Lee's Summit, Missouri

PROJECT NO.: 20-078

ISSUE DATE: 11.12.2021 ADDENDUM 1

GENERAL NOTES

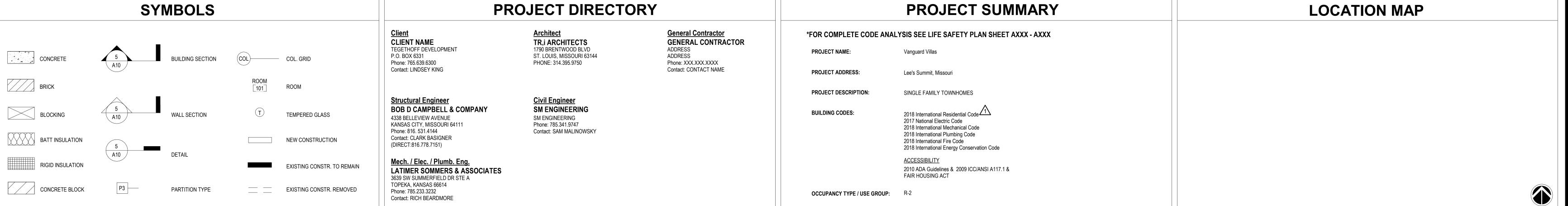
- ONLY CONTRACT DOCUMENTS APPROVED FOR CONSTRUCTION AND REVIEWED SHOP DRAWINGS SHALL BE USED FOR CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF SAID DOCUMENTS AND UPDATES TO THE FIELD FOR CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE SUBCONTRACTOR WORK WITH THESE PROJECT
- DIMENSIONS TO THE EXTERIOR OF THE BUILDING ARE TO THE EXTERIOR OF FOUNDATION/MASONRY UNLESS NOTED OTHERWISE.
- DO NOT SCALE DRAWINGS. THE WORD 'ALIGN' AS USED IN THESE DOCUMENTS SHALL SUPERSEDE DIMENSIONAL INFORMATION.
- NO PRODUCTS CONTAINING ASBESTOS SHALL BE INSTALLED IN OR USED DURING THE CONSTRUCTION OF THIS PROJECT. IT SHALL BE THE

- REFERENCE CIVIL DRAWINGS FOR SITE WORK, INCLUDING THE BUILDING LOCATION ON THE SITE.

ADDDEVIATIONS

ABV AFF ACT ALUM & @ BLK BD BO CLG CT CCLR CONC CMU CONT CONTR CFCI	ABOVE ABOVE FINISH FLOOR ACOUSTICAL ALUMINUM AND AT BLOCK BOARD BOTTOM OF CEILING CENTER LINE CERAMIC TILE CLEAR	HDWD HDPB HT HR INSUL JT LAV MO	HARDWOOD HIGH DENSITY PARTICLE BOARD HEIGHT HOUR INSULATION JOINT LAVATORY	SCHED SECT SHT SIM SC SPEC SQ SF SS	SCHEDULE SECTION SHEET SIMILAR SOLID CORE SPECIFICATION SQUARE SQUARE FOOT STAINLESS STEEL STANDARD
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FR	FIRE RETARDANT	RM	ROOM		
FL	FLOOR	RO	ROUGH OPENING		



