



# LEE'S SUMMIT MISSOURI

## RELEASE FOR LAWN SPRINKLER SYSTEM IN CITY OF LEE'S SUMMIT RIGHT OF WAY (RESIDENTIAL)

In consideration for the City of Lee's Summit's permission to extend a Lawn Irrigation System into the City's right of way at (legal desc of the property):

Lot No. 116 Plat Title Monticello Address: 4733 NE Freehold Dr

County: Jackson State: MO

I, Truman Homes LLC

release and forever discharge the City of Lee's Summit, its employees and/or agents from and against any and all liability, claim, demands for any use arising out of, relating to, or being in any way connected with work or service by the City, its employees or agents w the City's right of way for any purpose whatsoever.

NOW THEREFORE, the Undersigned hereby declares that said property described above shall be held, sold and conveyed subject to release herein and said release shall run with the real property and be binding on all parties having any part thereof, their heirs, succe and assigns.

IN WITNESS WHEREOF, this release has been read, signed and sealed this 27 day of December, 2021.

By: [Signature] Truman Homes LLC  
MARK YANLIK Truman Homes LLC  
Printed or Typed Name

### INDIVIDUAL ACKNOWLEDGMENT

STATE OF MISSOURI  
COUNTY OF JACKSON

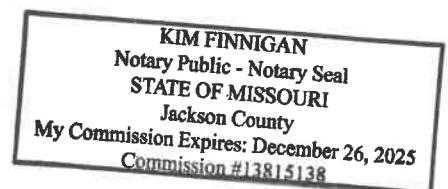
ON THIS, The 27 day of December, 2021, before me, a Notary Public, personally appear MARK YANLIK

proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) subscribed to the within instrument, and acknowledged that he/she/they executed the same for the purposes stated therein and no other.

WITNESS my hand and official seal in the County and State aforesaid, the day and year first above written.

/s/ [Signature]  
Notary Public Signature  
Kim Finnigan  
Printed or Typed Name

My Commission Expires:  
12-26-25



(Seal)

As-graded plot plan per Sec. 7-160 Code of Ordinances is required prior to occupancy.

