022
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SHEET NO.

A204

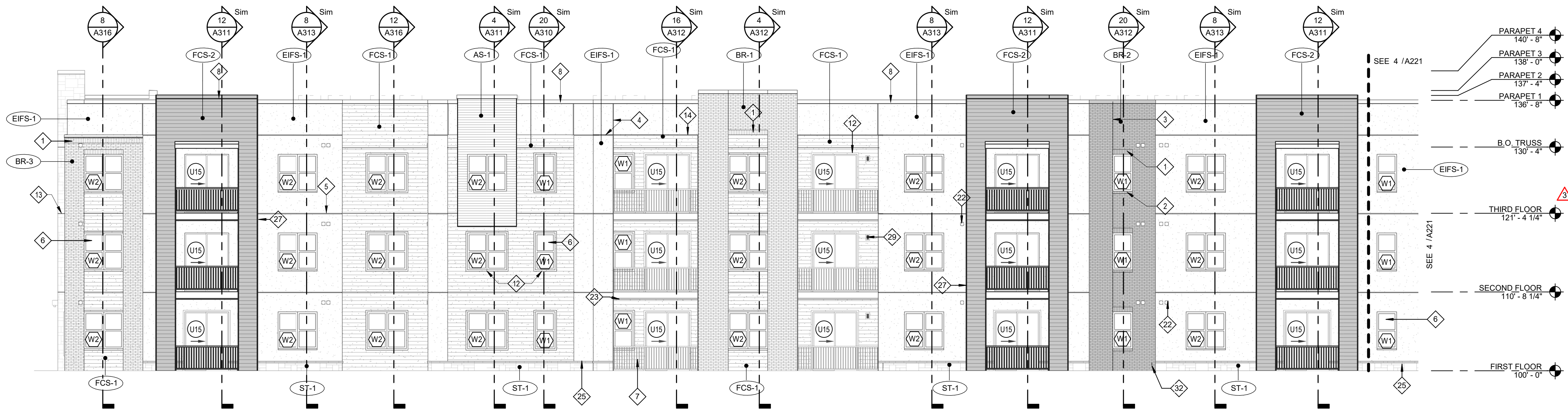
BLDG 1 - ENLARGED NORTH & NORTHWEST ELEVATIONS

EXTERIOR MATERIAL LEGEND

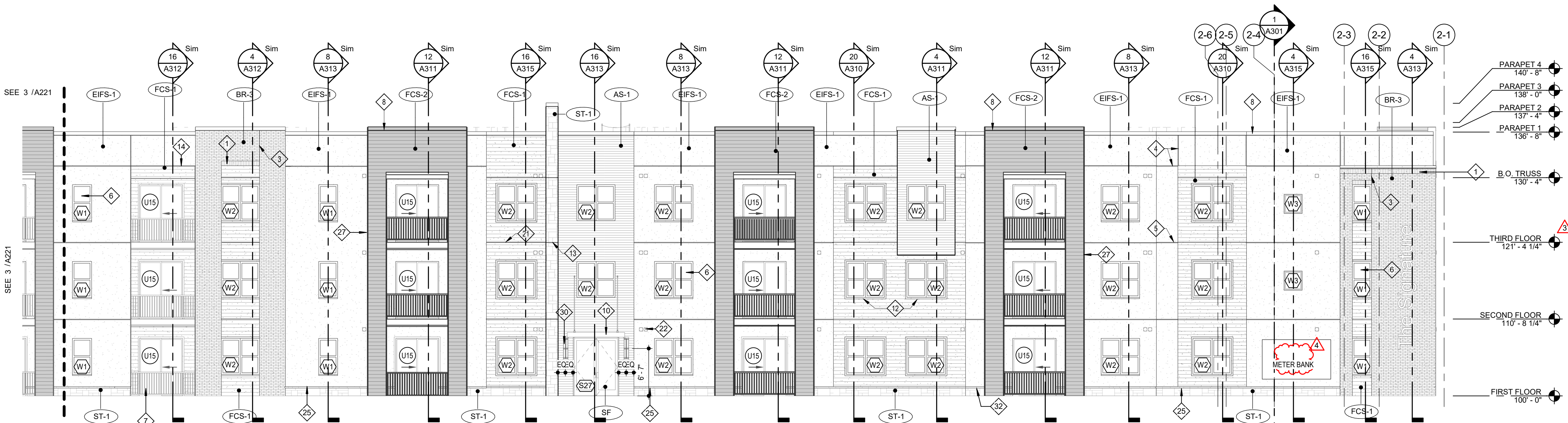
(EIFS-1)	EIFS	MFR: DRYVIT, COLOR: MOONLIGHT, TEXTURE: SAND PEBBLE
(AS-1)	ALUMINUM SIDING	MFR: FASTPLANK, COLOR: DARK WALNUT
(FCS-1)	FIBER CEMENT SIDING	MFR: JAMES HARDIE, SIZE: 5' COLOR: AGED PEWTER FCT-1, TRIM THICKNESS: 1", WIDTH: 3 1/2"
(FCS-2)	FIBER CEMENT SIDING	MFR: JAMES HARDIE, SIZE: 5' COLOR: IRON GRAY FCT-2, TRIM THICKNESS: 1", WIDTH: 3 1/2"
(FCT-3)	FIBER CEMENT TRIM	MFR: JAMES HARDIE, THICKNESS: 1", WIDTH: 3 1/2" COLOR: ARTIC WHITE
(BR-1)	BRICK	MFR: HEBRON, COLOR: SEA GRAY #6, SIZE: MODULAR
(BR-2)	BRICK	MFR: ENDICOTT, COLOR: DARK IRONSPOT, SIZE: MODULAR
(BR-3)	BRICK	MFR: HEBRON, COLOR: MAROON, SIZE: MODULAR, TEXTURE: SMOOTH
(ST-1)	STONE VENEER	MFR: ELDERADO STONE, SERIES: LEDGECUT, COLOR: BIRCH
(SF)	STOREFRONT	COLOR: BLACK GLASS: 1" CLEAR LOW-E GLASS, RE: SPEC

KEYED NOTES

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- BRAKE METAL TO MATCH STOREFRONT.
- 3 1/2" WIDE HARDIE TRIM, TO MATCH ADJACENT FIBER CEMENT SIDING. TRIM AT SLIDER DOORS IN EIFS TO BE FCT-3
- STONE VENEER EXPANSION JOINT AT EACH FLOOR LEVEL
- 9 1/4" WIDE HARDIE TRIM TO MATCH ADJACENT FIBER CEMENT SIDING
- PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH EIFS-1
- PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH FCS-1
- PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH FCS-2
- PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH AS-1
- PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH BR-1
- PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH BR-2
- SIDING EXPANSION JOINT AT EACH FLOOR LEVEL, COORDINATE WITH MFG. DETAILS AND REQUIREMENTS.
- UNIT VENT CAP HEIGHTS PER DETAILS ON A230, TO MATCH ADJACENT MATERIAL
- 1X12 TREX FASCIA
- LOUVER TO MATCH ADJACENT MATERIAL
- STONE WATERTABLE
- METAL PANEL SYSTEM TO MATCH STOREFRONT
- 11 1/4" WIDE HARDIE TRIM TO MATCH ADJACENT FIBER CEMENT SIDING
- PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH BR-3
- UNIT PATIO LIGHT RE: UNIT LIGHTING SCHEDULE ON UNIT SHEETS
- EXTERIOR SCONCE RE: LIGHTING SCHEDULE
- FIRE DEPARTMENT CONNECTION
- WALL HYDRANT AT 11" ABOVE GRADE



3 BLDG 2 EAST ELEVATION - SOUTH HALF
SCALE: 1/8" = 1'-0"



4 BLDG 2 EAST ELEVATION - NORTH HALF
SCALE: 1/8" = 1'-0"



3.1.2022

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SHEET NO.

A221

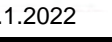
BLDG 2 - ENLARGED EAST ELEVATIONS



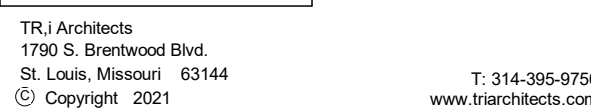
1. BRICK SOLDIER COURSE PROJECTED 1/2".
2. BRICK ROWLOCK COURSE.
3. MASONRY VENEER CONTROL JOINT
4. EIFS REVEAL.
5. EIFS EXPANSION JOINT AT EACH FLOOR LEVEL, COORDINATE WITH MANUF. DETAILS AND REQUIREMENTS.
6. VINYL WINDOW SYSTEM (BLACK).
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9. HOLLOW METAL DOOR AND FRAMES TO BE PAINTED TO MATCH ADJACENT FINISH.
10. PREMANUFACTURED ALUM. CANOPY - COLOR BLACK.
11. BRAKE METAL TO MATCH STOREFRONT.
12. 3 1/2" WIDE HARDIE TRIM, TO MATCH ADJACENT FIBER CEMENT SIDING. TRIM AT SLIDER DOORS IN EIFS TO BE FCT-3
13. STONE VENEER EXPANSION JOINT AT EACH FLOOR LEVEL
14. 9 1/4" WIDE HARDIE TRIM TO MATCH ADJACENT FIBER CEMENT SIDING
15. PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH EIFS-1
16. PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH FCS-1
17. PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH FCS-2
18. PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH AS-1
19. PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH BR-1
20. PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH BR-2
21. SIDING EXPANSION JOINT AT EACH FLOOR LEVEL, COORDINATE WITH MFG. DETAILS AND REQUIREMENTS.
22. UNIT VENT GAP HEIGHTS PER DETAILS ON A230. TO MATCH ADJACENT MATERIAL
23. 1X12 TREX FASCIA
24. LOUVER TO MATCH ADJACENT MATERIAL
25. STONE WATERTABLE
26. METAL PANEL SYSTEM TO MATCH STOREFRONT
27. 11 1/4" WIDE HARDIE TRIM TO MATCH ADJACENT FIBER CEMENT SIDING
28. PREFINISHED SCUPPER AND/OR DOWNSPOUT COLOR TO MATCH BR-3
29. UNIT PATIO LIGHT RE: UNIT LIGHTING SCHEDULE ON UNIT SHEETS
30. EXTERIOR SCONCE RE: LIGHTING SCHEDULE
31. FIRE DEPARTMENT CONNECTION
32. WALL HYDRANT AT 11" ABOVE GRADE

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SM ENGINEERING	CIVIL ENGINEER
BRINKMANN CONSTRUCTORS	GENERAL CONTRACTOR
LATIMER SOMMERS & ASSOCIATES	MECHANICAL ENGINEER
LATIMER SOMMERS & ASSOCIATES	PLUMBING ENGINEER
LATIMER SOMMERS & ASSOCIATES	ELECTRICAL ENGINEER



DATE: 7.15.2021

REVISIONS 

3	Revision 1	2.11.202
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Revision 2 3.1.202

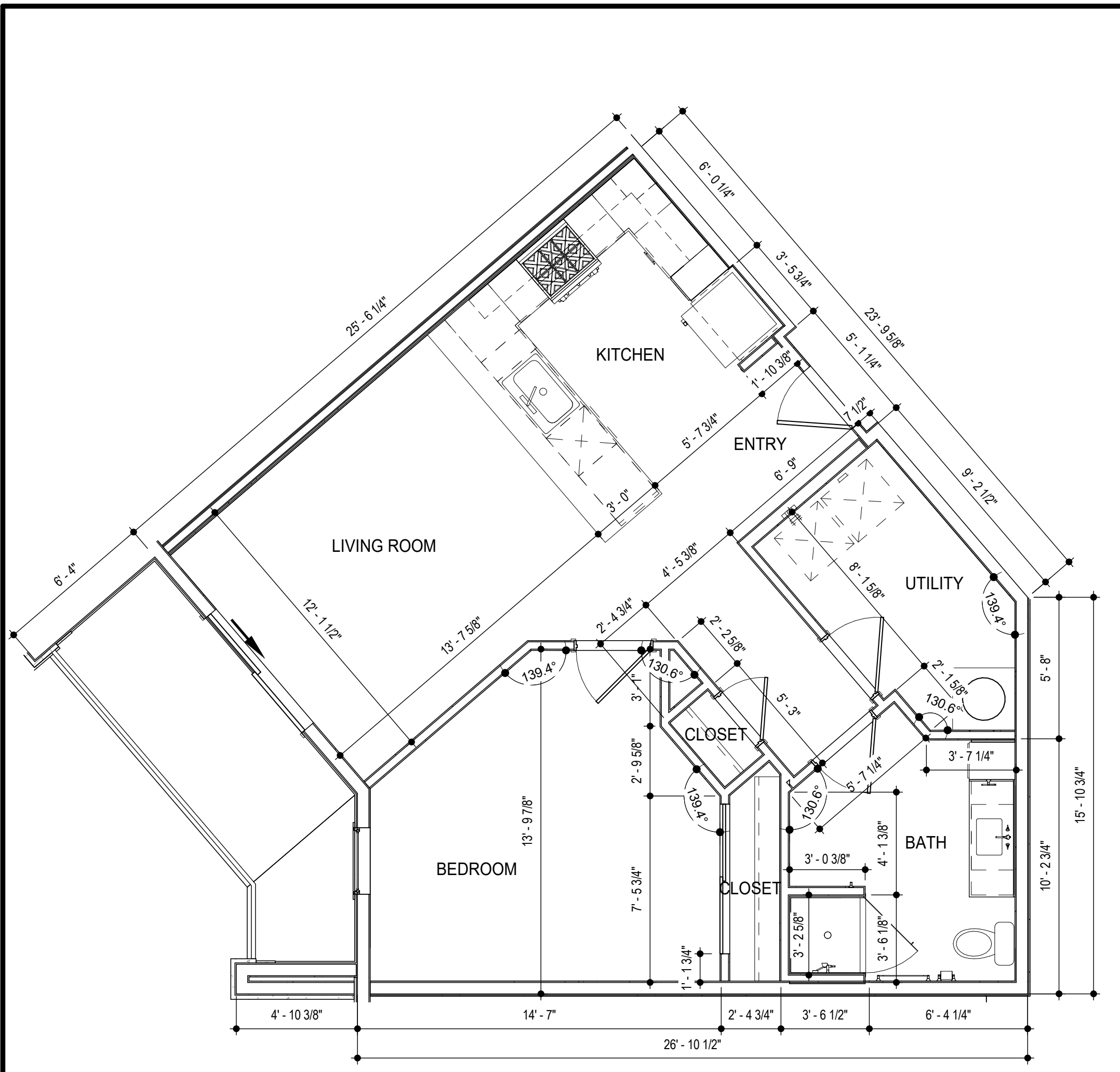
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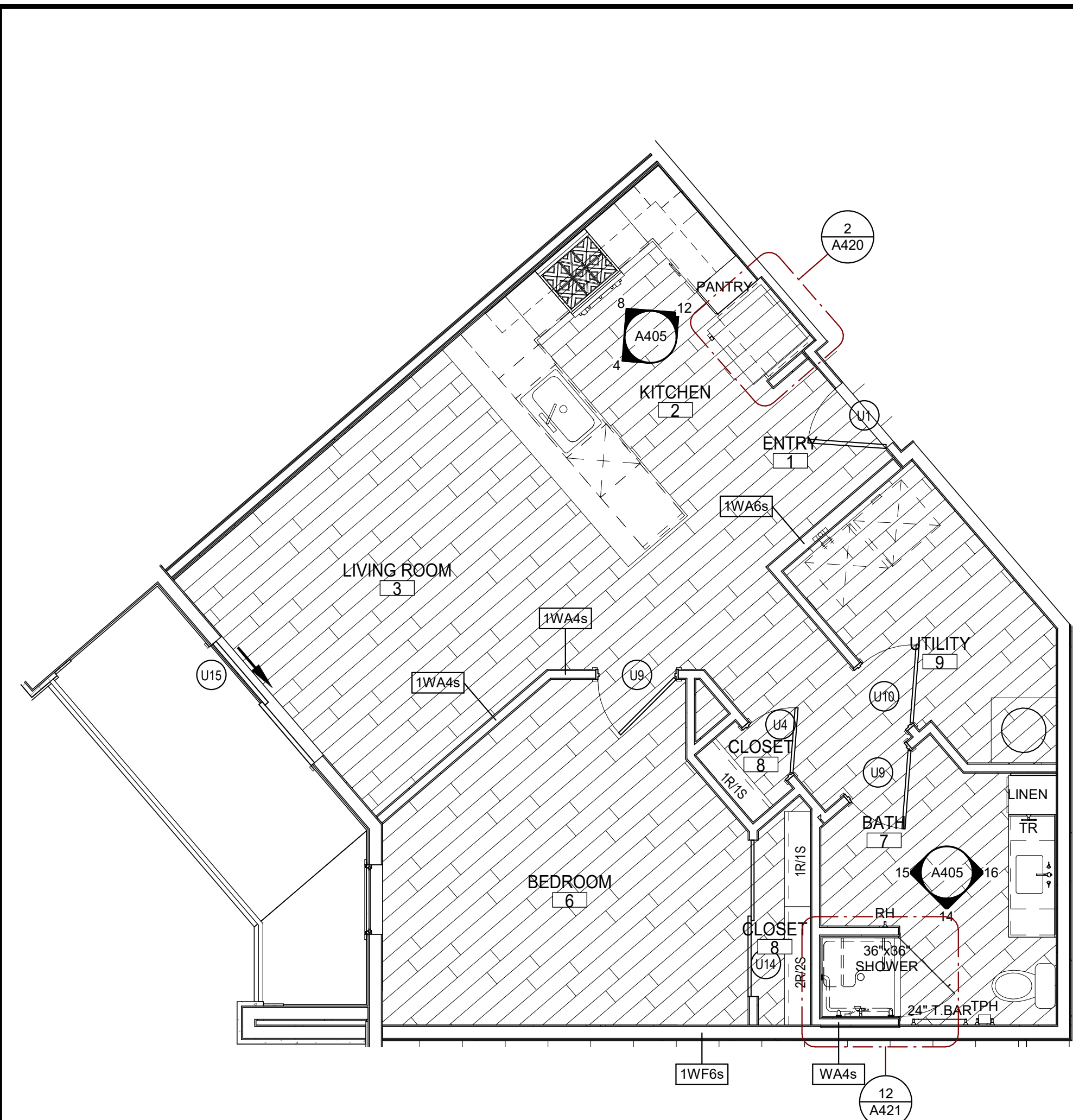
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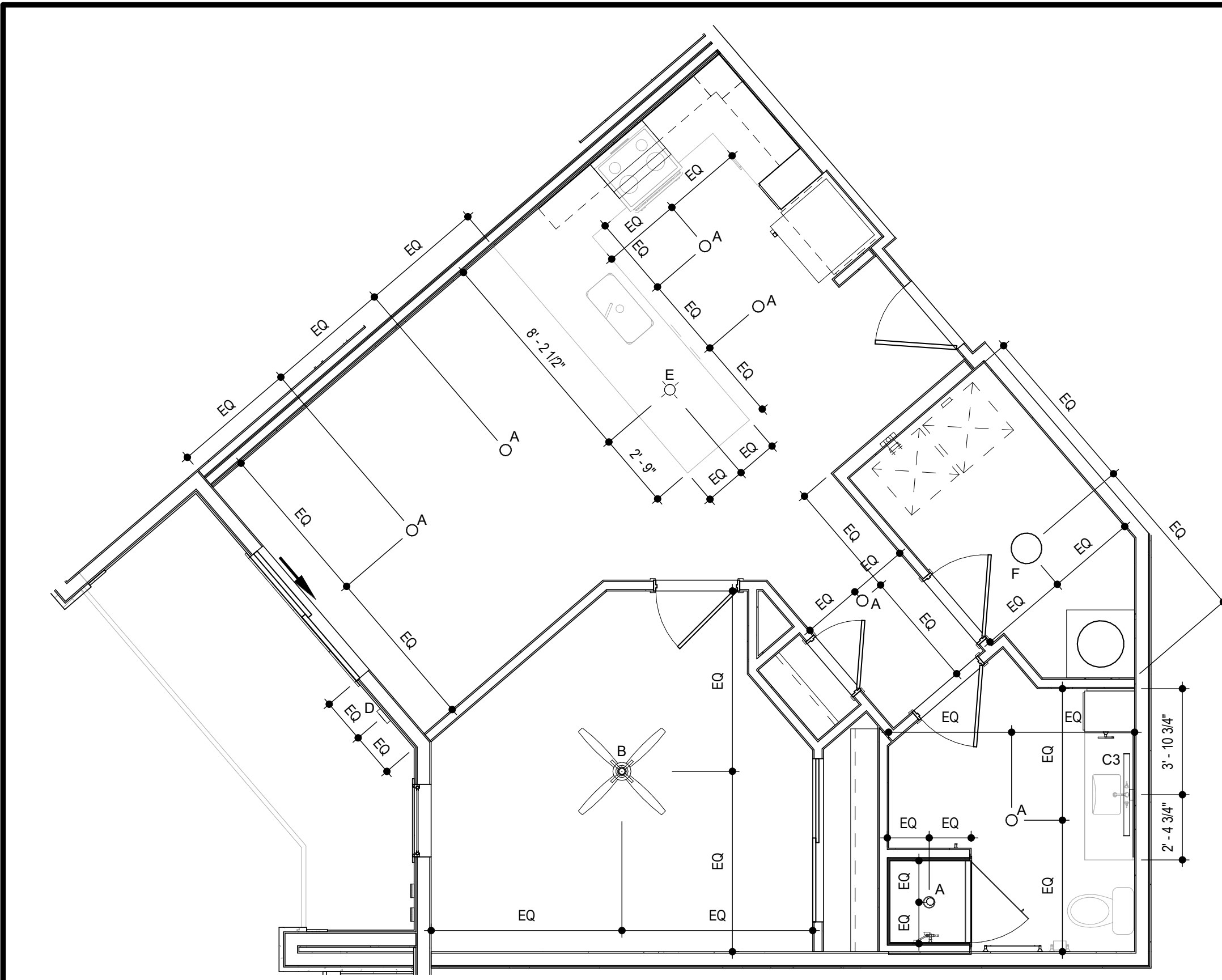
**BLDG 2 - ENLARGED WEST
ELEVATIONS**



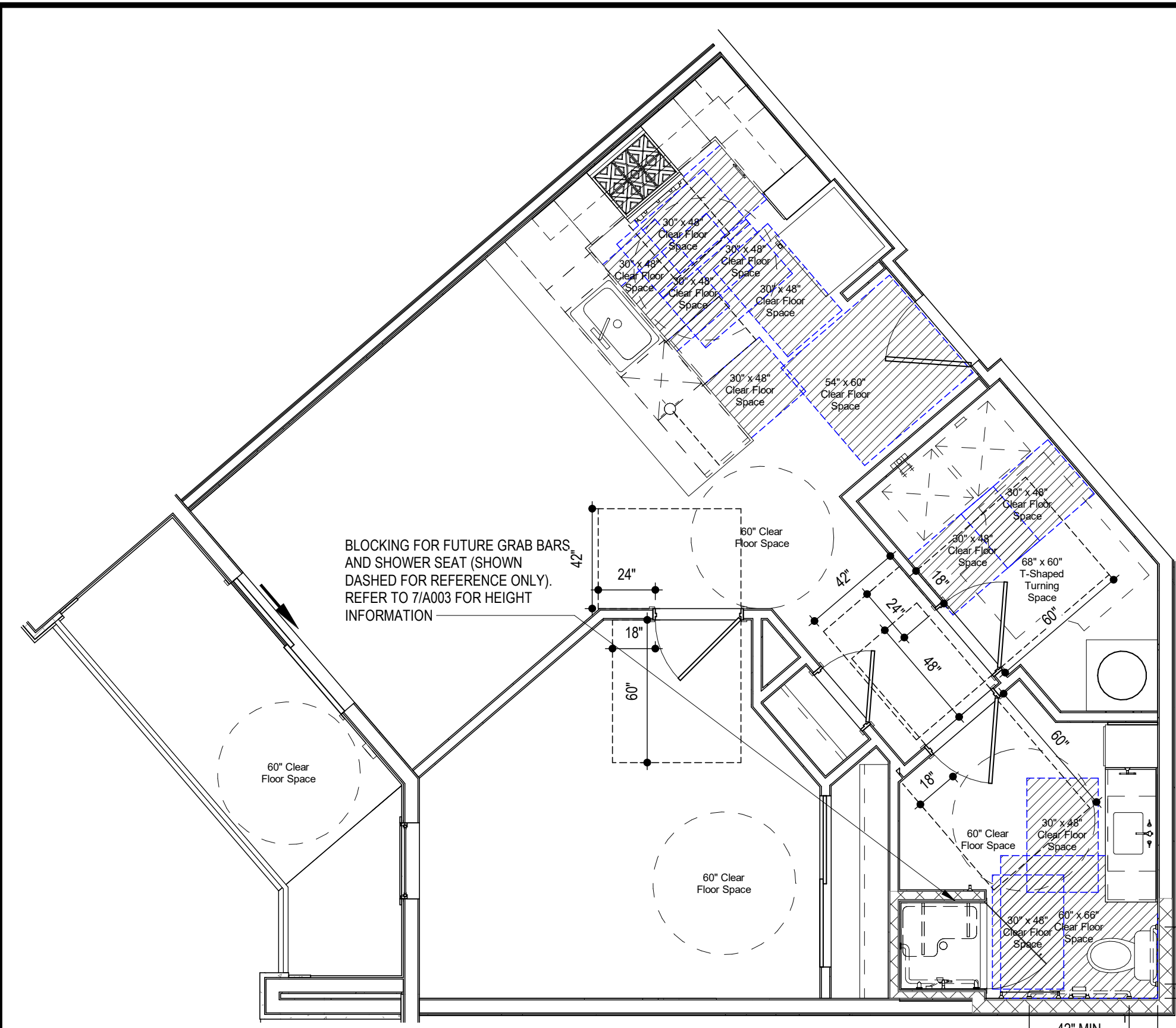
2 UNIT A4 - TYPE A - DIMENSION PLAN
SCALE: 1/4" = 1'-0"



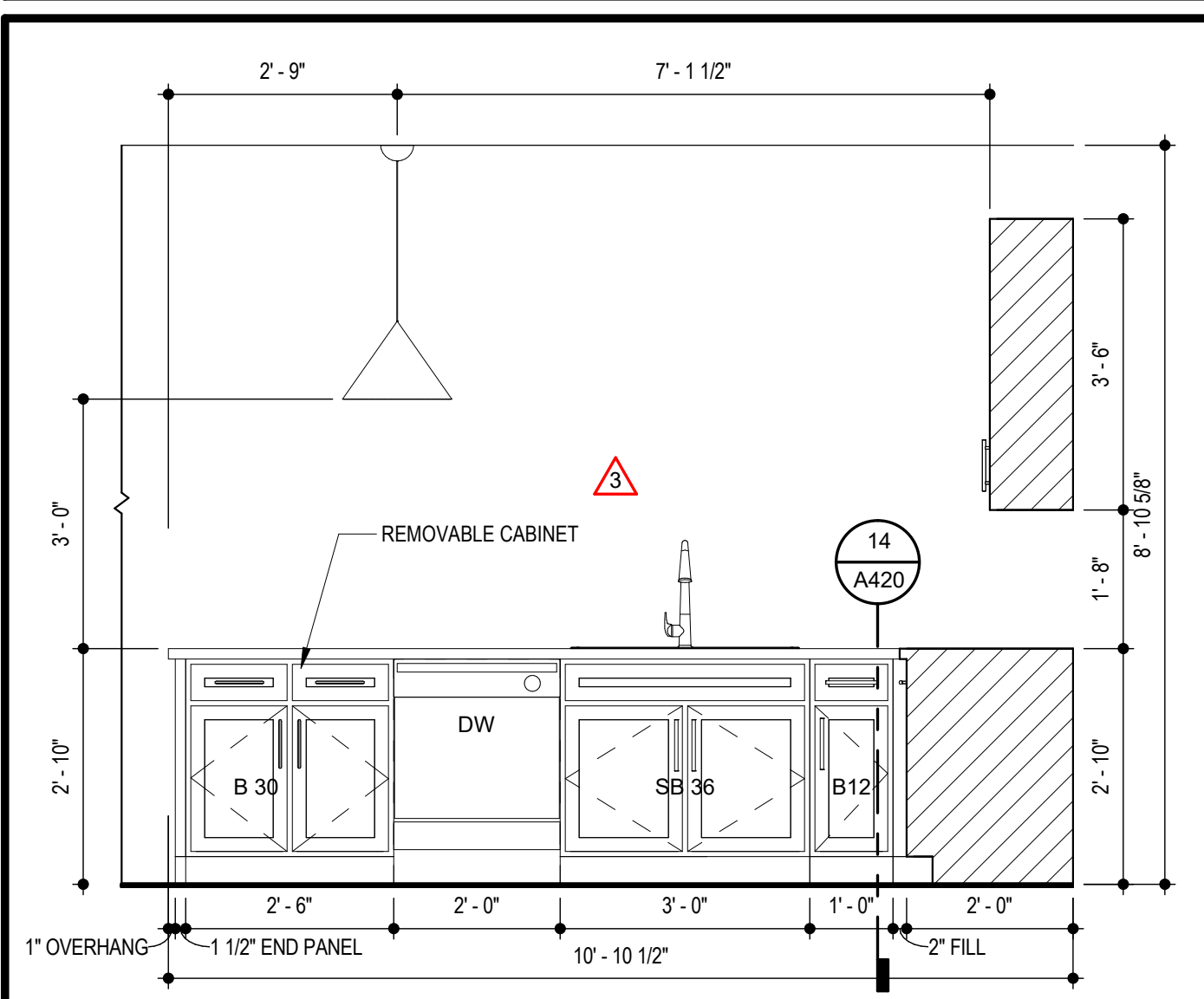
6 UNIT A4 - TYPE A - REFERENCE PLAN
SCALE: 1/4" = 1'-0"



