

# Summitwoods Crossing - 1750 Landlord Work

CADSTONE STUDIO  
:: ARCHITECTURE ::  
:: Duane Hicks ::  
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03/17/2022

## applicable codes

building code: 2018 international building code  
mechanical code: 2018 international mechanical code  
plumbing code: 2018 international plumbing code  
electrical code: 2017 national electric code  
fire prevention: 2018 international fire code  
life safety: ICC/ANSI A117.1-2009, Accessible and Useable Buildings and Facilities  
energy code: -

## drawing list

0cs1-0	cover sheet	03/17/2022
a0-5	demolition plan	03/17/2022
a1-0	floor plan	03/17/2022

## scope

Landlord work is to include new pair of double doors within existing storefront system, addition of storefront system to match style and color of adjacent storefront systems and patch and repair exterior soffit as needed after installing new storefront system.

## deferred submittals

fire sprinkler modifications - Fire Sprinkler Contractor  
sign shop and awning shop drawings - sign and awning company  
Tenant specific interior work required for occupancy permit - by future Tenant

## code review

project type: Landlord work for revised storefront system.  
project name: Summitwoods Crossing 1750 - Landlord Work  
occupancy: M (section 302) no change  
construction type: Type IIB (no change)  
fully sprinklered in accordance with IBC 903.3.1.1 & NFPA 13  
  
allowable building stories: 4 stories (table 504.4)  
actual building stories: 1 story (no change)  
allowable building height: 75' (table 504.3)  
sprinkler height increase: maximum height increase 20'-0" (table 506.2)  
actual building height: 30'-4" (no change)  
base allowable building area: Modifications to existing building shell storefront system.  
sprinkler area increase: no change to existing building shell  
actual Tenant space area: 6,004 SF original

fire-resistance rating requirements (table 601)  
primary structural members existing to remain (0 hour minimum)  
bearing walls existing to remain (0 hour minimum)  
exterior existing to remain (0 hour minimum)  
interior existing to remain (0 hour minimum)  
nonbearing wall and partitions (interior) existing to remain (0 hour minimum)  
floor construction and associated secondary members existing to remain (0 hour minimum)  
roof construction and associated secondary members existing to remain (0 hour minimum)

