

1840 SW SAGE CANYON  
LEES SUMMIT MO  
LOT 147

BUILDER/CONTRACTOR IS RESPONSIBLE TO  
CHECK ALL DIMENSIONS FOR ACCURACY  
BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS.  
ALSO VERIFY ALL BEAM, HEADERS, PAD LOCATIONS,  
AND COLUMN SIZES.

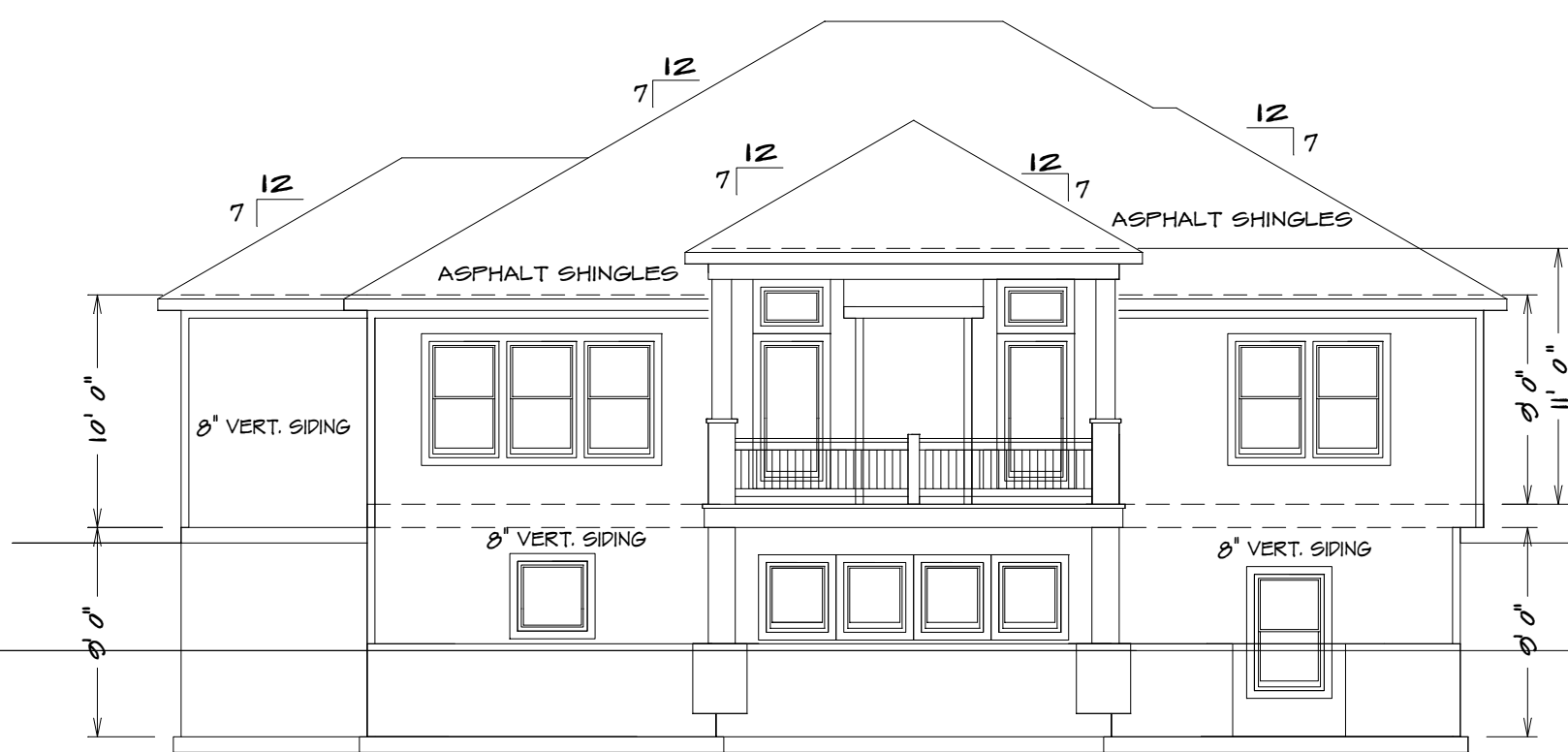
ALL NOTES, SECTIONS, AND DRAWINGS  
