

THAT PART OF LOT 1, **J.K.V. EAST COMMERCIAL DEVELOPMENT**, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 37°-13'-00" EAST ALONG THE WEST LINE OF SAID LOT 1 AND THE EAST RIGHT OF WAY LINE OF NORTHWEST MURRAY ROAD, AS NOW ESTABLISHED, A DISTANCE OF 262.17 FEET; THENCE NORTH 79°-47'-42" EAST, A DISTANCE OF 161.14 FEET TO A POINT ON THE EAST LINE OF SAID LOT 1 AND THE WEST RIGHT OF WAY LINE OF U.S. HIGHWAY NO. 50, AS NOW ESTABLISHED; THENCE SOUTH 21°-36'-41" EAST ALONG SAID EAST LINE AND SAID EAST RIGHT OF WAY LINE OF U.S. HIGHWAY NO. 50, A DISTANCE OF 289.24 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 75°-50'-44" WEST ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 124.81 FEET; THENCE NORTH 86°-42'-30" WEST CONTINUING ALONG SAID SOUTH LINE, A DISTANCE OF 159.39 FEET TO THE POINT OF BEGINNING, CONTAINING 62,328 SQUARE FEET OR 1.431 ACRES, MORE OR LESS.

THE ABOVE DESCRIPTION HAS BEEN PREPARED BY ANDERSON SURVEY COMPANY, AND WILL BECOME LOT 1B OF THE MINOR PLAT OF **J.K.V. EAST COMMERCIAL DEVELOPMENT, LOTS 1A, 1B, AND 2A** AFTER APPROVAL OF THE PLAT BY THE CITY OF LEE'S SUMMIT AND RECORDING OF THE PLAT BY JACKSON COUNTY.

ALL EASEMENT INFORMATION SHOWN HEREON HAS BEEN TAKEN FROM AN ALTA COMMITMENT FOR TITLE INSURANCE, ISSUED BY COFFELT LAND TITLE, INC., COMMITMENT NO. 21050640, REVISION 1, DATED AUGUST 16, 2021.

1. ITEM NUMBERS 1, 2(a), 2(d), 2(e), 3, 4, 10 AND 11 LISTED IN SCHEDULE B-II, EXCEPTIONS FROM THE ABOVE REFERENCED ALTA COMMITMENT FOR TITLE INSURANCE, ARE NOT SURVEY RELATED AND THEREFORE, ARE NOT ADDRESSED HEREON.
2. ITEM NO. 2(b) LISTED IN SCHEDULE B-II, EXCEPTIONS FROM THE ABOVE REFERENCED ALTA COMMITMENT FOR TITLE INSURANCE REFERS TO "EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS". ANDERSON SURVEY COMPANY IS NOT AWARE OF ANY UNRECORDED EASEMENTS, OR CLAIMS OF EASEMENTS.
3. ITEM NO. 2(c) LISTED IN SCHEDULE B-II, EXCEPTIONS FROM THE ABOVE REFERENCED ALTA COMMITMENT FOR TITLE INSURANCE REFERS TO "ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE SURVEY".
4. ITEM NO. 5 LISTED IN SCHEDULE B-II, EXCEPTIONS FROM THE ABOVE REFERENCED ALTA COMMITMENT FOR TITLE INSURANCE REFERS TO "BUILDING SET-BACK LINES WHICH ARE SHOWN BY THE RECORDED PLAT OVER A PORTION OF THE PREMISES DESCRIBED HEREIN" - AS SHOWN HEREON.
5. ITEM NO. 6 LISTED IN SCHEDULE B-II, EXCEPTIONS FROM THE ABOVE REFERENCED ALTA COMMITMENT FOR TITLE INSURANCE REFERS TO THE "PUBLIC UTILITY EASEMENT GRANTED BY THE RECORDED PLAT OVER A PORTION OF THE PREMISES DESCRIBED HEREIN" - AS SHOWN HEREON.
6. ITEM NO. 7 LISTED IN SCHEDULE B-II, EXCEPTIONS FROM THE ABOVE REFERENCED ALTA COMMITMENT FOR TITLE INSURANCE REFERS TO THE "ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM U.S. HIGHWAY NO. 50 HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED OCTOBER 2, 1969 AS DOCUMENT NO. I-47955 IN BOOK I-140 AT PAGE 1597" - AS SHOWN HEREON.
7. ITEM NO. 8 LISTED IN SCHEDULE B-II, EXCEPTIONS FROM THE ABOVE REFERENCED ALTA COMMITMENT FOR TITLE INSURANCE REFERS TO THE "ELECTRIC LINE EASEMENT GRANTED TO UTILICORP. UNITED INC. AS DOCUMENT NO. 1-933841 IN BOOK I-1951 AT PAGE 573, OVER A PORTION OF THE PREMISES". SAID EASEMENT DOES NOT APPEAR TO AFFECT THE SUBJECT PROPERTY.
8. ITEM NO. 9 LISTED IN SCHEDULE B-II, EXCEPTIONS FROM THE ABOVE REFERENCED ALTA COMMITMENT FOR TITLE INSURANCE REFERS TO THE "RECIPROCAL EASEMENT AND MAINTENANCE AGREEMENT DATED APRIL 7, 2005 BY AND BETWEEN JOHN KNIX VILLAGE, MURRAY ROAD INVESTORS I, LLC AND MURRAY ROAD INVESTORS II, LLC RECORDED APRIL 26, 2005 AS DOCUMENT NO. 2005030043166". SAID DOCUMENT DOES NOT CONTAIN ANY PLOTTABLE EASEMENTS.