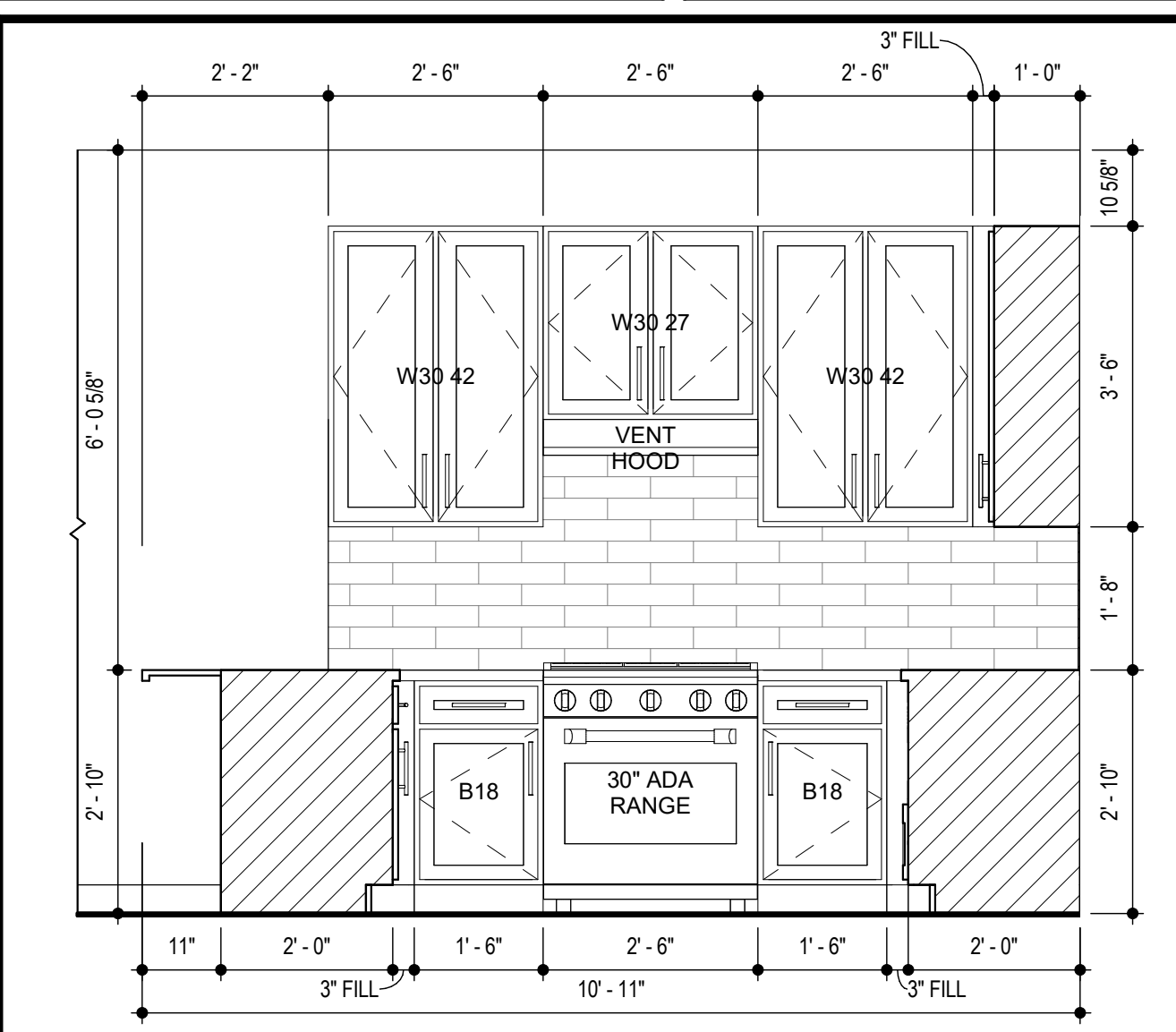
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SCALE: 1/4" = 1'-0"



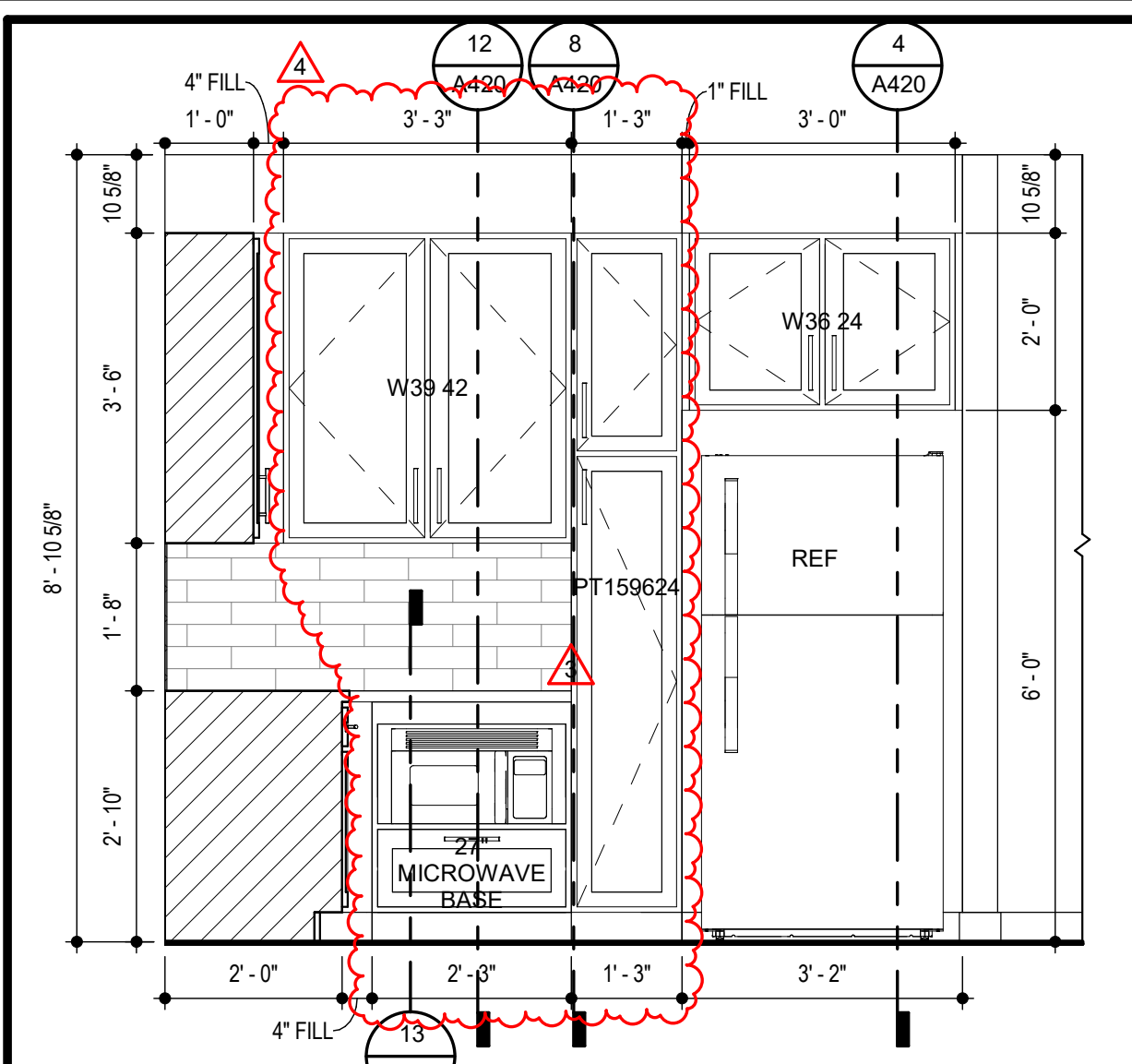
7 UNIT A4 - TYPE A - C.F.S.
SCALE: 1/4" = 1'-0"



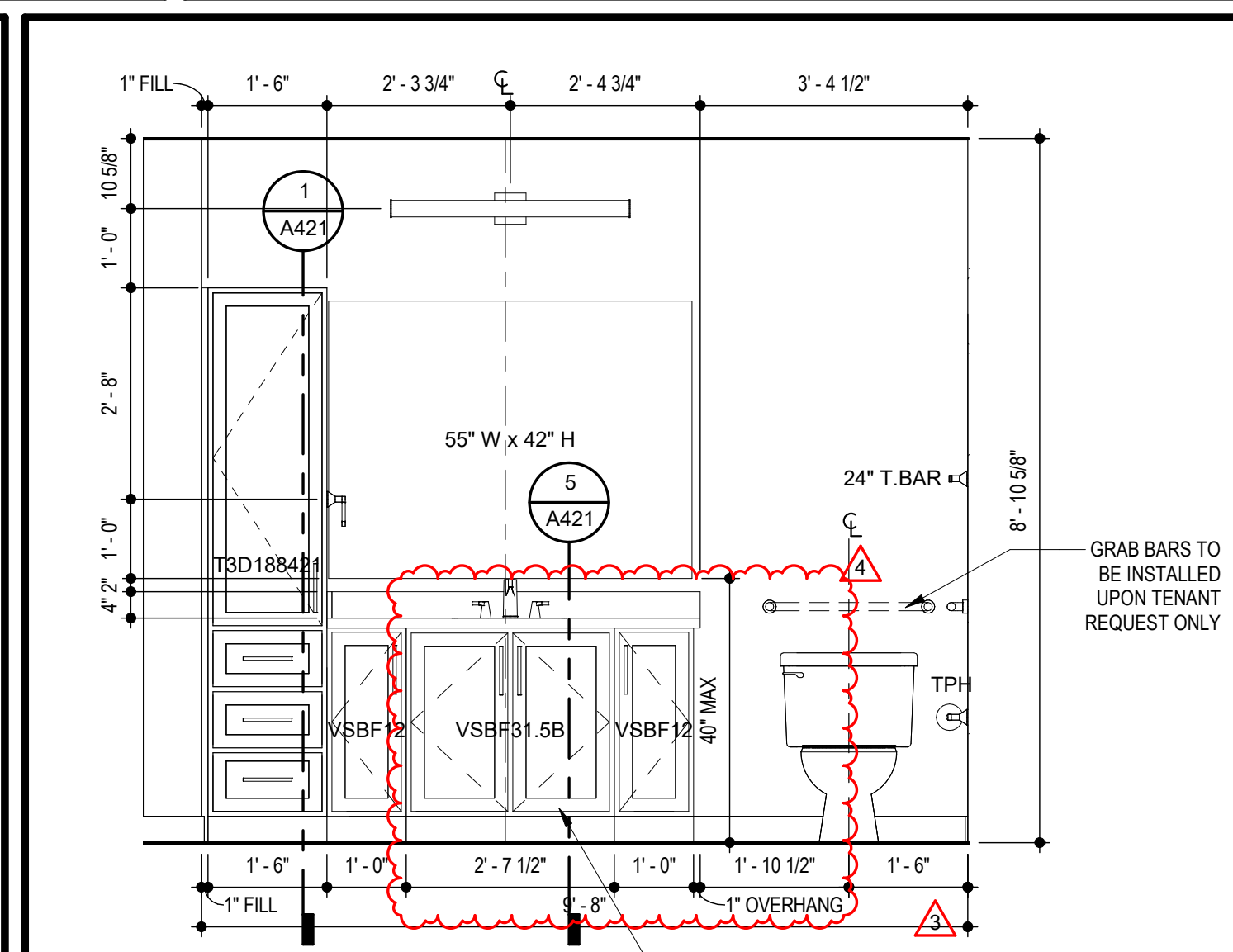
4 UNIT A4 - TYPE A - KITCHEN SINK
SCALE: 1/2" = 1'-0"



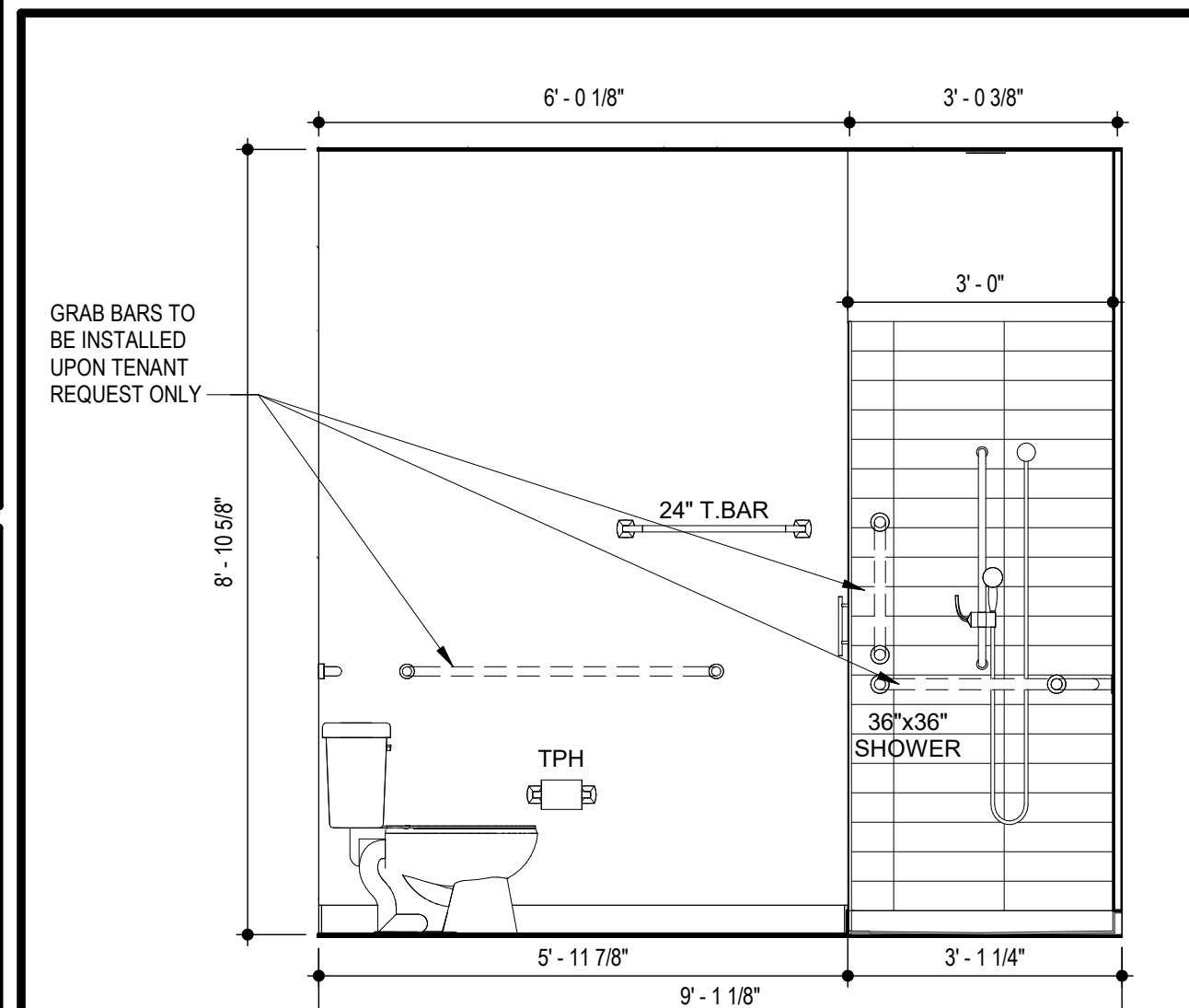
8 UNIT A4 - TYPE A - KITCHEN RANGE
SCALE: 1/2" = 1'-0"



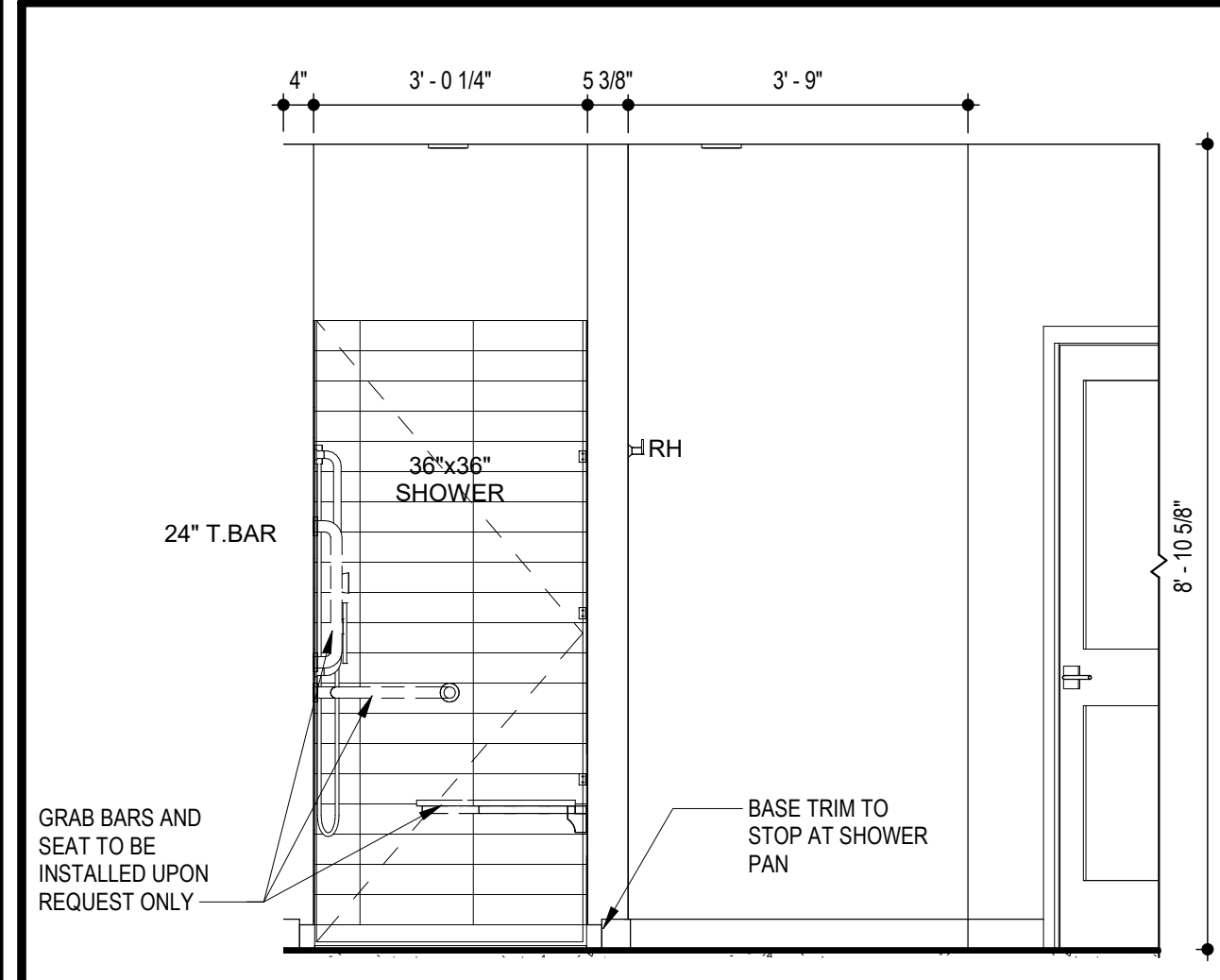
12 UNIT A4 - TYPE A - KITCHEN REFRIGERATOR
SCALE: 1/2" = 1'-0"



16 UNIT A4 - TYPE A - BATH SINK
SCALE: 1/2" = 1'-0"



14 UNIT A4 - TYPE A - BATH SHOWER CONTROLS
SCALE: 1/2" = 1'-0"

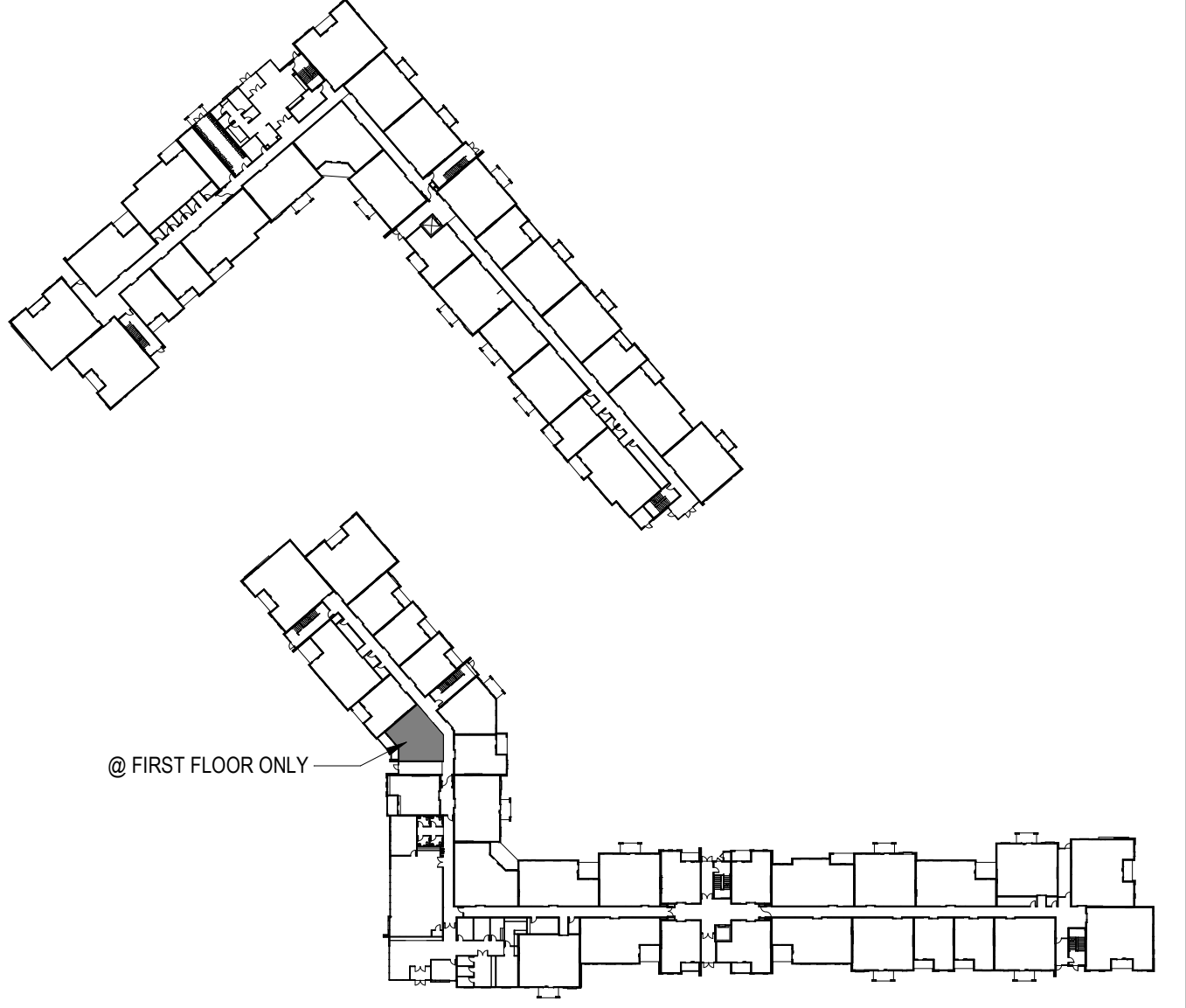


15 UNIT A4 - TYPE A - BATH SHOWER
SCALE: 1/2" = 1'-0"

SYMBOL LEGEND - UNIT PLANS			
(1)	DOOR TAG		CLEAR FLOOR SPACE WITH 2" TOLERANCE AREA. REFER TO NOTES FOR REQUIRED DIMENSIONS
(2)	LIGHTING FIXTURE		
Ref	INTERIOR ELEVATION		
4	ROOM FINISH MARK, RE: UNIT FINISH SCHEDULE ON A400		
W2	PARTITION WALL TAG		REFER TO A400
AHU = AIR HANDLER UNIT CO = CASED OPENING CPT = CARPET CT = CERAMIC TILE DW = DISHWASHER KS = KNEE SPACE RH = ROBE HOOK SH = SHOWER HEAD SR = SHOWER ROD SRO = SHEETROCK OPENING T = TEMPERED GLASS			
TB = TOWEL BAR 6" TP = TOILET PAPER DISPENSER VP = VINYL PLANK WH = WATER HEATER WS = WORKSPACE # S = # OF SHELVES			

LIGHTING FIXTURE SCHEDULE			
LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
A	MAXIM	57690WTWT - CHIP 5" 12W RD LED FLUSH MOUNT	WHITE
B	FANIMATION	FP58533MMV - KWARTET: HARDWIRED FAN AND LIGHT FUNCTIONS (SEPARATE SWITCHES) - NO REMOTES	WHITE
C1	MAXIM	RAIL 24" - 52102	SATIN NICKEL
C2	MAXIM	RAIL 30" - 52103SN	SATIN NICKEL
C3	MAXIM	RAIL 36" - 52104	SATIN NICKEL
D	MAXIM	54350ABZ - AVENUE SMALL LET OUTDOOR SCONCE	BRONZE
E	ET2	E20086-BK - ABYSS 1-LIGHT LED PENDANT	BLACK
F	ACCESS LIGHTING	49960LED-WHACR - COMO	WHITE

- GENERAL UNIT NOTES**
- ALL WALL DIMENSIONS ARE TO STUD.
 - UNIT INTERIOR WALL TYPES ARE W44s (TYPICAL) UNLESS OTHERWISE NOTED.
 - REFER TO SHEET A400 FOR TYPICAL WALL ASSEMBLIES.
 - REFER TO SHEET A400 FOR UNIT DOOR SCHEDULE & A401 FOR DETAILS.
 - ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
 - REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS.
 - REFER TO SHEET A400 FOR WINDOW SCHEDULE AND A400 - A401 FOR DETAILS.
 - ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS.
 - ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS.
 - BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT, 5.7 SQFT NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO TOP OF SILL, AS REQUIRED PER IBC-2016 SECTION 1029.
 - PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT WET WALLS.
 - PROVIDE SOUND BATTs IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
 - PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC CLOSETS.
 - REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
 - VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL REQUIREMENTS.
 - ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS.
 - ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
 - REFER TO A402 & A403 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY REQUIREMENTS.
 - ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 60". TOWEL RINGS TO BE MOUNTED 1'-0" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 20" A.F.F. TO CENTERLINE OF HOLDER UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A UNITS TO BE MOUNTED AT 48" HIGH MAX.
 - INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS.
 - VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 40" A.F.F. IN ANSI TYPE A UNITS.
 - PROVIDE MINIMUM RATED 2A-10B C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK.
 - VERIFY ALL TUB WALL LENGTHS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
 - PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A402 & A403, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND THE WALL.
 - SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
 - PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 50" A.F.F. TO THE CENTER OF TV. REFER TO MEP AND TELECOM. PROVIDE 2x10 BLOCKING FOR TV MOUNTING.
 - ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BROOM FINISH AT SLOPED SURFACES. VERIFY WITH STRUCTURE.
 - REFER TO UNIT FINISH SCHEDULE FOR FINISHES ON A400. FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS, RE: A700
 - FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE BASE CABINET".
 - ALL SINK BASES TO BE REMOVABLE IN TYPE A UNITS. REMOVABLE BASE AT KITCHEN WORK SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS
 - BATHROOM CEILING HEIGHT 8' - 6" AFF.
 - SHOWER HEAD HEIGHT 7'-0" AFF. SHOWER CONTROL HEIGHT 4'-0" AFF.
 - TUB/SHOWER COMBO SHOWER HEAD HEIGHT 7'-0" AFF, CONTROL 3'-0" AFF, TUB FAUCET 2'-0" AFF.
 - FOR UNIT DETAILS RE: A420-A421



LOCATION PLAN

TRI ARCHITECTS
BOB D CAMPBELL & COMPANY
SM ENGINEERING
BRINKMANN CONSTRUCTORS
LATIMER SOMMERS & ASSOCIATES
LATIMER SOMMERS & ASSOCIATES

ARCHITECT
STRUCTURAL ENGINEER
CIVIL ENGINEER
GENERAL CONTRACTOR
MECHANICAL ENGINEER
PLUMBING ENGINEER
ELECTRICAL ENGINEER

3.1.2022

Together
DEVELOPMENT

The Signature at West Pryor
2100 AND 2150 NW LOWENSTEIN DR.
LEE'S SUMMIT, MISSOURI 64081