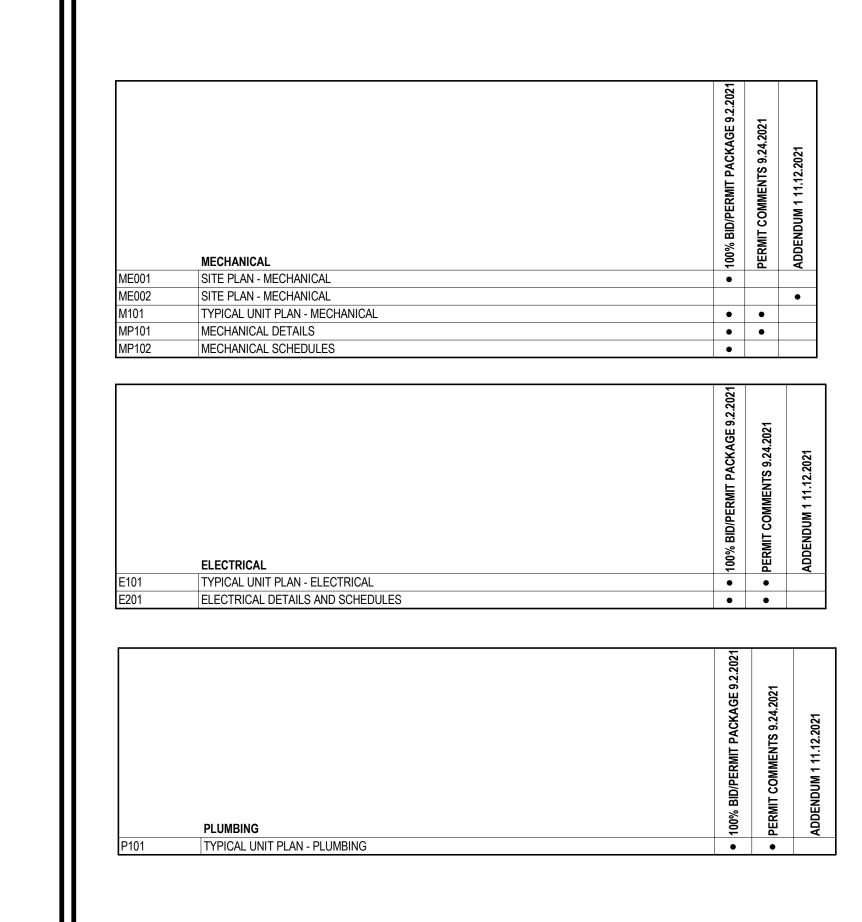


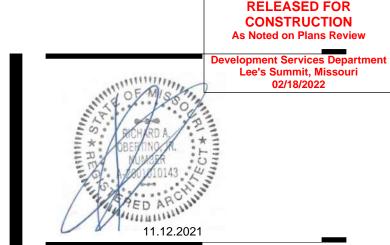
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		100% BID/PERMIT PACKAGE 9.2.2021	PERMIT COMMENTS 9.24.2021	ADDENDUM 1 11.12.2021
	ARCHITECTURAL	100%	PER	ADD
A000 A001	COVER SHEET SHEET INDEX	•	•	•
A002	ACCESSIBILITY REQUIREMENTS -TYPE B UNITS	•		
A003 A010	SOUND TRANSMISSION ASSEMBLIES LIFE SAFETY PLANS	•		
A011	LIFE SAFETY PLANS			•
A012 A013	LIFE SAFETY PLANS			•
A030	LIFE SAFETY PLANS PARTITION TYPES	•		•
A031	FLOORING ASSEMBLIES	•		•
A040 A050	DOOR SCHEDULE & TYPICAL DETAILS WINDOW & STOREFRONT SCHEDULE & TYPICAL DETAILS	•	•	
A100	OVERALL FLOOR PLAN	•		•
A101 A102	GROUP 1 PLANS	•		
A102 A103	GROUP 2 PLANS GROUP 3 PLANS	•		
A104	GROUP 4 PLANS			•
A105 A106	GROUP 5 PLANS GROUP 6 PLANS			•
A107	GROUP 7 PLANS			•
A108 A109A	GROUP 8 PLANS GROUP 9 PLANS			•
A109A A109B	GROUP 9 PLANS			•
A110A	GROUP 10 PLANS			•
A110B A111	GROUP 10 PLANS GROUP 11 PLANS			•
A112	GROUP 12 PLANS			•
A113	GROUP 13 PLANS			•
A114 A201	GROUP 14 PLANS GROUP 1 EXTERIOR ELEVATIONS	•	•	•
A202	GROUP 2 EXTERIOR ELEVATIONS	•	•	•
A203 A204	GROUP 3 EXTERIOR ELEVATIONS GROUP 4 EXTERIOR ELEVATIONS	•	•	•
A205	GROUP 5 EXTERIOR ELEVATIONS			•
A206 A207	GROUP 6 EXTERIOR ELEVATIONS GROUP 7 EXTERIOR ELEVATIONS			•
A208	GROUP 8 EXTERIOR ELEVATIONS			•
A209	GROUP 9 OVERALL EXTERIOR ELEVATIONS			•
A209B A210	GROUP 9 ENLARGED ELEVATIONS GROUP 10 OVERALL EXTERIOR ELEVATIONS			•
A210B	GROUP 10 ENLARGED ELEVATIONS			•
A211 A212	GROUP 11 EXTERIOR ELEVATIONS GROUP 12 EXTERIOR ELEVATIONS			•
A213	GROUP 13 EXTERIOR ELEVATIONS GROUP 13 EXTERIOR ELEVATIONS			•
A214	GROUP 14 EXTERIOR ELEVATIONS			•
A301 A302	GROUP 1 BUILDING SECTIONS GROUP 2 BUILDING SECTIONS	•		
A303	GROUP 3 BUILDING SECTIONS	•		
A304 A305	GROUPS 4-7 BUILDING SECTIONS GROUPS 8-11 BUILDING SECTIONS			•
A306	GROUPS 12-14 BUILDING SECTIONS			•
A310 A311	WALL SECTIONS WALL SECTIONS	•		
A311 A312	WALL SECTIONS WALL SECTIONS	•	•	
A350	WALL SECTION DETAILS	•		
A351 A360	WALL SECTION & ROOF DETAILS BALCONY DETAILS	•		
A365	CANOPY DETAILS	•		
A370 A400	PLAN DETAILS UNIT PLANS	•	•	
A400 A401	UNIT PLANS UNIT PLANS	•		
A402	UNIT ELEVATIONS	•		
A420 A421	UNIT DETAILS UNIT DETAILS	•		
A500	STAIR DETAILS	•	•	
A700	FINISH SCHEDULE			ĺ

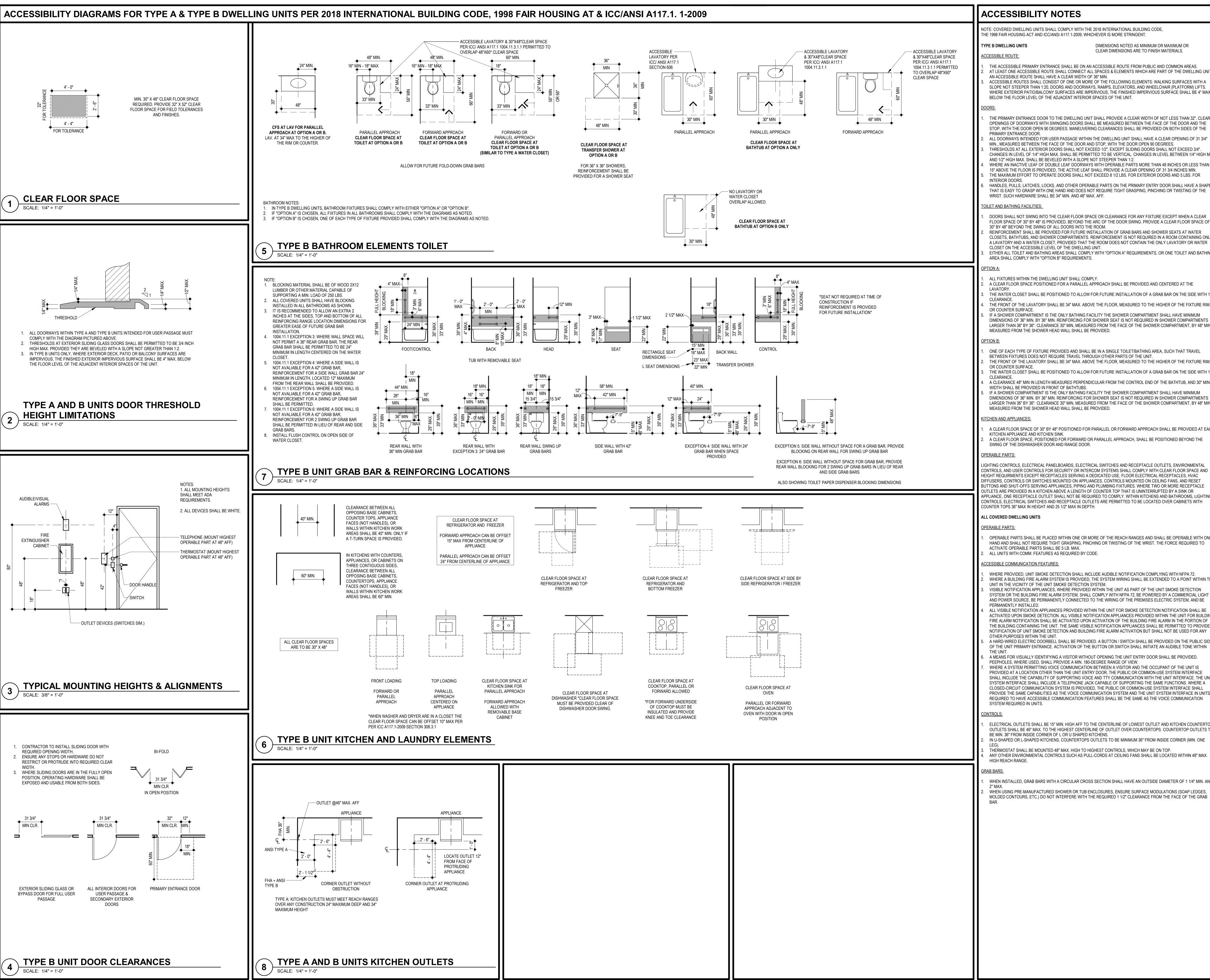
	STRUCTURAL	100% BID/PERMIT PACKAGE 9.2.2021	PERMIT COMMENTS 9.24.2021	
S001	GENERAL NOTES	•	•	
S002	TYPICAL WOOD GRAVITY SCHEDULES & DETAILS	•		
S003	TYPICAL WOOD LATERAL SCHEDULES & DETAILS	•		
S004	TYPICAL WOOD DETAILS	•		
S005	TYPICAL WOOD DETAILS	•		
S101	GROUP 1 PLANS	•	•	
S102	GROUP 2 PLANS	•	•	
S103	GROUP 3 PLANS	•	•	
S104	GROUP 4 PLANS			
S105	GROUP 5 PLANS			
S106	GROUP 6 PLANS			
S107	GROUP 7 PLANS			
S108	GROUP 8 PLANS			
S109A	GROUP 9 PLANS			
S109B	GROUP 9 PLANS			
S110A	GROUP 10 PLANS			
S110B	GROUP 10 PLANS			
S111	GROUP 11 PLANS			_
S112	GROUP 12 PLANS			\perp
S113	GROUP 13 PLANS			
S114	GROUP 14 PLANS			_
S200	FOUNDATION SECTIONS	•		_
S201	FOUNDATION SECTIONS	•		1
S330	WOOD FLOOR FRAMING SECTIONS	•		_
S331	WOOD FLOOR FRAMING SECTIONS	•		<u> </u>
S340	WOOD ROOF FRAMING SECTIONS	•		\perp
S341	WOOD ROOF FRAMING SECTIONS	•	•	





Vanguard Villas

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ACCESSIBILITY NOTES

NOTE: COVERED DWELLING UNITS SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE, THE 1998 FAIR HOUSING ACT AND ICC/ANSI A117.1-2009. WHICHEVER IS MORE STRINGENT.