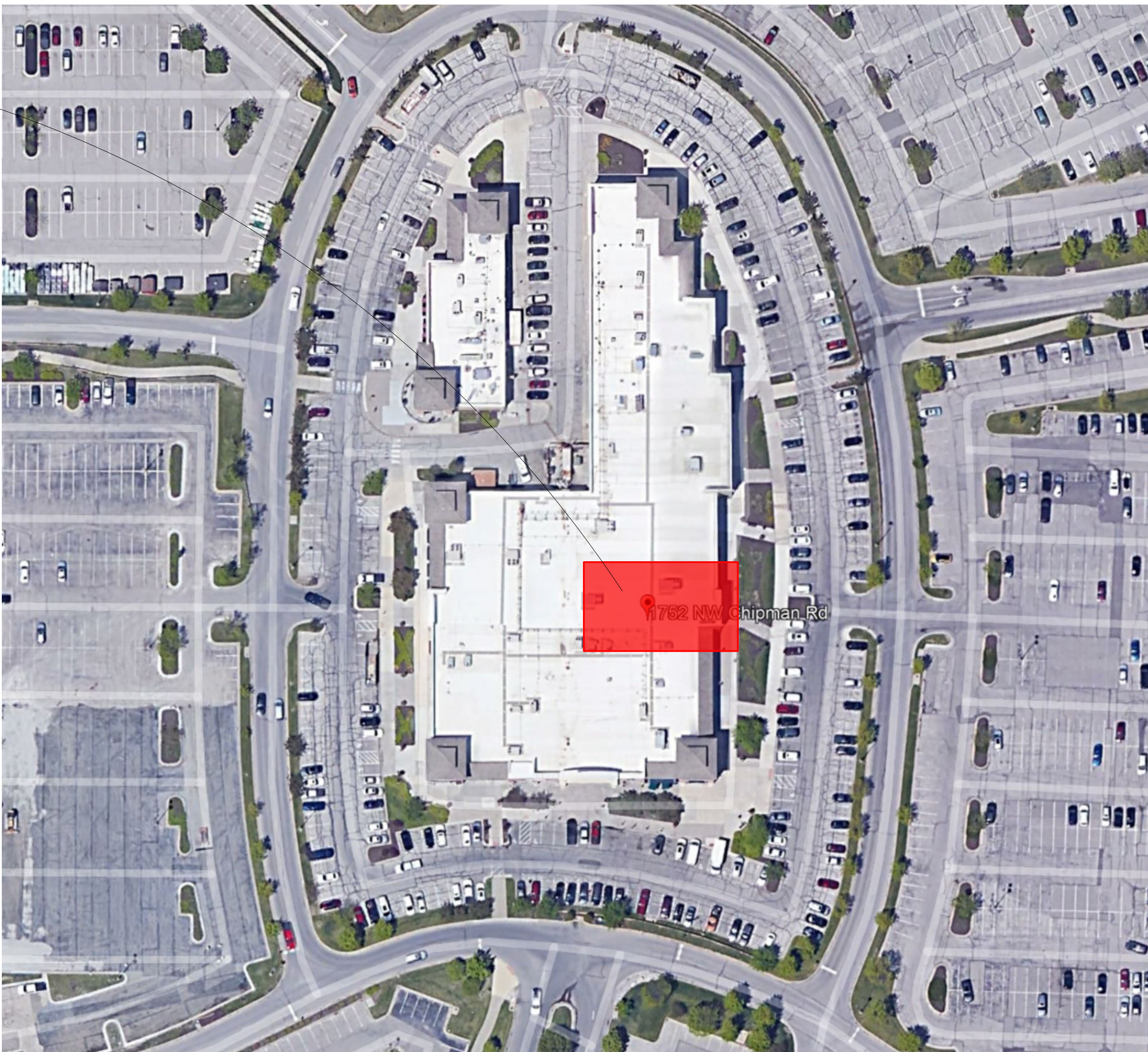
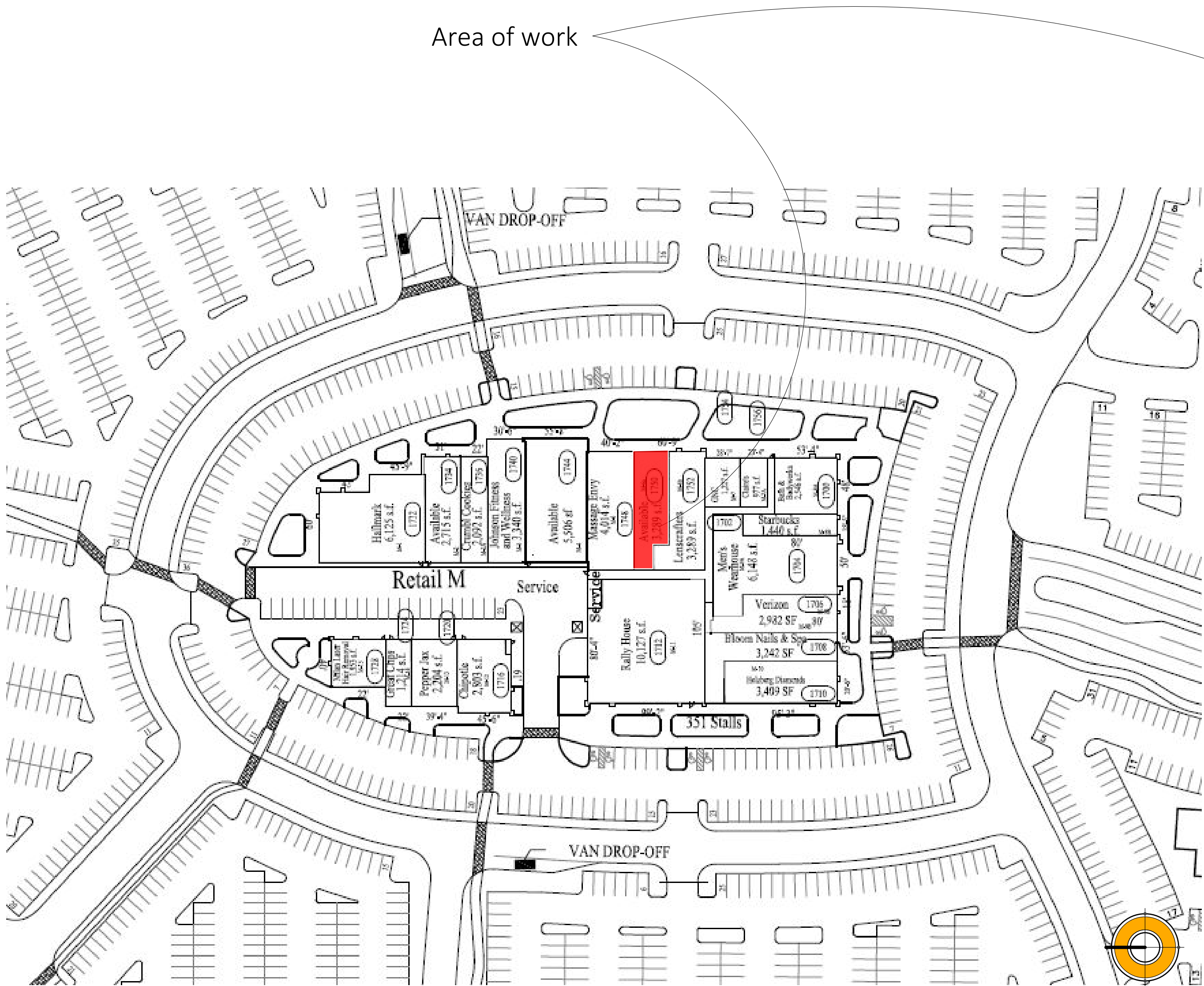
Fire separation between occupancies M 1 hour minimum provided