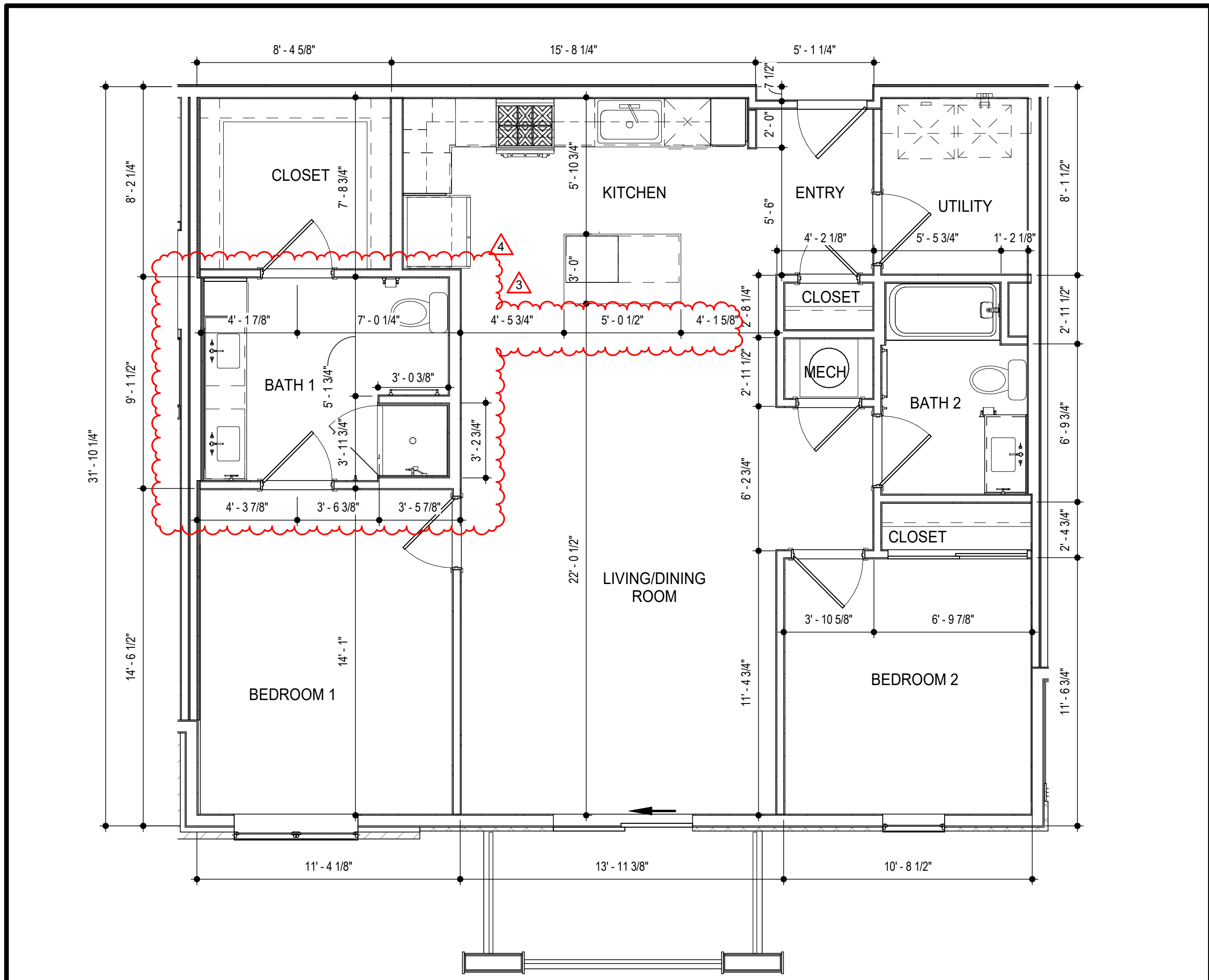
TRI ARCHITECTS
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REVISIONS

3	Revision 1	2.11.2022
4	Revision 2	3.1.2022

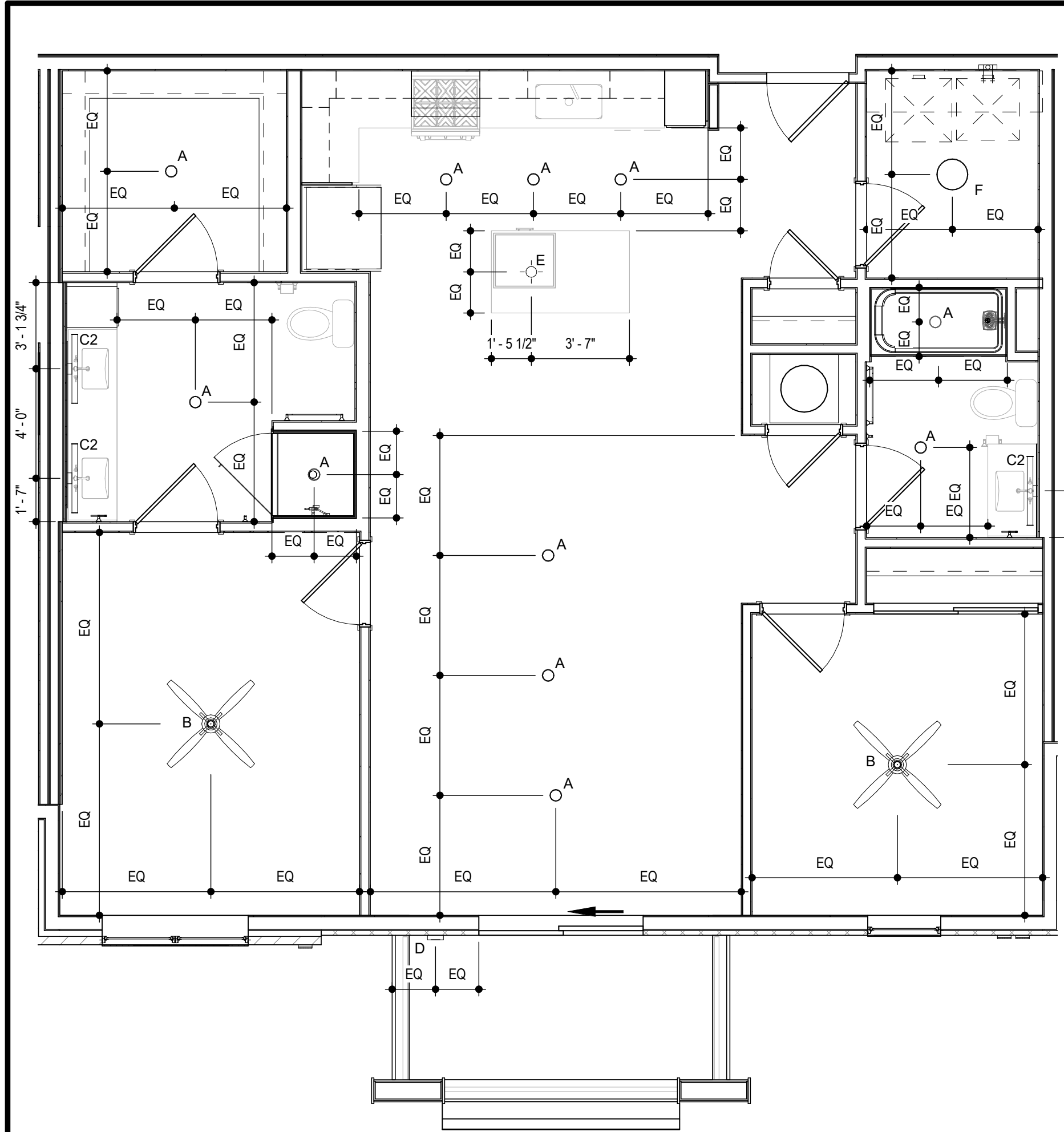
DWG BY MKSS
TR, PROJECT NO. 20-001
SHEET NO. A405
UNIT A4-TYPE A - PLANS AND ELEVATIONS



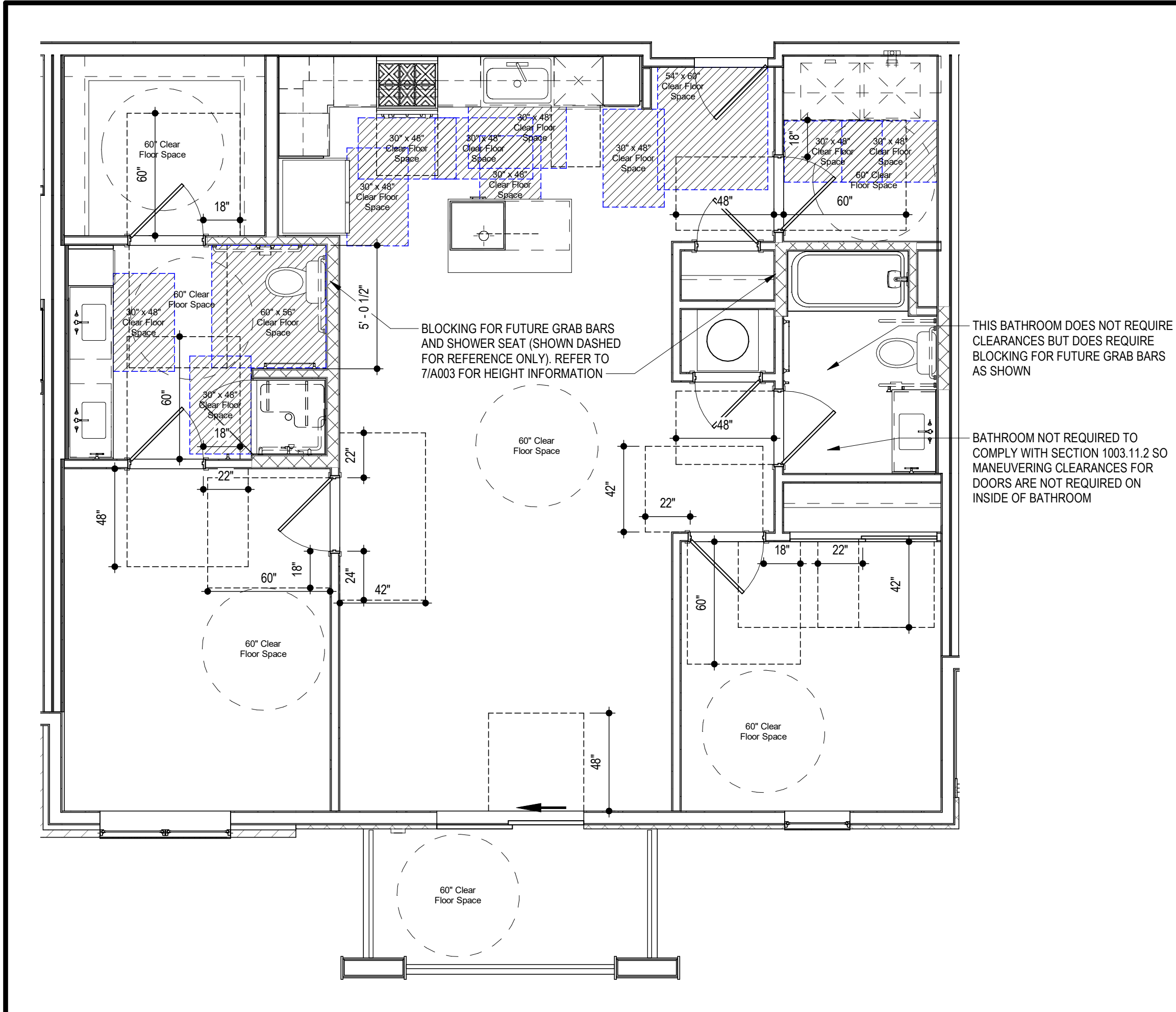
2 BLDG 1- TYPE A - DIMENSION PLAN
SCALE: 1/4" = 1'-0"



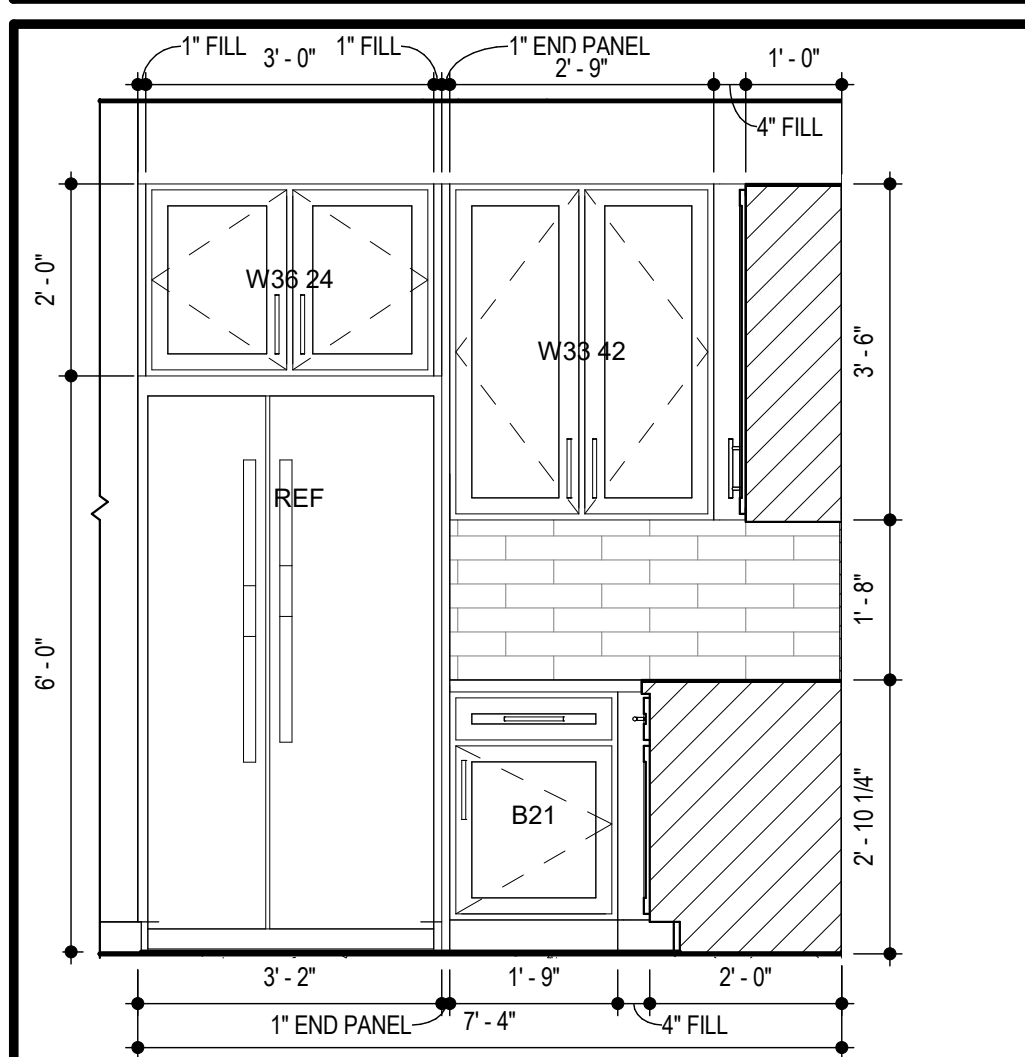
10 BLDG 1- TYPE A - REFERENCE PLAN
SCALE: 1/4" = 1'-0"



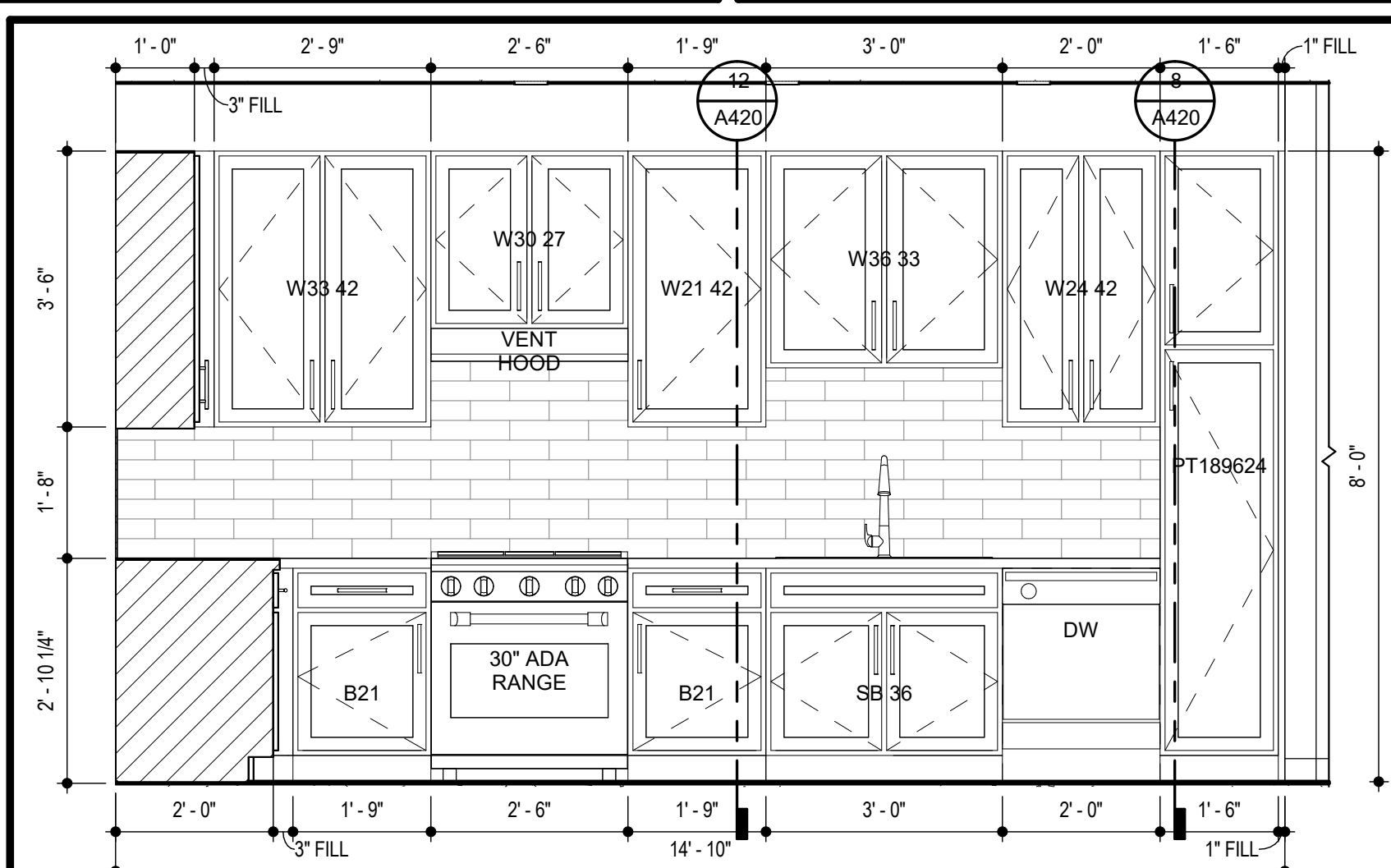
3 UNIT B1 - TYPE A - RCP
SCALE: 1/4" = 1'-0"



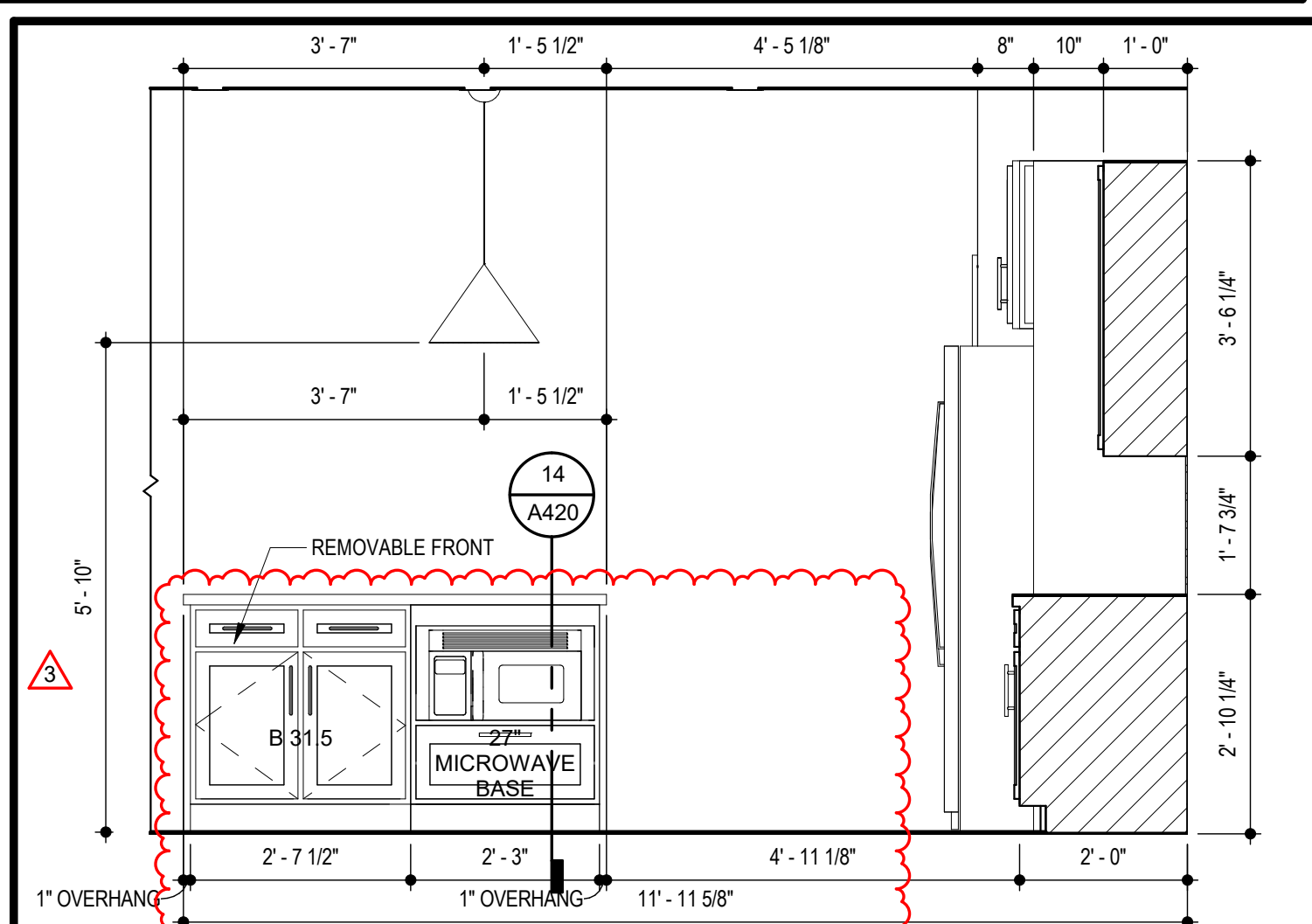
11 BLDG 1- TYPE A - C.F.S.
SCALE: 1/4" = 1'-0"



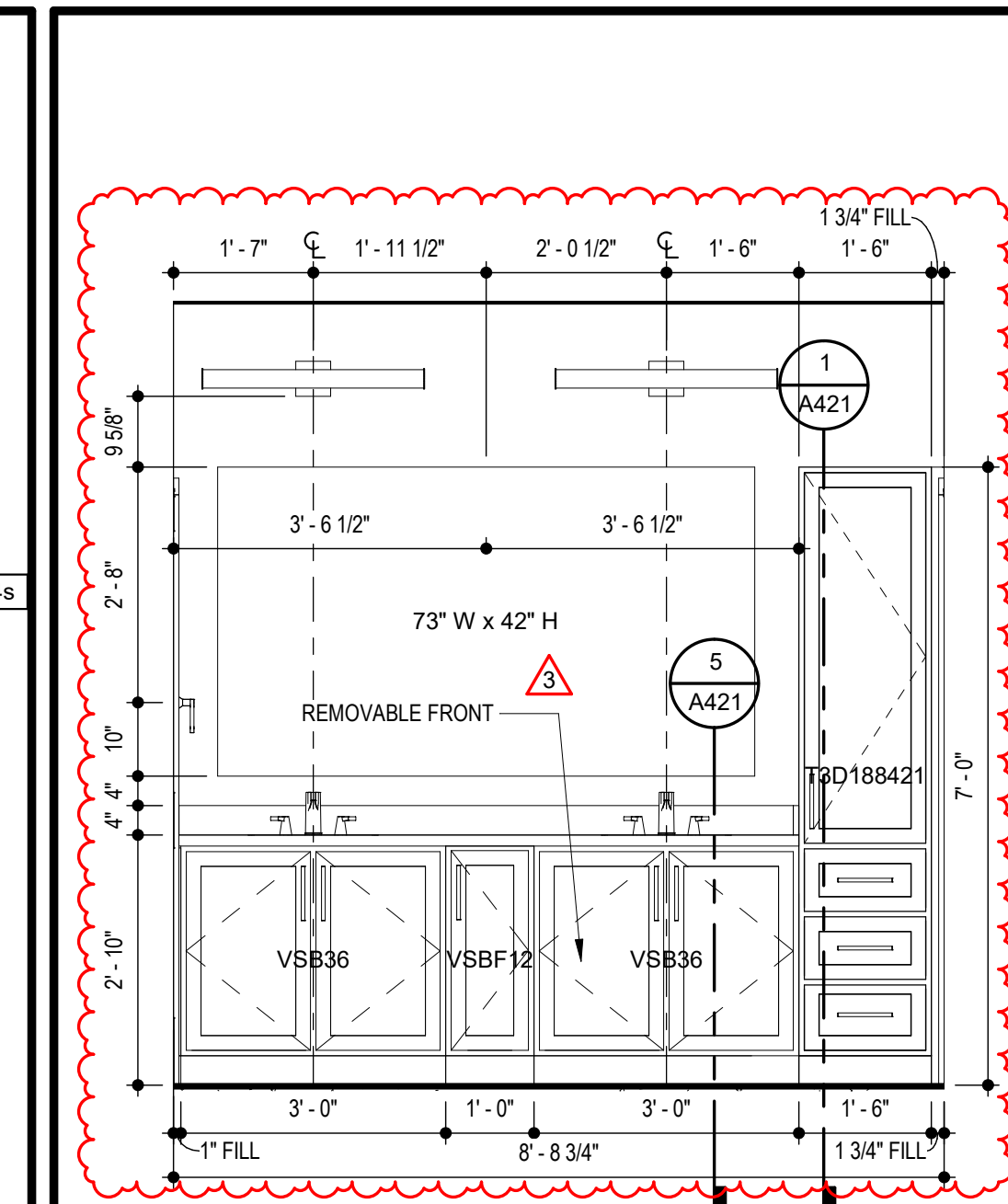
4 UNIT B1-TYPE A KITCHEN FRIDGE
SCALE: 1/2" = 1'-0"



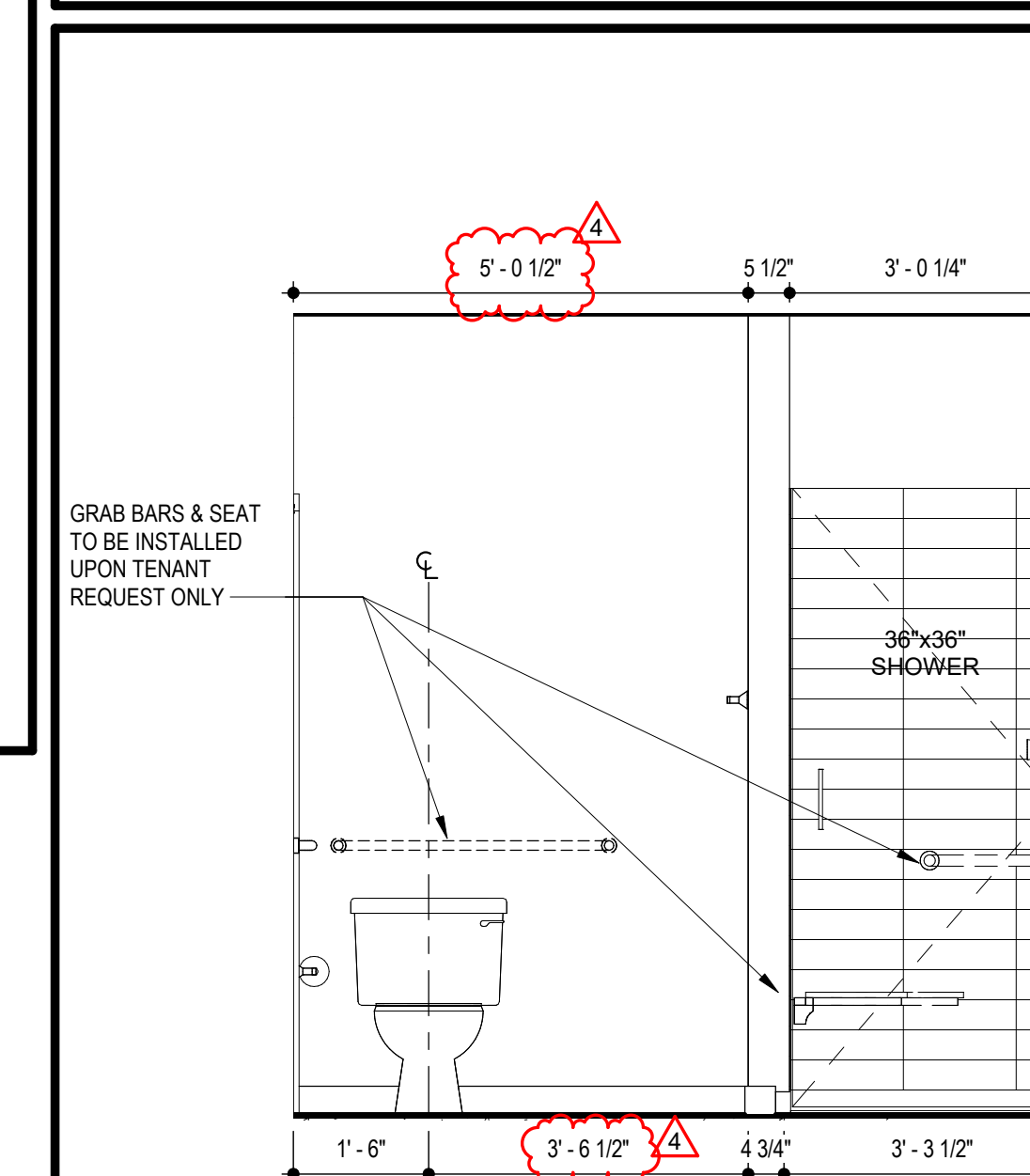
8 UNIT B1 - TYPE A - KITCHEN RANGE
SCALE: 1/2" = 1'-0"