TYPE B DWELLING UNITS DIMENSIONS NOTED AS MINIMUM OR MAXIMUM OR CLEAR DIMENSIONS ARE TO FINISH MATERIALS.

ACCESSIBLE ROUTE:

AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ALL SPACES & ELEMENTS WHICH ARE PART OF THE DWELLING UNIT AN ACCESSIBLE ROUTE SHALL HAVE A CLEAR WIDTH OF 36" MIN. ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS: WALKING SURFACES WITH A SLOPE NOT STEEPER THAN 1:20, DOORS AND DOORWAYS, RAMPS, ELEVATORS, AND WHEELCHAIR (PLATFORM) LIFTS. WHERE EXTERIOR PATIO/BALCONY SURFACES ARE IMPERVIOUS. THE FINISHED IMPERVIOUS SURFACE SHALL BE 4" MAX.

THE PRIMARY ENTRANCE DOOR TO THE DWELLING UNIT SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. MANEUVERING CLEARANCES SHALL BE PROVIDED ON BOTH SIDES OF THE

- ALL DOORWAYS INTENDED FOR USER PASSAGE WITHIN THE DWELLING UNIT SHALL HAVE A CLEAR OPENING OF 31 3/4" MIN., MEASURED BETWEEN THE FACE OF THE DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES. THRESHOLDS AT ALL EXTERIOR DOORS SHALL NOT EXCEED 1/2", EXCEPT SLIDING DOORS SHALL NOT EXCEED 3/4".
- CHANGES IN LEVEL OF 1/4" HIGH MAX. SHALL BE PERMITTED TO BE VERTICAL. CHANGES IN LEVEL BETWEEN 1/4" HIGH MIN AND 1/2" HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. WHERE AN INACTIVE LEAF OF DOUBLE LEAF DOORWAYS WITH OPERABLE PARTS MORE THAN 48 INCHES OR LESS THAN
- 15" ABOVE THE FLOOR IS PROVIDED, THE ACTIVE LEAF SHALL PROVIDE A CLEAR OPENING OF 31 3/4 INCHES MIN. THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8 1/2 LBS. FOR EXTERIOR DOORS AND 5 LBS. FOR
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON THE PRIMARY ENTRY DOOR SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING. PINCHING OR TWISTING OF THE WRIST. SUCH HARDWARE SHALL BE 34" MIN. AND 48" MAX. AFF.

OILET AND BATHING FACILITIES:

DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE FOR ANY FIXTURE EXCEPT WHEN A CLEAR FLOOR SPACE OF 30" BY 48" IS PROVIDED. BEYOND THE ARC OF THE DOOR SWING. PROVIDE A CLEAR FLOOR SPACE OF 30" BY 48" BEYOND THE SWING OF ALL DOORS INTO THE ROOM.

- REINFORCEMENT SHALL BE PROVIDED FOR FUTURE INSTALLATION OF GRAB BARS AND SHOWER SEATS AT WATER CLOSETS, BATHTUBS, AND SHOWER COMPARTMENTS, REINFORCEMENT IS NOT REQUIRED IN A ROOM CONTAINING ONLY A LAVATORY AND A WATER CLOSET, PROVIDED THAT THE ROOM DOES NOT CONTAIN THE ONLY LAVATORY OR WATER
- CLOSET ON THE ACCESSIBLE LEVEL OF THE DWELLING UNIT. EITHER ALL TOILET AND BATHING AREAS SHALL COMPLY WITH "OPTION A" REQUIREMENTS, OR ONE TOILET AND BATHING AREA SHALL COMPLY WITH "OPTION B" REQUIREMENTS.
- ALL FIXTURES WITHIN THE DWELLING UNIT SHALL COMPLY.
- A CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL APPROACH SHALL BE PROVIDED AND CENTERED AT THE
- THE WATER CLOSET SHALL BE POSITIONED TO ALLOW FOR FUTURE INSTALLATION OF A GRAB BAR ON THE SIDE WITH 18 THE FRONT OF THE LAVATORY SHALL BE 34" MAX. ABOVE THE FLOOR, MEASURED TO THE HIGHER OF THE FIXTURE RIM
- IF A SHOWER COMPARTMENT IS THE ONLY BATHING FACILITY THE SHOWER COMPARTMENT SHALL HAVE MINIMUM DIMENSIONS OF 36" MIN. BY 36" MIN. REINFORCING FOR SHOWER SEAT IS NOT REQUIRED IN SHOWER COMPARTMENTS LARGER THAN 36" BY 36". CLEARANCE 30" MIN, MEASURED FROM THE FACE OF THE SHOWER COMPARTMENT, BY 48" MIN., MEASURED FROM THE SHOWER HEAD WALL SHALL BE PROVIDED.

ONE OF EACH TYPE OF FIXTURE PROVIDED AND SHALL BE IN A SINGLE TOILET/BATHING AREA, SUCH THAT TRAVEL BETWEEN FIXTURES DOES NOT REQUIRE TRAVEL THROUGH OTHER PARTS OF THE UNIT.

- THE FRONT OF THE LAVATORY SHALL BE 34" MAX. ABOVE THE FLOOR, MEASURED TO THE HIGHER OF THE FIXTURE RIM OR COUNTER SURFACE.
- THE WATER CLOSET SHALL BE POSITIONED TO ALLOW FOR FUTURE INSTALLATION OF A GRAB BAR ON THE SIDE WITH 18" A CLEARANCE 48" MIN IN LENGTH MEASURED PERPENDICULAR FROM THE CONTROL END OF THE BATHTUB, AND 30" MIN IN
- WIDTH SHALL BE PROVIDED IN FRONT OF BATHTUBS. IF A SHOWER COMPARTMENT IS THE ONLY BATHING FACILITY THE SHOWER COMPARTMENT SHALL HAVE MINIMUM
- DIMENSIONS OF 36" MIN. BY 36" MIN. REINFORCING FOR SHOWER SEAT IS NOT REQUIRED IN SHOWER COMPARTMENTS LARGER THAN 36" BY 36". CLEARANCE 30" MIN, MEASURED FROM THE FACE OF THE SHOWER COMPARTMENT, BY 48" MIN., MEASURED FROM THE SHOWER HEAD WALL SHALL BE PROVIDEL

(ITCHEN AND APPLIANCES:

A CLEAR FLOOR SPACE OF 30" BY 48" POSITIONED FOR PARALLEL OR FORWARD APPROACH SHALL BE PROVIDED AT EACH KITCHEN APPLIANCE AND KITCHEN SINK. A CLEAR FLOOR SPACE, POSITIONED FOR FORWARD OR PARALLEL APPROACH, SHALL BE POSITIONED BEYOND THE SWING OF THE DISHWASHER DOOR AND RANGE DOOR.