ARE IN ACCORDANCE WITH THE 2018 IRC

FRONT ELEVATION

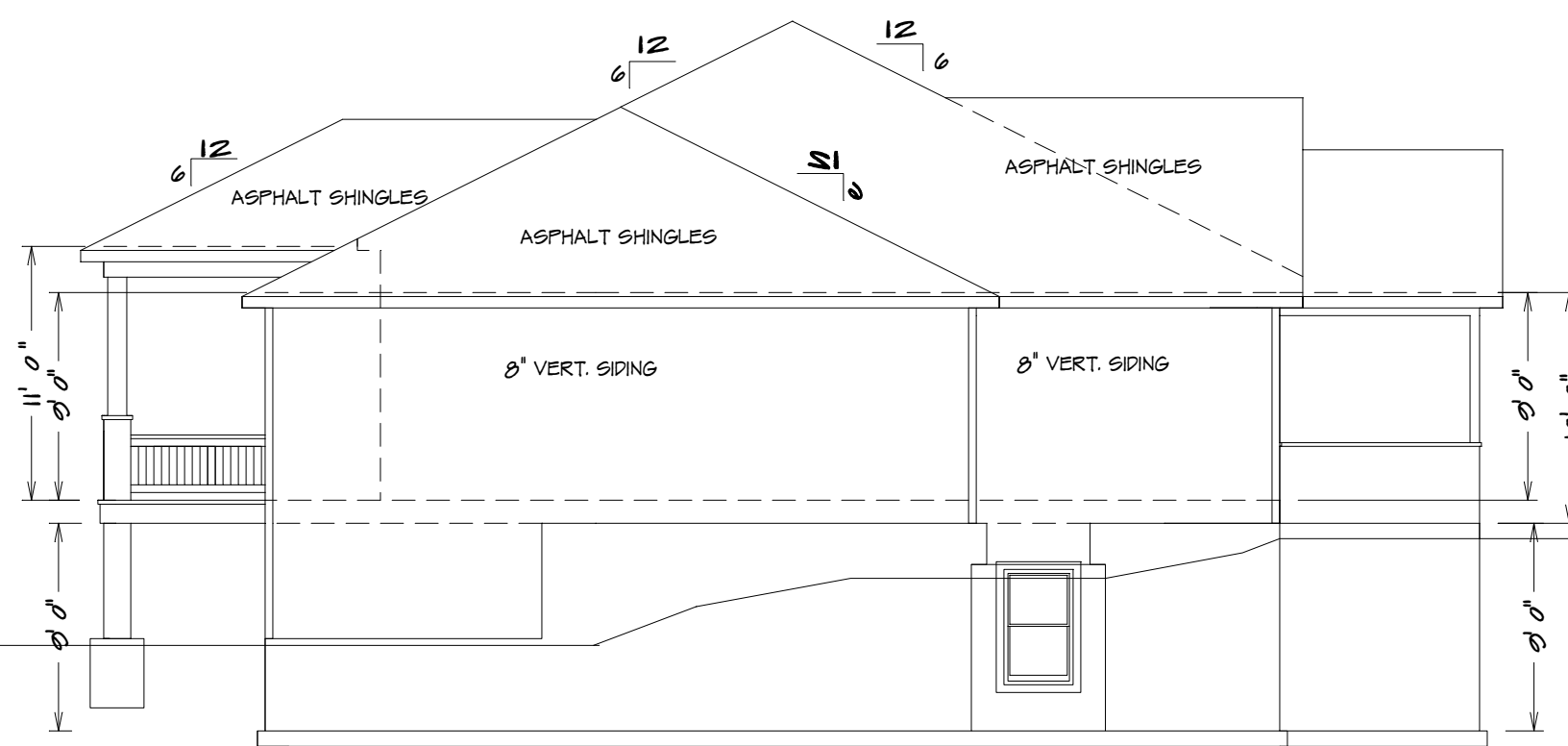
$$1/4'' = 1'0''$$

**NOTE:**  
ACTUAL ELEVATIONS MAY VARY FROM ARCHITECTURAL  
DRAWINGS, DUE TO TERRAIN/BACKFILL PROCESS  
FRONT ELEVATION IS ARCHITECTURAL DRAWING AND  
MAY VARY DUE TO MATERIALS AVAILABILITY