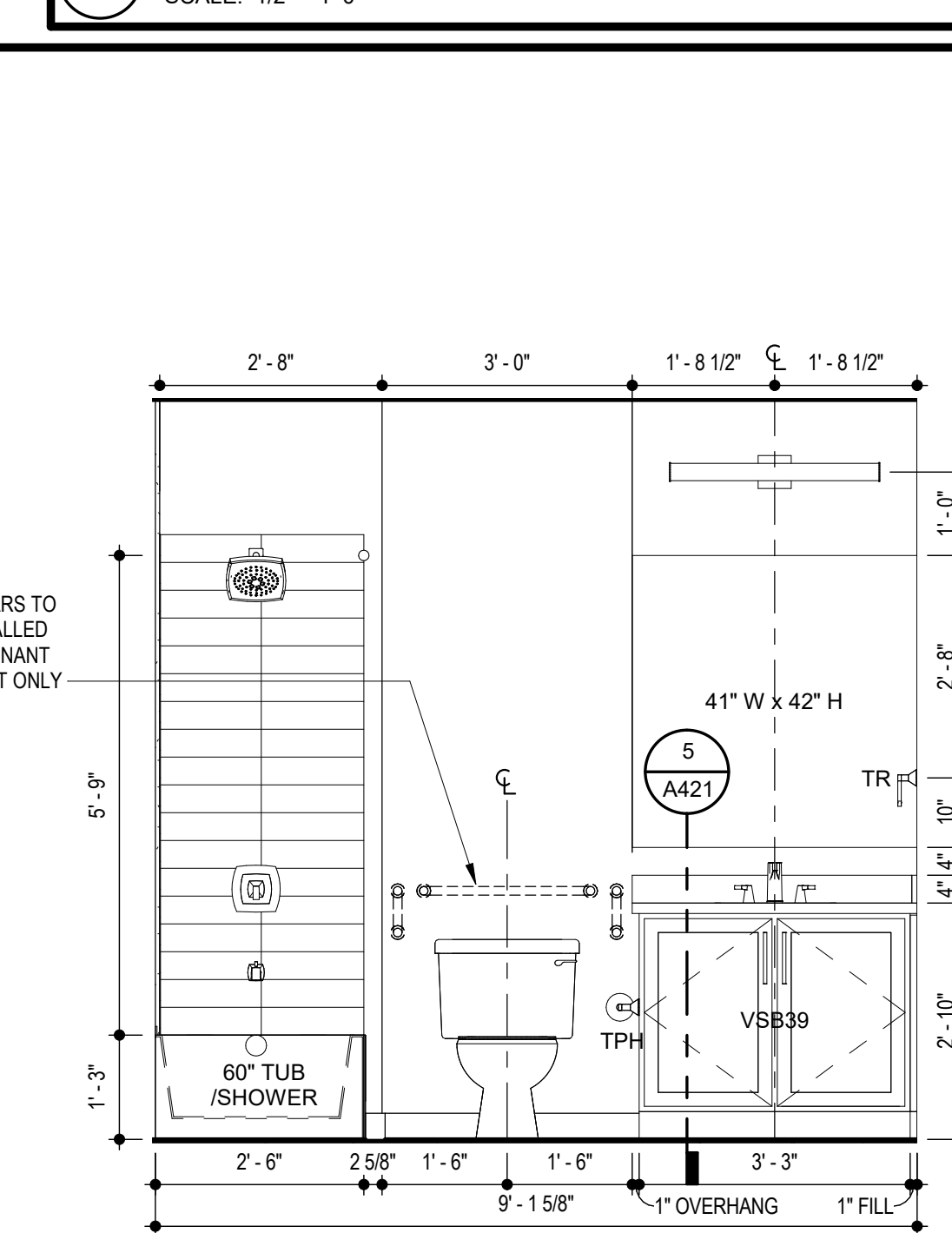
12 UNIT B1 - TYPE A KITCHEN ISLAND
SCALE: 1/2" = 1'-0"



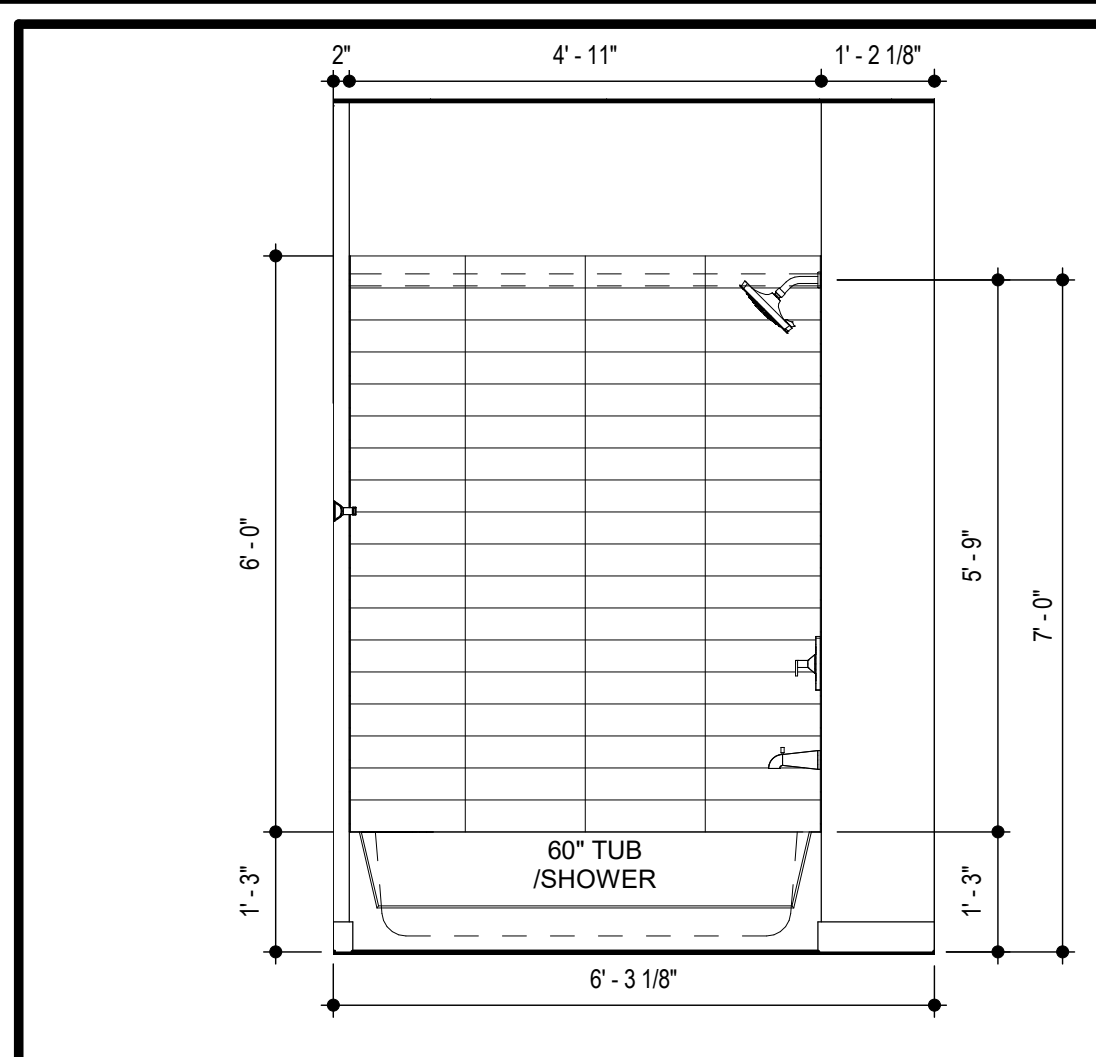
13 UNIT B1 - TYPE A - BATH 1 SINK
SCALE: 1/2" = 1'-0"



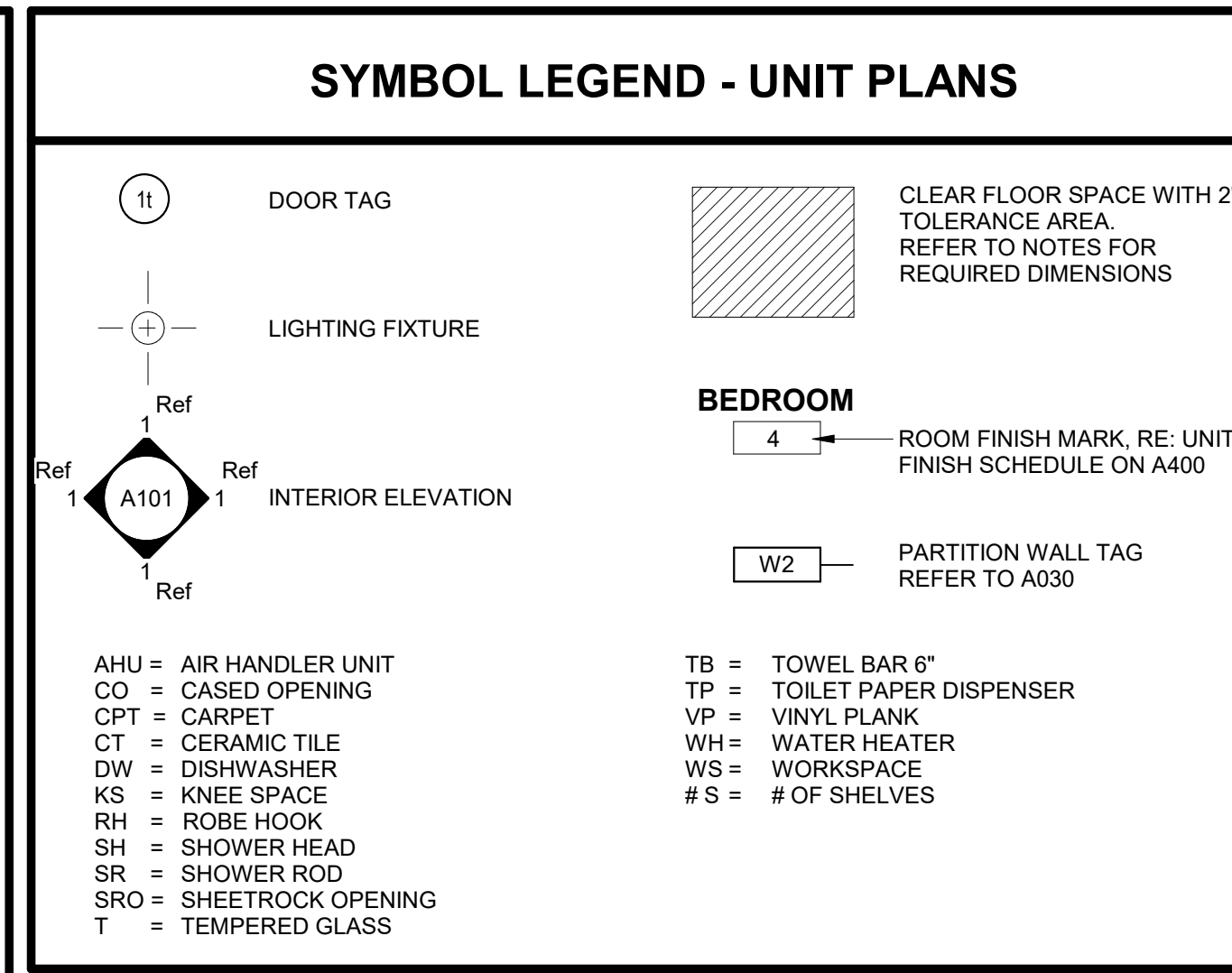
14 UNIT B1 - TYPE A - BATH 1 SHOWER
SCALE: 1/2" = 1'-0"



15 UNIT B1 - TYPE A - BATH 2 SINK
SCALE: 1/2" = 1'-0"



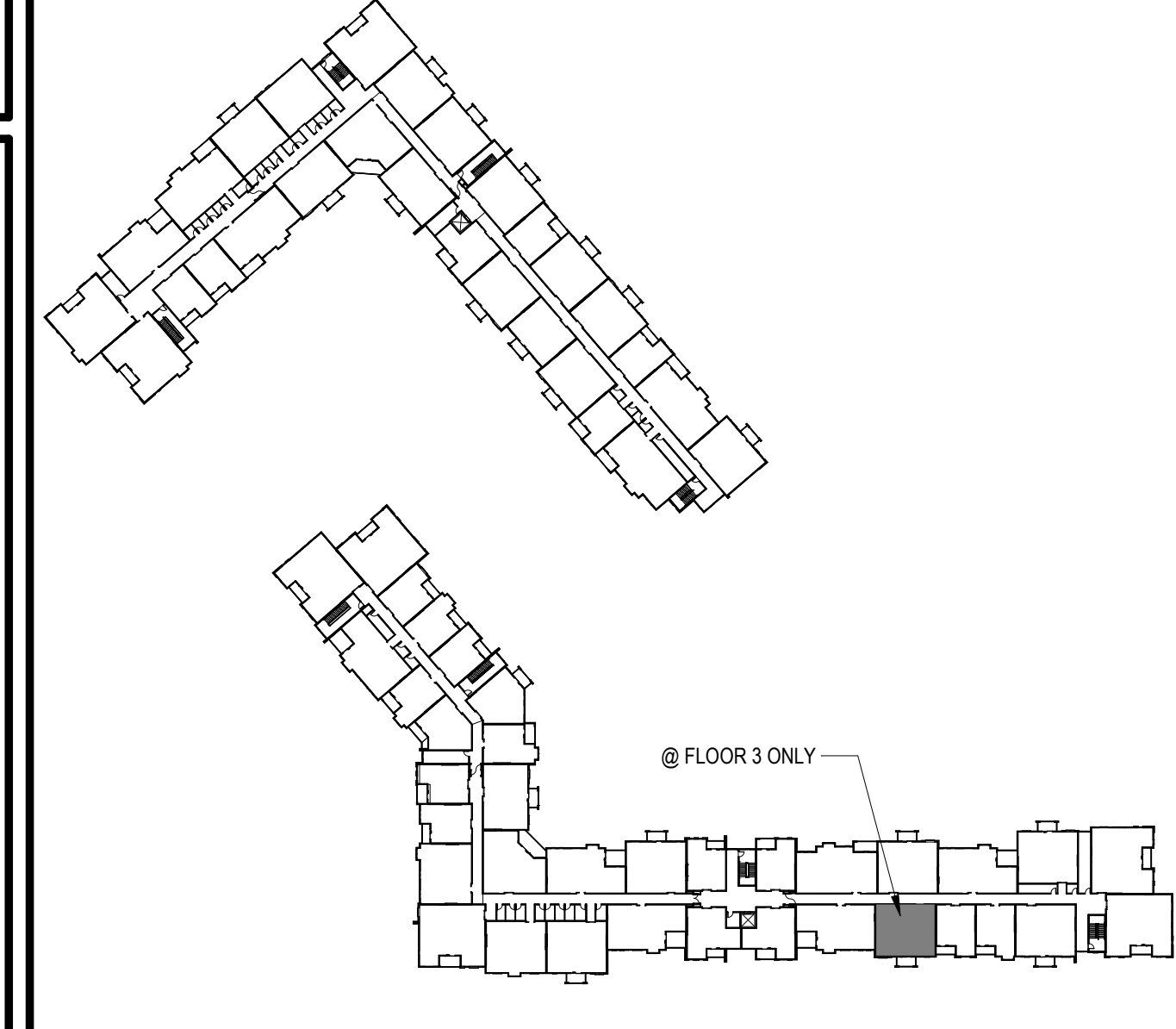
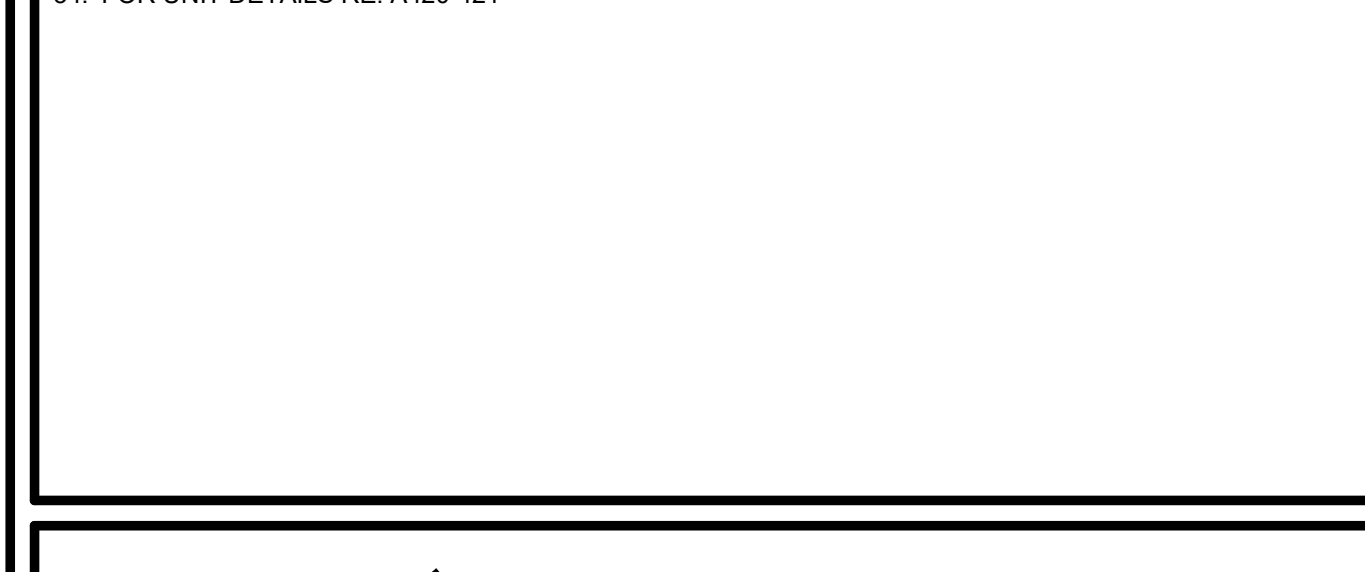
16 UNIT B1 - TYPE A - BATH 2 TUB/SHOWER
SCALE: 1/2" = 1'-0"



LIGHTING FIXTURE SCHEDULE			
LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
A	MAXIM	57690WTWT - CHIP 5" 12W RD LED FLUSH MOUNT	WHITE
B	FANIMATION	FP5853MMV - KWARTET: HARDWIRED FAN AND LIGHT FUNCTIONS (SEPARATE SWITCHES) - NO REMOTES	WHITE
C1	MAXIM	RAIL 24" - 52102	SATIN NICKEL
C2	MAXIM	RAIL 30" - 52103SN	SATIN NICKEL
C3	MAXIM	RAIL 36" - 52104	SATIN NICKEL
D	MAXIM	54350ABZ - AVENUE SMALL LET OUTDOOR SCONCE	BRONZE
E	ET2	E20086-BK - ABBYSS 1-LIGHT LED PENDANT	BLACK
F	ACCESS LIGHTING	49960LED-WHACR - COMO	WHITE

GENERAL UNIT NOTES

- ALL WALL DIMENSIONS ARE TO STUD.
- UNIT INTERIOR WALL TYPES ARE W44s (TYPICAL) UNLESS OTHERWISE NOTED.
- REFER TO SHEET A000 FOR TYPICAL WALL ASSEMBLIES.
- REFER TO SHEET A000 FOR UNIT DOOR SCHEDULE & A041 FOR DETAILS.
- ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
- REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS.
- REFER TO SHEET A050 FOR WINDOW SCHEDULE AND A050 - A051 FOR DETAILS.
- ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS.
- ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS.
- BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT, 5.7 SQFT NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO TOP OF SILL AS REQUIRED PER IBC-2016 SECTION 1029.
- REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES.
- PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT WET WALLS.
- PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
- PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC CLOSETS.
- REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
- VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL REQUIREMENTS.
- ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS.
- ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
- REFER TO A002 & A003 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY REQUIREMENTS.
- ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 60", TOWEL RINGS TO BE MOUNTED 1" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 20" A.F.F. TO CENTERLINE OF HOLDER UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A UNITS TO BE MOUNTED AT 48" HIGH MAX.
- INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS.
- TURN 40° NO MORE THAN 40° A.F.F. IN ANSI TYPE A UNITS.
- PROVIDE MINIMUM RATED 2A:10B C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK.
- VERIFY ALL TUB WALL LENGTHS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
- PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A002 & A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND THE WALL.
- SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
- PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 50" A.F.F. TO THE CENTER OF TV. REFER TO MEP AND TELECOM. PROVIDE 2x10 BLOCKING FOR TV MOUNTING.
- ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BROOM FINISH AT SLOPED SURFACES. VERIFY WITH STRUCTURE.
- REFER TO UNIT FINISH SCHEDULE FOR FINISHES ON A000. FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS, RE: A700.
- FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE BASE CABINETS".
- ALL SINK BASES TO BE REMOVABLE IN TYPE A UNITS. REMOVABLE BASE AT KITCHEN WORK SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS.
- BATHROOM CEILING HEIGHT 8' - 6" AFF.
- SHOWER HEAD HEIGHT 7'-0" AFF. SHOWER CONTROL HEIGHT 4'-0" AFF.
- TUB/SHOWER COMBO SHOWER HEAD HEIGHT 7'-0" AFF, CONTROL 3'-0" AFF, TUB FAUCET 2'-0" AFF.
- FOR UNIT DETAILS RE: A420-A421



LOCATION PLAN

ARCHITECT
BOB D CAMPBELL & COMPANY

STRUCTURAL ENGINEER
SM ENGINEERING

CIVIL ENGINEER
BRINKMANN CONSTRUCTORS

GENERAL CONTRACTOR
LATIMER SOMMERS & ASSOCIATES

MECHANICAL ENGINEER
LATIMER SOMMERS & ASSOCIATES

PLUMBING ENGINEER
LATIMER SOMMERS & ASSOCIATES

ELECTRICAL ENGINEER
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St. Louis, Missouri 63144
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DATE: 7.15.2021

REVISIONS

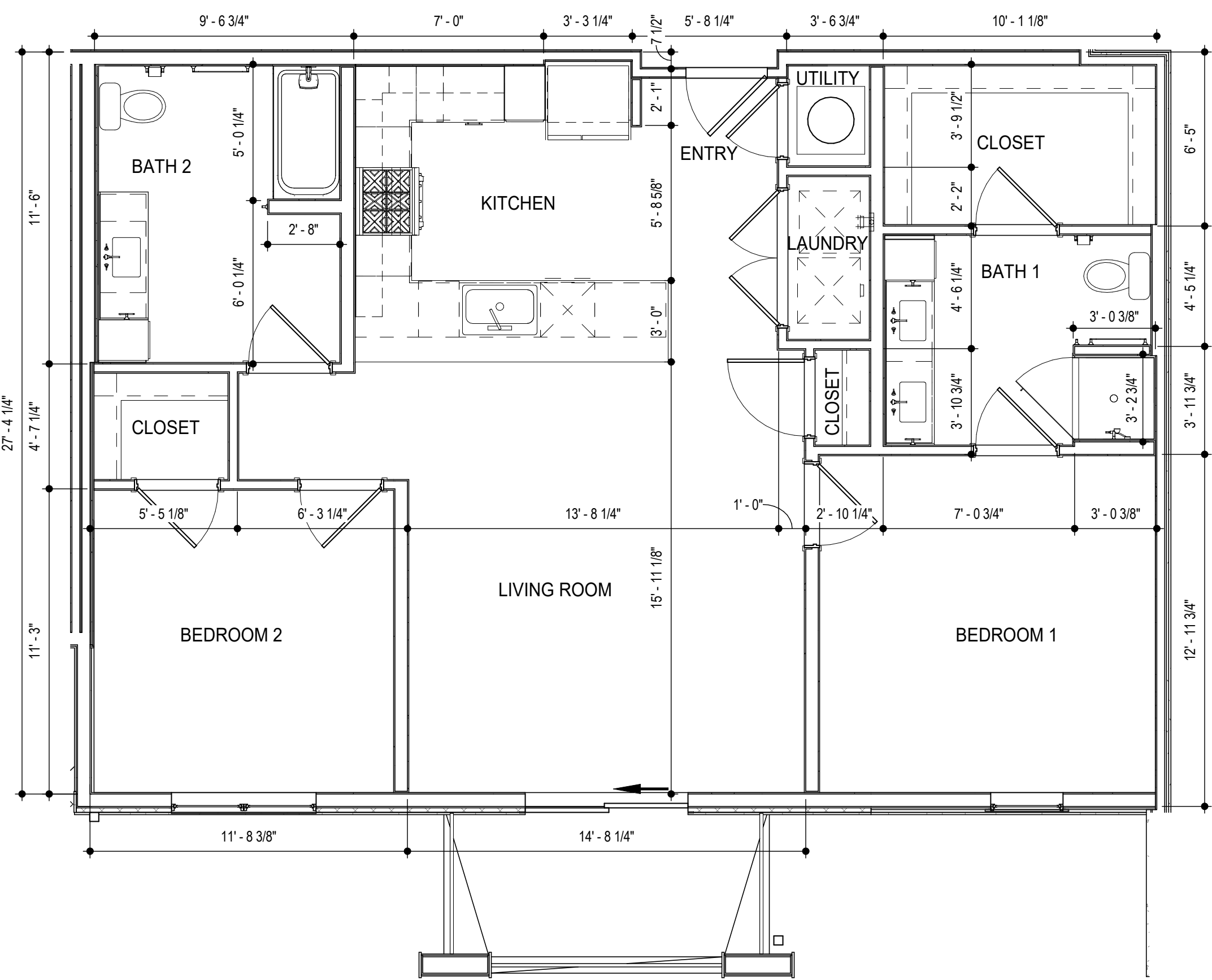
3	Revision 1	2.11.2022
4	Revision 2	3.1.2022

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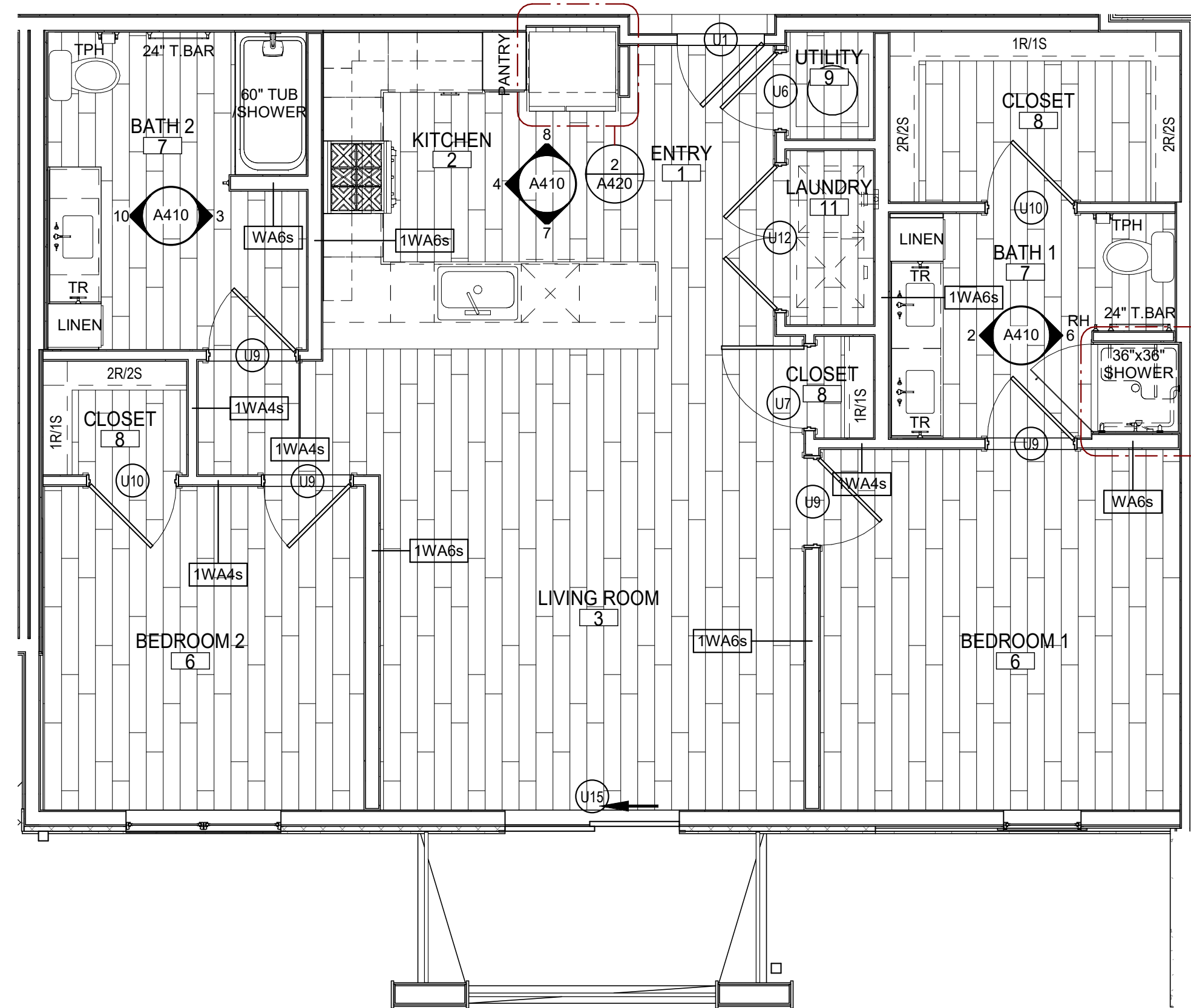
TRJ PROJECT NO. 20-001