OPERABLE PARTS:

LIGHTING CONTROLS, ELECTRICAL PANELBOARDS, ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS, ENVIRONMENTAL CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS SHALL COMPLY WITH CLEAR FLOOR SPACE AND HEIGHT REQUIRMENTS EXCEPT RECEPTACLES SERVING A DEDICATED USE, FLOOR ELECTRICAL RECEPTACLES, HVAC DIFFUSERS, CONTROLS OR SWITCHES MOUNTED ON APPLIANCES, CONTROLS MOUNTED ON CEILING FANS, AND RESET BUTTONS AND SHUT-OFFS SERVING APPLIANCES, PIPING AND PLUMBING FIXTURES. WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTER TOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY. WITHIN KITCHENS AND BATHROOMS, LIGHTING CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS ARE PERMITTED TO BE LOCATED OVER CABINETS WITH COUNTER TOPS 36" MAX IN HEIGHT AND 25 1/2" MAX IN DEPTH.

ALL COVERED DWELLING UNITS

OPERABLE PARTS SHALL BE PLACED WITHIN ONE OR MORE OF THE REACH RANGES AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 LB. MAX. ALL UNITS WITH COMM. FEATURES AS REQUIRED BY CODE.

CCESSIBLE COMMUNICATION FEATURES:

WHERE PROVIDED, UNIT SMOKE DETECTION SHALL INCLUDE AUDIBLE NOTIFICATION COMPLYING WITH NFPA 72. WHERE A BUILDING FIRE ALARM SYSTEM IS PROVIDED, THE SYSTEM WIRING SHALL BE EXTENDED TO A POINT WITHIN THE UNIT IN THE VICINITY OF THE UNIT SMOKE DETECTION SYSTEM. VISIBLE NOTIFICATION APPLIANCES, WHERE PROVIDED WITHIN THE UNIT AS PART OF THE UNIT SMOKE DETECTION

AND POWER SOURCE, BE PERMANENTLY CONNECTED TO THE WIRING OF THE PREMISES ELECTRIC SYSTEM, AND BE PERMANENTLY INSTALLED. ALL VISIBLE NOTIFICATION APPLIANCES PROVIDED WITHIN THE UNIT FOR SMOKE DETECTION NOTIFICATION SHALL BE ACTIVATED UPON SMOKE DETECTION. ALL VISIBLE NOTIFICATION APPLIANCES PROVIDED WITHIN THE UNIT FOR BUILDING FIRE ALARM NOTIFICATION SHALL BE ACTIVATED UPON ACTIVATION OF THE BUILDING FIRE ALARM IN THE PORTION OF

- THE BUILDING CONTAINING THE UNIT. THE SAME VISIBLE NOTIFICATION APPLIANCES SHALL BE PERMITTED TO PROVIDE NOTIFICATION OF UNIT SMOKE DETECTION AND BUILDING FIRE ALARM ACTIVATION BUT SHALL NOT BE USED FOR ANY OTHER PURPOSES WITHIN THE UNIT. A HARD-WIRED ELECTRIC DOORBELL SHALL BE PROVIDED. A BUTTON / SWITCH SHALL BE PROVIDED ON THE PUBLIC SIDE OF THE UNIT PRIMARY ENTRANCE. ACTIVATION OF THE BUTTON OR SWITCH SHALL INITIATE AN AUDIBLE TONE WITHIN
- A MEANS FOR VISUALLY IDENTIFYING A VISITOR WITHOUT OPENING THE UNIT ENTRY DOOR SHALL BE PROVIDED.
- PEEPHOLES, WHERE USED, SHALL PROVIDE A MIN. 180-DEGREE RANGE OF VIEW. WHERE A SYSTEM PERMITTING VOICE COMMUNICATION BETWEEN A VISITOR AND THE OCCUPANT OF THE UNIT IS
- PROVIDED AT A LOCATION OTHER THAN THE UNIT ENTRY DOOR, THE PUBLIC OR COMMON-USE SYSTEM INTERFACE SHALL INCLUDE THE CAPABILITY OF SUPPORTING VOICE AND TTY COMMUNICATION WITH THE UNIT INTERFACE. THE UN SYSTEM INTERFACE SHALL INCLUDE A TELEPHONE JACK CAPABLE OF SUPPORTING THE SAME FUNCTIONS. WHERE A CLOSED-CIRCUIT COMMUNICATION SYSTEM IS PROVIDED, THE PUBLIC OR COMMON-USE SYSTEM INTERFACE SHALL PROVIDE THE SAME CAPABILITIES AS THE VOICE COMMUNICATION SYSTEM AND THE UNIT SYSTEM INTERFACE IN UNITS REQUIRED TO HAVE ACCESSIBLE COMMUNICATION FEATURES SHALL BE THE SAME AS THE VOICE COMMUNICATION SYSTEM REQUIRED IN UNITS.

ELECTRICAL OUTLETS SHALL BE 15" MIN. HIGH AFF TO THE CENTERLINE OF LOWEST OUTLET AND KITCHEN COUNTERTOP OUTLETS SHALL BE 46" MAX. TO THE HIGHEST CENTERLINE OF OUTLET OVER COUNTERTOPS. COUNTERTOP OUTLETS TO BE MIN. 36" FROM INSIDE CORNER OF L OR U SHAPED KITCHENS.

- IN U-SHAPED OR L-SHAPED KITCHENS, COUNTERTOPS OUTLETS TO BE MINIMUM 36" FROM INSIDE CORNER (MIN. ONE THERMOSTAT SHALL BE MOUNTED 48" MAX. HIGH TO HIGHEST CONTROLS, WHICH MAY BE ON TOP.
- ANY OTHER ENVIRONMENTAL CONTROLS SUCH AS PULL-CORDS AT CEILING FANS SHALL BE LOCATED WITHIN 48" MAX.

WHEN INSTALLED, GRAB BARS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1 1/4" MIN. AND

WHEN USING PRE-MANUFACTURED SHOWER OR TUB ENCLOSURES, ENSURE SURFACE MODULATIONS (SOAP LEDGES, MOLDED CONTOURS, ETC.) DO NOT INTERFERE WITH THE REQUIRED 1 1/2" CLEARANCE FROM THE FACE OF THE GRAB