THE INFORMATION CONCERNING THE EXISTENCE, LOCATION, SIZE OR TYPE OF MATERIALS OF UNDERGROUND UTILITIES SHOWN HEREON, WHICH ARE NOT VISIBLE FROM THE SURFACE, HAS BEEN COMPILED FROM THE RECORDS OF THE VARIOUS UTILITY COMPANIES OR OTHER SOURCES OF INFORMATION ALONG WITH FIELD LOCATIONS OF PAINTED MARKINGS BY MISSOURI ONE CALL, TICKET NUMBER 212422022. THIS INFORMATION IS NOT TO BE CONSTRUED AS ACCURATE, COMPLETE NOR EXACT. ANY INFORMATION CONCERNING UNDERGROUND UTILITIES SHOWN HEREON MUST BE CONFIRMED BY THE DESIGN PROFESSIONAL PRIOR TO DESIGNING ANY IMPROVEMENTS WHICH MAY BE AFFECTED BY THIS INFORMATION OR BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 29095C0417G, DATED JANUARY 20, 2017, THIS PROPERTY LIES WITHIN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN THEREON.

ACCORDING TO THE UNIFIED DEVELOPMENT ORDINANCE OF THE CITY OF LEE'S SUMMIT, MISSOURI, THE CURRENT REQUIREMENTS ARE AS FOLLOWS:

1. ZONING CLASSIFICATION - CP-2 (PLANNED COMMUNITY COMMERCIAL)
2. SETBACK REQUIREMENTS -
 - FRONT YARD - MAJOR STREET OR ALL OTHER STREETS (15 FEET MINIMUM; 0 FEET OTHER STREETS IF MAIN ENTRY AND ANY DISPLAY WINDOWS FACE STREET, OTHERWISE 15 FEET MINIMUM)
 - SIDE YARD (10 FEET, 0 FEET FOR INTERIOR LOT LINES)
 - REAR YARD (20 FEET)
3. MAXIMUM STRUCTURE HEIGHT - 40 FEET (3 STORIES)
4. FLOOR AREA RATIO - RATIO OF BUILDING SQUARE FOOTAGE TO LOT SQUARE FOOTAGE
5. MINIMUM LOT SIZES -
 - DENSITY (MAXIMUM .55 FLOOR AREA RATIO)
 - MINIMUM LOT SIZE PER UNIT (20,000 SQUARE FEET)
 - MINIMUM LOT WIDTH MAJOR STREETS (100 FEET)
 - MINIMUM LOT WIDTH OTHER STREETS (N/A)
6. PARKING REQUIREMENTS -
 - NUMBER OF SPACES DETERMINED BY TYPE OF BUSINESS (REFER TO UNIFIED DEVELOPMENT ORDINANCE FOR TYPES OF BUSINESSES)

THE SUBJECT PROPERTY CONTAINS 50 REGULAR PAINTED PARKING SPACES & 2 HANDICAP PAINTED PARKING SPACES.

