



LAT SERVICE

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STONE VENEER

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Quality By Design

BUILDER/CONTRACTOR IS RESPONSIBLE TO
CHECK ALL DIMENSIONS FOR ACCURACY
BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS.
ALSO VERIFY ALL BEAM, HEADERS, PAD LOCATIONS,
AND COLUMN SIZES.

ALL NOTES, SECTIONS, AND DRAWINGS ARE IN ACCORDANCE WITH THE 2018 IRC

FRONT ELEVATION

1/4" = 1'0"

NOTE:

ACTUAL ELEVATIONS MAY VARY FROM ARCHITECTURAL

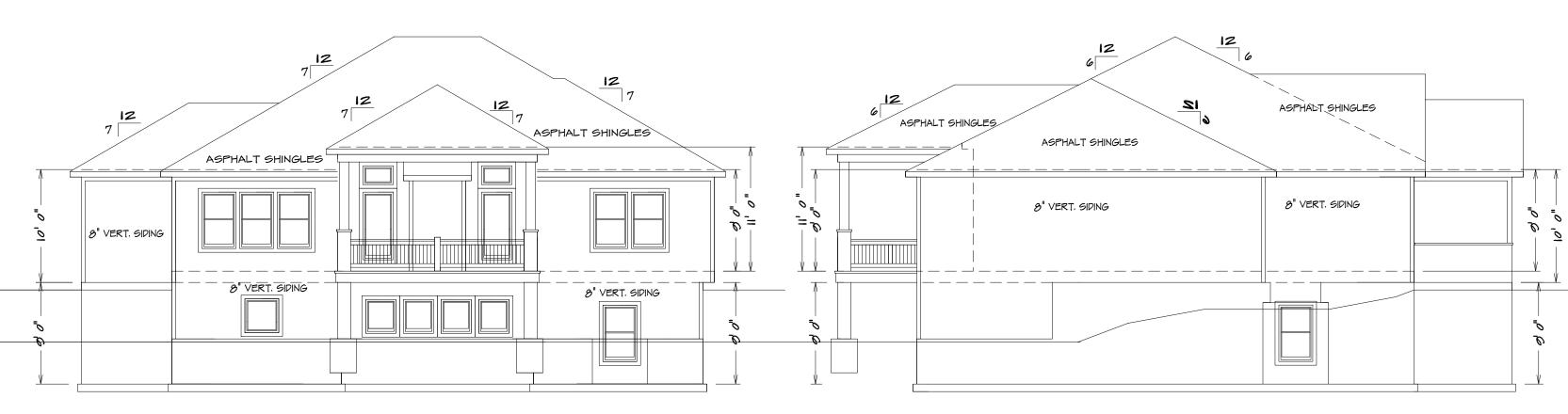
DRAWINGS, DUE TO TERRAIN/BACKFILL PROCESS

MAY VARY DUE TO MATERIALS AVAILABILITY

FRONT ELEVATION IS ARCHITECTURAL DRAWING AND

1840 SW SAGE CANYON LEES SUMMIT MO LOT 147

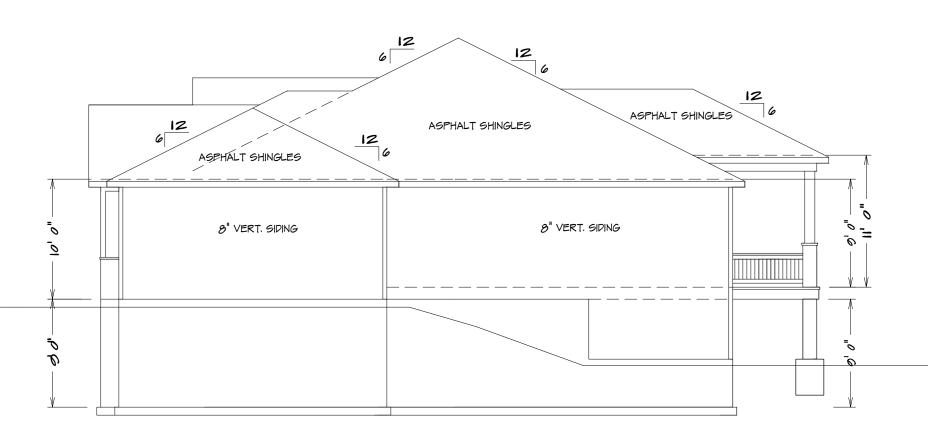
THE "CYPRESS"



REAR ELEVATION

1/8" = 1'0"

RIGHT ELEVATION



LEFT ELEVATION

1/8" = 1'0"



SQUARE FOOTAGE

FIRST FLOOR = 1625 BASEMENT = 1215 COVERED DECK = 186

UNFINISHED AREA
STORAGE BASEMENT = 267
GARAGE = 726
UNDER STOOP = 32
UNDER GARAGE = 672

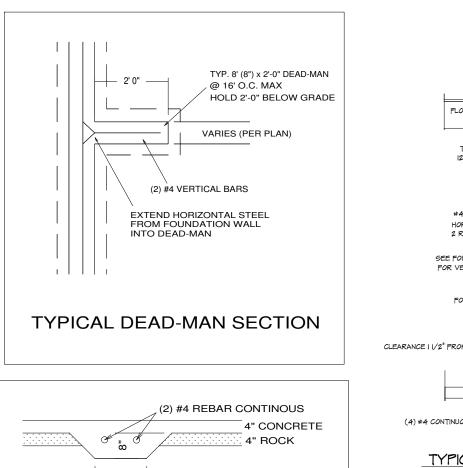
KH-6105 (LOT 160)

HOME BUYER:

BUILDER:

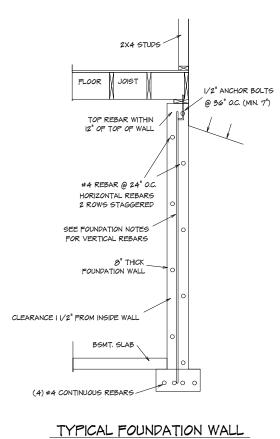
PATE I
PHONE:

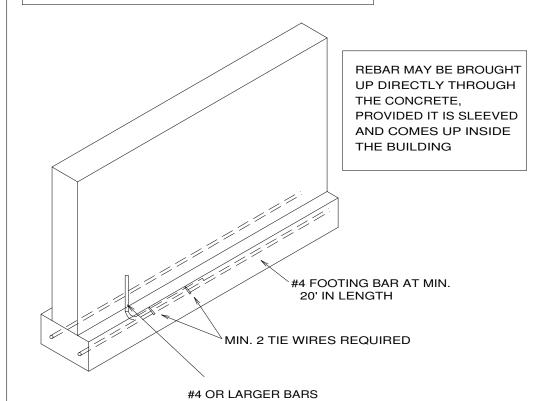
PATE I
PATE I
DATE I
PATE II
PATE



GRADE PAD

1/2" = 1'0"





1. Section 250.52 of the National Electrical Code requires that the concrete encased reinforcing steel be included in the grounding electrode system... This means that you must have "an electrode encased by at least 50 mm (2 in.) of concrete, located horizontally near the bottom or vertically, and within that portion of a concrete foundation or footing that is in direct contact with the earth, consisting of at least 6.0 m (20 ft) of one or more bare or zinc galvanized or other electrically conductive coated steel reinforcing bars or rods of not less than 13 mm (1/2 in.) in diameter, or consisting of at least 6.0 m (20 ft) of bare copper conductor not smaller than 4 AWG.