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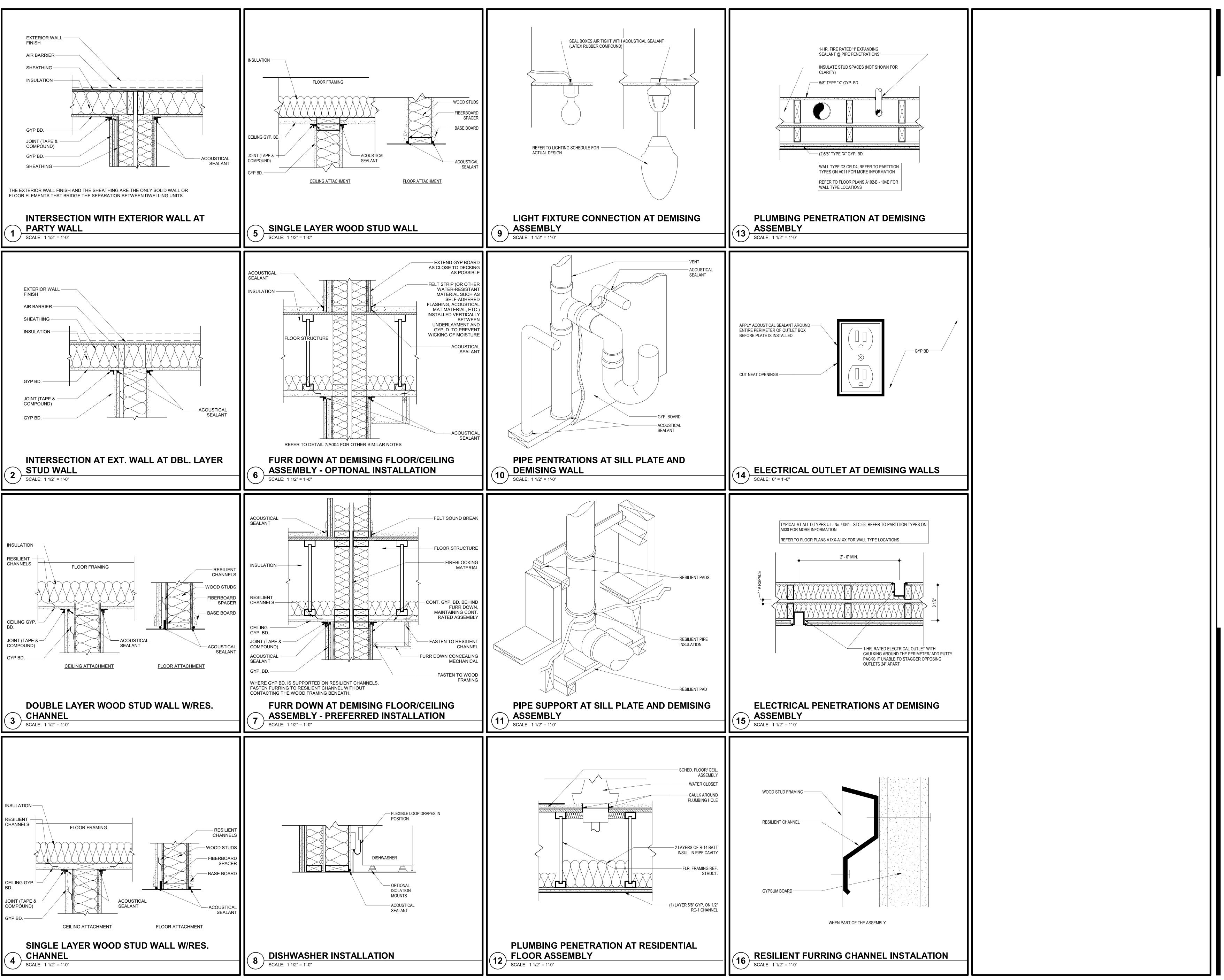
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9.2.2021

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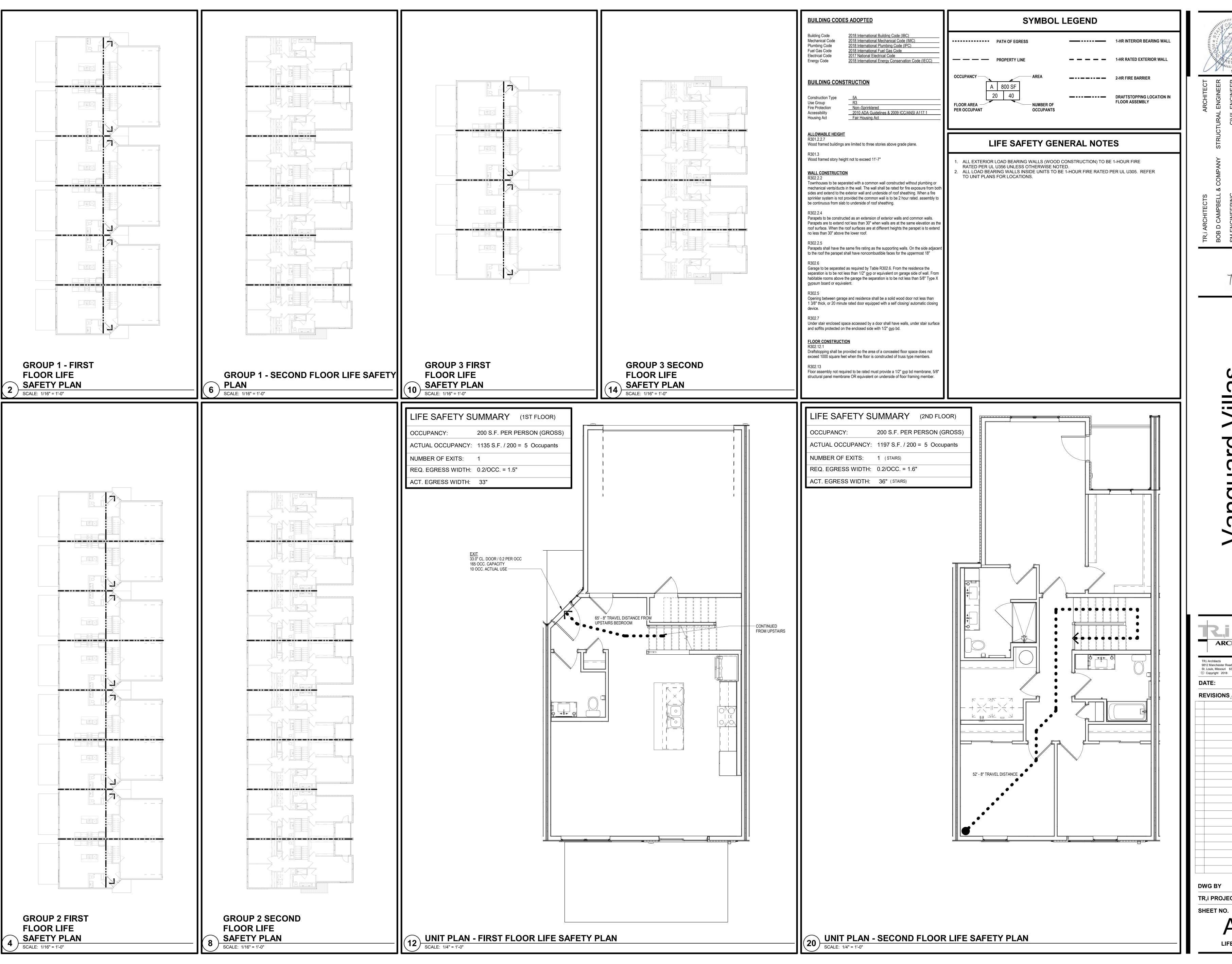