Fire Alarm Contractor to provide design and obtain permits for any moving and addition of sprinkler heads and/or lines.

All fire alarm monitoring devices to be connected to Landlord fire alarms system. Contractor to install/modify existing fire alarm system necessary per local code - coordinate with licensed Fire Alarm Contractor - voice alarm systems shall comply with IBC 907.2.1.1 - Fire Sprinkler Contractor to submit equipment with modifications to remaining system - deferred submittal.

## project location

Area of work



Summitwoods Crossing - 1750  
Landlord Work  
1750 NW Chipman Road  
Lee's Summit, MO

Rev	Date	Description
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SHEET NAME

cover sheet

PROJECT NO.

SHEET NO.  
0cs1-0

SHEET DATE

03/17/2022  
PROJECT PHASE  
Prelim

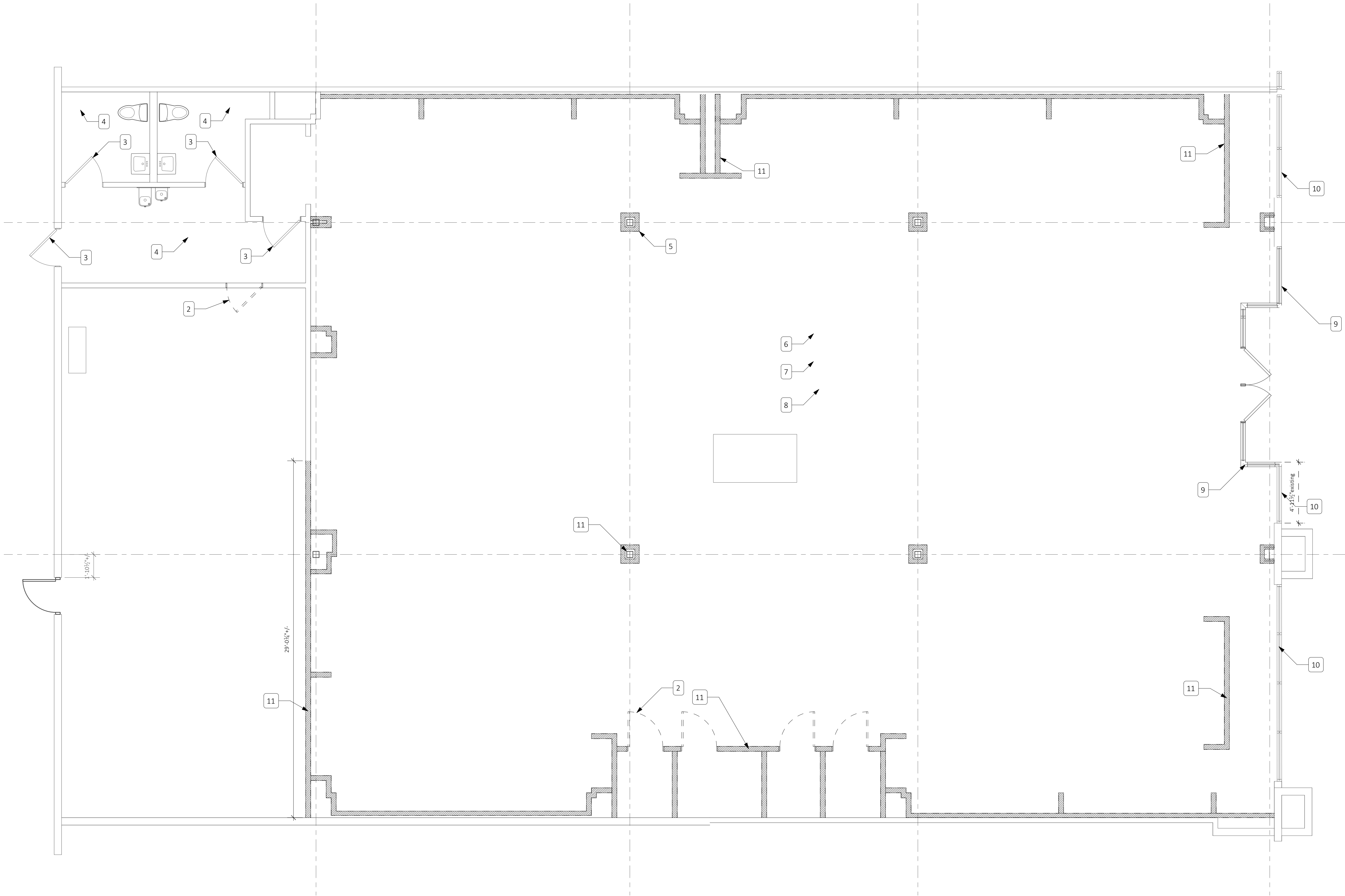


general notes - demolition

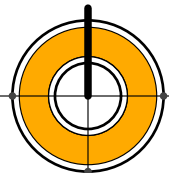
1. All work shall conform to the requirements of all local laws, codes, and regulations of all authorities having jurisdiction; in case of conflict between requirements, the most restrictive shall apply.
2. Contractor is responsible for patching and repairing any and all fireproofing [to match or exceed existing] material and thickness, whether caused by Contractor or not.
3. Contractor shall acquaint themselves with all Landlord/Developer requirements and shall comply full with such.
4. Contractor shall provide adequate protection of work, materials, fixtures, etc. from loss, damage, fire, theft, etc.
5. Demolition contractor shall dispose of all removed materials at an appropriate location. The Contractor shall confirm the exact location with the Landlords on site representative
6. Demolition work shall be executed in an orderly and careful manner and demolished materials shall become the property of the contractor for off-site disposal at their expense, in a legal manner
7. Existing conditions and elevations are derived from field measurements and are shown to assist the bidders only. No claim is made to their validity. The Contractor and Subcontractors shall visit the site prior to submitting a bid and provide for all existing conditions. No allowance will be made resulting from failure to carry out such an examination.
8. Perform work by means that will not produce noise, vibration, odors, or dust which could affect operations or use by other tenants.
9. Prior to the start of construction or demolition, the Contractor shall coordinate with the Landlord rep. or on site management and any adjacent tenants if work will impact their daily operations.
10. Protect existing conditions from damage and repair damage due to construction operations at no cost to owner.
11. Remove existing walls as indicated. Patch and repair all remaining walls and soffits for as new finish. Remove and replace existing concrete slab or sidewalk and prepare for new work.
12. The Contractor shall field check all relevant conditional and dimensions and notify the architect of any discrepancies with the drawings prior to construction.
13. The work involved shall be the entire responsibility of the Contractor who shall ensure that such work is properly carried out by his forces of their Subcontractors. The Contractor shall confirm that all items are covered.
14. Verify all existing steel columns, bases and foundations are in acceptable condition. Notify the Architect immediately if not.
15. When existing finishes are to be removed from existing substrate, the remaining substrate shall be patched and/or repaired and prepared to receive new finish as required by the manufacturer's recommendations.
16. Where removal of walls are indicated, remove existing electrical devices, related wiring and conduit back to the source to facilitate removal. Salvage all hornstrobes, emergency lighting, FE cabinets and thermostats for reuse on this project. Contractor shall include removal of all abandoned conduit and wiring above ceilings.

