

LEE'S SUMMIT

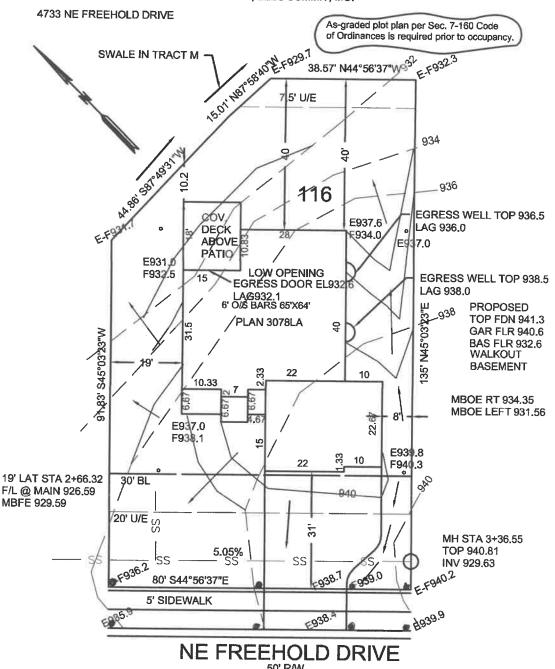
RELEASE FOR LAWN SPRINKLER SYSTEM IN CITY OF LEE'S SUMMIT RIGHT OF WAY (RESIDENTIAL)

of the p	roperty):	City of Lee's Sumr	nit's permiss	ion to exte	nd a Lawn Ir	rigation Sys	tem into the City's right of way at (legal des
Lot No.	//6 Plat Title //	Monticello	Address:	4733	NE Fre	=ba\ X	A
County:	_ Stees on		State:	mo		2.012.0	
۱,	Trumare	- Homes	lic				-
release a demands the City's	for any use arising Fight of way for a	narge the City of ng out of, relating any purpose what	Lee's Summ	it, its emp in any way	loyees and/ connected v	or agents fi	he undersigned, successors, and assigns do rom and against any and all liability, clair service by the City, its employees or agents
NOW THE release he and assign	EREFORE, the Un erein and said rel	idersigned hereby lease shall run wit	declares the	at said pro	perty descri	ibed above	shall be held, sold and conveyed subjects
IN WITNES	SS WHEREOF, this	release has been	read, signed	and sealer	1 this 27		Possessid
	×	· E	y: <u>W</u>	algh	Tronk	_day of	Documber 20 2
			MAR	Lyanuak ed or Typea	Tromak H	turn IIC	
STATE OF IV	MISSOURI FJACKSON	in	IDIVIDU	IAL ACI	NOWL	EDGME	NT
ON THIS,	The 27 MANY YANG	day of <u>Dec</u>	ember		20 <u>21</u> , b	efore me,	a Notary Public, personally appea
cknowledge	ne on the basied that	is of satisfactory he/she/they ex seal in the County	evidence to	be the p	erson(s) wh	ose namel	S) Subscribed to the
		and County	dire state a	oresaid, th	e day and ye	ear first abov	ve written.
		,	's/ Notary	Public Signa	ture	gen	
			K	im Fin	nigan		KIM FINNIGAN
1100			Printed	or Typed N	2000		Notary Public - Notary C
eal)					31116	•	VIALE OF MISSORDI
aı <i>)</i>				mission Exp		•	STATE OF MISSOURI Jackson County My Commission Expires: December 26, 2025 Commission #13815138

CONSTRUCTION STAKE PLOT PLAN

ORDERED BY: TRUMARK HOMES

DESCRIPTION: LOT 116 MORTICELLO - 4TH PLAT, LEES SUMMIT, MO.



Sprinkley Heads

This plot plan is not an "as-built" survey as the house was staked prior to being built and cannot be used in place of a "Surveyors Real Property Report". This plot plan was prepared for use before and during foundation construction only and should not be used to establish property lines for fences or other structures. House staked as shown on this plot plan. House dimensions may have been assumed and contractor must check house dimensions shown and compare to the final house plans. Contractor to verify all elevations at job site. Builder must make final decision as to cuts and foundation heights at the job site, any floor elevations shown are shown as a quilde only. Sanitary sewer and lateral elevations cannot be verified at time of staking, and it may be necessary to verify sanitary sewer elevation and location (BY DIGGING UP THE SEWER LATERAL) prior to excavation for foundation.

Underground utilities and un-platted easements may not be shown. This does not constitute a boundary survey and builder must Underground utilities and un-platted easements may not be shown. This does not constitute a boundary survey and builder must check to make sure description shown is correct with the deed for the property. It is recommended that no work be done until building permits are obtained and plot plan has been verified by local building codes authorities to comply with all setback and other restrictions.

= DRAINAGE PATTERN CONSTRUCTION ENGINEERING SERVICES, INC.

16810-C East 40 Highway Independence, MO 64055

(816)478-2323

Independence, MO 64055

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(SCALE: 1"=20'

DATE: 04-06-2021

JOB NO: 17657

Land Surveyor