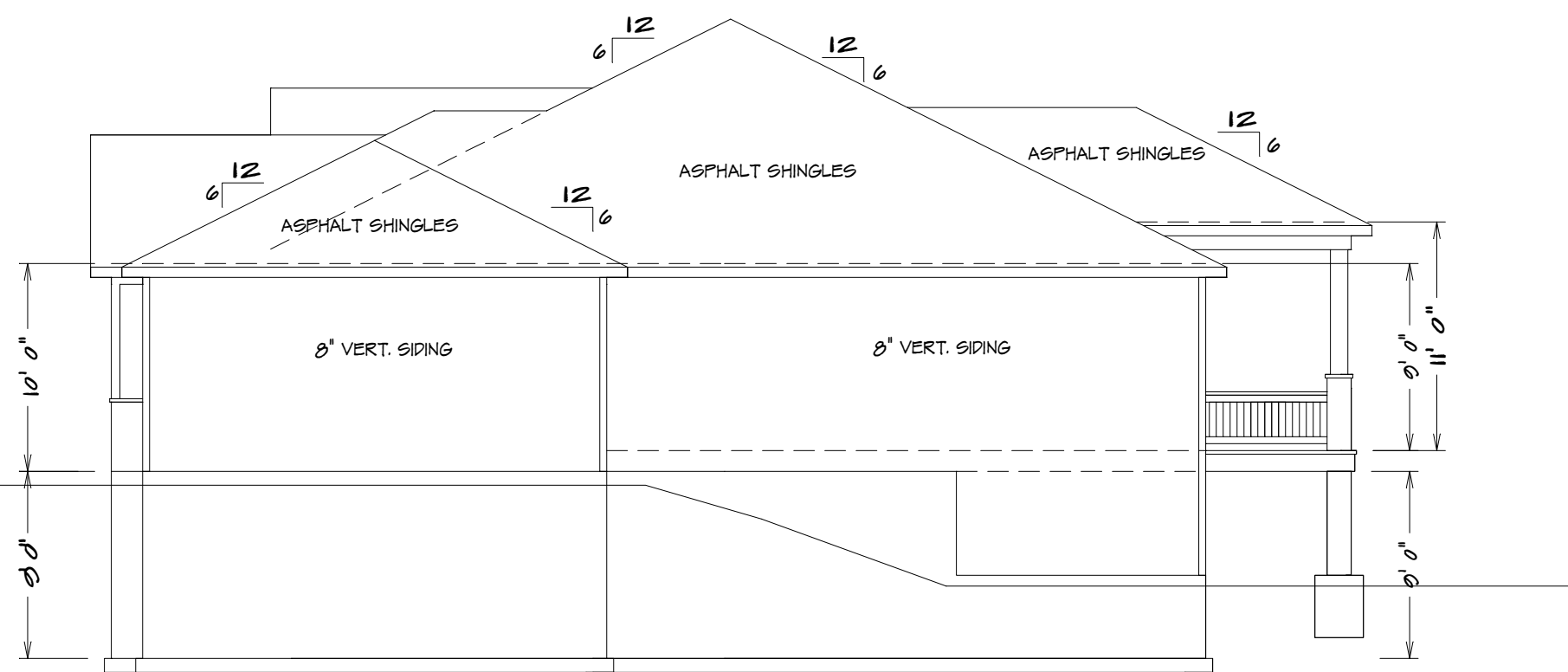
# THE "CYPRESS"



### REAR ELEVATION

$$1/8'' = 1'0''$$


### RIGHT ELEVATION

$$1/8^n = 1/0^n$$


### LEFT ELEVATION

$$1/8'' = 1'0''$$

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HOME BUYER:	PHONE:	DATE DRAWN:	PLAN NO.	SHEET NO. 1
BUILDER:	PHONE:	DATE REVISED:	FILE NAME: 6105 ELEV	
SUB-DIVISION:	LOT NO.	DESIGNER:	APPROX. SQ.FT.	