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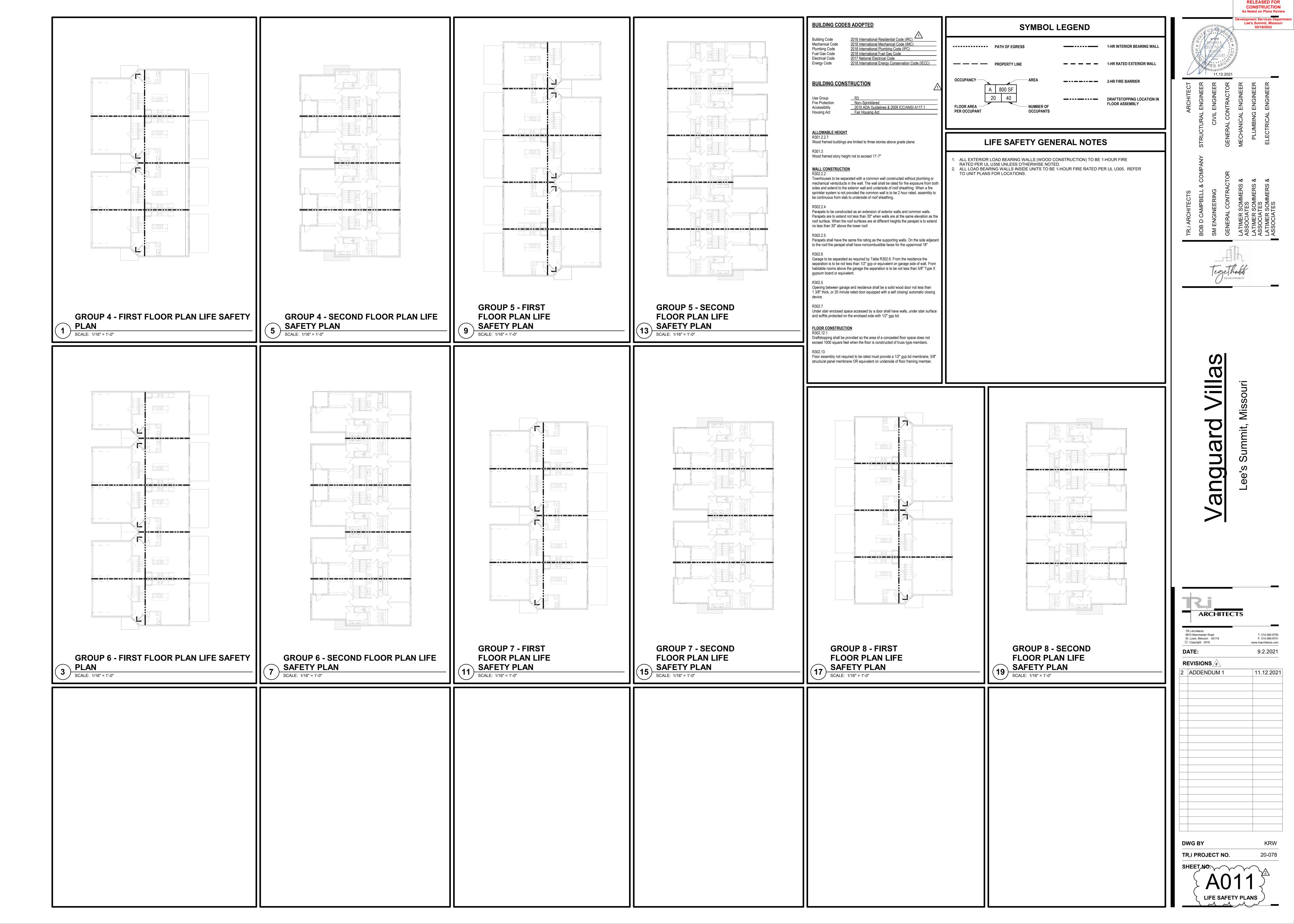
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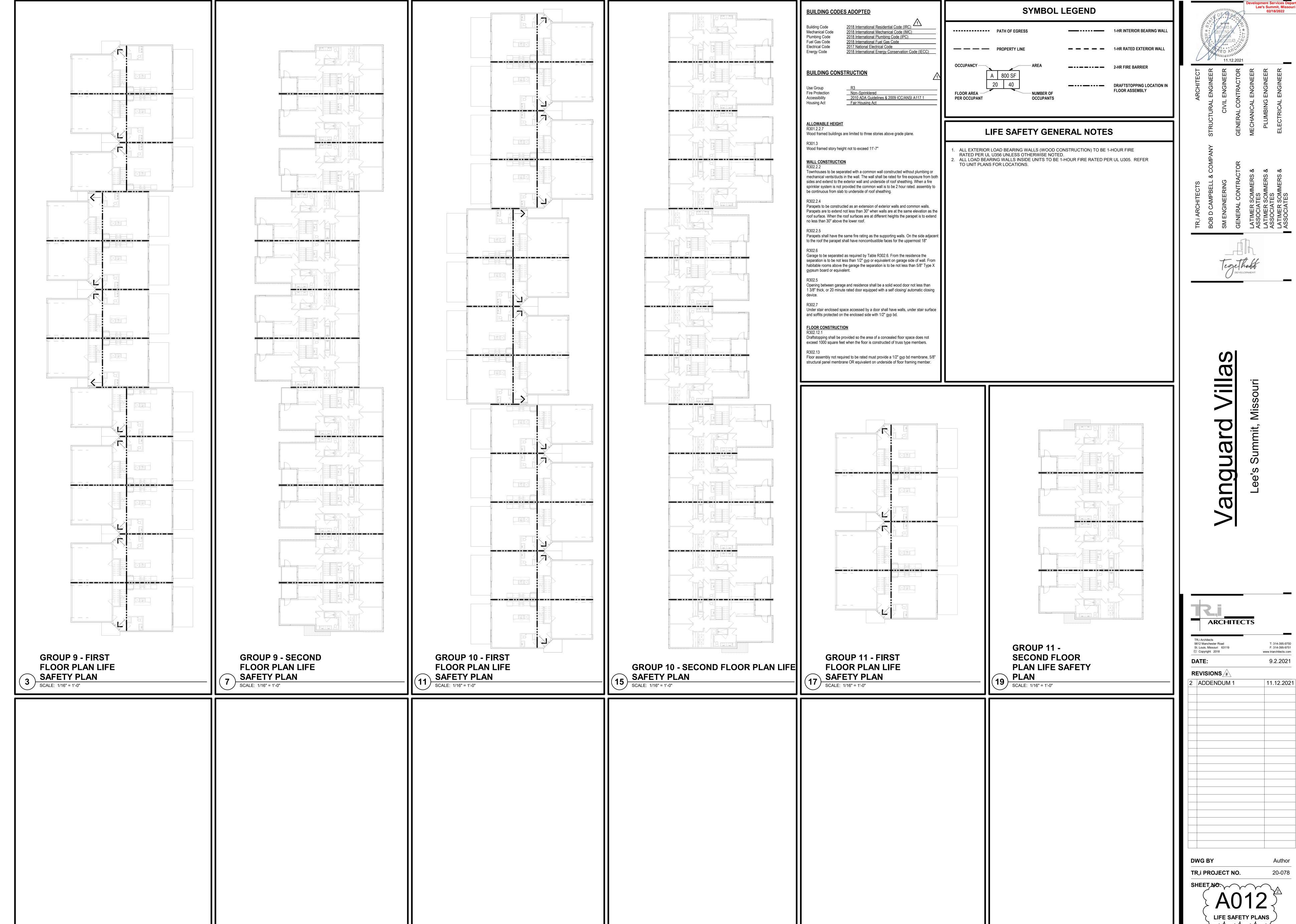