2. Reinforcing bars shall be permitted to be bonded together by the usual steel tie wires or other effective means. Where multiple concrete-encased electrodes are present at a building or structure, it shall be permissible to bond only one into the grounding electrode system." Proper lap splices are required

UFER GOUNDING SECTION

STEEL COLUMNS TO BE
3" DIAMETER SCHEDULE 40 PIPE MANUFACTURED
IN ACCORDANCE WITH ASTM A53 GRADE B OR
APPROVED EQUIVALENT UNLESS NOTED

Note...Bridging. Joists exceeding a nominal 2 inches by 12 inches shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1-inch-by-3-inch strip nailed across the bottom of joists perpendicular to joists at intervals not exceeding 8 feet.

1-inch-by-3-inch strip halled	across in	e pollon
perpendicular to joists at in	tervals not	exceedi
(R502.7.1)		
	REQUIRED FO	OTING:
SEE ELEVATION FOR	BUILDING	MINIMUM

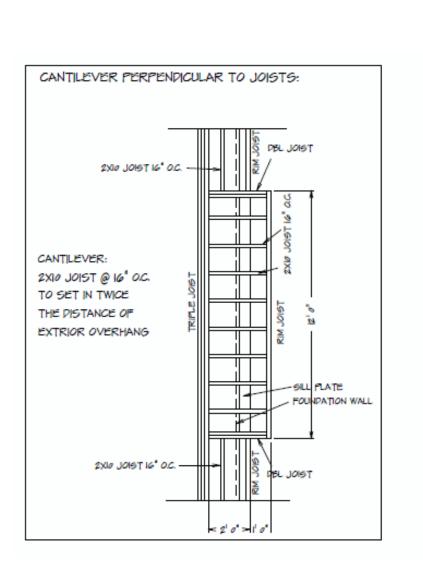
WALL HEIGHTS
NOTE ELECTRICAL SERVICE
TO BE 200 AMP.

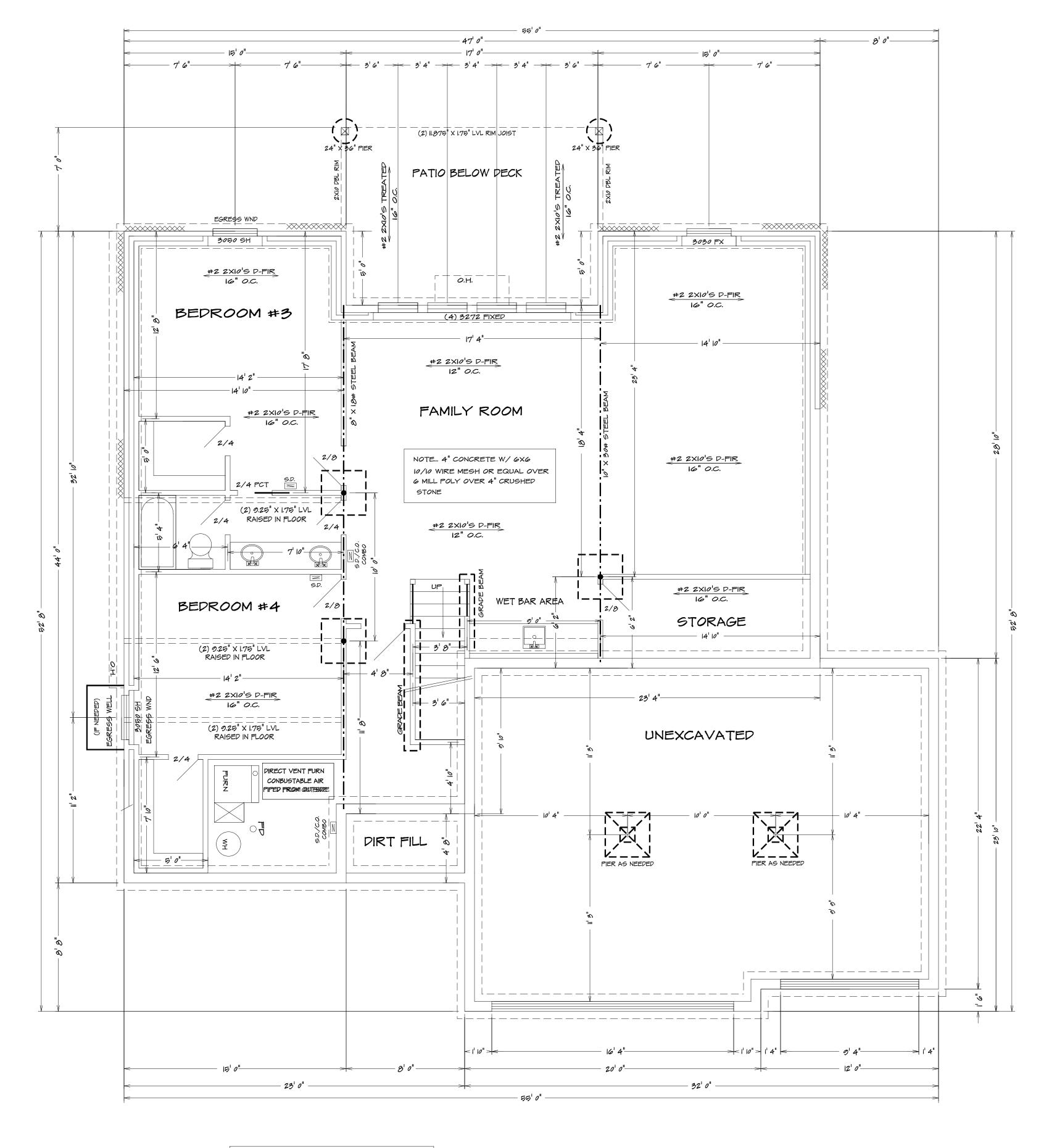
NOTE... DOUBLE JOIST UNDER ALL PARALLEL WALLS ABOVE UNLESS NOTED

S.D. = SMOKE DETECTOR

BUILDING HEIGHT	MINIMUM FOOTING	HORIZONTAL REBAR	LOCATION OF REBAR			
1 OR 2 STY.	8"T × 16"W	2-#4	3" FROM BTM.			
3 STORY	8"T × 24"W	2-#4	3" FROM BTM.			
ACC. STR.	8"T × 12"W	2-#4	3" FROM BTM.			
FOOTING FOR 12" THICK WALL TO BE DESIGNED BY OTHERS						

42" X 42" X IZ" CONCRETE PADS WITH (6) #4 REBARS EACH WAY (UNLESS NOTED)





1840 SW SAGE CANYON LEES SUMMIT MO LOT 147 ALL NOTES, SECTIONS, AND DRAWINGS ARE IN ACCORDANCE WITH THE 2018 IRC

BASEMENT PLAN

1/4" = 1'0"



KH-6105 (LOT 160)

RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI 02/24/2022 2:36:55

SEE ELEVATION FOR WALL HEIGHTS

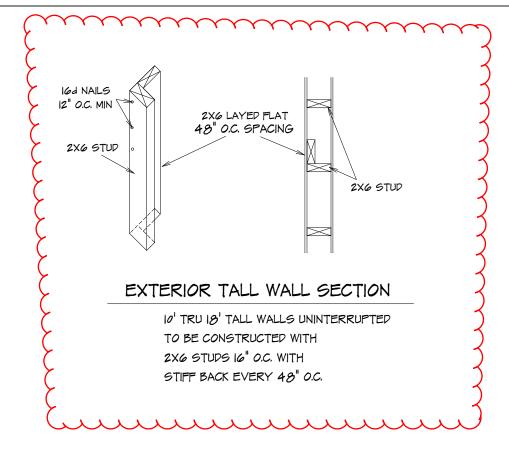
NOTE... ELECTRICAL SERVICE TO BE 200 AMP.