KH-6105 (LOT 160)

SQUARE FOOTAGE

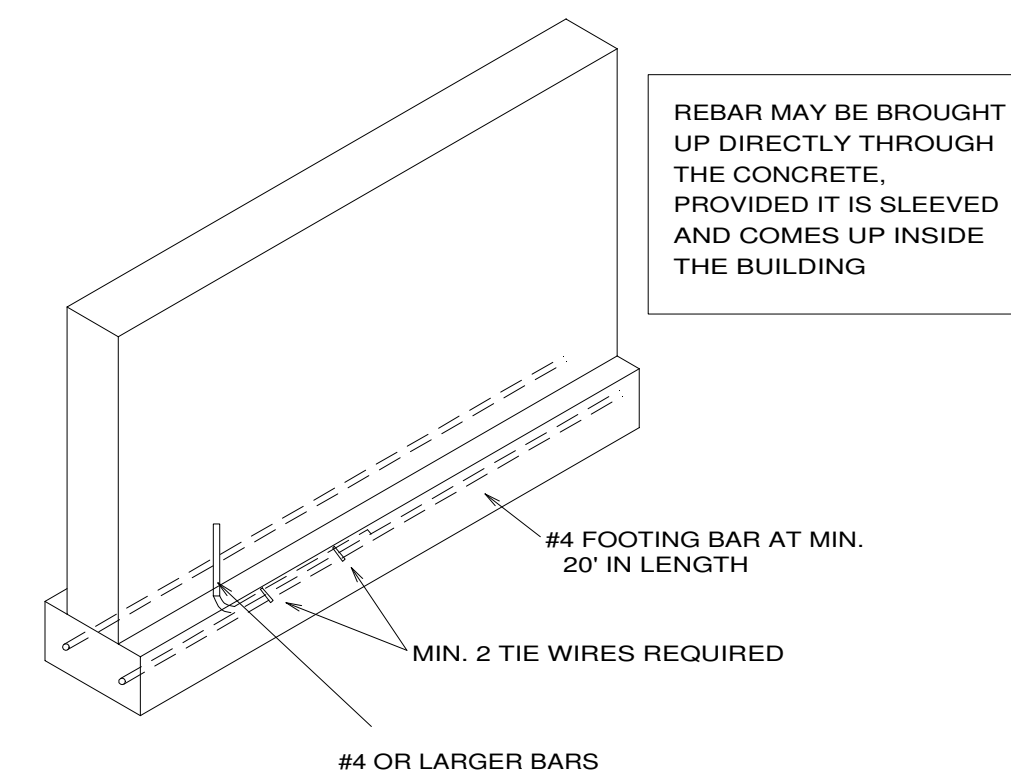
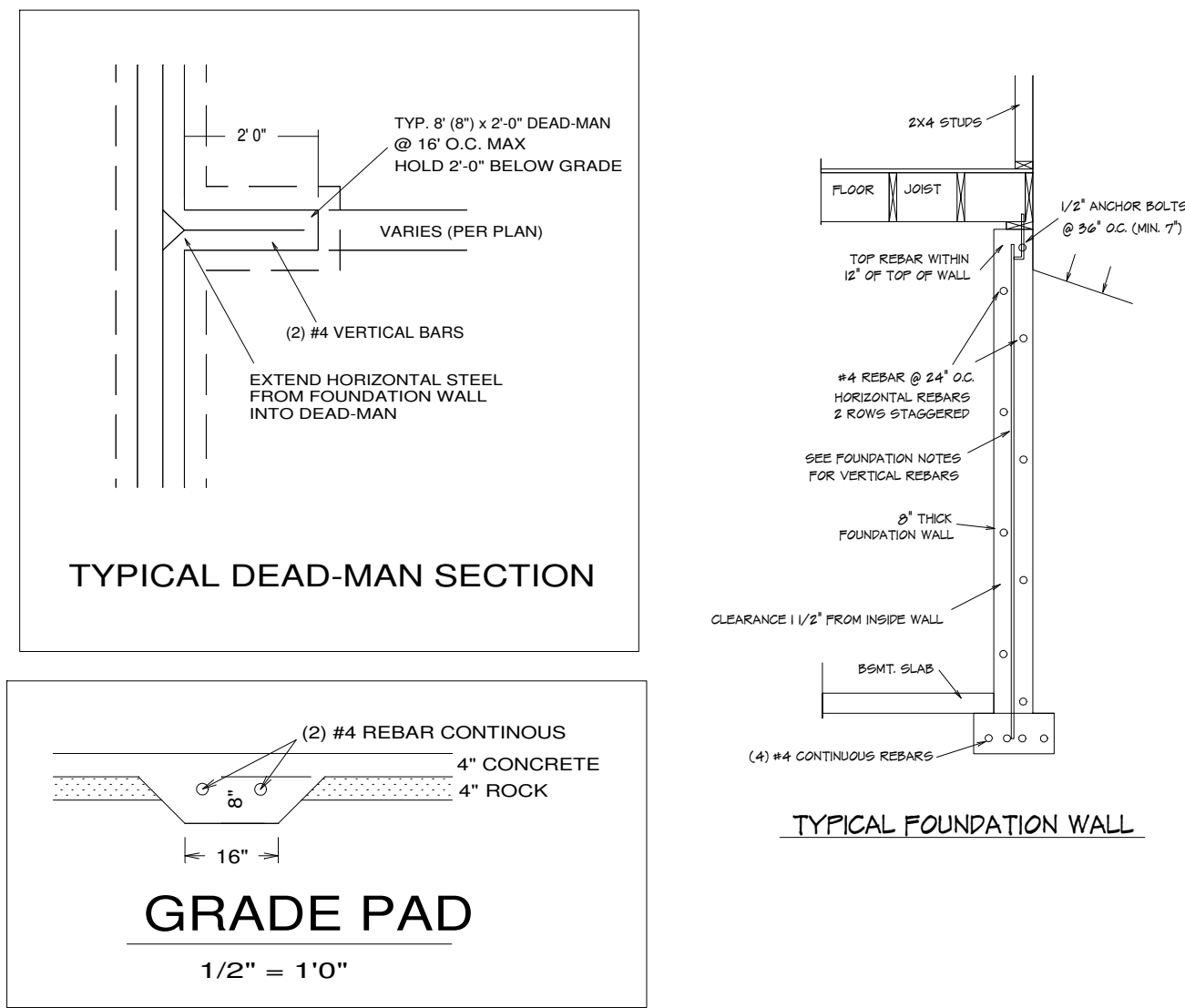
LIVING AREA