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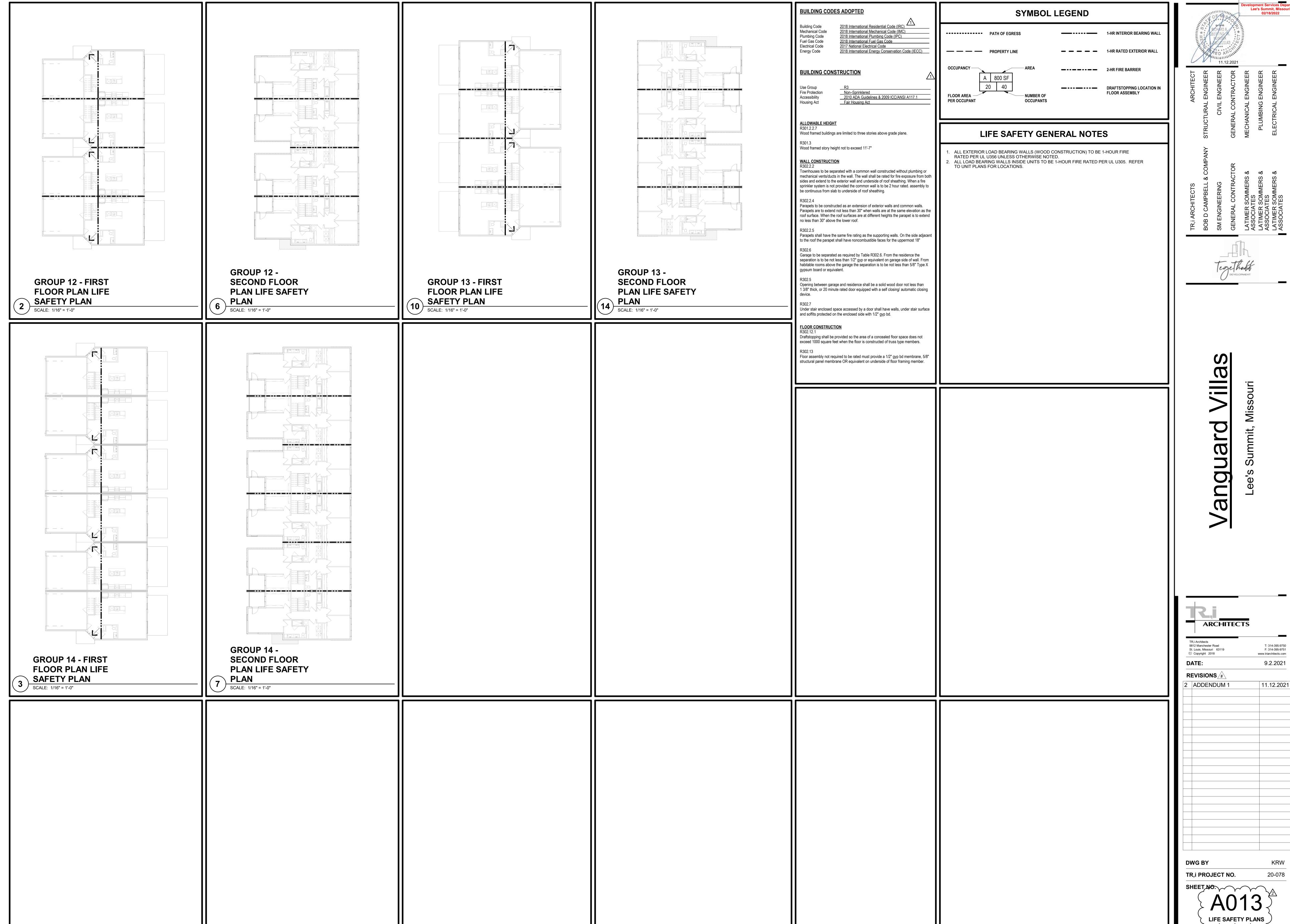
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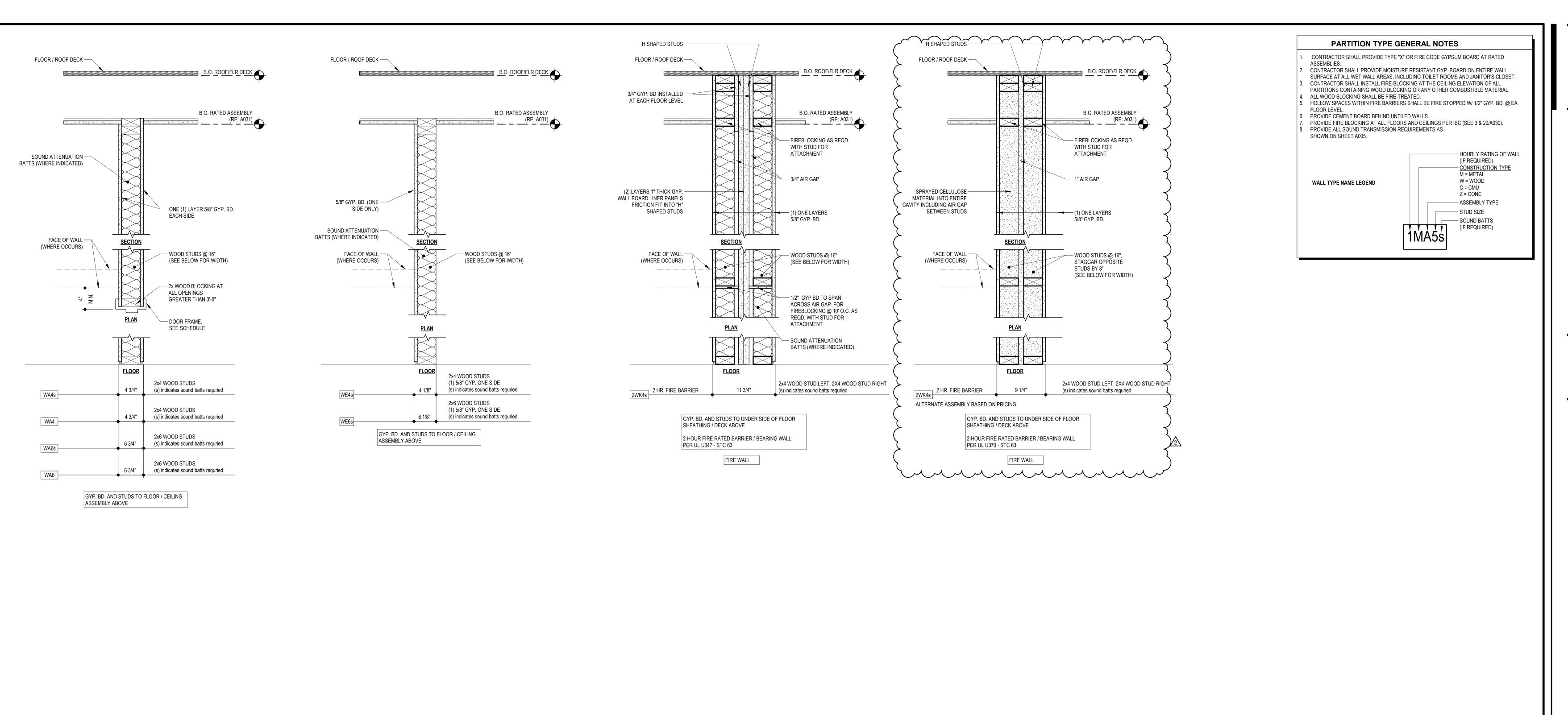