NOTE... DOUBLE JOIST UNDER

ALL PARALLEL WALLS

ABOVE UNLESS NOTED

S.D. = SMOKE DETECTOR



REQUIRED AREAS NEEDING HEADERS:	HEADER DESCRIPTIONS:
WINDOWS/DOORS UP TO 38" R.O.	(2) #2 D-FIR 2X10'S
WINDOWS/DOORS 38" UP TO 72" R.O.	(2) #2 D-FIR 2X10'S W/1/2" GLUE PLY
WINDOWS/DOORS 72" UP TO 96" R.O.	(2) 9 1/2" L.V.L.
8'0" GARAGE DOORS W/CEILING & ROOF LOAD	(2) 9 1/2" L.V.L.
9'0" GARAGE DOORS W/CEILING & ROOF LOAD	(2) 9 1/2" L.V.L.
8'0" GARAGE DOORS W/SECOND FLOOR	(2) 9 1/2" L.V.L.
9'0" GARAGE DOORS W/SECOND FLOOR	(2) 11 7/8" L.V.L.
16'0" GARAGE DOOR W/NO SECOND FLOOR	(2) 11 7/8" L.V.L.
16'0" GARAGE DOORS W/SECOND FLOOR	(2) 14" L.V.L.

R312.2.1 Window sills.

In dwelling units, where the opening of an operable window is located more than 72 inches (1820 mm) above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches (610 mm) above the fininshed floor of the room in which the window is located. Operable sections of windows shall not permit openings that allow passage of a 4-inch-diameter (102 mm) sphere where such openings are located within 24 inches (610 mm) of the finished floor.

Exception

- I. Windows whose openings will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening when the opening is in its largest opened position.
- Openings that are provided with window fall prevention devices that comply with ASTM F 2090.
 Windows that are provided with window apening control devices that
- 3. Windows that are provided with window opening control devices that comply with Section R312.2.2.

R312.2.2 Window opening control devices.

Window opening control devices shall comply with ASTM F 2000. The window opening control device, after operation to release the control device allowing the window to fully open, shall not reduce the minimum net clear opening area of the window unit to less than the area required by Section R310.1.1.

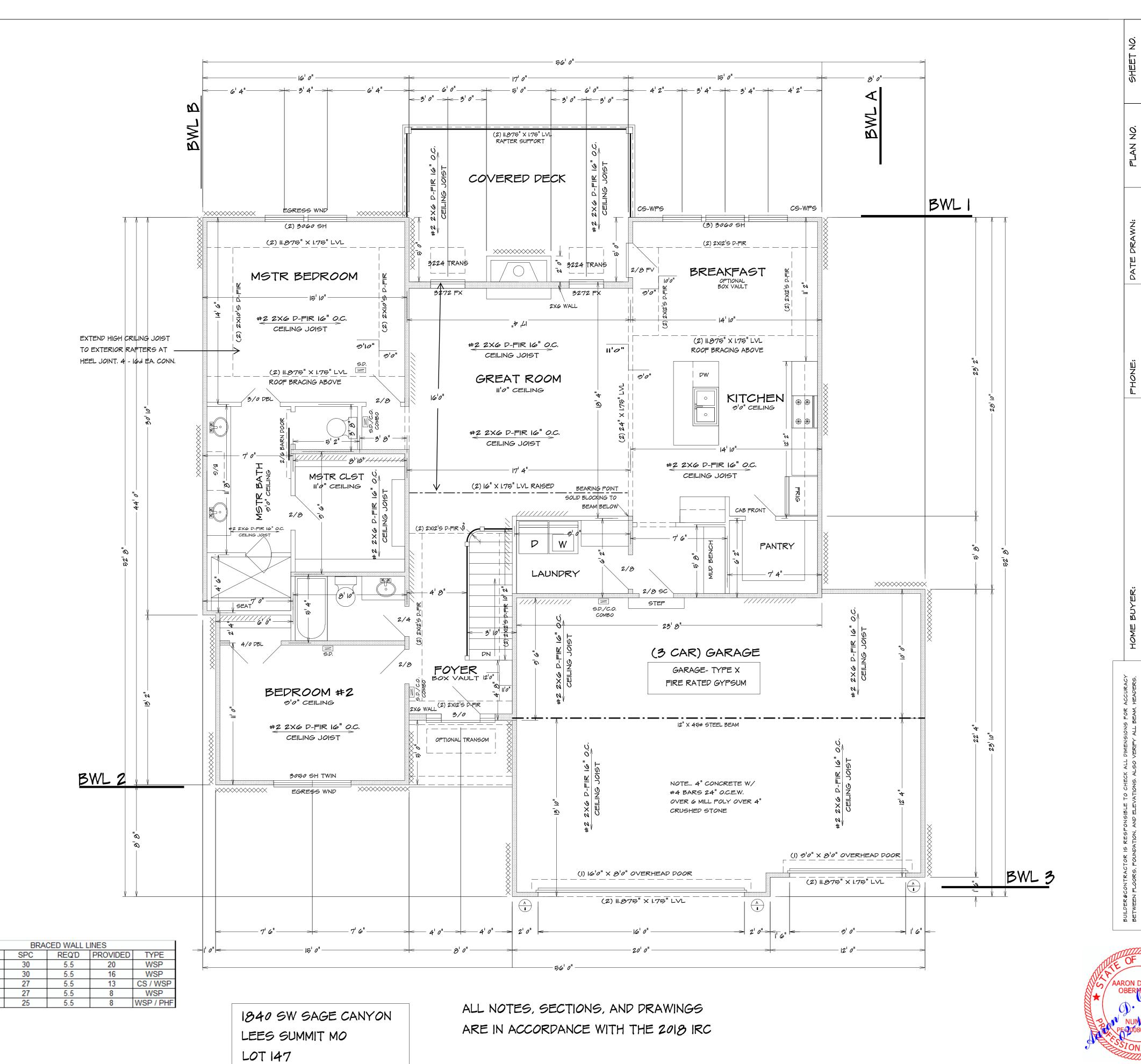
Bathrooms, water closet compartments and other similar rooms shall be provided with aggregate glazing area in windows of not less than 3 square feet, one-half of which must be openable.

Exception:

The glazed areas shall not be required where artificial light and a local exhaust system are provided.

The minimum local exhaust rates shall be determined in accordance with Section MI507.

Exhaust air from the space shall be exhausted directly to the outdoors.