FIRST FLOOR	= 1625
BASEMENT	= 1215
COVERED DECK	= 186

UNFINISHED AREA  
STORAGE BASEMENT = 257  
GARAGE = 725  
UNDER STOOP = 32  
UNDER GARAGE = 672







1. Section 250.52 of the National Electrical Code requires that the concrete encased reinforcing steel be included in the grounding electrode system. This means that you must have "an electrode encased by at least 50 mm (2 in.) of concrete, located horizontally near the bottom or vertically, and within that portion of a foundation or footing that is in direct contact with the earth, consisting of at least 6.0 m (20 ft) of one or more bare or zinc galvanized or other electrically conductive coated steel reinforcing bars (rebar) of not less than 13 mm (1/2 in.) in diameter, or consisting of at least 6.0 m (20 ft) of bare copper conductor not smaller than 4 AWG.

2. Reinforcing bars shall be permitted to be bonded together by the usual steel tie wires or other effective means. Where multiple concrete-encased electrodes are present at a building or structure, it shall be permissible to bond only one into the grounding electrode system." Proper lap splices are required

## UFER GROUNDING SECTION

STEEL COLUMNS TO BE  
3" DIAMETER SCHEDULE 40 PIPE MANUFACTURED  
IN ACCORDANCE WITH ASTM A53 GRADE B OR  
APPROVED EQUIVALENT UNLESS NOTED

Note...Bridging. Joists exceeding a nominal 2 inches by 12 inches shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1-inch-by-3-inch strip nailed across the bottom of joists perpendicular to joists at intervals not exceeding 8 feet. (R502.7.1)