SHEET NO. A408

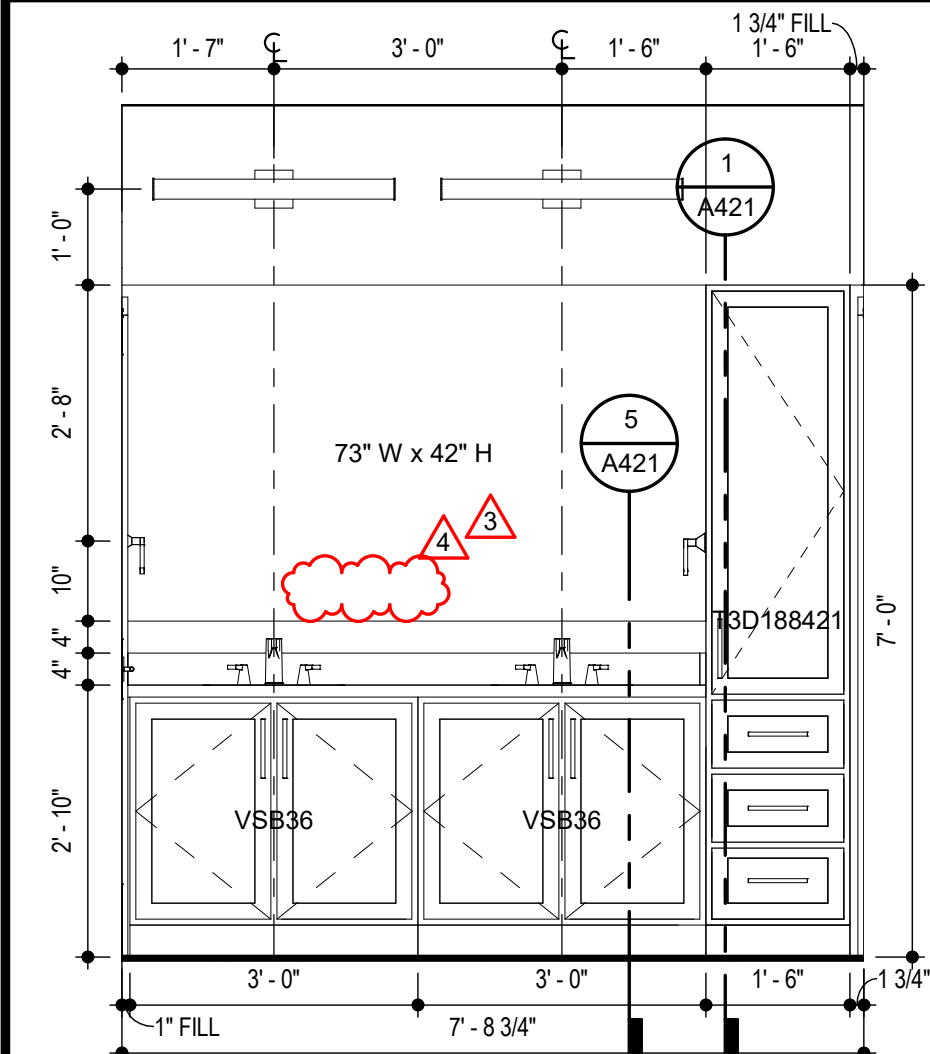
UNIT B1 - TYPE A - PLANS AND ELEVATIONS



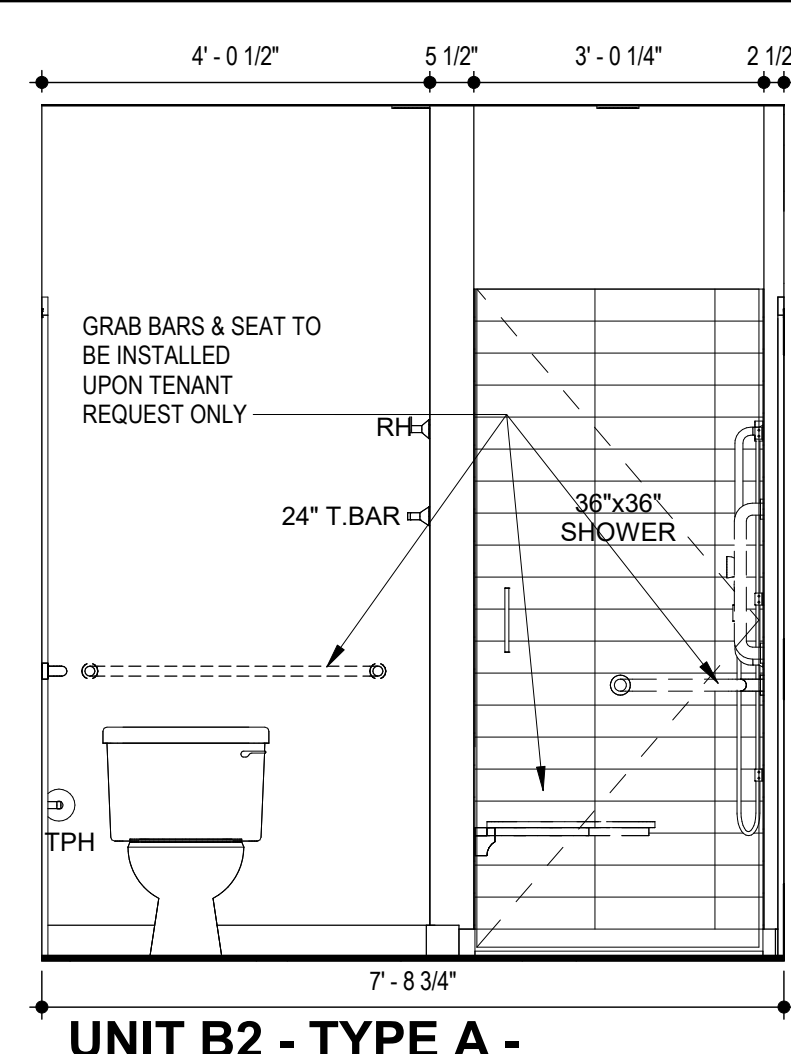
1 UNIT B2 - TYPE A - DIMENSION PLAN
SCALE: 1/4\"/>



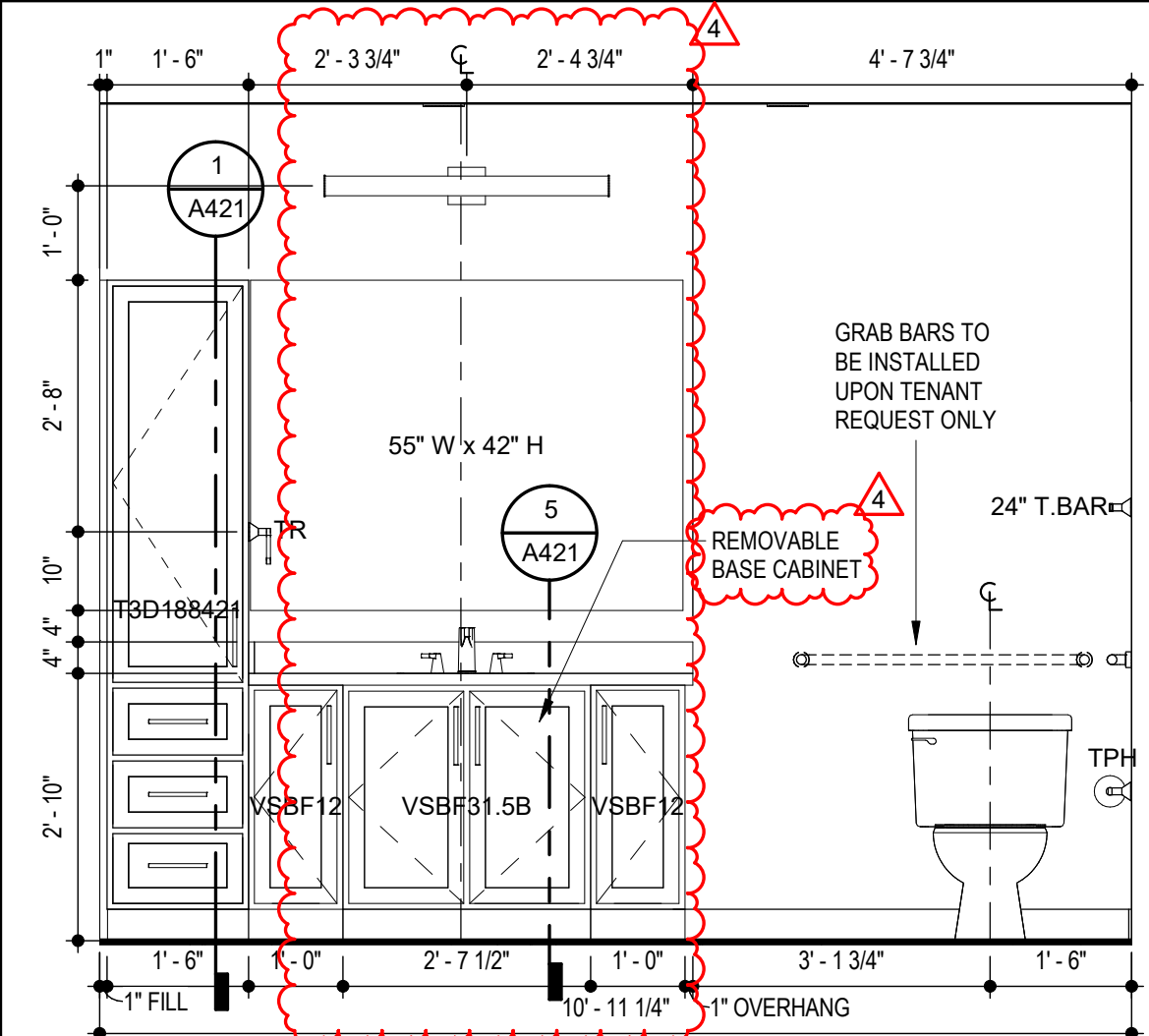
13 UNIT B2 - TYPE A - REFERENCE PLAN
SCALE: 1/4\"/>



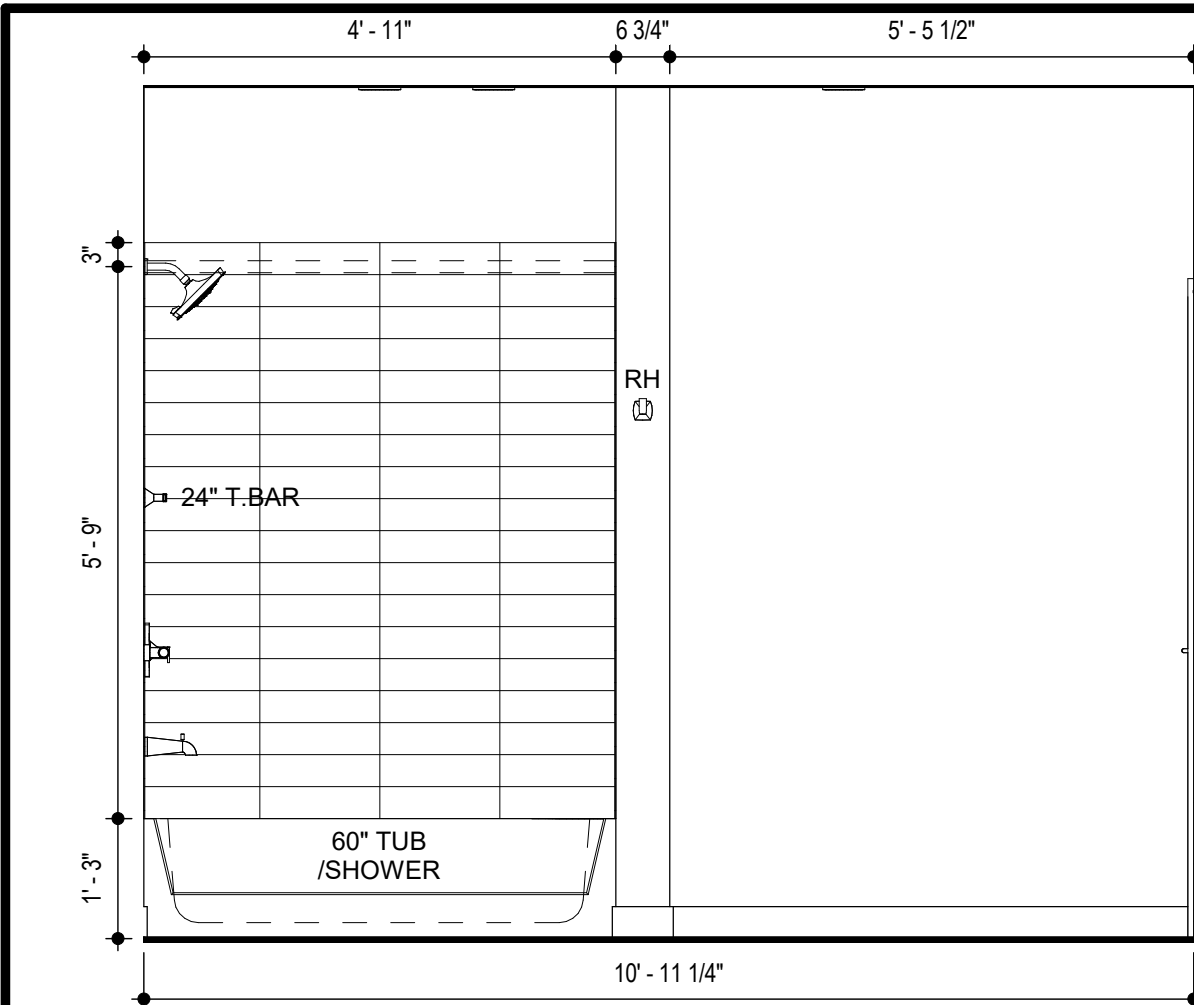
2 UNIT B2 - TYPE A - BATH 1 SINK
SCALE: 1/2\"/>



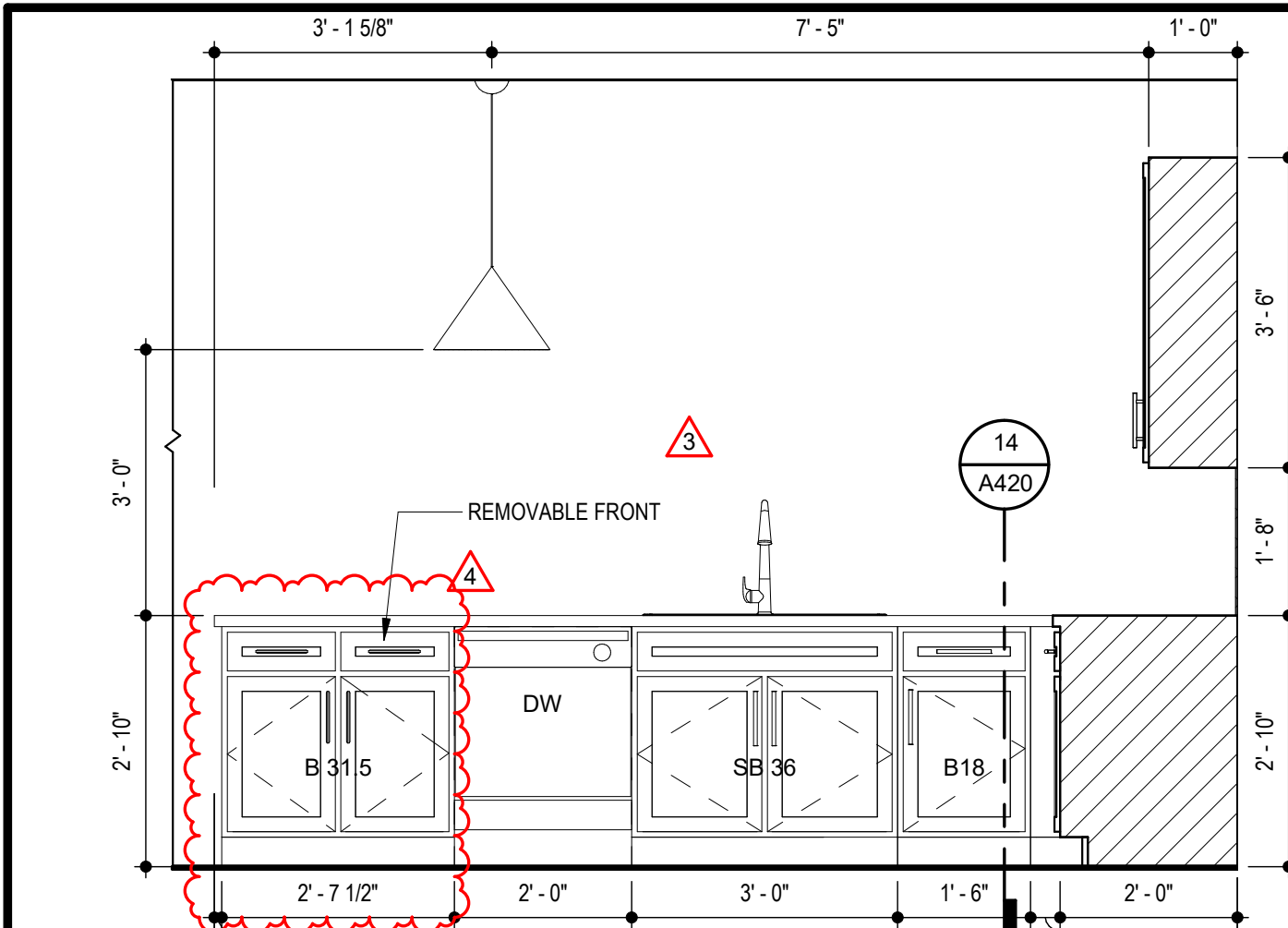
6 UNIT B2 - TYPE A - BATH 1 SHOWER
SCALE: 1/2\"/>



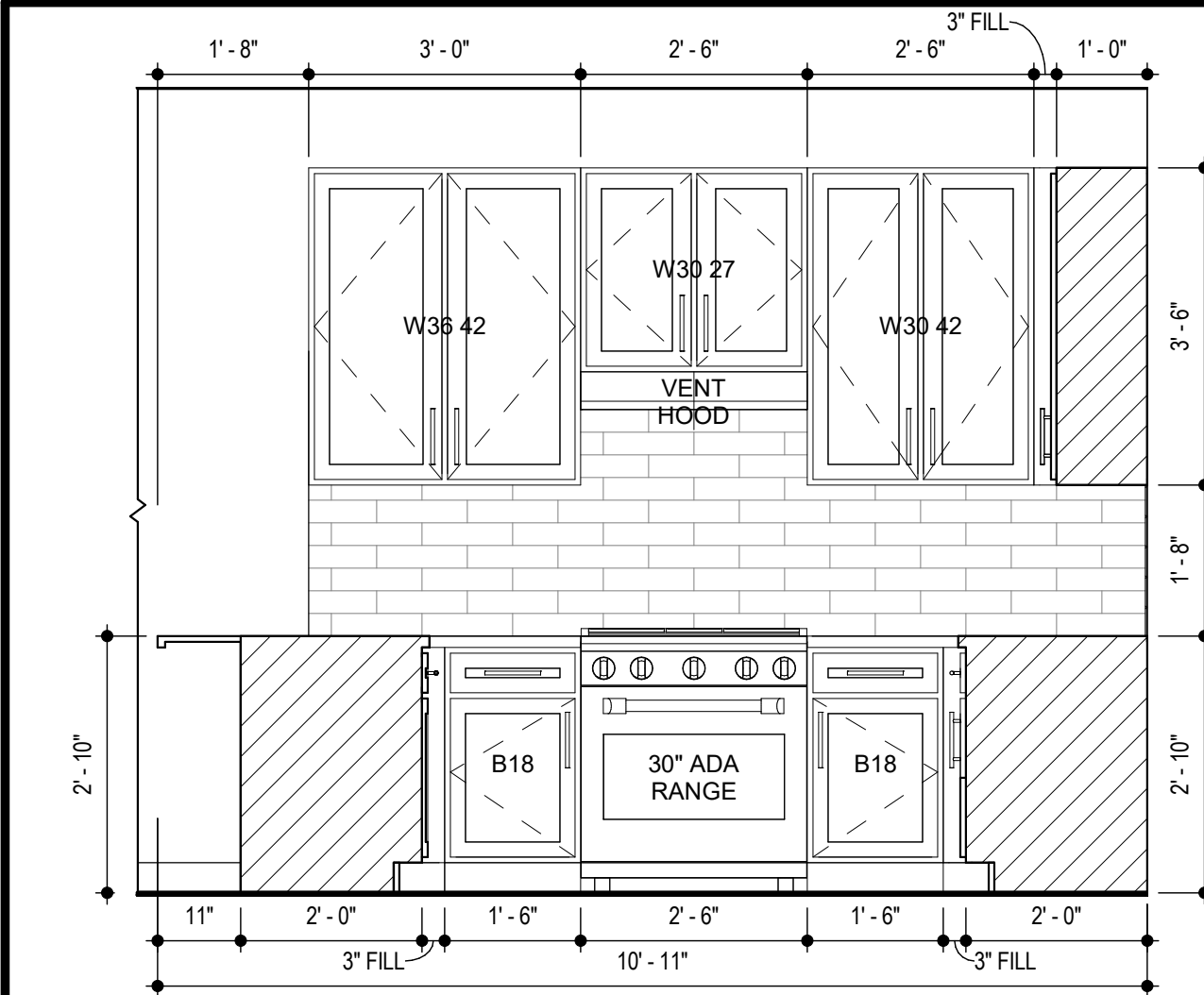
10 UNIT B2 - TYPE A - BATH 2 SINK
SCALE: 1/2\"/>



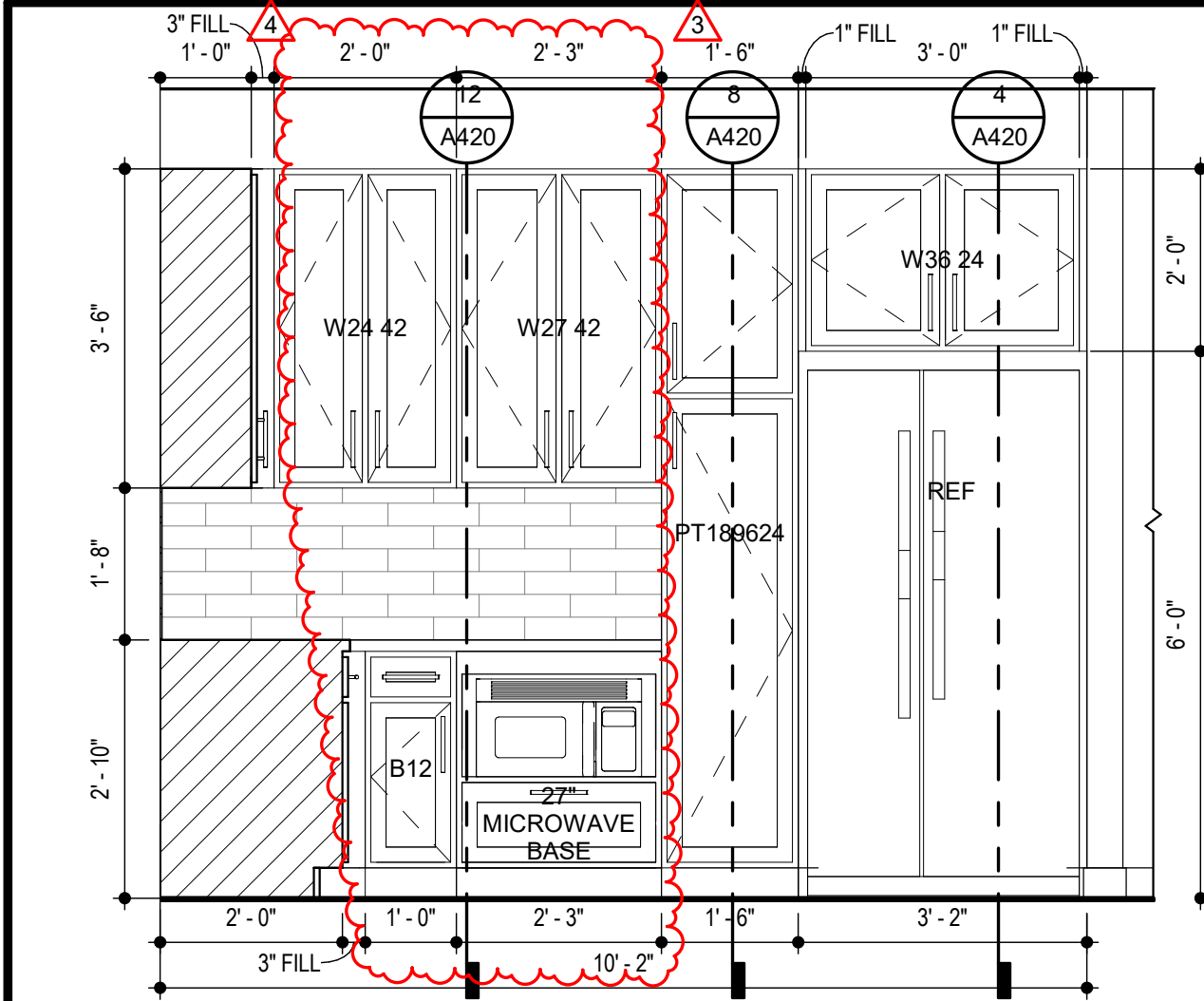
3 UNIT B2 - TYPE A - BATH 2 TUB
SCALE: 1/2\"/>



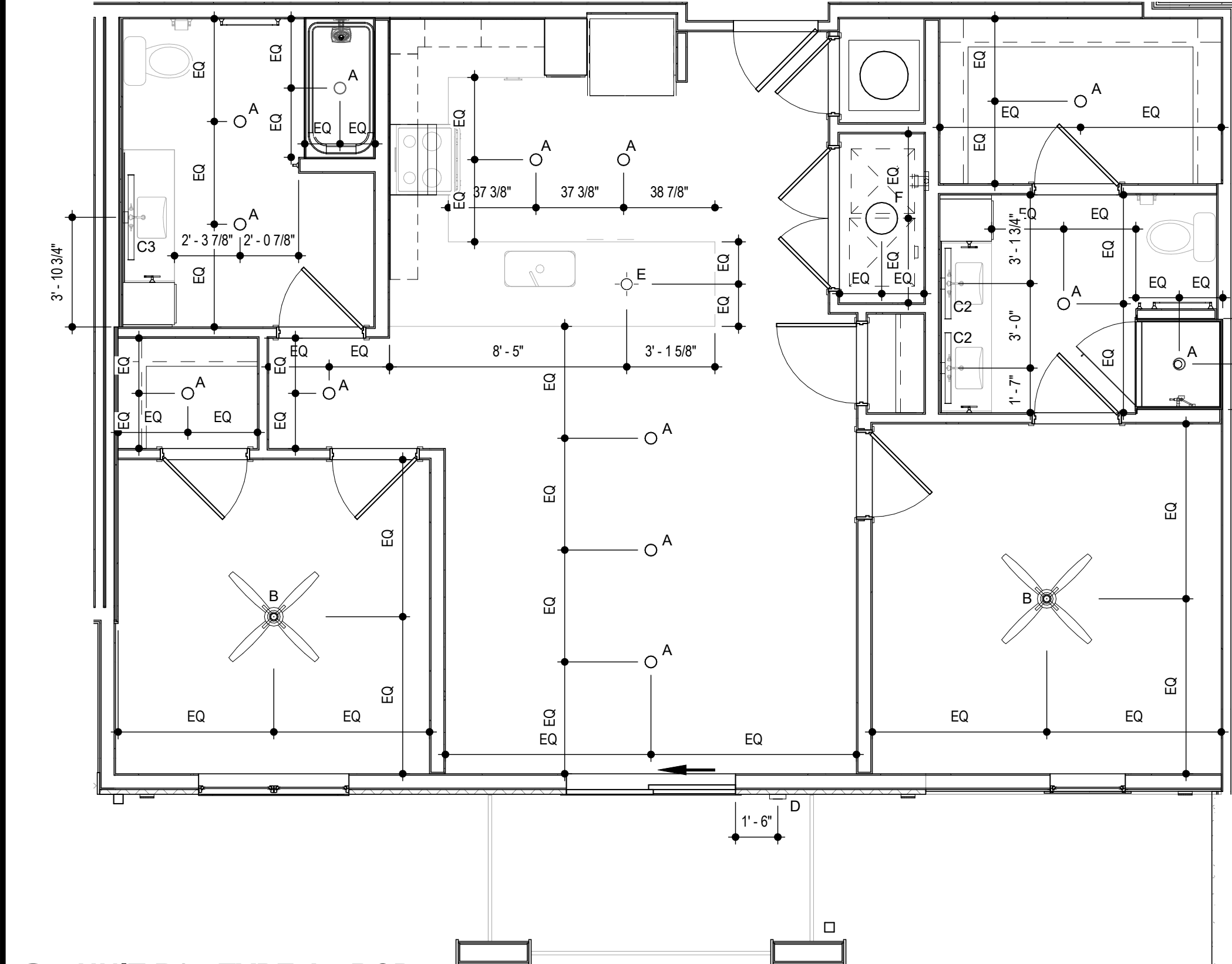
7 UNIT B2 - TYPE A - KITCHEN SINK
SCALE: 1/2\"/>