demolition key notes

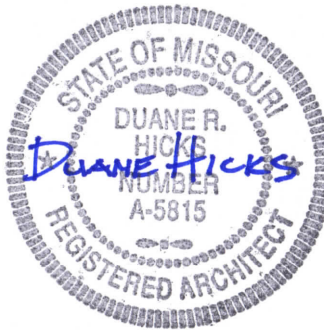
1. N/A
2. Remove existing door, frame and hardware.
3. Existing doors to remain.
4. Existing finishes and ceilings to remain
5. Remove existing column wraps. Building shell columns and structure to remain.
6. Remove existing flooring throughout, down to existing floor slab. Floor should be clean and broom swept.
7. Remove existing fixtures and any existing previous tenants finishes on walls. Patch and repair existing walls.
8. Remove existing ceiling throughout, including, but not limited, to ceiling grids/tiles, gyp. bd. ceiling, lighting, HVAC diffusers etc. Remove conduits back to source in preparation of new work.
9. Remove existing storefront. Remove existing ceiling/soffit on exterior of storefront inset. Do not damage existing building shell. Contractor to patch and repair and damage to as-new condition. Provide new doors per door schedule.
10. Existing storefront system to remain.
11. Remove existing walls/partitions in their entirety. Shown hatched.



1 Demolition Floor Plan  
a0-5 Scale: 1/4" = 1'-0"



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SHEET NAME

demolition plan

PROJECT NO.

SHEET NO.