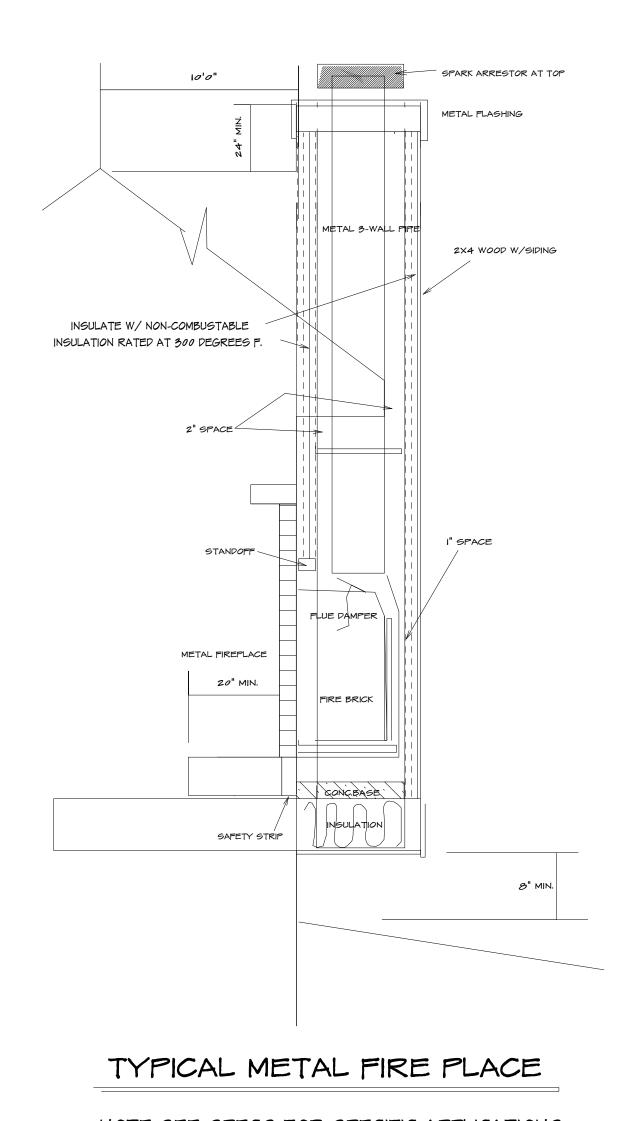


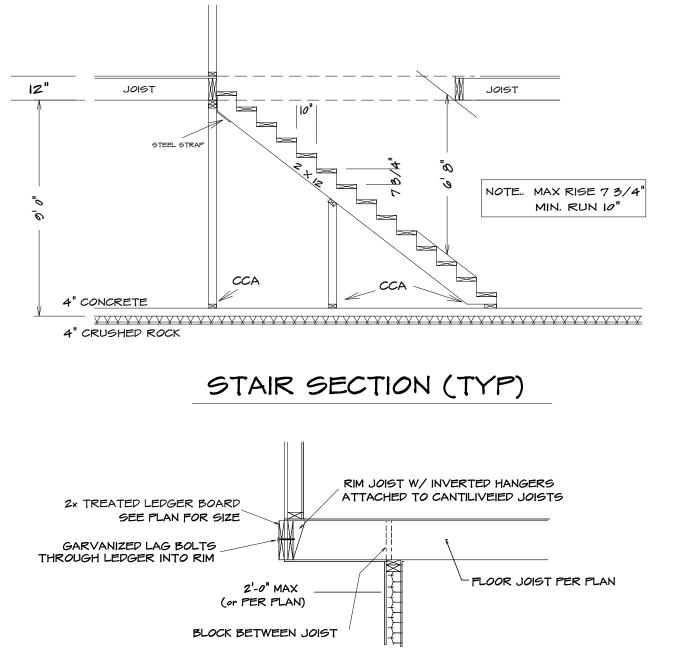
BEARING WALL

FIRST FLOOR PLAN

1/4" = 1'0"

KH-6105 (LOT 160)





DECK JOIST 1/2" O LAG EQUIVALENT SPACING
SPAN SPACING FOR 16" O.C. JOIST BAYS

10'-0" -14'-0" | 12" O.C. | 16" O.C. DBL. EVERY OTHER

14'-0" -18'-0" 8" O.C. 16" O.C. DBL. EVERY JOIST BAY

3/4" T&G SUBFLOOR

(PER PLAN)

JOIST PER PLAN

TYPICAL CANTILEVER FRAMING W/ DECK ATTACHMENT

UP TO 10'-0" 16" O.C. N/A

ROOFING MATERIAL 240 LB ASPHALT SHINGLES FAFTER ATTIC SPACE 7/16" OSB SHEATHING 2-PLY 15# FELT - BAFFLE FOR POSITIVE VENTILATION ICE BEARIER self-adhering polymer R-40 INSULATION (MIN) METAL EDGE GUTTER -CEILING JOIST IX8 FASCIA 2X6 SUB-FASCIA 1/2" GYP. BOARD SOFFIT BOARD -- DOUBLE TOP PLATE PER PLAN SOFFIR VENTS 8' O.C. -1/2" GYP. BOARD 2X4 NAILER-R-10 OR R13+5 IX4 TRIM BOARD — INSULATION EXTERIOR SHEATHING 7/16" OSB SHEATHING -2X4 STUD @ 16" O.C. W/ TYVEX HOUSE WRAP UNDERNEATH 3/4" T&G SUBFLOOR FLOOR JOIST-PER PLAN <−− 1/2" GYP. BOARD 7/16" OSB SHEATHING R-10 OR R13+5 INSULATION W/ TYVEX HOUSE WRAP - EXTERIOR SHEATHING UNDERNEATH — 2X4 STUD @ 16" O.C. 3/4" T&G SUBFLOOR RIM JOIST TREATED SILL PLATE FLOOR JOIST-PER PLAN SILL SEALER GRADE 8" MIN. 1/2" ANCHOR BOLTS @ 36" O.C. (MIN. 7") WATERPROOF BELOW GRADE SEE FOUNDATION NOTES FOR REBAR LOCATION AND SPACING PER PLAN 8" CONC. WALL -4" DRAIN TILE 4" CONC. SLAB MIN CONC. FOOTING 4" ROCK MIN SEE FOUNDATION NOTES UNDISTURBED SOIL

TYPICAL WALL SECTION

METAL FLASHING

CAULKING

OVER EPDM

DRILL/EMBED MIN. 5"

INTO FOUNDATION

(ONE BRACED WALL PANEL) _ 2'-18' FINISHED WIDTH OF OPENING FOR SINGLE OR DOUBLE PORTAL MIN. 3" X II I/4" NET HEADER FASTEN SHEATHING TO HEADER WITH 8D COMMON OR GALVANIZED BOX NAILS IN 3" GRID PATTERN AS SHOWN HEADER TO JACK-STUD STAP PER TABLE R602.10.6.4 ON MIN. DOUBLE 2X4 FRAMING COVERED WITH MIN. 3/8" THICK WOOD STRUCTURAL PANEL SHEATHING WITH δD COMMON OR GALVANIZED BOX NAILS AT 3" O.C. IN ALL FRAMING (STUDS, BLOCKING, AND SILLS) TYP. -MIN. LENGTH OF PANEL PER TABLE R602.10.5 MIN. (2) 4200 LB STRAP TYPE HOLD DOWND EMBEDDED NTO CONCRETE AND NAILED INTO FRAMING MIN. REINFORCING OF FOUNDATION, ONE #4 BAR TOP AND BOTTOM OF FOOTING. LAP 15" MIM. MIN. FOOTING SIZE UNDER IS 12" X 12" A TURNED DOWN SLAB SHALL BE PERMITTED AT DOOR OPENINGS MIN. (1) 5/8" DIAMETER ANCHOR BOLT INSTALLED PER R403.1.6- WITH 2" X 2" X 3/16" PLATE ALTERNATE BRACED WALL PANEL Method PFH: Portal frame with hold-downs BRACED WALL SECTION ROOFING MATERIAL 240 LB ASPHALT SHINGLES -7/16" OSB _#2 2X6 D-FIR 16" O.C. HEADER (SEE PLAN FOR SIZE) -2-PLY 15# FELT 7/16" HRD. BRD. __IX8 FASCIA ~ 2X6 SUB-FASCIA 2 X 10 TREATED 6X6 CEDAR POST 24" × 36" PIER FOOTINGS (4) 1/2" DIA BOLTS

3" HSS COLUMN

1/2" X 6" BASE PLATE

HSS COLUMN DETAIL

EXTENT OF HEADER WITH DOUBLE PORTAL FRAMES (TO BRACED WALL PANELS)

TENSION STRAP PER

TABLE R602.10.5.4

ON OPPOSITE SIDES

SPLICE EDGES SHALL

OCCURE OVER AND

COMMON BLOCKING

WITHIN MIDDLE 24"

OF WALL MID-HEIGH

ONE ROW OF 3" O.C.