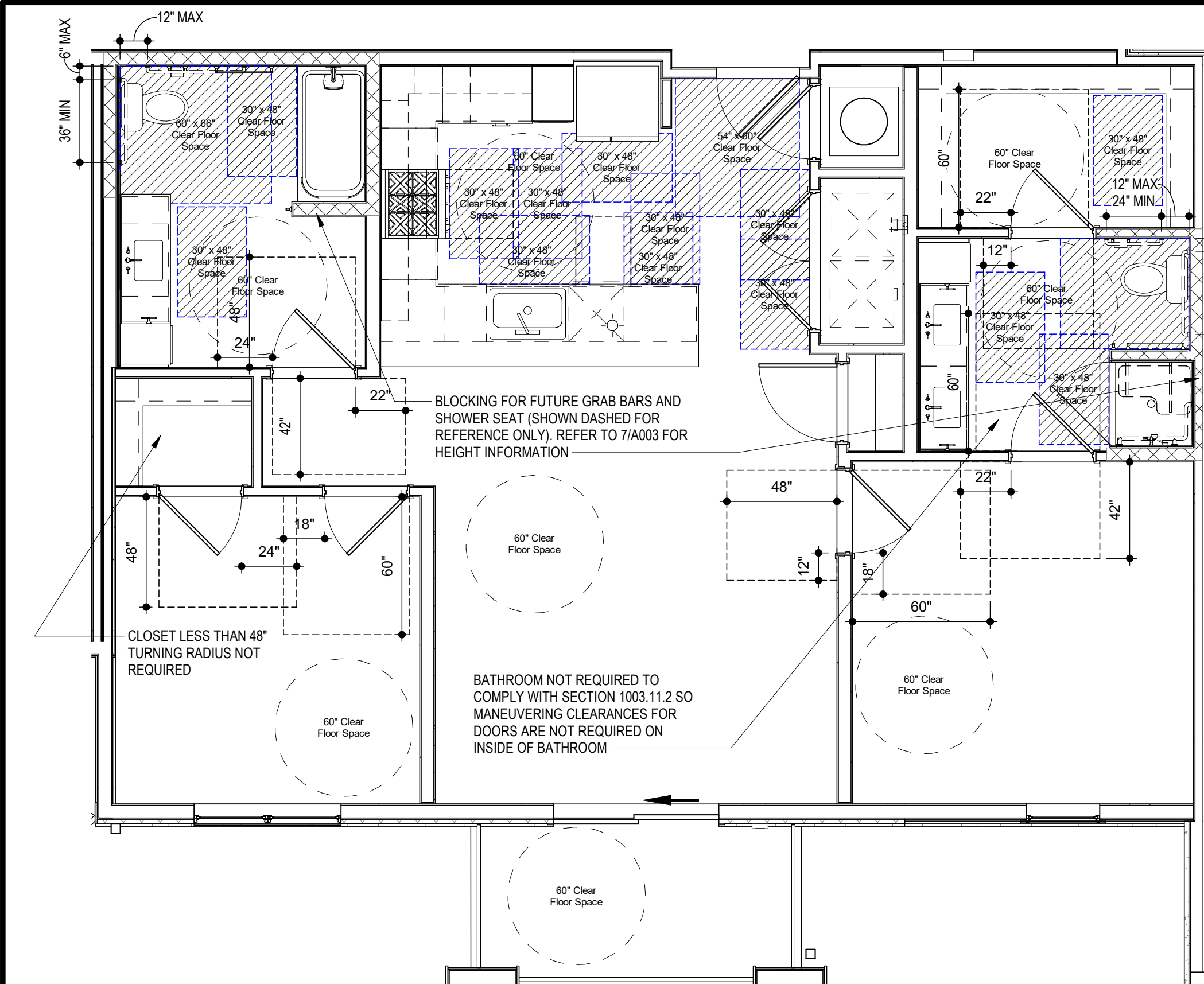
4 UNIT B2 - TYPE A - KITCHEN RANGE
SCALE: 1/2\"/>



8 UNIT B2 - TYPE A - KITCHEN REFRIGERATOR
SCALE: 1/2\"/>

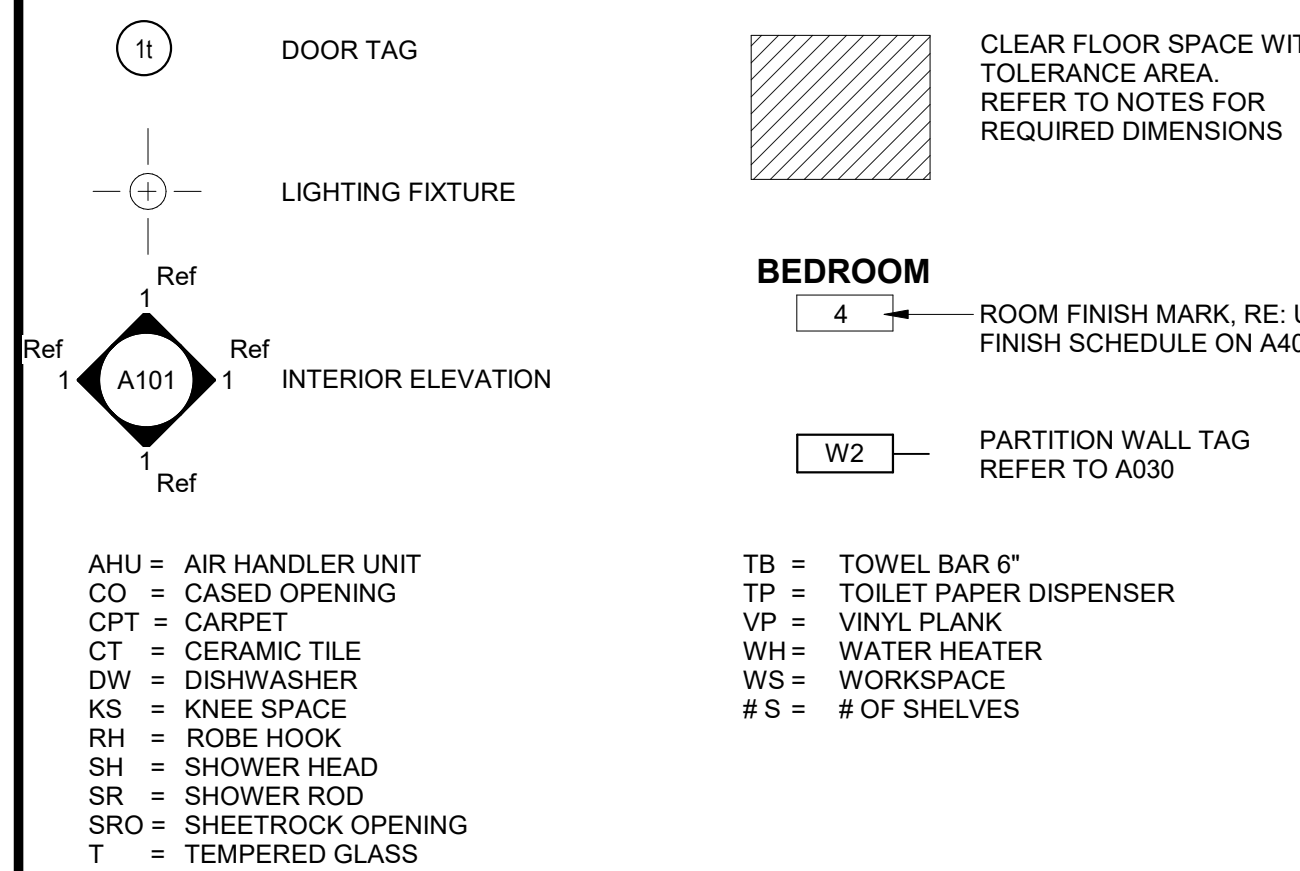


15 UNIT B2 - TYPE A - RCP
SCALE: 1/4\"/>



16 UNIT B2 - TYPE A - C.F.S.
SCALE: 1/4\"/>

SYMBOL LEGEND - UNIT PLANS

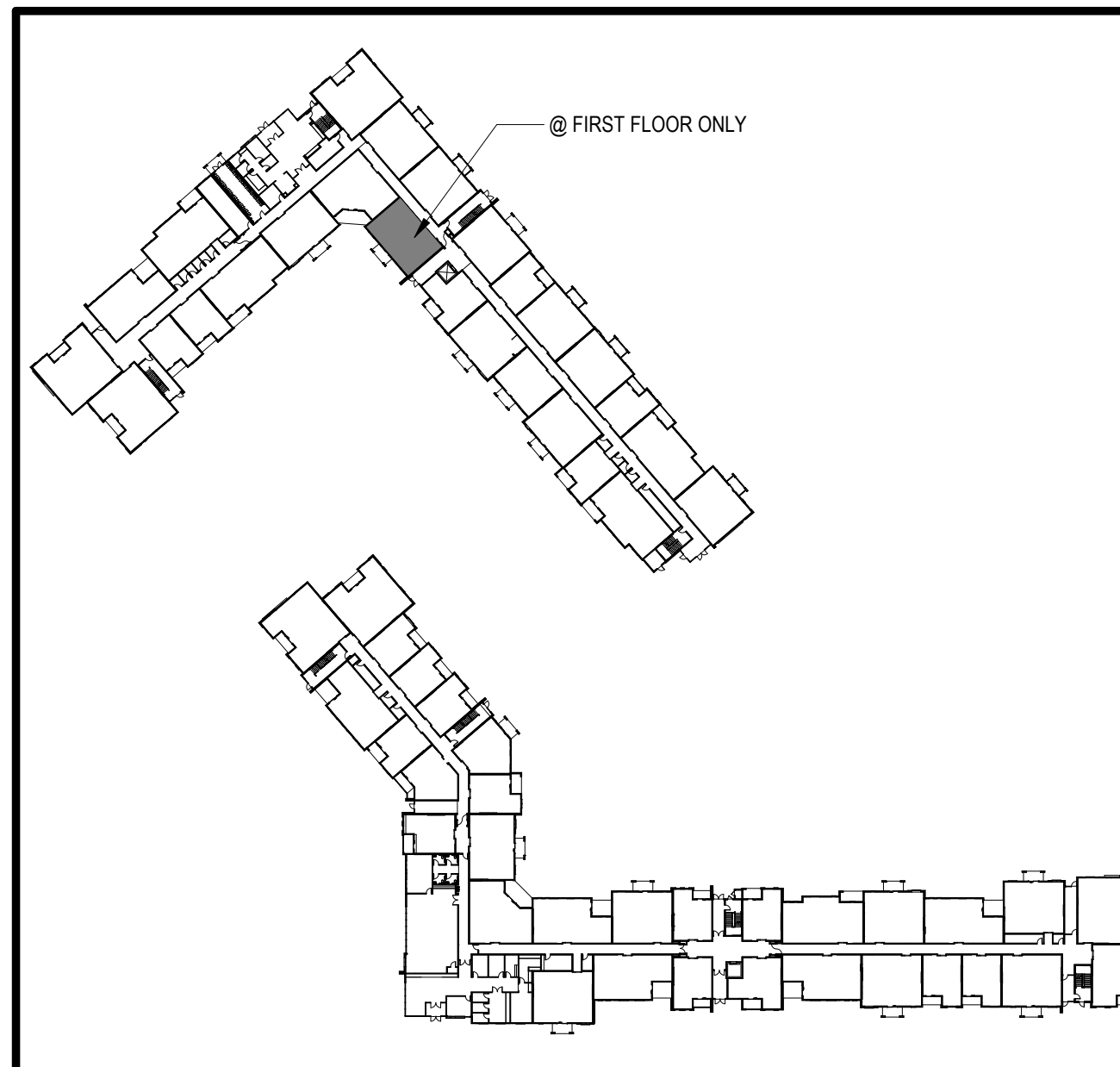


LIGHTING FIXTURE SCHEDULE

LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
A	MAXIM	57690WTWT - CHIP 5" 12W RD LED FLUSH MOUNT	WHITE
B	FANIMATION	FP58533MM - KWARTET: HARDWIRED FAN AND LIGHT FUNCTIONS (SEPARATE SWITCHES) - NO REMOTES	WHITE
C1	MAXIM	RAIL 24" - 52102	SATIN NICK
C2	MAXIM	RAIL 30" - 52103SN	SATIN NICK
C3	MAXIM	RAIL 36" - 52104	SATIN NICK
D	MAXIM	54350ABZ - AVENUE SMALL LET OUTDOOR SCONCE	BRONZE
E	ET2	E20086-BK - ABBYSS 1-LIGHT LED PENDANT	BLACK
F	ACCESS LIGHTING	49960LED-WHACR - COMO	WHITE

GENERAL UNIT NOTES

1. ALL WALL DIMENSIONS ARE TO STUD.
2. UNIT INTERIOR WALL TYPES ARE W44 (TYPICAL) UNLESS OTHERWISE NOTED.
3. REFER TO SHEET A000 FOR TYPICAL WALL ASSEMBLIES.
4. REFER TO SHEET A060 FOR UNIT DOOR SCHEDULE & A041 FOR DETAILS.
5. ALL INTERIOR DOORS SHALL ALLOW 3/4\"/>
6. REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS.
7. REFER TO SHEET A050 FOR WINDOW SCHEDULE AND A050 - A051 FOR DETAILS.
8. ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS.
9. ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS.
10. BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20\"/>
11. NET CLEAR WIDTH, 24\"/>
12. MAXIMUM FROM FINISH FLOOR TO TOP OF SILL, AS REQUIRED PER IBC-2016 SECTION 1029.
13. REFER TO BUILDING PLANS FOR CORRIDOR AND DIMISING WALL TYPES.
14. PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT WET WALLS.
15. PROVIDE SOUND BATT'S IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
16. PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC CLOSETS.
17. REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
18. VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL REQUIREMENTS.
19. ALL ANGLES ARE 45\"/>
20. ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
21. REFER TO A002 & A003 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY REQUIREMENTS.
22. ALL TOWEL BARS ARE TO BE MOUNTED AT 54\"/>
23. ROBE HOOKS TO BE MOUNTED AT 60\"/>
24. RINGS TO BE MOUNTED 1'-0\"/>
25. CENTERLINE OF HOLDER UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A UNITS TO BE MOUNTED AT 48\"/>
26. INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS.
27. VANITY MIRRORS TO BE 42\"/>
28. SURFACE NO MORE THAN 40\"/>
29. PROVIDE MINIMUM RATED 2A-10B C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK.
30. VERIFY ALL TUB WALL LENGTHS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
31. PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A002 & A003, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND THE WALL.
32. SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
33. PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 50\"/>
34. TO THE CENTER OF TV. REFER TO MEP AND TELECOM. PROVIDE 2'-10\"/>
35. ALL EXTERIOR SLABS TO SLOPE DOWN 1/8\"/>
36. SURFACES. VERIFY WITH STRUCTURE.
37. REFER TO UNIT FINISH SCHEDULE FOR FINISHES ON A060. FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS. RE: A700
38. FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE BASE CABINETS".
39. ALL SINK BASES TO BE REMOVABLE IN TYPE A UNITS. REMOVABLE BASE AT KITCHEN WORK SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS
40. BATHROOM CEILING HEIGHT 8' - 6\"/>
41. SHOWER HEAD HEIGHT 7'-0\"/>
42. SHOWER CONTROL HEIGHT 4'-0\"/>
43. TUB/SHOWER COMBO SHOWER HEAD HEIGHT 7'-0\"/>
44. TUB FAUCET 2'-0\"/>
45. FOR UNIT DETAILS RE: A420-A421



LOCATION PLAN

ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

GENERAL CONTRACTOR

MECHANICAL ENGINEER

PLUMBING ENGINEER

ELECTRICAL ENGINEER

TRJ ARCHITECTS

BOB D CAMPBELL & COMPANY

SM ENGINEERING

BRINKMANN CONSTRUCTORS

LATIMER SOMMERS & ASSOCIATES

LATIMER SOMMERS & ASSOCIATES

LATIMER SOMMERS & ASSOCIATES

3.1.2022

TRJ ARCHITECTS

The Signature at West Pryor

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TRJ ARCHITECTS

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DATE:

7.15.2021

REVISIONS

3	Revision 1	2.11.2022
4	Revision 2	3.1.2022

DWG BY

MKSS

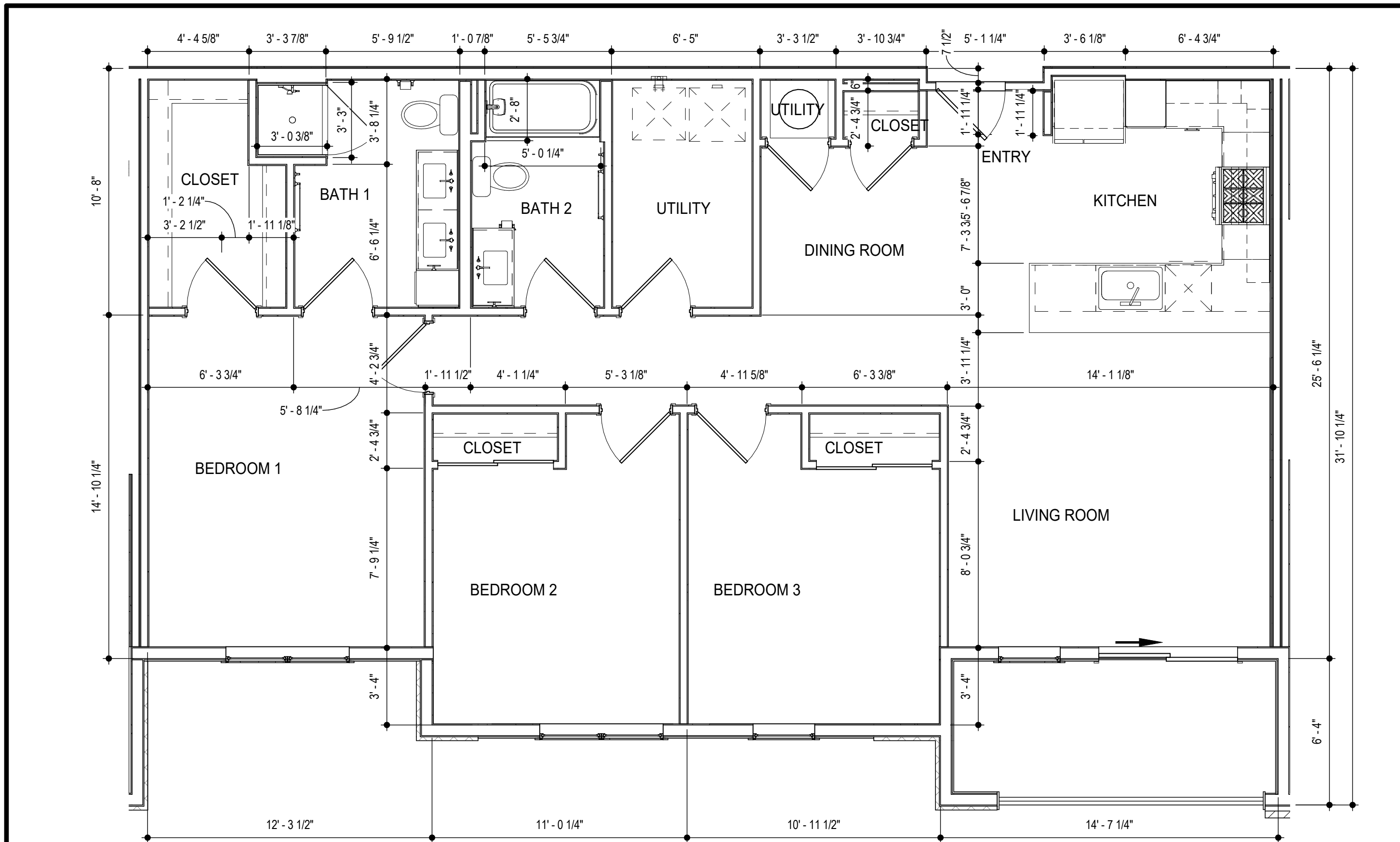
TRJ PROJECT NO.

20-001

SHEET NO.

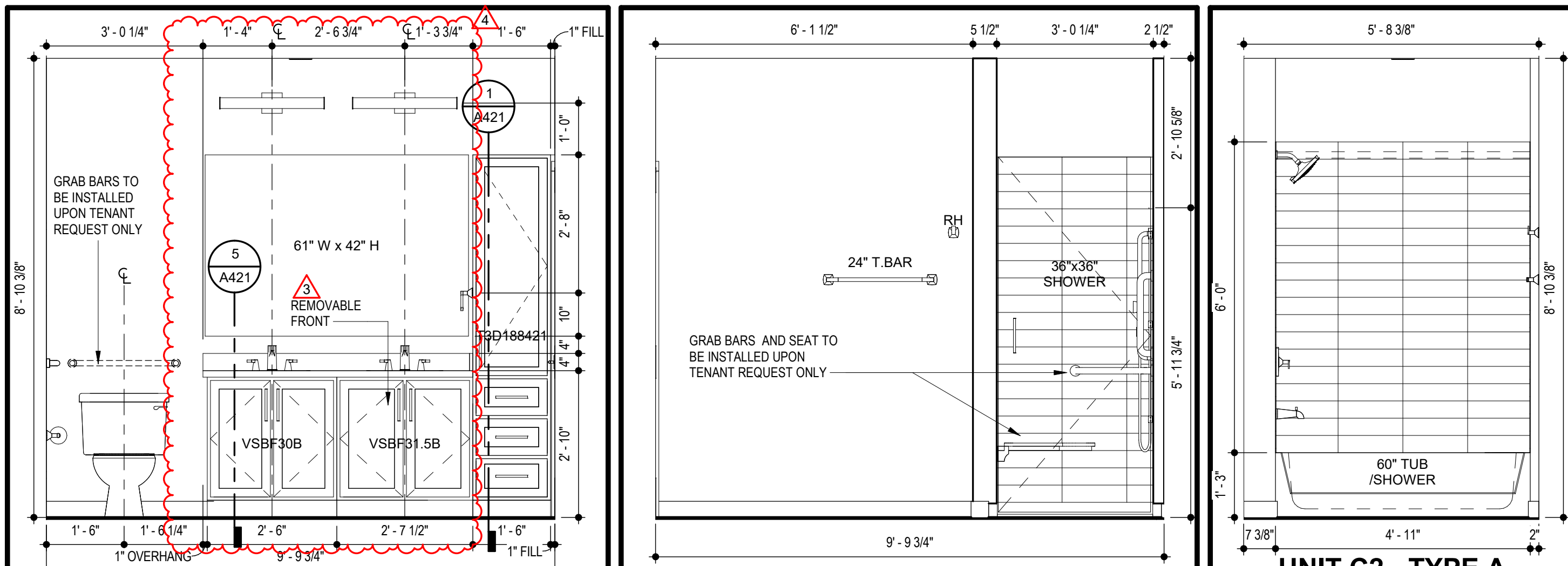
A410

UNIT B2-TYPE A - PLANS AND ELEVATIONS



1 UNIT C2 - TYPE A - DIMENSION PLAN

SCALE: 1/4" = 1'-0"



2 UNIT C2 - TYPE A - BATH 1 SINK

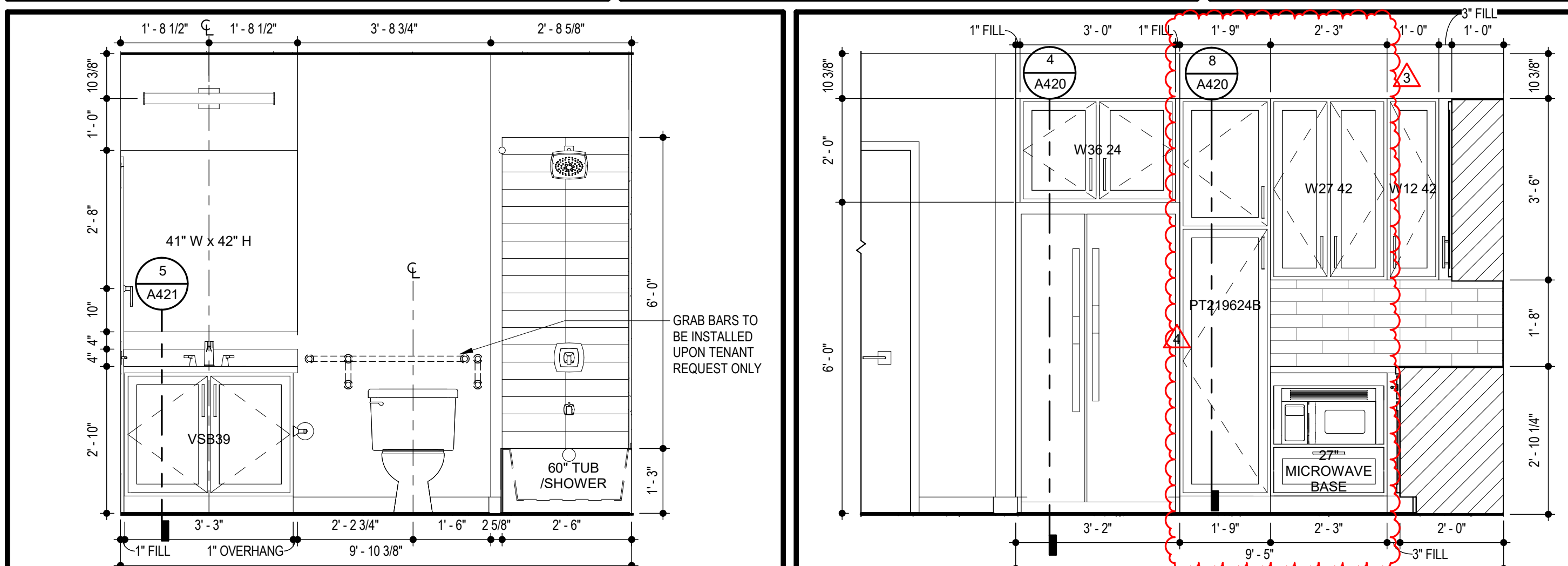
SCALE: 1/2" = 1'-0"

6 UNIT C2 - TYPE A - BATH 1 SHOWER

SCALE: 1/2" = 1'-0"

10 UNIT C2 - TYPE A - BATH 2 TUB

SCALE: 1/2" = 1'-0"

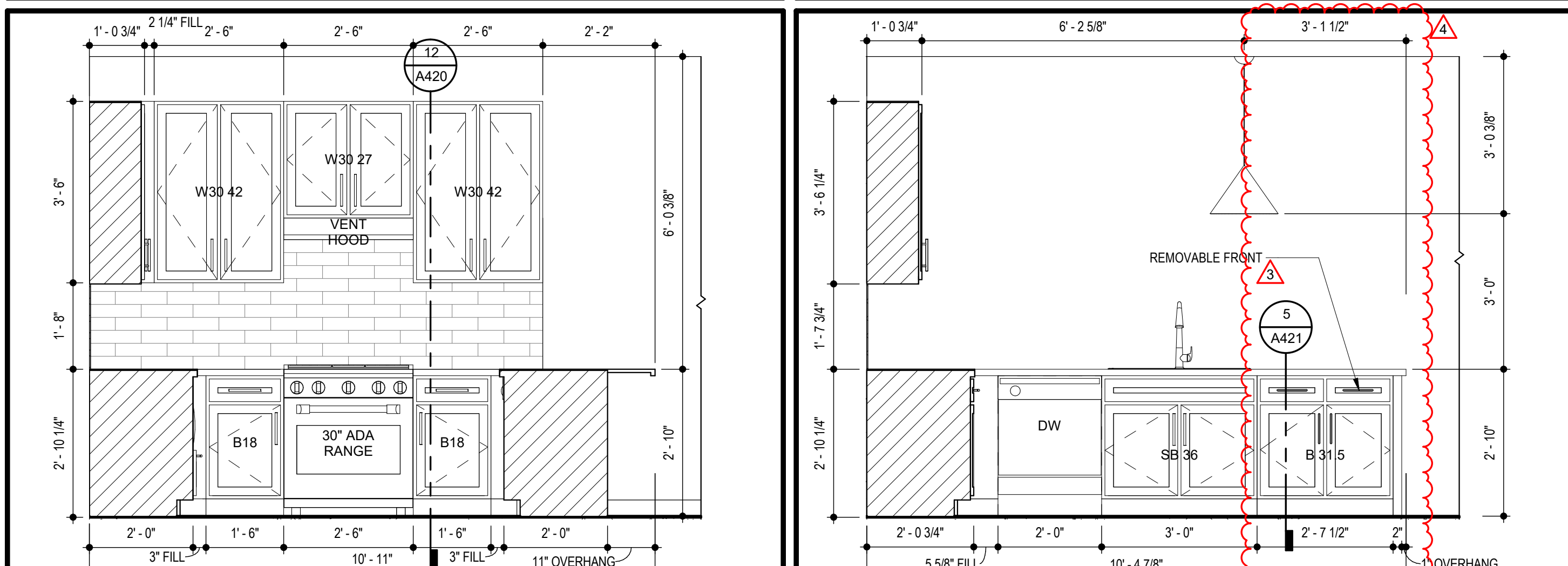


3 UNIT C2 - TYPE A - BATH 2 SINK

SCALE: 1/2" = 1'-0"

7 UNIT C2 - TYPE A - KITCHEN REFRIGERATOR

SCALE: 1/2" = 1'-0"