REQUIRED FOOTING:			
BUILDING HEIGHT	MINIMUM FOOTING	HORIZONTAL REBAR	LOCATION OF REBAR
1 OR 2 STY.	8" x 16" W	2 #4	5' FROM BTM
3 STORY	8" x 24" W	2 #4	5' FROM BTM
ACC. STR.	8" x 12" W	2 #4	5' FROM BTM

FOOTING FOR 12" THICK WALL TO BE DESIGNED BY OTHERS

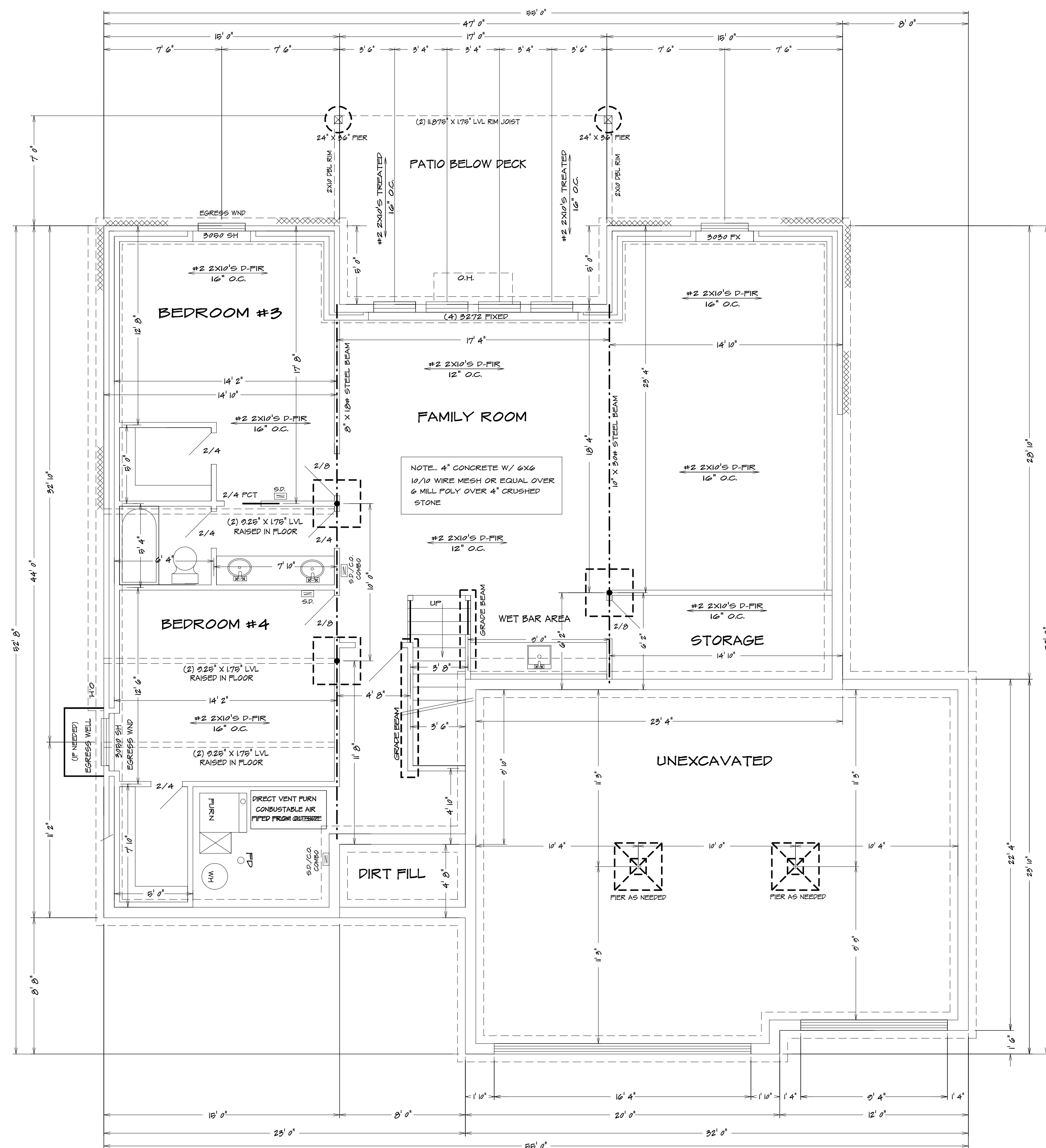
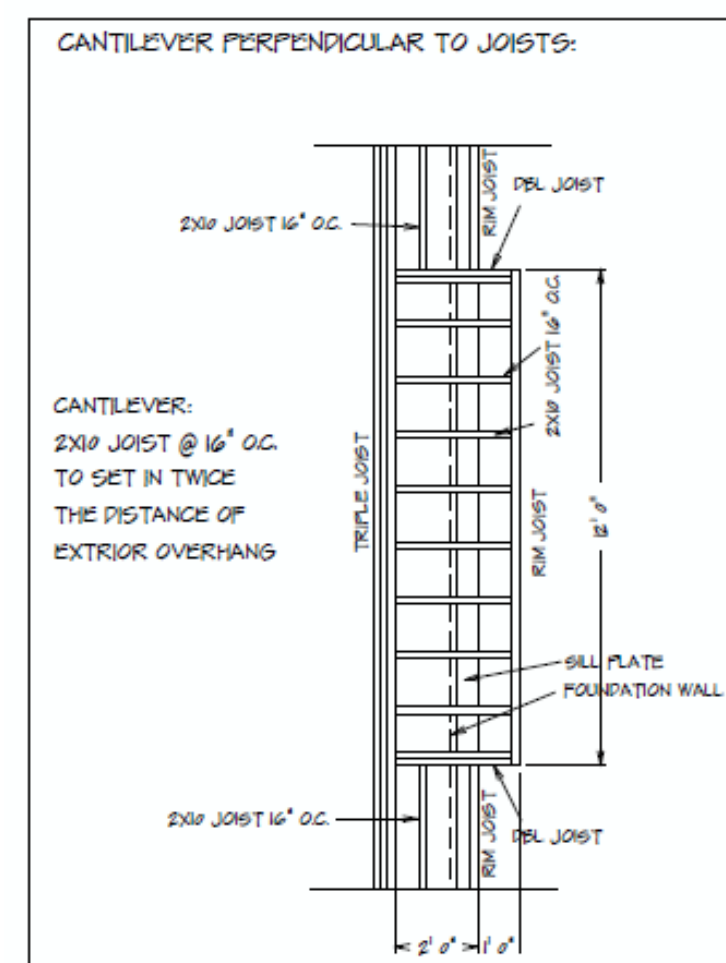
SEE ELEVATION FOR  
WALL HEIGHTS