NAILING IS REQUIRED

IN EACH PANEL EDGE

FRAMING CONNECTION

MIN. DOUBLE 2X4 POST

(KING AND JACK STUD)

NUMBER OF JACK

STUDS PER TABLES

HOLD-DOWN DEVICE

CONCRETE & NAILED

R502.5(1)&(2)

EMBEDED INTO

INTO FRAMING.

-GUTTER

SOFFIT BOARD

6X6 CEDAR POST

DECK SECTION

(4) 3/8" STIFF. PLATES

(2) EA. SIDE OF WEB

1/2" CAP PLATE

3 1/2" DIAMETER

A500-GR.B-42

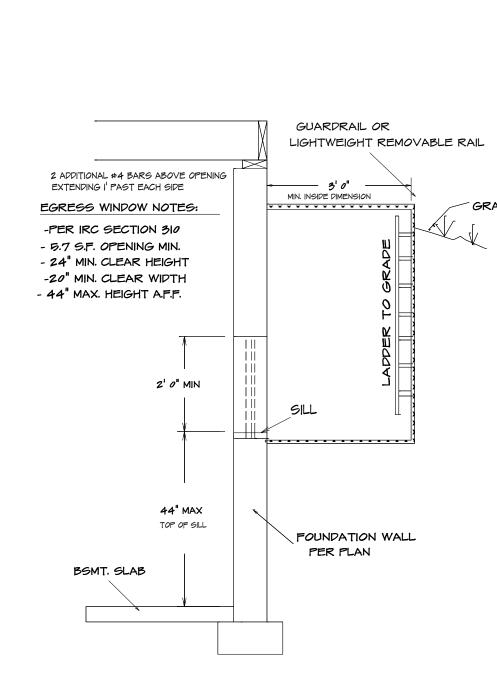
1/2" BASE PLATE

MIN. 1000 LB.

TYPICAL PORTAL

BE NAILED TO

OF SHEATING



BRACED WALLS:

TO HEADER WITH 2

SINKER NAILS AT 3"

MIN. 3/8" WOOD

-STRUCTURAL PANEL

ROWS OF 16D

O.C. TYP

SHEATHING

METHOD WSP (R602.10.4 2018 IRC):

MIN. 5/16" APA RATED WITH 8d

METHOD GB (R602.10.4 2018 IRC) :

MIN. I/2" GYPSUM BOARD WITH NO. 6 I-I/4" TYE W OR S SCREWS @ 7" O.C. EDGES AND WALL (4'-0" LONG, BOTH FACES OF WALL

NAILS @ 6" AND IZ"

ALTERNATE BRACED WALL PANEL

ALTERNATE BRACED WALL PANEL

A ALTERNATE BRACED WALL PANEL

 $\left(egin{array}{c} A \ A \end{array}
ight)$ ALTERNATE BRACED WALL PANEL .

NAILS @ 16" O.C.

MIN. 7" INTO THE FOUNDATION

Method PFG: at garage door openings in

Seismic Design Categories A, B and C

Method ABW: Alternate braced wall panels

2. PROVIDE SOLID BLOCKING ABOVE AND BELOW

ALL BRACED WALL LINES WHERE FRAMING ABOVE

OR BELOW RUNS PERPENDICULAR TO THE BRACING.

THE BRACED WALL SOLE PLATE AND TOP PLATE

SHALL BE FASTENED TO BLOCKING (RO PARALLEL

3. SIMPSON STHD-14 HOLD-DOWN STRAPS MAY BE

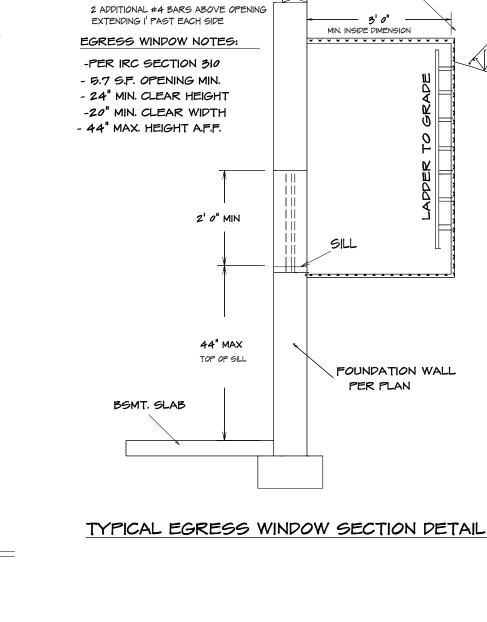
SUBSTITUTED WITH SIMPSON PHD2 HOLD-DOWNS

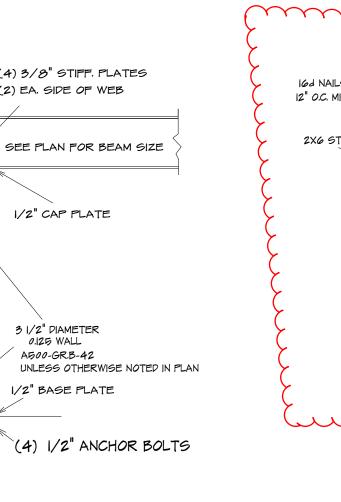
AND A 5/8" ANCHOR ROD DRILLED AND EPOXIED A

FRAMING MEMBER WHERE PROVIDED) WITH (3) 164

Method CS-PF: Continuously sheathed portal frame

Method PFH: Portal frame with hold-downs





16d NAILS 12" O.C. MIN 💎 2X6 LAYED FLAT 48" O.C. SPACING 2X6 STUD 2X6 STUD EXTERIOR TALL WALL SECTION 10' TRU 18' UNINTERUPTED TALL WALLS TO BE CONSTRUCTED WITH 2X6 STUDS 16" O.C. WITH STIFF BACK EVERY 48" O.C.

ALL NOTES, SECTIONS, AND DRAWINGS ARE IN ACCORDANCE WITH THE 2018 IRC

NOTE SEE SPECS FOR SPECIFIC APPLICATIONS.

Guard opening limitations. Required guards on open sides of stairways, raised floor areas, balconies, and porches shall have intermediate rails or ornamental closures that do not allow passage of a sphere 4" or more in diameter.

UPSET STEEL BEAM/JOIST CONNECTION

1/2" THRU-BOLTS

JOIST HANGER PER

MANUFACTURER SPECS

@ 24" O.C.

Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and

residence shall be equipped with solid wood doors not less than 13/8 inches in thickness, solid or honeycomb-core steel doors not less than 13/8 inches thick, or 20-minute fire-rated is installed, it shall become a permanent fixture of the occupancy, doors, equipped with a self-closing device. owned by the homeowner and shall be monitored by an approved

SMOKE ALARMS:

PROVIDE SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING ROOM AND ON EACH FLOOR, INCLUDING BASEMENT. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE DWELLING. (SECTION R314.5)

MIN. INSIDE DIMENSI

LADDER TO GRADE GALVANIZED STL. WINDOW WILL

SUSPENDED PORCH STOOP DETAIL

OPTIONAL

6" CONC. SLAB W/#4 BARS @

12" O.C. BOTH-WAYS W/1" TO

I-I/2" BOTTOM CLEARANCE

SLOPE SLAB

1/8"-1/4" PER FT.