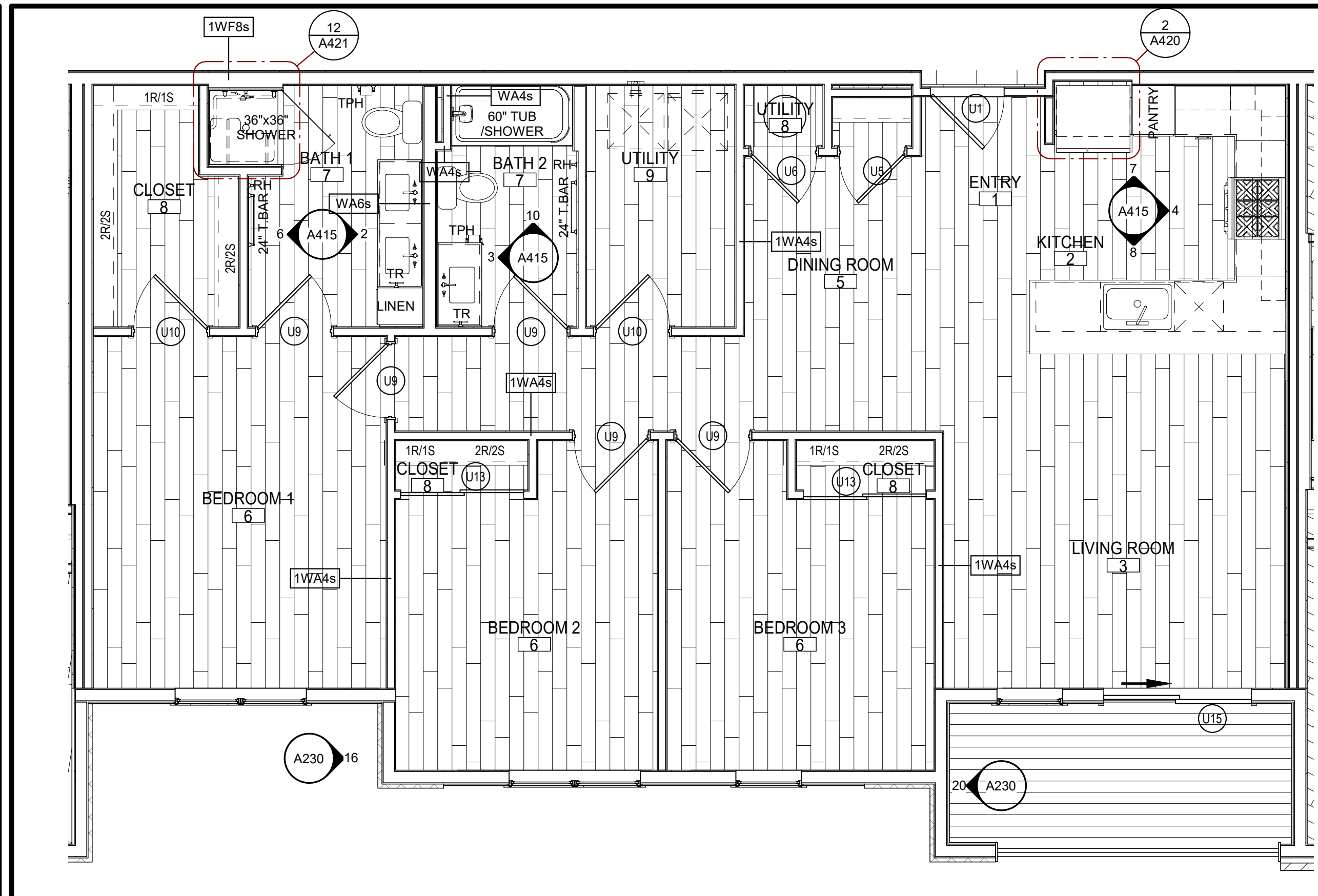


4 UNIT C2 - TYPE A - KITCHEN RANGE

SCALE: 1/2" = 1'-0"

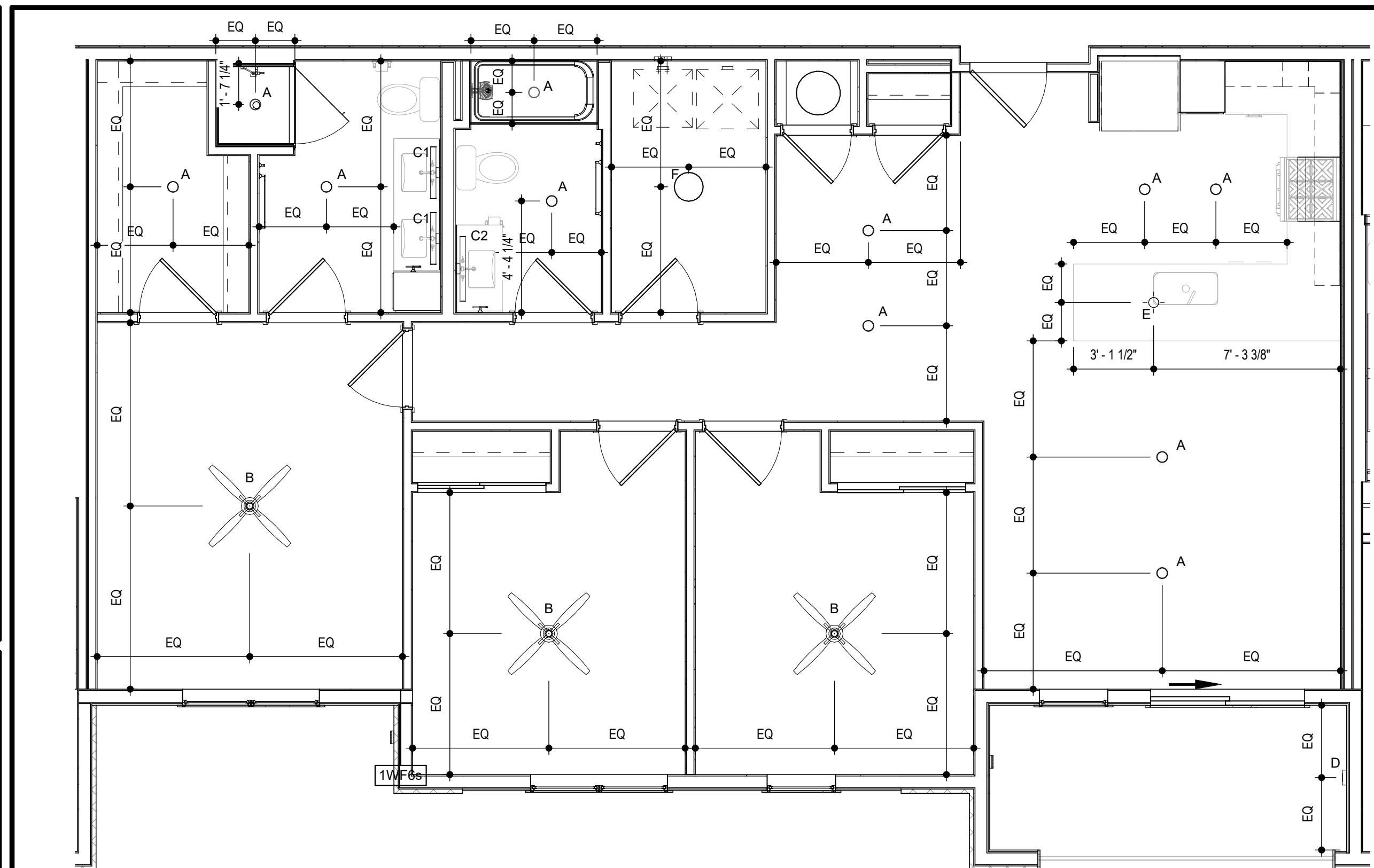
8 UNIT C2 - TYPE A - KITCHEN SINK

SCALE: 1/2" = 1'-0"



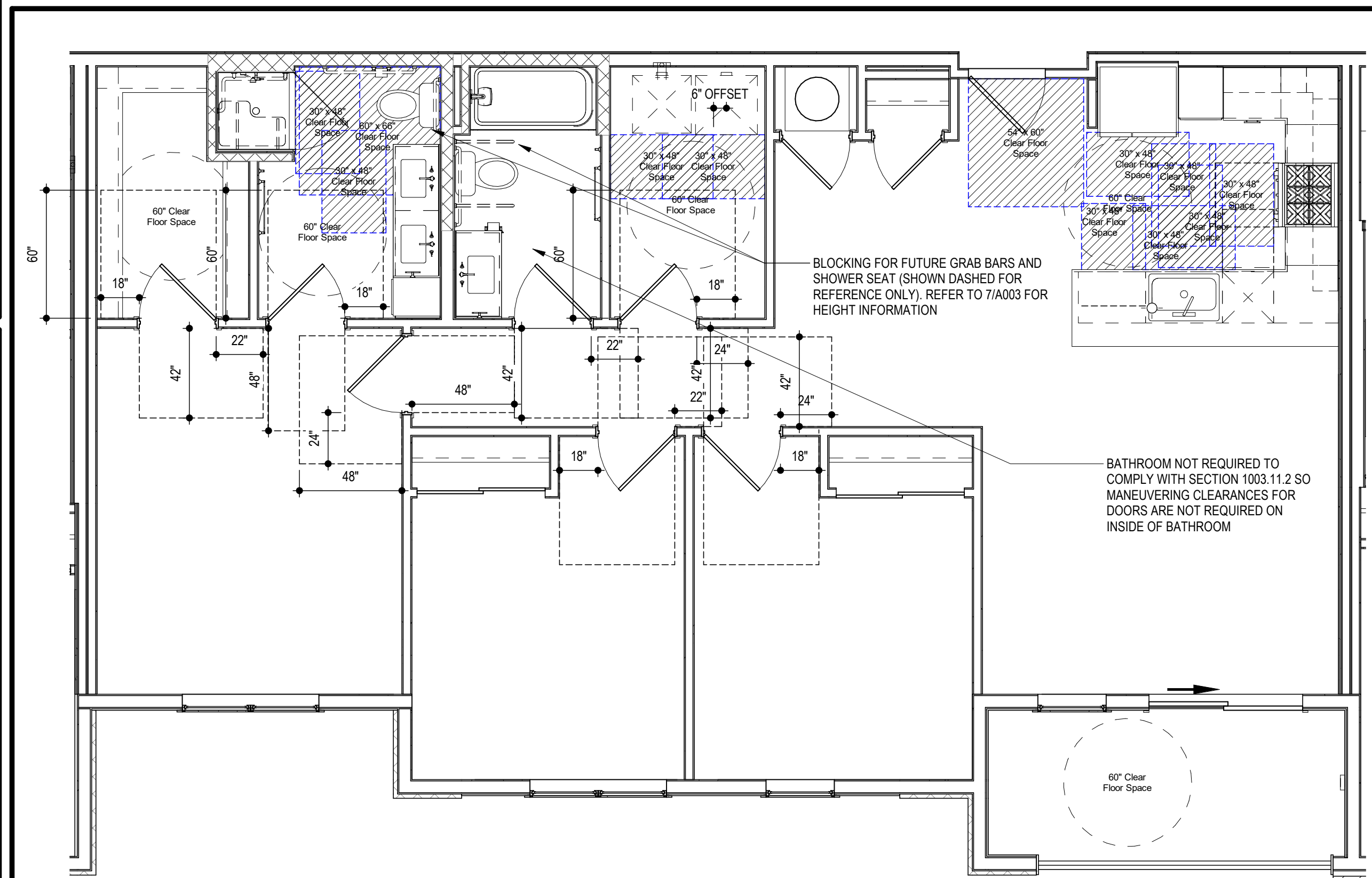
13 UNIT C2 - TYPE A - REFERENCE PLAN

SCALE: 1/4" = 1'-0"



15 UNIT C2 - TYPE A - RCP

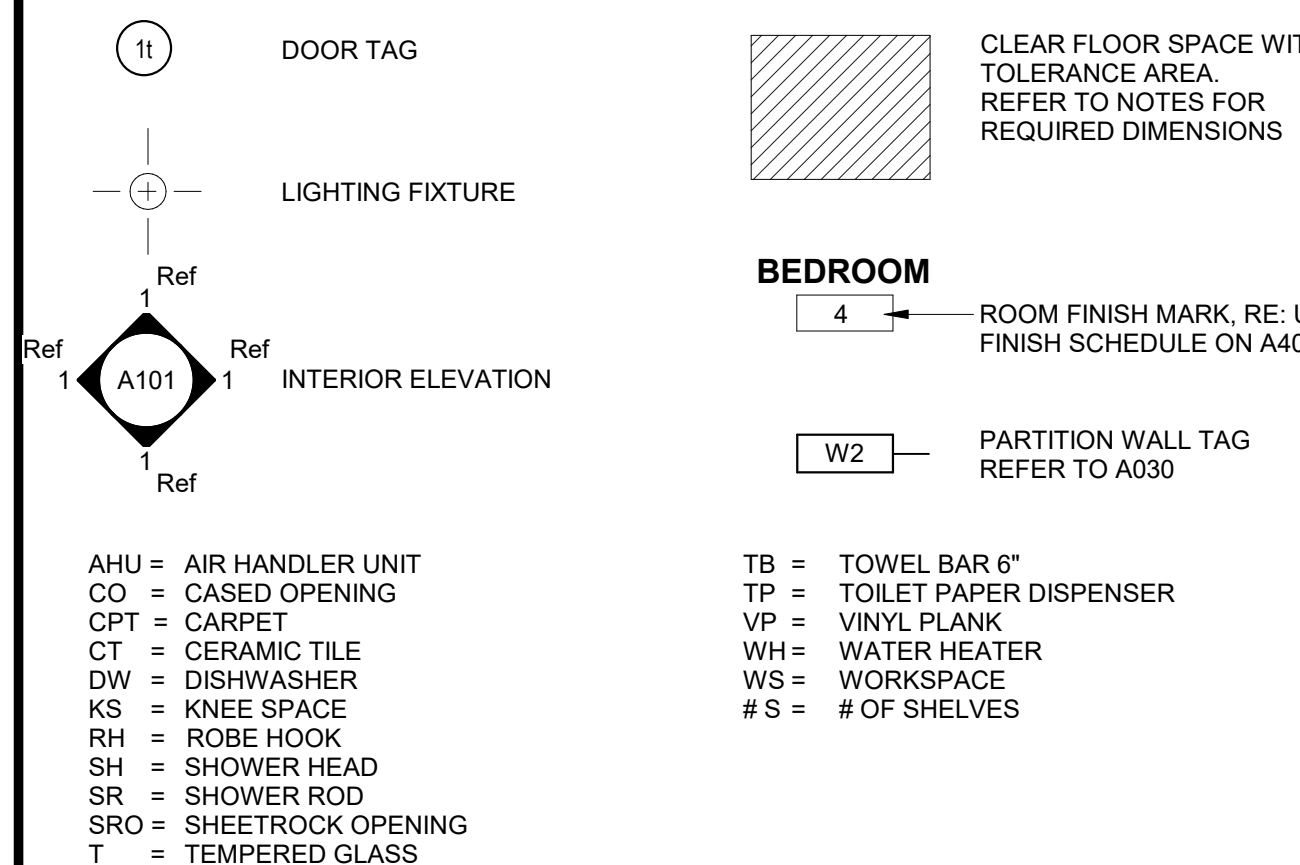
SCALE: 1/4" = 1'-0"



16 UNIT C2 - TYPE A - C.F.S.

SCALE: 1/4" = 1'-0"

SYMBOL LEGEND - UNIT PLANS



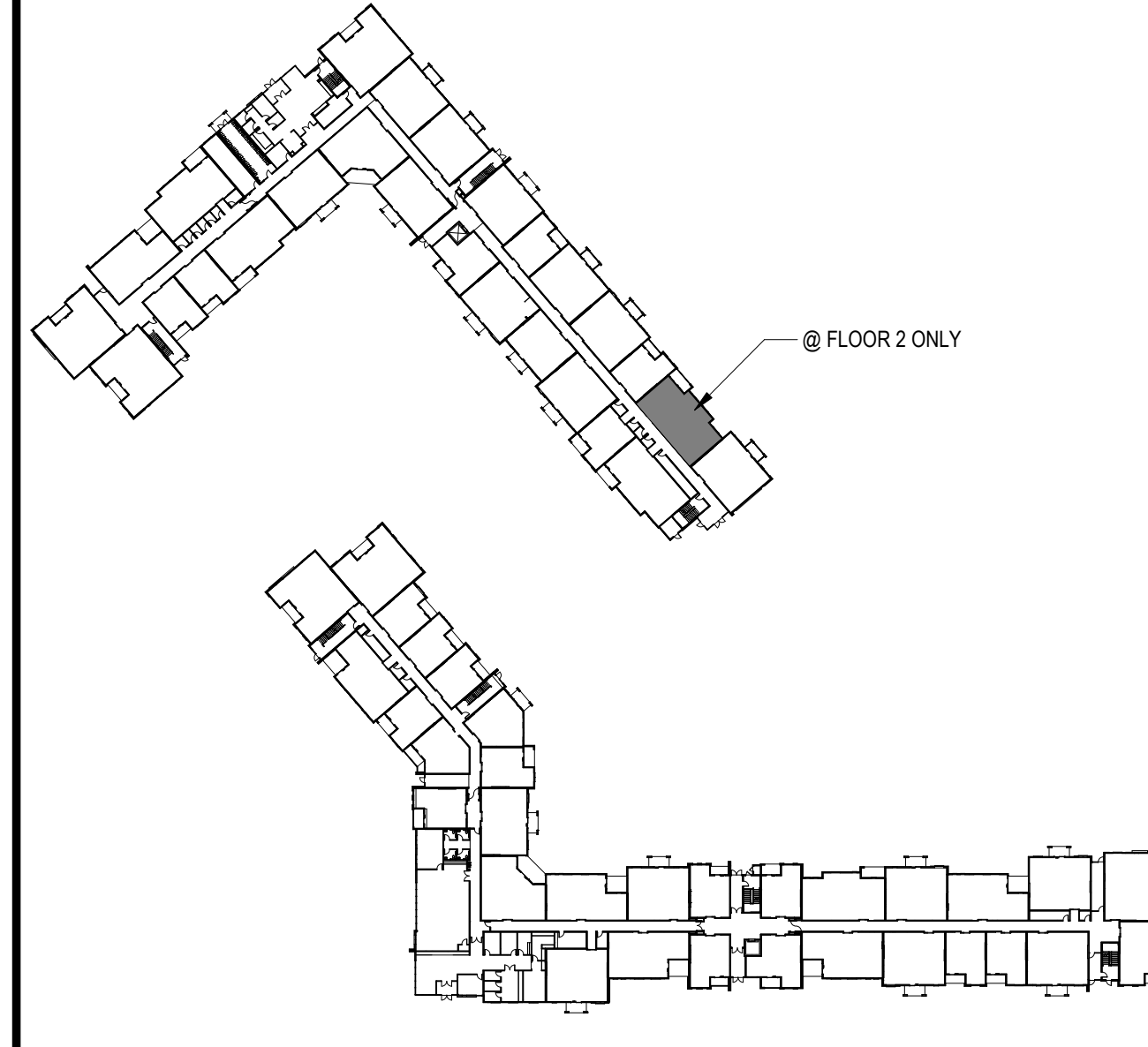
LIGHTING FIXTURE SCHEDULE

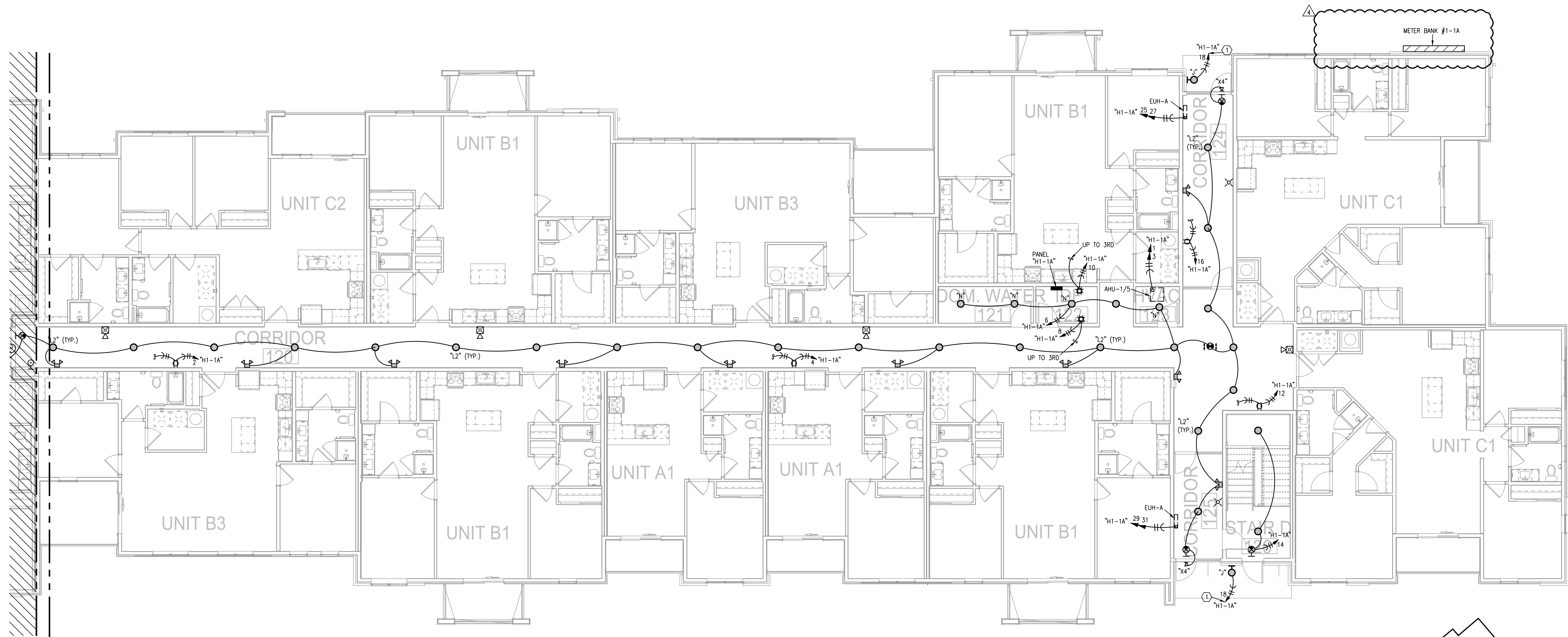
LABEL	MANUFACTURER	DESCRIPTION/MODEL	FINISH
A	MAXIM	57690WWT - CHIP 5" 12W RD LED FLUSH MOUNT	WHITE
B	FANIMATION	FP58533MM - KWARTET, HARDWIRED FAN AND LIGHT FUNCTIONS (SEPARATE SWITCHES) - NO REMOTES	WHITE
C1	MAXIM	RAIL 24" - 52102	SATIN NICKEL
C2	MAXIM	RAIL 30" - 52103SN	SATIN NICKEL
C3	MAXIM	RAIL 36" - 52104	SATIN NICKEL
D	MAXIM	54350ABZ - AVENUE SMALL LET OUTDOOR SCOFF	BRONZE
E	ET2	E20086-BK - ABBYSS LIGHT LED PENDANT	BLACK
F	ACCESS LIGHTING	49960LED-WHACR - COMO	WHITE

GENERAL UNIT NOTES

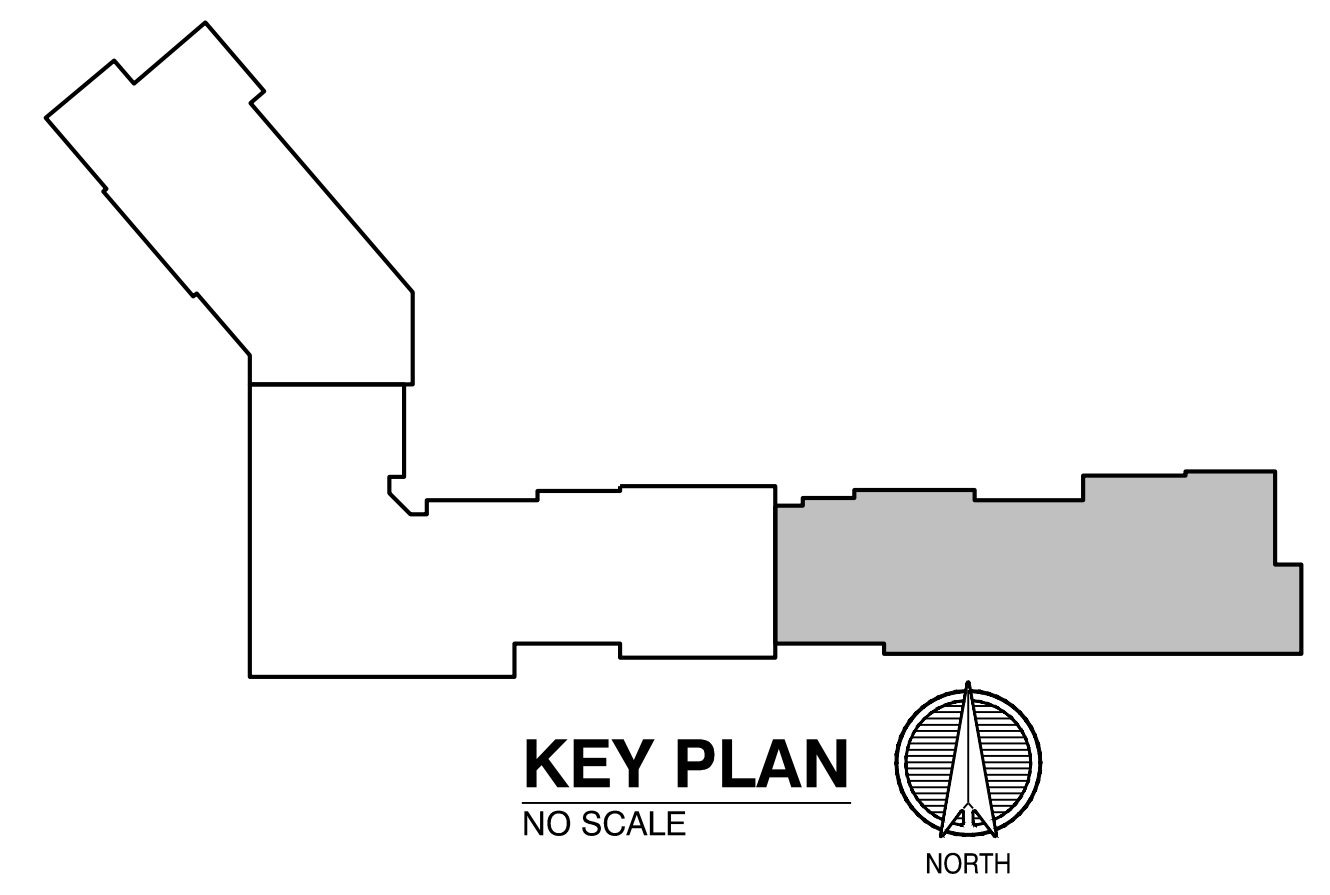
- ALL WALL DIMENSIONS ARE TO STUD.
- UNIT INTERIOR WALL TYPES ARE W446 (TYPICAL) UNLESS OTHERWISE NOTED.
- REFER TO SHEET A400 FOR TYPICAL WALL ASSEMBLIES.
- REFER TO SHEET A400 FOR UNIT DOOR SCHEDULE & A401 FOR DETAILS.
- ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AT BOTTOM OF DOOR.
- REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS.
- REFER TO SHEET A400 FOR WINDOW SCHEDULE AND A400 - A401 FOR DETAILS.
- ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS.
- ALL SLIDING GLASS DOORS SHALL HAVE PIN LOCKS.
- BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS EGRESS REQUIREMENTS. 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT, 5.7 SQ. FT. NET CLEAR OPENABLE AREA AND SHALL BE 4" MAXIMUM FROM FINISH FLOOR TO TOP OF SILL, AS REQUIRED PER IBC 2016 SECTION 1029.
- PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND OTHER UNIT WET WALLS.
- PROVIDE SOUND BATT'S IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
- PROVIDE SOUND INSULATION IN WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC CLOSETS.
- REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
- VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL REQUIREMENTS.
- ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS.
- ALL DIMENSIONS AND NOTES STATING "CLEAR" ARE FROM FACE OF FINISH.
- REFER TO A402 & A403 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY REQUIREMENTS.
- ALL TOWEL BARS ARE TO BE MOUNTED AT 54" A.F.F., ROBE HOOKS TO BE MOUNTED AT 60", TOWEL RINGS TO BE MOUNTED 1" ABOVE COUNTER HEIGHT, AND TOILET PAPER DISPENSERS AT 20" A.F.F. TO CENTERLINE OF HOLDER UNLESS NOTED OTHERWISE. TOWEL BARS AND ROBE HOOKS IN TYPE A UNITS TO BE MOUNTED AT 48" HIGH MAX.
- INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL DIMENSIONS. PROVIDE FILLERS AS REQUIRED. REFER TO CABINET SHOP DRAWINGS.
- VANITY MIRRORS TO BE 42" HIGH AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 40" A.F.F. IN ANSI TYPE A UNITS.
- PROVIDE MINIMUM RATED 2A-10B C FIRE EXTINGUISHER IN EACH KITCHEN UNDER THE SINK.
- VERIFY ALL TUB WALL LENGTHS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
- PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A402 & A403, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND THE WALL.
- SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
- PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 50" A.F.F. TO THE CENTER OF TV. REFER TO MEP AND TELECOM. PROVIDE 2x10 BLOCKING FOR TV MOUNTING.
- ALL EXTERIOR SLABS TO SLOPE DOWN 1/8" TO EDGE OF SLAB. LIGHT BROOM FINISH AT FINISH SURFACES. VERIFY WITH STRUCTURE.
- REFER TO UNIT FINISH SCHEDULE FOR FINISHES ON A400. FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS, RE: A700.
- FLOOR FINISHES TO EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND CABINETS INDICATED WITH "REMOVABLE BASE CABINET".
- ALL SINK BASES TO BE REMOVABLE IN TYPE A UNITS. REMOVABLE BASE AT KITCHEN WORK SURFACE IN TYPE A UNITS. EXTEND FLOOR FINISH UNDER THESE REMOVABLE CABINETS.
- BATHROOM CEILING HEIGHT 8' - 6" AFF.
- SHOWER HEAD HEIGHT 7'-0" AFF. SHOWER CONTROL HEIGHT 4'-0" AFF.
- TUB/SHOWER COMBO SHOWER HEAD HEIGHT 7'-0" AFF, CONTROL 3'-0" AFF, TUB FAUCET 2'-0" AFF.
- FOR UNIT DETAILS RE: A420-A421






LOCATION PLAN

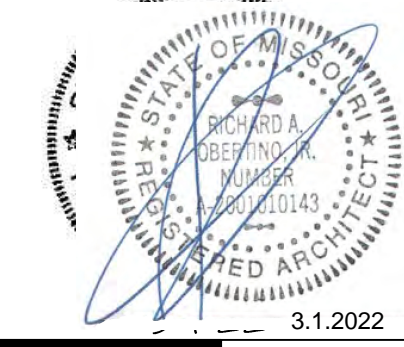




1 BLDG 1-C, PARTIAL FIRST FLOOR PLAN
1/8"=1'-0" ELECTRICAL NORTH




- NOTES:
1. ALL STAIR LIGHTS ARE TYPE "A2" UNLESS NOTED OTHERWISE.
 2. ALL  ARE TYPE "11" UNLESS NOTED OTHERWISE.
 3. ALL  ARE TYPE "12" UNLESS NOTED OTHERWISE.
 4. ALL  ARE TYPE "13" UNLESS NOTED OTHERWISE.
 5. CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V. AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS.
 6. SEE UNIT PLANS FOR FURTHER WORK.
 7. LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
 8. ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
 9. EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
 10. SEE ARCH. REFLECTED CEILING PLANS FOR DIMENSIONS.
 11.  DENOTES DISTRIBUTION PANEL.
- LEGEND:
-  ROUTE CIRCUIT THRU PHOTOCELL.