a0-5

SHEET DATE

03/17/2022

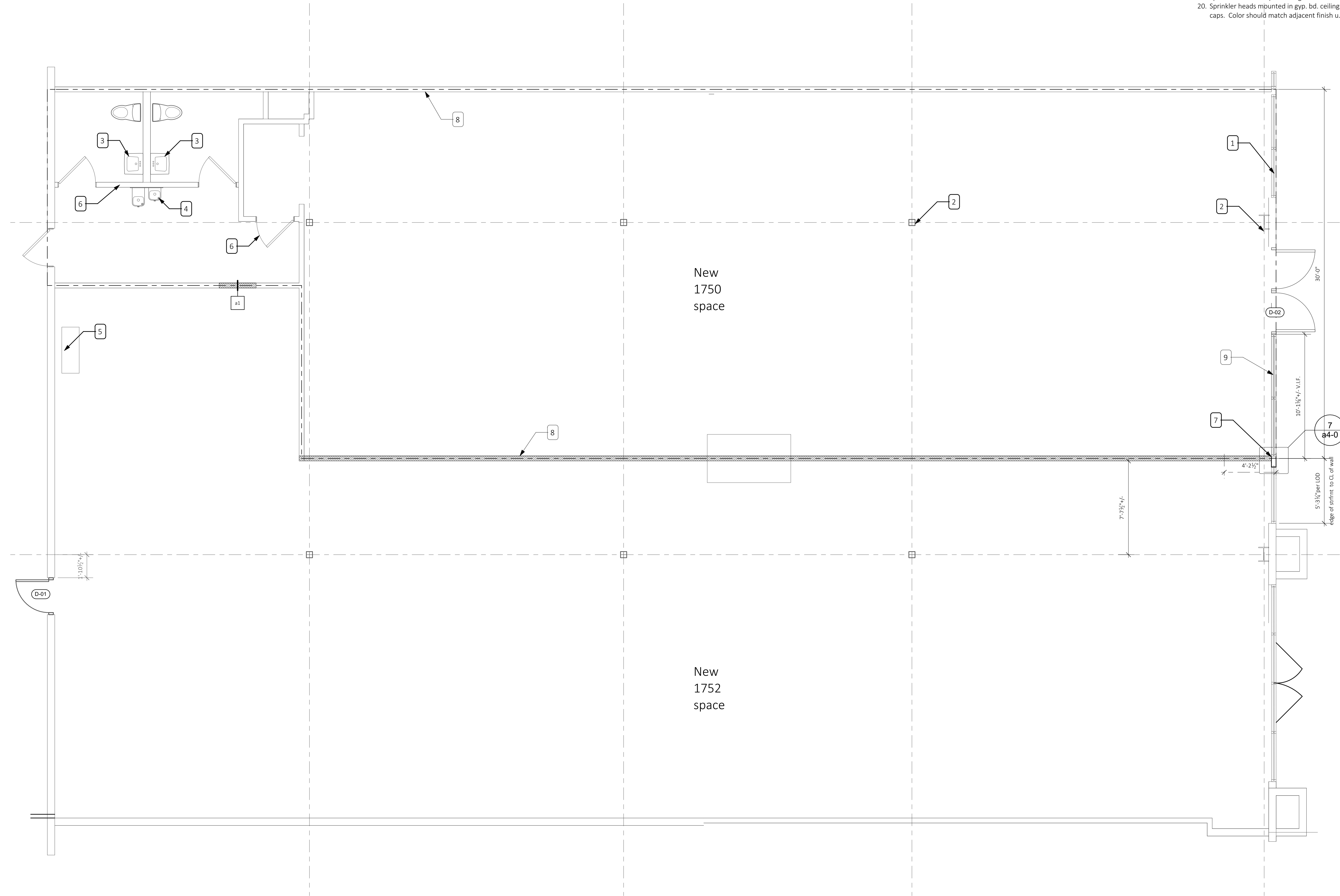
PROJECT PHASE

Permit

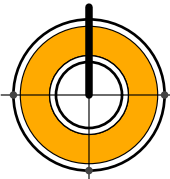


door schedule													
		nominal size			door style	door frame		frame details					
		width	height	thickness		lamb thick	lamb depth	head detail	lamb detail	frame	hw set	accessories	comments
mark					slab style								
D-02		36"	70"	2 1/4"	Glass		2"	4 5/8" 3/4 0	3/4 0	Alum.	DHW-2		1" Tempered Glass
D-03		36"	70"	2 1/4"	Glass		2"	4 5/8" 3/4 0	3/4 0	Alum.	DHW-2		1" Tempered Glass

door hardware legend							
ID	Description	hinge qty	type	lock type	closer type	stop type	notes
DHW-1	Comm Panic Exitway w/ closer - lenscrafters	1 1/2 pair	Door MFG Butt Hinges, Stainless Steel, 5 knuckle, 4 1/2" x 4", non-removable pin hinges	Panic/Alarm sec. device, detex V&E8	4400 series Yale Commercial	hes #407-1/2" concave WS 406/407CVK, Color US260	Kickplate - Stanley door system, full width x 10" H x 1/8" stainless steel, installed 1" from bottom
DHW-2	Comm Storefront Entry w/ closer	1 1/2 pair	4 1/2" x 4" ball bearing butt NBP finish to match storefront	7 pin key exit & thumbturn int. w/ auto two point flushbolt	push side parallel standard arm w/narrow drop plate	floor mounted	All hardware shall be standard and shall match finish color of storefront