OF SUSPENDED SLAB

FOUNDATION WALL PER PLAN

I. PROVIDE VULCRAFT 2VLI (OR EQUAL

DURING CONSTRUCTION) or

CORRUGATED DECKING (SHORE AT MID-SPAN

2. PLYWOOD FORMS WITH EXPANDABLE BAR JOIST

OR TEMPORARY FRAMED WALLS BY CONTRACTOR

FORMWORK OPTIONS:

TYPICAL EGRESS WINDOW PLAN SECTION

GARAGE

I. THE GARAGE FLOOR SHALL BE SLOPED TOWARD GARAGE DOORS 2. DOORS BETWEEN GARAGE AND DWELLING - MIN | 3/3" SOILD CORE OR HONEY COMBED STEEL DOOR OR 20 MIN. RATED 3. GARAGE TO HAVE 5/8" TYPE X GYPSUM THROUGHTOUT 4. THE H-FRAM SHALL CONSIST OF 2X6 FRAMING

GLAZING

GLAZING IN HAZARDOUS LOCATIONS AS IDENTIFIED IN IRC SECTION R308.4 SHALL BE APPROVED SAFTY GLAZING MATERIALS: GLASS IN STORM DOORS, INDIVIDUAL FIXED OR OPENABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARCH OF THE DOOR IN CLOSED POSITION AND WHOSE BOTTEM EDGE IS WITHIN 60" OF THE FLOOR: WALLS ENCLOSED STAIRWAYS AND LANDINGS WHERE THE GLAZING IS WITHIN 60" OF THE TOP OR BOTTEM OF THE STAIR: ENCLOSURES FOR SPAS, TUBS, SHOWERS, AND WHIRLPOOLS: GLAZING IN FIXED OR OPENABLE PANELS EXCEEDING 9 SQ. FT. AND WHOSE BOTTEM EDGE IS LESS THAN 18" ABOVE THE FLOOR OR

EMERGENCY EGREGS

PROVIDE ONE WINDOW FROM EACH BEDROOM THAT HAS A MIN. OPENABLE AREA OF 5.7 SR. FT. WITH A MIN. OPENABLE HEIGHT OF 24" AND WIDTH OD 21"

ELECTRICAL OUTLETS

. ALL OUTLETS TO BE ARC FAULT CIRCUIT-INTERRUPTER OR GROUND FAULT CIRCUIT-INTERRUPTER PROTECTED EXCEPT.. REFRIGERATOR, SINGLE OUTLET FOR SUMP PUMP AND SINGLE OUTLET IN GARAGE FOR A FREEZER

2. ALL OUTLETS TO BE TAMPER RESISTANT

supervising station.

FRAMING NOTE

I. ALL LUMBER SIZES ARE FOR #2 D-FIR-LARCH 2. ALL HEADERS TO BE MIN. (2) #2-2X10

SECTION R315 CARBON MONOXIDE ALARMS

- 3. BLOCK CANTILEVERS, DOOR JAMBS, AND OVER BEAMS 4. ALL HEADRS TO BEAR ON MIN. OF (2) 2X4 STUDS
- 5. JOIST UNDER BEARING PARTITIONS SHALL BE DOUBLED AND COMPLY WITH IRC SEC. R502.4
- 6. WATER-RESISTIVE BARRIER SHALL BE PROVIDED OVER ALL EXTERIOR WALL PER IRC SEC. R703
- 7. WHERE CEILING JOIST ARE NOT INSTALLED CONNECTED TO THE RAFTERS AT THE TOP PLATE AND/OR WHERE CEILING JOIST ARE NOT INSTALLED IN THE LOWER 1/3 OF ATTIC SPACE RAFTER TIES SHALL BE INSTALLED IN THE LOWER 1/3 OF ATTIC SPACE
- 8. COLLAR TIES SHALL BE PROVIDED IN THE ATTIC SPACE IN THE UPPER 1/3 OF ATTIC 9. ROOF IS DESIGNED FOR 20 P.S.F. ROOF SNOW LOAD (MIN.)
- 0. MIN 20 YR. ASPHALT SHINGLES II. RAFTER TIES SHALL NOT BE REQUIED WHEN A STRUCTURAL RIDGE HAS BEEN PROVIDED AND ADEQUATELY DESIGNED (AS IN A FULLY VAULTED ROOM) SUCH SHALL BE NOTED AS

"STRUCTURAL" ON THE PLAN. PER IRC SEC. 802.3

For new construction, an approved carbon monoxide Opening protection. area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

Carbon monoxide detection systems that include carbon monoxide detectors and audible notification appliances, i nstalled and maintained in accordance with this section for carbon monoxide alarms and NFPA 720, shall be permitted. The carbon monoxide detectors shall be listed as complying with UL 2075. Where a household carbon monoxide detection system

INSULATION NOTES:

CATHEDRAL CEILING

MIN. INSULATION SHALL BE PROVIDED ADJACENT TO HABITABLE AREAS AS EXTERIOR FRAMED WALLS (RIO OR RI3+5) FLOOR OVER HEATED SPACE RID FLOOR OVER OUTSIDE AIR RIO ATTIC - BLOWN IN R40

#4 REBARS CONTINUOUS AROUND PERIMETER FOUNDATION WALL PER PLAN PORCH SLAB (6'SPAN OR LESS) . MAXIMUM SPAN = 6'

- SEALANT LAYER

2. MINIMUM 6" THICKNESS 3. #4 REBARS AT 12" O.C. EACH WAY 4. MIN. I-I/2" OF CONTINUIUS BEARING AT THE EDGES OF SLAB

5. PORCH SLAB GREATER THEN 6' SHALL BE

TREATED AS AN ELEVATED GARAGE SLAB

TYPICAL F.P. FRONT

Foundation Wall Reinforcement Schedule - Table 2

Concrete strength/Grade	8 inch thick wall			10 inch thick wall		
Reinforcement #4 bar	8'	9'	10'	8'	9'	10'
3,000 psi / Grade 40	16	12	NP	24	16	12
3,500 psi / Grade 40	16	12	NP	24	24	12
3,000 psi / Grade 60	24	16	NP	24	20	16
3,500 psi / Grade 60	24	16	NP	24	24	16
Horizontal reinforcement -	- Minim	um Gr	ade 40	steel	#4	oar
One bar 12" from top of wall; maximum spacing 24" o.c.	4-#4	5-#4	6-#4	4-#4	5-#4	6-#4

- Wall height is measured from the top of the wall to the top of the floor slab.
- 2) Vertical reinforcement for concrete walls that are not full height and for reinforcement spaced 24 inch on center may be placed in the middle of the wall. Other walls shall have vertical reinforcement place as follows:
- a) 8-inch wall Minimum 5 inches from the outside face.
 b) 10-inch wall Minimum 6.75 inches from the outside face.
- c) Extend bars to within 8 inches of the top of the wall.
- 3) Reinforcement clearances:
- a) Concrete exposed to earth minimum 1-1/2 inches.
- b) Not exposed to weather (interior side of walls) minimum 3/4 inch.
- c) Concrete exposed to weather (top clearance in garage and driveway slabs)- 1-1/2 inches.
 4) Horizontal reinforcement:
- a) One bar shall be placed within 12 inches of the top of the wall.
- b) Other bars shall be equally spaced with spacing not to exceed 24 inches on center.c) Horizontal bars should be as close to the tension face as possible (interior) and behind
- the vertical reinforcement (i.e.2" towards the inside).
 d) Supplemental reinforcement at corners Place 1 #4 bar 48 inches long at 45 degree angle at corners of openings per Figure 4a. Place reinforcement within 6" of the edge of
- inside corners

 5) Reinforcement shall be lapped a minimum 24 inches at ends, splices, and around corners.
- 6) At masonry ledges the minimum wall thickness shall be 3-1/2 inches. Ledges shall not exceed a depth of more than 24 inches below the top of the wall. For wall thicknesses less than 4 inches provide #4 bars at maximum 24 inches on center to within 8 inches of the top of
- Straight walls more than 5 feet tall and more than 16 feet long shall be provided with exterior braced return walls. Wall length shall be measured using inside the shortest dimension between intersecting walls (See 7/S2).