3.1.2022

ARCHITECT	ARCHITECTS
STRUCTURAL ENGINEER	STRUCTURAL
CIVIL ENGINEER	CIVIL
GENERAL CONTRACTOR	GENERAL CONTRACTOR
MECHANICAL ENGINEER	ENGINEER
PLUMBING ENGINEER	PLUMBING
ELECTRICAL ENGINEER	ELECTRICAL



The Signature at West Pryor


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www.triarchitects.com

DATE: 7.15.2021

REVISIONS 


REVISION 2	03-01-22
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DWG BY CAD/RRB


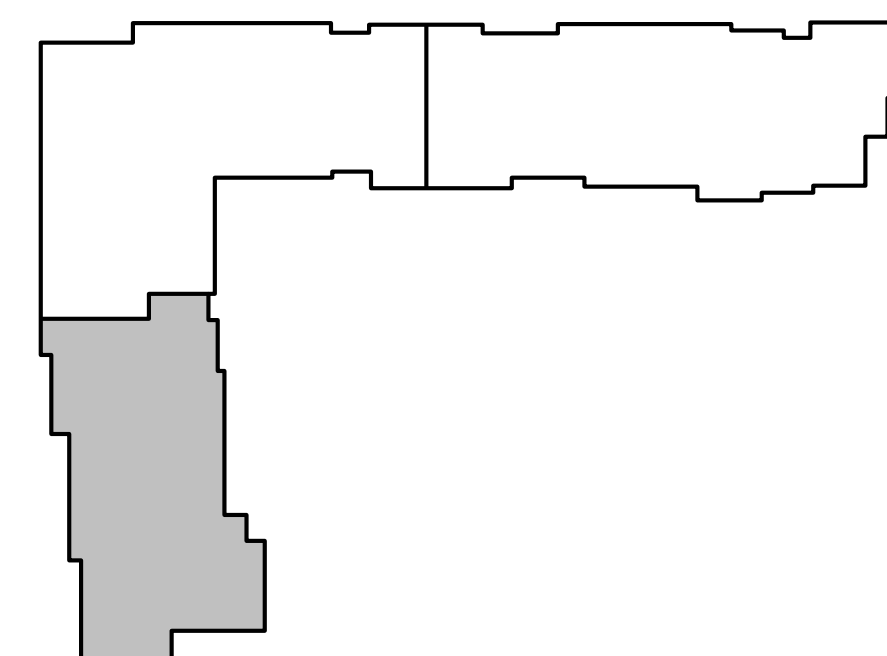
TR,I PROJECT NO. 20-001

SHEET NO. E103


BLDG 1-C, PARTIAL FIRST FLOOR PLAN - ELECTRICAL



LS&A
Latter Sommers & Associates, P.A.
CONSULTING ENGINEERS
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Topeka, Kansas 66614-3974
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FAX: (785) 233-0647
Email: lesp@lsaa.com
LSA PROJECT NO. 210408



LSA PROJECT NO. 2104008



- LEGEND:
- ① TO LIGHTING CONTROL PANEL.

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E113
BLDG 2-A, PARTIAL FIRST FLOOR
PLAN - ELECTRICAL

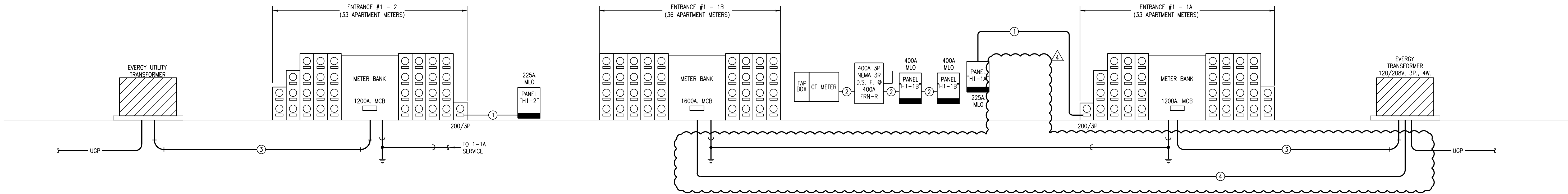
FEEDER SCHEDULE - ALUMINUM AA8000

MARK	OCF	SETS	NO. COND.	SIZE	SIZE GRD	CONDUIT
1	225 A	1	1	300 KCMIL	#2	3
2	400 A	2	4	#6/0	#1	2
3	1200 A	4	4	500 KCMIL		3
4	1600 A	5	4	600 KCMIL		4
5	100 A	1	4	#1/0	#4	1.5

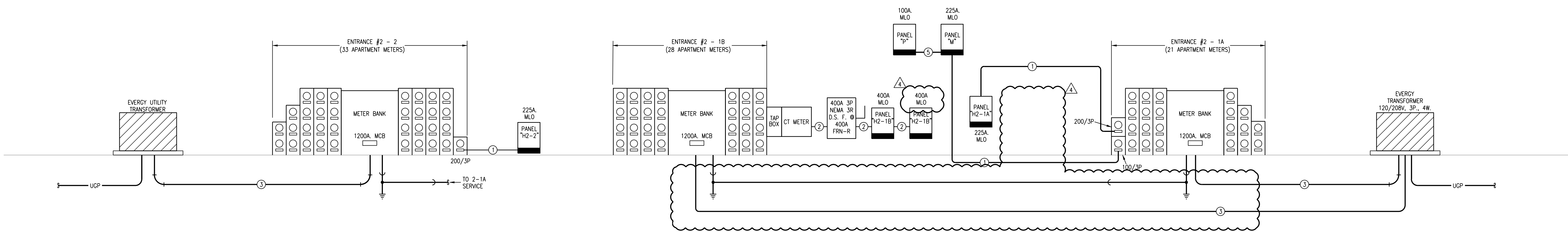
MAIN BREAKER	SIZE COND.	MAX LENGTH (FT)
100A.	2-2-2-6	100
100A.	2-2-2-6	100
100A.	1-1-1-4	125
100A.	0-0-0-4	155
110A.	1-1-1-4	115
110A.	0-0-0-4	140
110A.	2/0-2/0-2/0-3	180
125A.	0-0-0-4	125
125A.	2/0-2/0-2/0-3	155
125A.	3/0-3/0-3/0-3	200

NOTES:
1. SEE NEC TABLE 310.15 (B)(7)

NOTE: ALL GEAR TO BE 65 KAC SERIES RATED, KAIC TO BE VERIFIED WHEN POWER COMPANY DESIGN IS COMPLETE. ALL GEAR TO HAVE PERMANENT VISUAL PLAQUES NOTING DISCONNECT POINTS ON FOR EACH BUILDING.



BUILDING NO. 1
ELECTRICAL DISTRIBUTION RISER DIAGRAM
NO SCALE



BUILDING NO. 2
ELECTRICAL DISTRIBUTION RISER DIAGRAM
NO SCALE

Multi-Family Building Load Analysis				
Building: 1-1A, 1-1B				
Unit Quantity	Unit Type	Connected Load - VA	Total KVA	
15	A1	31480	471.9	
5	A2, A4, A5	31870	159.4	
0	A3	32170	0.0	
24	B1, B2	33070	793.7	
15	B3, B4	33025	495.4	
7	C1	35600	249.2	
3	C2	35240	105.7	
Total Building KVA			2275.2	
Total Units			69	
Diversity per NEC Table 230.84			0.23	
Diversified KVA			523.3	
Amps @ 208 V Three Phase			1454	
House Load - Amps			300	
Total Demand - Amps			1754	

Multi-Family Building Load Analysis				
Building: 1-1B				
Unit Quantity	Unit Type	Connected Load - VA	Total KVA	
9	A1	31480	283.1	
5	A2, A4, A5	31870	159.4	
0	A3	32170	0.0	
12	B1, B2	33070	396.8	
12	B3, B4	33025	396.3	
1	C1	35600	35.6	
3	C2	35240	105.72	
Total Building KVA			1377.0	
Total Units			42	
Diversity per NEC Table 230.84			0.26	
Diversified KVA			358.0	
Amps @ 208 V Three Phase			964	
House Load - Amps			350	
Total Demand - Amps			1344	

Multi-Family Building Load Analysis				
Building: 2-1A, B				
Unit Quantity	Unit Type	Connected Load - VA	Total KVA	
12	A1	31480	377.5	
0	A2, A4, A5	31870	0.0	
3	A3	32170	96.5	
34	B1, B2	33070	1124.4	
3	B3, B4	33025	99.1	
3	C1	35600	106.8	
6	C2	35240	211.4	
Total Building KVA			2015.7	
Total Units			61	
Diversity per NEC Table 230.84			0.24	
Diversified KVA			483.8	
Amps @ 208 V Three Phase			1344	
House Load - Amps			300	
Total Demand - Amps			1644	

Multi-Family Building Load Analysis				
Building: 2-1 B				
Unit Quantity	Unit Type	Connected Load - VA	Total KVA	
3	A1	31480	94.4	
0	A2, A4, A5	31870	0.0	
0	A3	32170	0.0	
19	B1, B2	33070	628.3	
3	B3, B4	33025	99.1	
3	C1	35600	106.8	
6	C2	35240		
Total Building KVA			928.6	
Total Units			28	
Diversity per NEC Table 230.84			0.33	
Diversified KVA			308.4	
Amps @ 208 V Three Phase			851	
House Load - Amps			300	
Total Demand - Amps			1151	

Multi-Family Building Load Analysis				
Building: 1-1A				
Unit Quantity	Unit Type	Connected Load - VA	Total KVA	
6	A1	31480	188.8	
0	A2, A4, A5	31870	0.0	
0	A3	32170	0.0	
12	B1, B2	33070	396.8	
3	B3, B4	33025	99.1	
6	C1	35600	213.6	
0	C2	35240		
Total Building KVA			898.3	
Total Units			27	
Diversity per NEC Table 230.84			0.34	
Diversified KVA			305.4	
Amps @ 208 V Three Phase			848	
House Load - Amps			150	
Total Demand - Amps			998	

Multi-Family Building Load Analysis				
Building: 1-2				
Unit Quantity	Unit Type	Connected Load - VA	Total KVA	
18	A1	31480	566.3	
6	A2, A4, A5	31870	191.2	
0	A3	32170	0.0	
3	B1, B2	33070	0.0	
3	B3, B4	33025	99.1	
6	C1	35600	213.6	
0	C2	35240		
Total Building KVA			1070.2	
Total Units			33	
Diversity per NEC Table 230.84			0.31	
Diversified KVA			331.8	
Amps @ 208 V Three Phase			922	
House Load - Amps			150	
Total Demand - Amps			1072	

Multi-Family Building Load Analysis				
Building: 2-1A				
Unit Quantity	Unit Type	Connected Load - VA	Total KVA	
6	A1	31480	188.8	
0	A2, A4, A5	31870	0.0	
0	A3	32170	0.0	
3	B1, B2	33070	99.2	
3	B3, B4	33025	0.0	
6	C1	35600	213.6	
6	C2	35240	211.4	
Total Building KVA			713.0	
Total Units			21	
Diversity per NEC Table 230.84			0.37	
Diversified KVA			263.8	
Amps @ 208 V Three Phase			733	
House Load - Amps			150	
Total Demand - Amps			883	

Multi-Family Building Load Analysis				
Building: 2-2				
Unit Quantity	Unit Type	Connected Load - VA	Total KVA	
9	A1	31480	283.1	
0	A2, A4, A5	31870	0.0	
3	A3	32170	96.5	
15	B1, B2	33070	496.1	
0	B3, B4	33025	0.0	
0	C1	35600	0.0	
6	C2	35240	211.4	
Total Building KVA			1087.1	
Total Units			33	
Diversity per NEC Table 230.84			0.31	
Diversified KVA			337.0	
Amps @ 208 V Three Phase			936	
House Load - Amps			150	
Total Demand - Amps			1086	

Unit Load Calculation				
Unit: A1				
630 square feet at 3 VA per sq. ft.	1890			
2 small appliance circuits	3000			
Range	8000			
Microwave	1000			
Washer	1500			
Dryer	4400			
Water Heater	4500			
Dishwasher	740			
Disposer	850			
Total general load		25880		
NEC 220-84 Calculation				
First 10 KVA at 100%	10000			
Remainder at 40%	6352			
Heater Load	5600	65%	3640	
Total load		19922		
Load for unit service Amp @ 208 volt/1		96		
Connected Load		31480		

Unit Load Calculation				
Unit: B1, B2				
1160 square feet at 3 VA per sq. ft.	3480			
2 small appliance circuits	3000			
Range	8000			
Microwave	1000			
Washer	1500			
Dryer	4400			
Water Heater	4500			
Dishwasher	740			
Disposer	850			
Total general load		27470		
NEC 220-84 Calculation				
First 10 KVA at 100%	10000			
Remainder at 40%	6988			
Heater Load	5600	65%	3640	
Total load		20628		
Load for unit service Amp @ 208 volt/1		96		
Connected Load		33070		

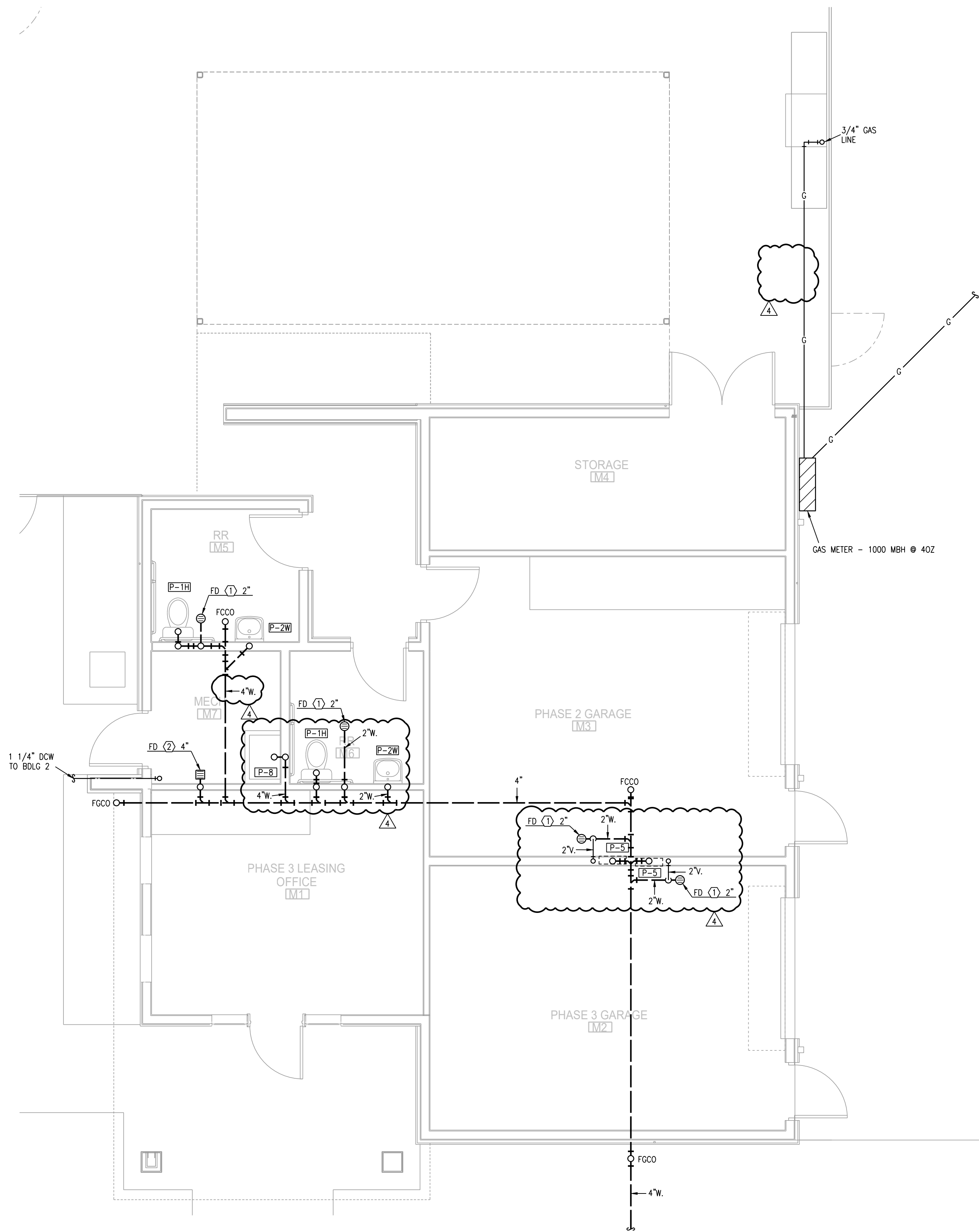
Unit Load Calculation				
Unit: C2				
1250 square feet at 3 VA per sq. ft.	3750			
2 small appliance circuits	3000			
Range	8000			
Microwave	1000			
Washer	1500			
Dryer	4400			
Water Heater	4500			
Dishwasher	740			
Disposer	850			
Total general load		27740		
NEC 220-84 Calculation				
First 10 KVA at 100%	10000			
Remainder at 40%	7096			
Heater Load	7500	65%	4875	
Total load		21871		
Load for unit service Amp @ 208 volt/1		106		
Connected Load		35240		

Unit Load Calculation				
Unit: A2, A4, A5				
760 square feet at 3 VA per sq. ft.	2280			
2 small appliance circuits	3000			
Range	8000			
Microwave	1000			
Washer	1500			
Dryer	4400			
Water Heater	4500			
Dishwasher	740			
Disposer	850			
Total general load		26270		
NEC 220-84 Calculation				
First 10 KVA at 100%	10000			
Remainder at 40%	6506			
Heater Load	5600	65%	3640	
Total load		20148		
Load for unit service Amp @ 208 volt/1		97		
Connected Load		31870		

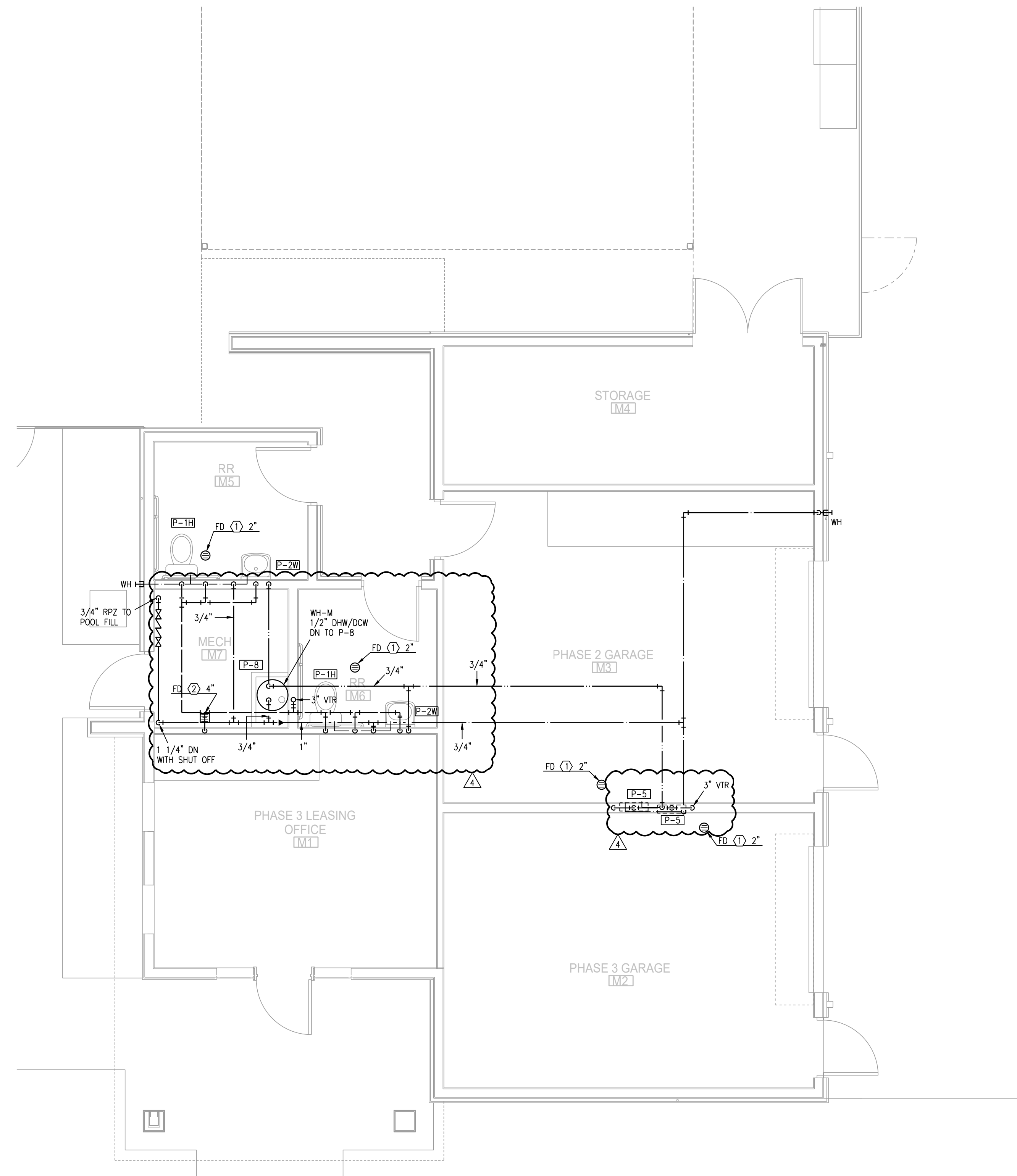
Unit Load Calculation				
Unit: B3, B4				
1145 square feet at 3 VA per sq. ft.	3435			
2 small appliance circuits	3000			
Range	8000			
Microwave	1000			
Washer	1500			
Dryer	4400			
Water Heater	4500			
Dishwasher	740			
Disposer	850			
Total general load		27425		
NEC 220-84 Calculation				
First 10 KVA at 100%	10000			
Remainder at 40%	6970			
Heater Load	5600	65%	3640	
Total load		20610		
Load for unit service Amp @ 208 volt/1		99		
Connected Load		33025		

Unit Load Calculation				
Unit: A3				
860 square feet at 3 VA per sq. ft.	2580			
2 small appliance circuits	3000			
Range	8000			
Microwave	1000			
Washer	1500			
Dryer	4400			
Water Heater	4500			
Dishwasher	740			
Disposer	850			
Total general load		26570		
NEC 220-84 Calculation				
First 10 KVA at 100%	10000			
Remainder at 40%	6628			
Heater Load	5600	65%	3640	
Total load		20268		
Load for unit service Amp @ 208 volt/1		97		
Connected Load		32170		

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1 MAINTENANCE BLDG FLOOR PLAN
1/4"=1'-0"
BELOW-GRADE PLUMBING
NORTH



2 MAINTENANCE BLDG FLOOR PLAN
1/4"=1'-0"
PLUMBING
NORTH

- NOTES:
1. ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
 2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
 3. DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM
 4. ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
 5. CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
 6. ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
 7. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
 8. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE BLADDER OR TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
 9. SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
 10. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
 11. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
 12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
 13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.

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MECHANICAL ENGINEER
PLUMBING ENGINEER
ELECTRICAL ENGINEER

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DEVELOPMENT

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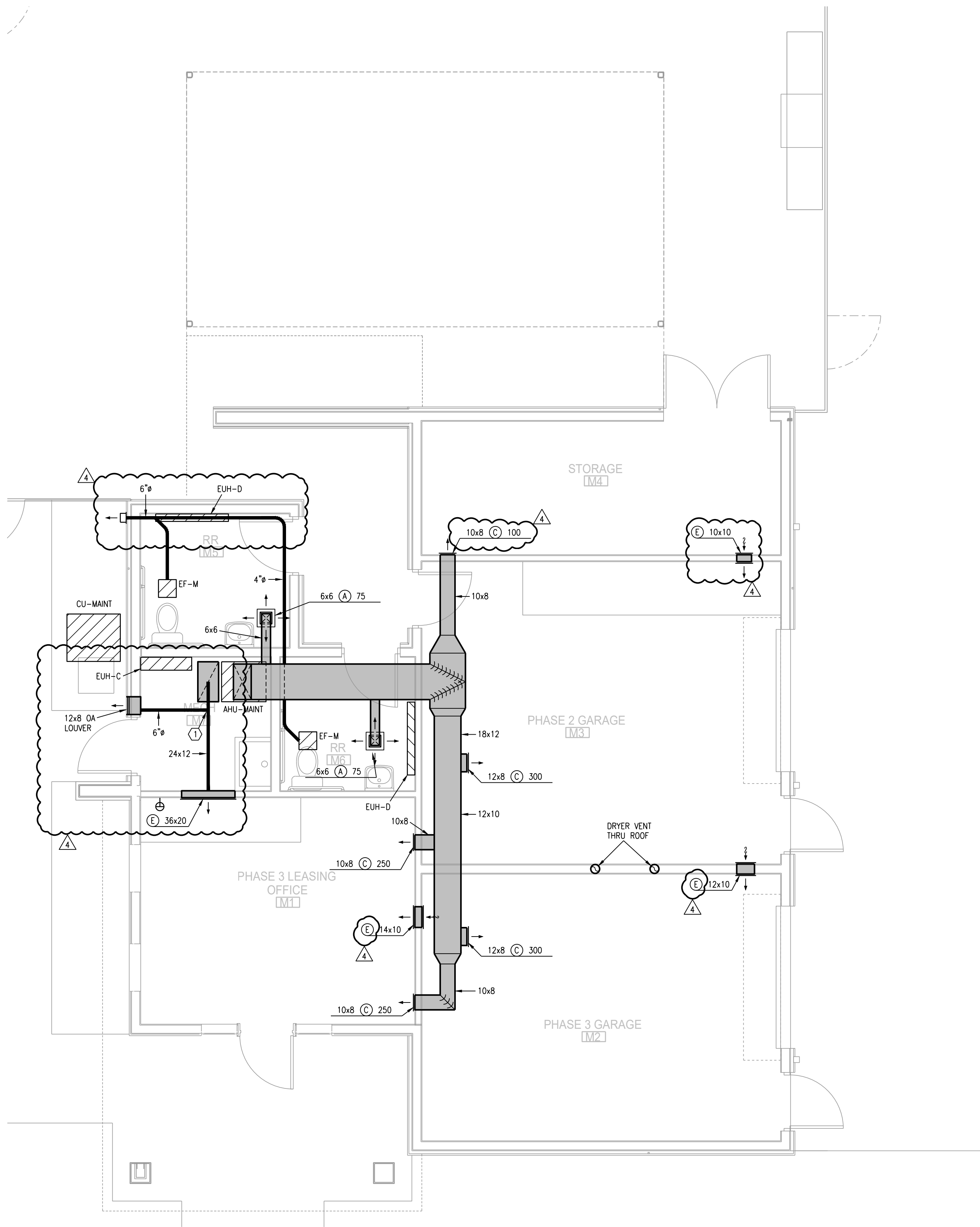
DATE: 7.15.2021

REVISIONS	
△ PERMIT REVIEW COMMENTS	08-17-21
△ FDP COMMENTS	09-28-21
△ REVISION 1	02-11-22
△ REVISION 2	03-01-22

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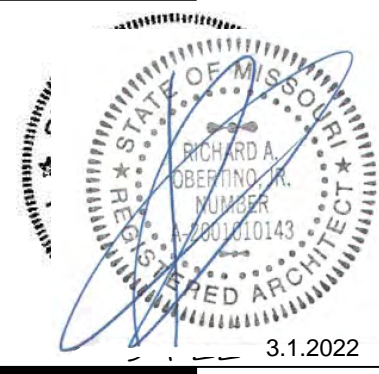
ME201
MAINTENANCE BLDG -
PLUMBING



1 MAINTENANCE BLDG FLOOR PLAN
1/4"=1'-0" HVAC NORTH

- NOTES:
1. ALL INDIVIDUAL BRANCH DUCTS ARE THE SIZE OF THE DIFFUSER NECK LISTED AND HAVE A MANUAL BALANCING DAMPER WHERE NOT INTEGRAL WITH THE DIFFUSER.
 2. SEE THE ARCHITECTURAL, LIGHTING AND STRUCTURAL DRAWINGS FOR CLEARANCES.
 3. MAINTAIN 3 FEET CLEARANCE FROM EXHAUST DUCTS TO BUILDING OPENINGS AND 10 FEET TO AIR INTAKES.
 4. ROUTE NO DUCTS OVER ELECTRICAL EQUIPMENT.
 5. FLEXIBLE DUCT LENGTHS SHALL NOT EXCEED 8 FEET AND SHALL BE AS STRAIGHT AS POSSIBLE AND NOT KINKED AT DIFFUSER OR TAKE-OFF.

- LEGEND:
- ① OUTSIDE AIR CONTROL AND BALANCING DAMPER.
 - ② DUCT WITH CRD AT RATED MEMBRANE.
 - ③ ROUTE COND. TO LAV TAILPIECE OR WASHER BOX.
 - ④ 16x8 TYPE 'E' GRILLES, ONE HIGH, ONE LOW FOR RA PATH IN STUD SPACE. LINE SPACE WITH METAL.



3.1.2022

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ME202
MAINTENANCE BLDG - HVAC



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\$2500 ALLOWANCE FOR LIGHTING AND FANS IN COVERED SEATING



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