1 Floor Plan  
a1-0 Scale: 1/4" = 1'-0"



### interior general notes

- Contractor shall ensure all exits are free of any materials or other obstructions and all emergency exit hardware is in good working order at all times during construction.
- Contractor shall provide egress and exit illuminated signage/lights per local codes. Contractor shall confirm with local authorities having jurisdiction.
- Existing finishes, ceiling, lighting and similar shall remain unless noted otherwise.
- Align new partitions with existing conditions e.g. columns, walls, windows, etc. unless noted otherwise.
- All dimensions are to face of finish, unless noted otherwise. Any dimension labeled hold or clear shall over rule all other dimensions. If dimensions are off, Contractor shall notify Architect immediately.
- All interior partition dimensions from column grid lines to face of gypsum board finish - unless noted otherwise.
- All interior gypsum board shall be 5/8" type 'x' on metal studs or furring channels unless noted otherwise.
- All partitions attached to structure above shall consist of deflection slip track.
- Items such as mechanical, plumbing or electrical that penetrate partitions, studs shall be braced and framed as required to provide adequate support.
- All walls shall be taped, spackled, sanded, and finished to match adjacent finishes.
- Any concrete slab removal shall be removed in a straight orderly manner. All trenches shall be back filled with existing fill and compacted in 6" lifts if deeper trenches are created. If a vapor barrier is present, new vapor barrier shall be installed to meet the same thickness and quality of the existing and shall be sealed to existing to prevent infiltration. Concrete thickness shall match existing and shall have the same finish as existing. Concrete shall be a minimum of 3,500 psi. Edges of slab shall be doweled or keyed into new slab. If trenches are located in sales areas or areas seen by the general public, all cuts shall be in straight perpendicular lines and trench shall be the same width.
- Any penetration through rated wall shall be sealed to provide fire, smoke and/or acoustical isolation of spaces with appropriate fire stop material to meet existing or proposed fire rating assembly.
- Coordinate any barricade graphics with Landlord or Mall Management prior to commencement of work.
- Existing sprinkler system to be adjusted to meet applicable codes. Fire sprinkler modifications and/or related alarm systems to be submitted under separate cover.
- Installation of fire alarm systems shall comply with Landlord criteria and local codes as required.
- Provide blocking in gypsum board partitions for all wall-mounted architectural woodwork, finish carpentry, furniture, equipment, grab bars, toilet accessories, wall-mounted handrails, etc. All blocking shall be fire retardant treated wood. Contractor is responsible for coordinating blocking with all wall-mounted items including but not limited to those listed above.
- Refer to mechanical, plumbing and electrical drawing for more information that may not be in the architectural drawings, Contractor to notify and coordinate with the Architect of any issues that conflict with the new design.
- Reuse existing plumbing fixtures, toilet partitions, toilet accessories, etc. as possible. Contractor shall bring all fixtures to as-new condition.
- Sprinkler heads in open ceiling shall be turned up towards the ceiling.
- Sprinkler heads mounted in gyp. bd. ceilings shall be fully recessed with approved caps. Color should match adjacent finish u.o.