R602.3(1)—continued FASTENER SCHEDULE FOR STRUCTURAL MEMBERS	
는 일반에 가는 사람들이 되는 것이 있는데, 되는 전에 가장 이 경기에 가장 한 경기에 있는데 보고 있는데 보고 있다. 그 사람이 되었다. 그 사람이 되었다면 보고 있는데 보고 보 되었다.	

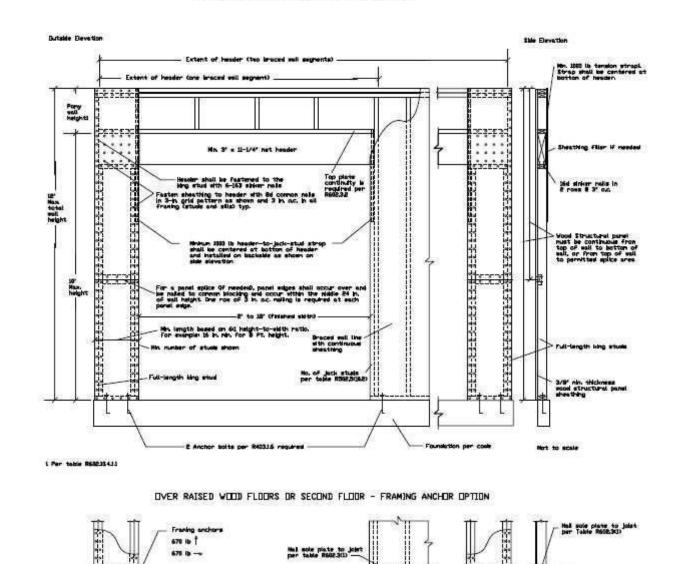
	DESCRIPTION OF	DESCRIPTION OF	SPACING OF FASTENERS		
TEM	BUILDING MATERIALS	FASTENER ^{b, c, e}	Edges (inches) ⁱ	Intermediate supports ^{c, e} (inches)	
W	ood structural panels, su	bfloor, roof and interior wa sheathing to f		framing and particleboard wall	
32	3/8" - 1/2"	6d common (2" \times 0.113") nail (subfloor wall) 8d common ($2^{1}/_{2}$ " \times 0.131") nail (roof)	6	12 ⁹	
33	¹⁹ / ₃₂ " - 1"	8d common nail (2 ¹ / ₂ " × 0.131")	6	129	
34	1 ¹ /8" - 1 ¹ /4"	10d common (3" × 0.148") nail or 8d (2 ¹ / ₂ " × 0.131") deformed nail	6 %	12	
		Other wall she	athing ^h		
35	¹ / ₂ " structural cellulosic fiberboard sheathing	1 ¹ / ₂ " galvanized roofing nail, ⁷ / ₁₆ " crown or 1" crown staple 16 ga., 1 ¹ / ₄ " long	3	6	
36	²⁵ / ₃₂ " structural cellulosic fiberboard sheathing	$1^3/_4$ " galvanized roofing nail, $^7/_{16}$ " crown or 1" crown staple 16 ga., $1^1/_2$ " long	3	6	
37	¹ / ₂ " gypsum sheathing ^d	1 ¹ / ₂ " galvanized roofing nail; staple galvanized, 1 ¹ / ₂ " long; 1 ¹ / ₄ screws, Type W or S	7	7	
38	⁵ /8" gypsum sheathing ^d	1 ³ /4" galvanized roofing nail; staple galvanized, 1 ⁵ /8" long; 1 ⁵ /8" screws, Type W or S	7)	Z	
Â	Wood stri	ctural panels, combination	subfloor unde	rlayment to framing	
39	³ / ₄ " and less	6d deformed (2" × 0.120") nail or 8d common (2 ¹ / ₂ " × 0.131") nail	6	12	
40	⁷ /8" - 1"	8d common (2 ¹ / ₂ " × 0.131") nail or 8d deformed (2 ¹ / ₂ " × 0.120") nail	6	12	
41	1 ¹ /8" - 1 ¹ /4"	10d common (3" × 0.148") nail or 8d deformed (2 ¹ / ₂ " × 0.120") nail	6 %	12	

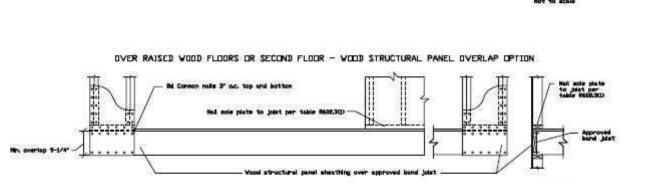
For SI: 1 inch = 25.4 mm. 1 foot = 304.8 mm. 1 mile per hour = 0.447 m/s: 1 Ksi = 6.895 MPa.

TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

TEM	DESCRIPTION OF BUILDING ELEMENTS	FASTENER ^{a, b, c}	SPACING OF FASTENERS
	Plane trans points and the transition	Roof	
1	Blocking between joists or rafters to top plate, toe nail	3-8d (2 ¹ / ₂ " × 0.113")	187
2	Ceiling joists to plate, toe nail	3-8d (2 ¹ / ₂ " × 0.113")	80—
3	Ceiling joists not attached to parallel rafter, laps over partitions, face nail	3-10d	98 -
4	Collar tie to rafter, face nail or 11/4" × 20 gage ridge strap	3-10d (3" × 0.128")	y -
5	Rafter or roof truss to plate, toe nail	3-16d box nails (3 ¹ / ₂ " × 0.135") or 3-10d common nails (3" × 0.148")	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss ^j
6	Roof rafters to ridge, valley or hip rafters: toe nail face nail	4-16d (3 ¹ / ₂ " × 0.135") 3-16d (3 ¹ / ₂ " × 0.135")	% <u></u>
> 300	Transfer of the second	Wall	
7	Built-up studs-face nail Abutting studs at intersecting	10d (3" × 0.128") 16d (3 ¹ / ₂ " ×	24" o.c.
	wall corners, face nail Built-up header, two pieces	0.135") 16d (3 ¹ / ₂ " ×	16" o.c. along each
9	with 1/2" spacer	0.135") 16d (3 ¹ / ₂ " ×	edge 16" o.c. along each
10	Continued header, two pieces	0.135")	edge
11	Continuous header to stud, toe nail	4-8d (2 ¹ / ₂ " × 0.113")	8—
12	Double studs, face nail	10d (3" × 0.128")	24" o.c.
13 14	Double top plates, face nail Double top plates, minimum 24-inch offset of end joints,	10d (3" × 0.128") 8-16d (3 ¹ / ₂ " ×	24″ o.c.
15	face nail in lapped area Sole plate to joist or blocking,	0.135") 16d (3 ¹ / ₂ " ×	16" o.c.
	face nail Sole plate to joist or blocking	0.135") 3-16d (3 ¹ / ₂ " ×	
16	at braced wall panels	0.135") 3-8d (2 ¹ / ₂ " ×	16" o.c.
17	Stud to sole plate, toe nail	0.113") or 2-16d (3 ¹ / ₂ " × 0.135")	9 -25
18	Top or sole plate to stud, end nail	2-16d (3 ¹ / ₂ " × 0.135")	8—
19	Top plates, laps at corners and intersections, face nail	2-10d (3" × 0.128")	16
20	1" brace to each stud and plate, face nail	2-8d (2 ¹ / ₂ " × 0.113") 2 staples 1 ³ / ₄ " ×	N_165
21	1" × 6" sheathing to each bearing, face nail	2-8d (2 ¹ /2" × 0.113") 2 staples 1 ³ /4"	10—10—
22	1" × 8" sheathing to each bearing, face nail	2-8d (2 ¹ / ₂ " × 0.113") 3 staples 1 ³ / ₄	N=125
23	Wider than 1" × 8" sheathing to each bearing, face nail	3-8d (2 ¹ / ₂ " × 0.113") 4 staples 1 ³ / ₄ "	112.52
	- B	Floor	
24	Joist to sill or girder, toe nail	3-8d (2 ¹ / ₂ " × 0.113")	# -
25	Rim joist to top plate, toe nail (roof applications also)	8d (2 ¹ / ₂ " × 0.113")	6" o.c.
26	Rim joist or blocking to sill plate, toe nail	8d (2 ¹ / ₂ " × 0.113")	6″ o.c.
27	1" × 6" subfloor or less to each joist, face nail	2-8d (2 ¹ / ₂ " × 0.113") 2 staples 1 ³ / ₄ "	N-12
28	2" subfloor to joist or girder, blind and face nail	2-16d (3 ¹ / ₂ " × 0.135")	85
29	2" planks (plank & beam - floor & roof)	2-16d (3 ¹ / ₂ " × 0.135")	at each bearing
30	Built-up girders and beams, 2-inch lumber layers	10d (3" × 0.128")	Nail each layer as follows: 32" o.c. at top and bottom and staggered. Two nails at ends and at each splice.

OVER CONCRETE OR HASONRY BLOCK FOUNDATION





CF-PF WALL BRACING SECTION

ROOF ELEVATION

BEARING WALL LINES

ROOF DESIGNED WITH: LIVE LOAD = 20 PSF DEAD LOAD = 10 PSF

ALL NOTES, SECTIONS, AND DRAWINGS ARE IN ACCORDANCE WITH THE 2018 IRC NOTE... HIP RIDGE FOR THE MAIN ROOF AS:

2X8 FOR UNBRACED LENGTH UP TO 0'0"

2X10 FOR UNBRACED LENGTH UP TO 10'0"

2X12 FOR UNBRACED LENGTH UP TO 12'0"

ALL RAFTERS TO BE #2 2X6 D-FIR 16" O.C. UNLESS OTHER WISE NOTED

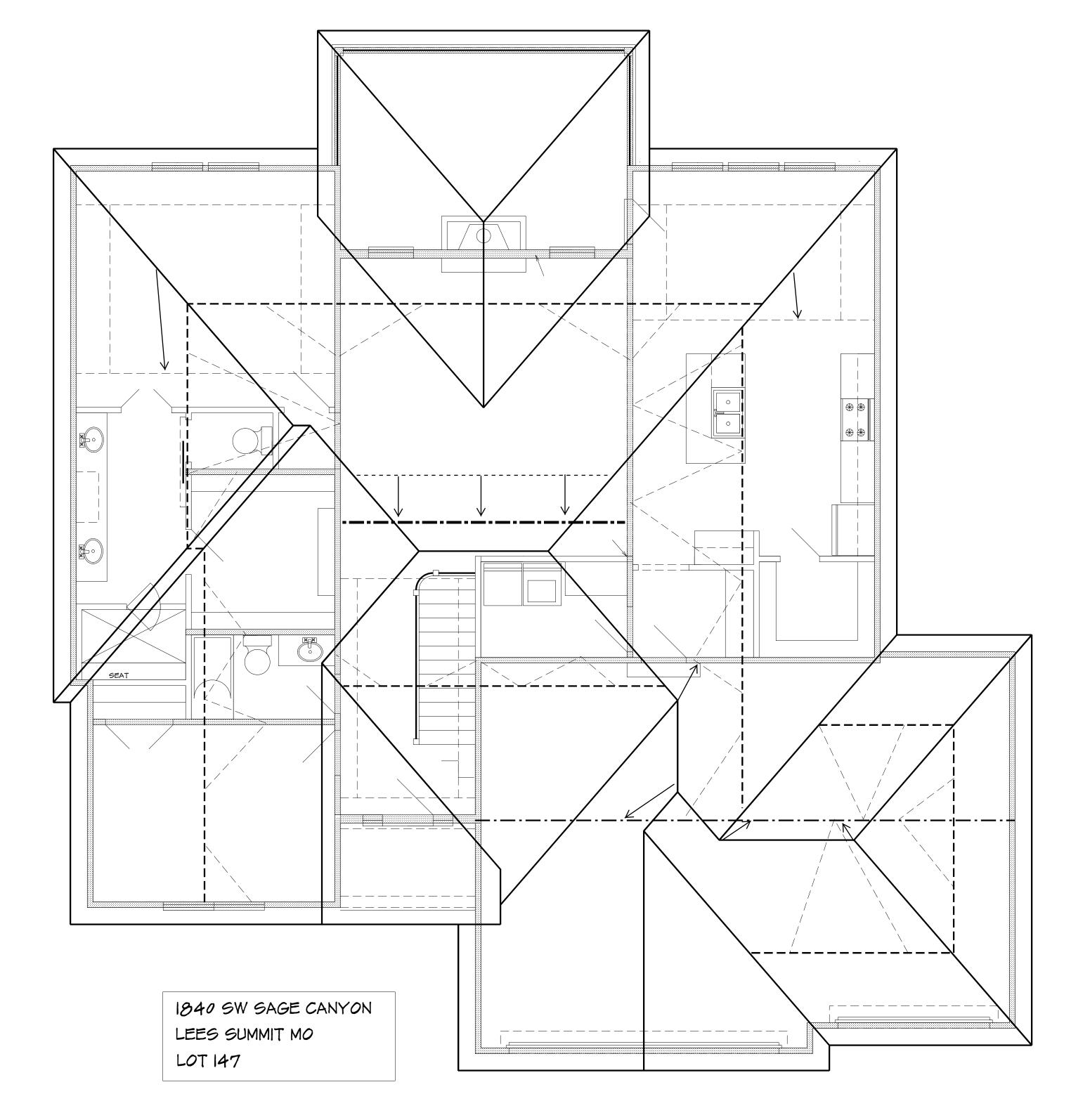
PURLING RAFTERS TO BEARING WALL LINES

CONNECT RAFTERS TO CEILING JOIST W (4) I6d GALV. NAILS

CONNECT RAFTERS TO RIDGE, VALLEY, AND HIP RIDGE

WITH (4) I6d GALV. NAILS

VERT. RIDGE AND RAFTER SUPPORTS TO BE EQUAL TO OR GREATER THAN THE DEPTH OF RAFTERS





KH-6105 (LOT 160)

21 Ledger strip supporting joists or rafter $3-16d (3^1/2'' \times 0.135'')$ At each joist or rafter