THE SUBJECT PROPERTY ADDRESS IS 451 NORTHWEST MURRAY ROAD, LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

THE SUBJECT PROPERTY CONTAINS 62,328 SQUARE FEET OR 1.431 ACRES, MORE OR LESS.

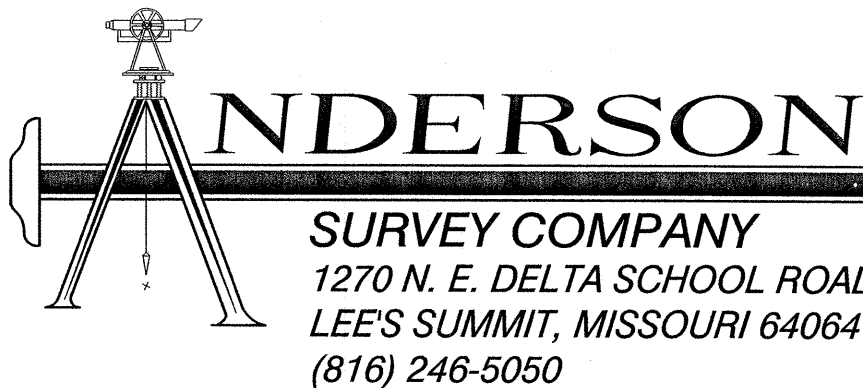
THE DISTANCE FROM THE SOUTHWEST ENTRANCE OF THE SUBJECT PROPERTY TO THE INTERSECTION OF NORTHWEST MURRAY ROAD & NORTHWEST OLDHAM PARKWAY IS APPROXIMATELY 425 FEET.

THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS IN THE PROCESS OF CONDUCTING THE FIELDWORK

THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS IN THE PROCESS OF CONDUCTING THE FIELDWORK.

ACCORDING TO THE LEE'S SUMMIT, MISSOURI DEPARTMENT OF PUBLIC WORKS, THERE ARE NO PROPOSED CHANGES IN THE STREET RIGHT OF WAY FOR NORTHWEST MURRAY ROAD.

DATE	REVISION	BY
<h1>ALTA/NSPS LAND TITLE SURVEY</h1>		
<p>THIS IS TO CERTIFY THAT THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL LAND SURVEYORS AND PROFESSIONAL LANDSCAPE ARCHITECTS AND MEETS OR EXCEEDS THE ACCURACY STANDARDS OF A CLASS URBAN SURVEY.</p>		
DATE: AUGUST 25, 2021 FOR: DRAKE DEVELOPMENT, LLC 7200 WEST 132ND STREET OVERLAND PARK, KANSAS 66213 ATTN: TERRAN DOLD	PROJECT LOCATION: 451 NW MURRAY ROAD, LEE'S SUMMIT, JACKSON COUNTY, MISSOURI	



MISSOURI STATE CERTIFICATE OF AUTHORITY, 000076

TO: PREMIERLIFE REAL ESTATE HOLDINGS; DRAKE DEVELOPMENT, LLC; NEWMARK ZIMMER; AND COFFELT LAND TITLE, INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 6(a), 6(b), 7(a), 7(b1), 7(c), 8, 9, 11(a), 11(b), 13, 14, 16, 17, AND 19, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 25, 2021.

DATE OF PLAT OR MAP: SEPT. 16, 2021

STATE OF MISSOURI
REGISTERED LAND SURVEYOR
JAMES S. ANDERSON
NUMBER
LS-1726

1-47-31
21-08-42944-1
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