### general notes

- All work shall conform with applicable building codes, regulation and ordinances. Contractor shall obtain all required building and occupancy permits.
- The Architect is not responsible for Contractor's means, sequence and methods or safety measures, including all personnel and visitors.
- Revisions to work or plans must be approved by the city and / or local jurisdictions inspection services prior to implementation. Any additions or changes to work must be authorized in writing by the Architect and Owner. No alterations will be made on the project except upon written order by using predetermined Architect supplemental instructions (ASI), change order or construction change directives.
- Information on the drawings regarding existing conditions are assessed upon site observation or documentation provided by others. The information is believed to be an accurate reflection of the existing conditions but it is in no way intended to guarantee exact conditions.
- Drawings contained in this set shall not be reproduced for shop drawings, copies of these drawings submitted as shop drawings will be rejected and returned to the Contractor.
- Do not scale drawings. Follow written dimensions or keyed notes only. Contact Architect for clarification if required.
- Field verify existing conditions and dimensions prior to commencement of work. Notify Architect of any discrepancies.
- All fire, life safety systems must be maintained in proper working order throughout the duration of the work. Portable fire extinguishers of approved type are to be placed within the construction area in accordance with the local fire department inspector or marshal.
- Assemblies noted to be fire-rated [one hour, two hour, etc.] shall be constructed in strict compliance with the fire test referenced or if no text is referenced, an industry recognized fire-test applicable to the assembly.
- Pedestrians shall be protected during construction, remodeling and demolition phases. Contractor to provide signage directing pedestrian traffic. All required means of egress shall be maintained at all times during the construction process.
- Contractor to coordinate the shut down of any and all utility services with the existing building so as to minimize the disruption of service to other Tenants in the building.
- Contractor shall take precautions to maintain and protect existing systems and finishes which are to remain. Any damage to such systems and finishes shall be repaired in a manner acceptable to the Architect at the Contractor's expense.
- Contractor is responsible to perform a complete analysis prior to commencement of work, report all discrepancies to the Architect immediately. Failure of the Contractor to perform survey, field verify conditions, and coordinate work does not relieve Contractor of reasonability for work.
- Contractor is responsible for general clean up of job site upon completion of project.
- All Contractors will provide adequate bracing and/or shoring to insure structural stability of the building and all related building components, i.e. structural walls, interior wall assemblies, etc. during the construction phase of the project.
- Any details for construction not specified or shown on drawings shall be in accordance with industry standards or manufacturer's recommendations.
- Any manufactured items shall be installed in accordance with manufacturer's written instructions.
- Each installer must examine substrate and/or conditions under which the work will be installed and report to the Contractor in writing any conditions detrimental to the proper and timely execution of the installer's work. Do not proceed until unsatisfactory conditions are corrected. Installation shall constitute acceptance of the substrate and/or conditions.
- Non-bearing partitions shall be isolated from the building structure to prevent transfer of building loads from the structure to the partitions.
- Provide sufficient blocking in stud walls to support all items or equipment shown or specified to be attached to the walls. Provide additional structural supports [angles, channels, etc.] within wall where the weight of attached items or equipment is too great to be supported by metal studs. Provide blocking for owner furnished or installed items. Any wood blocking used shall be fire-treated blocking.
- Landlord building shell - structural system shall not be compromised in any manner. Any modifications and/or adaptations to existing structural system shall be coordinated and agreed upon by Landlord Representative prior to commencement of work.
- All patching and repair work to roofing shall be compatible with existing roof materials and maintain all roofing warranties. Contractor shall use Landlord roofing Contractor on any roof work.
- All finishes not specially called out on the drawings shall be selected by Owner/Architect.
- No plumbing is allowed in demising walls. Furr out wall as required.
- All dissimilar metal materials shall be isolated with an approved non-metal isolation material.
- All wet /plumbing walls are to be provided with moisture resistant gyp. bd. Provide cement backer board behind all walls with tile in wet locations.
- All exterior wood shall be exterior rated with required preservatives.
- All blocking to be ACS treated with approved fasteners if in contact with ground.
- All exposed steel handrails, guardrails, etc. shall be painted. Color to be determined by Architect if not specified on drawings.
- Any new tenant signage shall be submitted under separate cover, by others.
- [Typical] as used in these documents shall mean that the conditions or dimension is the same or representative for similar conditions throughout.

### floor plan keynotes

- Existing storefront system to remain.
- Existing steel column to remain. [typ] u.o.
- Existing ADA restrooms to remain.
- Existing drinking fountain to remain.
- Existing electrical to remain.
- Existing walls and doors to remain.
- Provide new break metal furr out at end of wall and in between existing storefront and new/revise storefront. Break metal shall match storefront color. Provide temporary barricade as needed with temporary door into space until future construction on adjacent space. RE: details on sheet a4.0.
- Existing demising wall to remain. Patch and repair any damage to meet minimum fire rating requirements.
- Provide new storefront system to match existing adjacent systems. Color to match.

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SHEET NAME

floor plan

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a1-0

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PROJECT PHASE

Permit