NOTE... ELECTRICAL SERVICE  
TO BE 200 AMP.

NOTE... DOUBLE JOIST UNDER  
ALL PARALLEL WALLS  
ABOVE UNLESS NOTED

S.D.  
☰ = SMOKE DETECTOR

42" X 42" X 12" CONCRETE PADS WITH (6)  
#4 REBARS EACH WAY (UNLESS NOTED)



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## BASEMENT PLAN

$$1/4'' = 1'0''$$

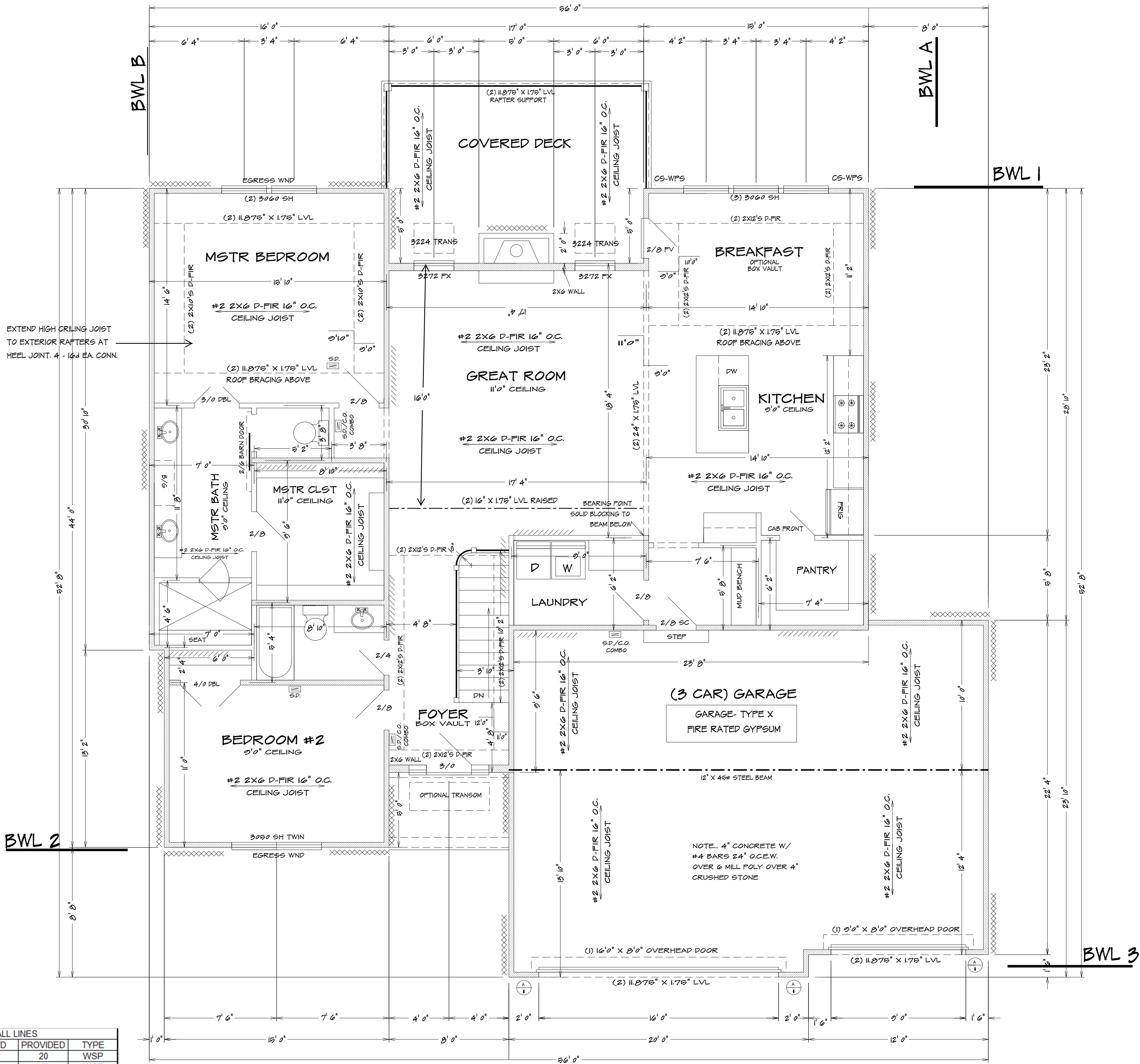
HOME BUYER:	PHONE:	DATE DRAWN:	PLAN NO.	SHEET NO.
BUILDER:	PHONE:	DATE REVISED:	KH-6109	2
SUB-DIVISION:	LOT NO.	DESIGNER:	FILE NAME:	APPROX. SQFT:
			6109 BSWT	

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**Exception:**  
The glazed areas shall not be required where artificial light and a local exhaust system are provided.  
The minimum local exhaust rates shall be determined in accordance with Section M1507.  
Exhaust air from the space shall be exhausted directly to the outdoors.



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FIRST FLOOR PLAN  
1/4" = 1'0"

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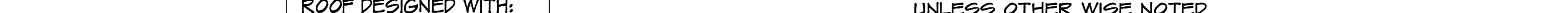


25 22 1785

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25 26 27

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ROOF DESIGNED WITH:

ROOF DESIGNED WITH:

ROOF DESIGNED WITH:

UNLESS OTHERWISE NOTED

UNLESS OTHERWISE NOTED

UNLESS OTHERWISE NOTED

UNLESS OTHERWISE NOTED

NUMBER 158

NUMBER 158