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REFER TO PARTITION TYPES FOR VERTICAL FIRE BLOCKING INFORMATION HORIZONTAL FIREBLOCKING PLAN DETAIL

SCALE: 1 1/2" = 1'-0"

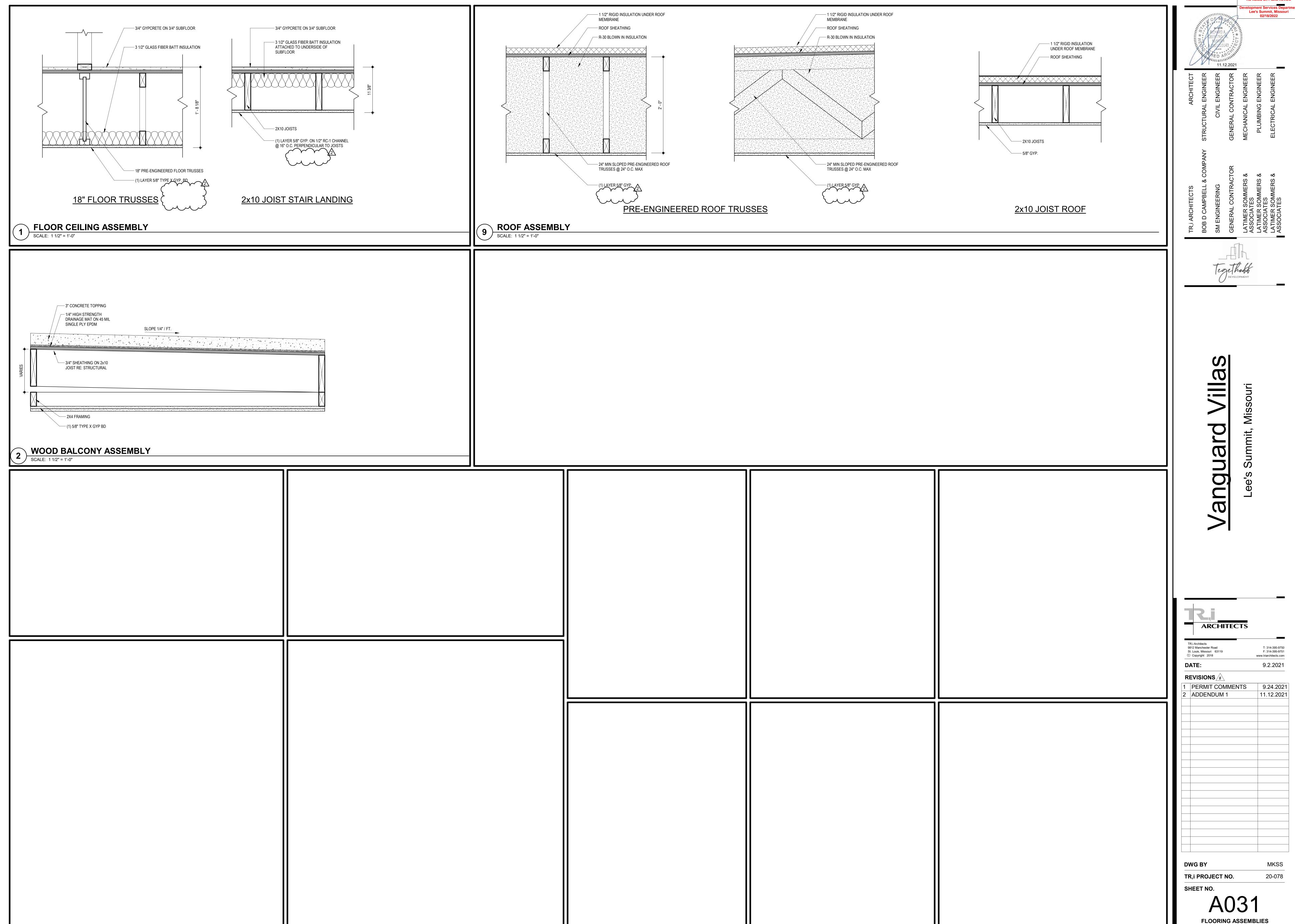
— WOOD STUDS AT 16" O.C.

— 1/2" GYPSUM BOARD TO SPAN ACROSS AIR SPACE AT 10'-0" O.C.

FULL DEPTH —— SOUND BATTS

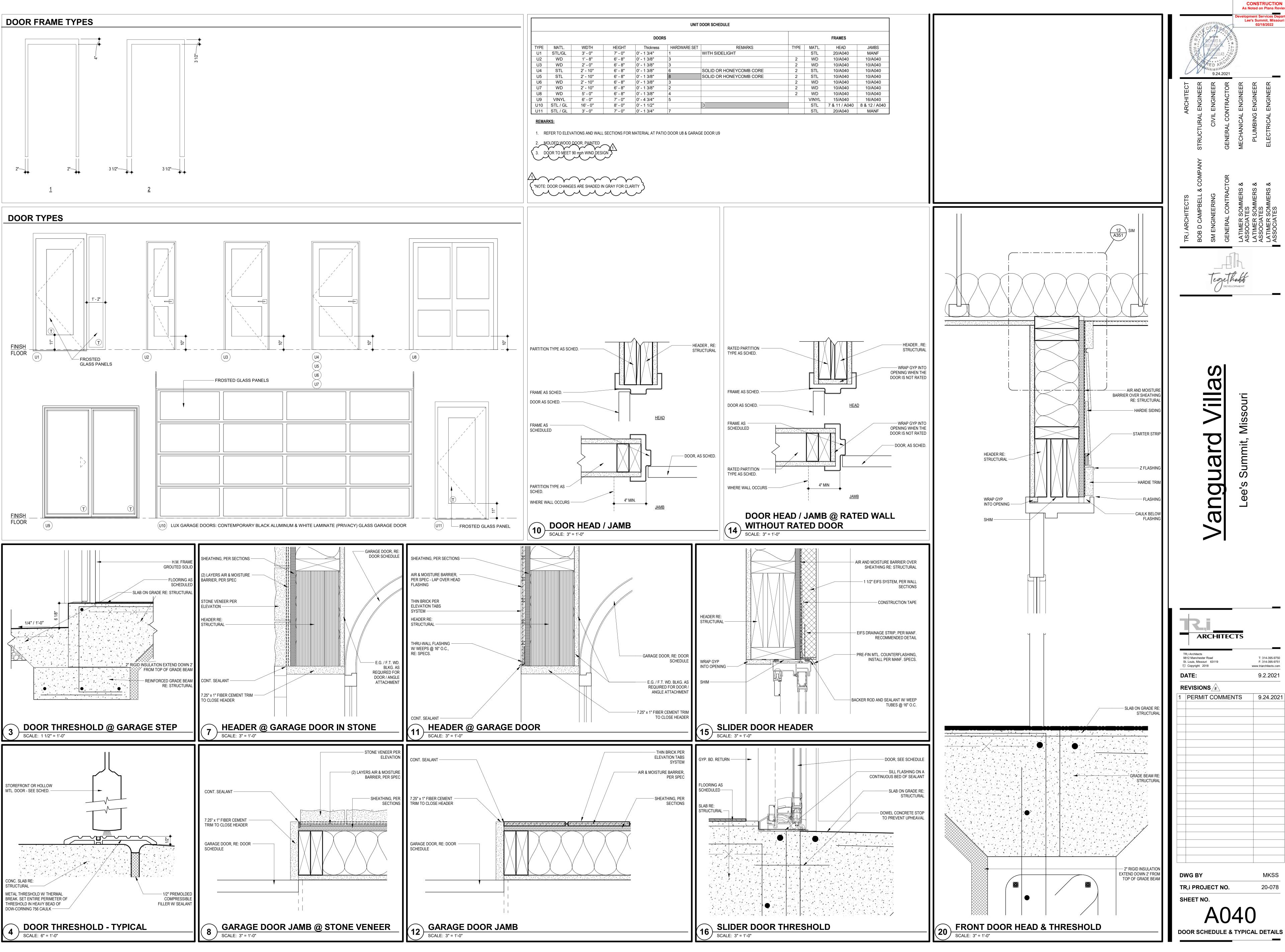
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PARTITION TYPES SCALE: 1 1/2" = 1'-0"



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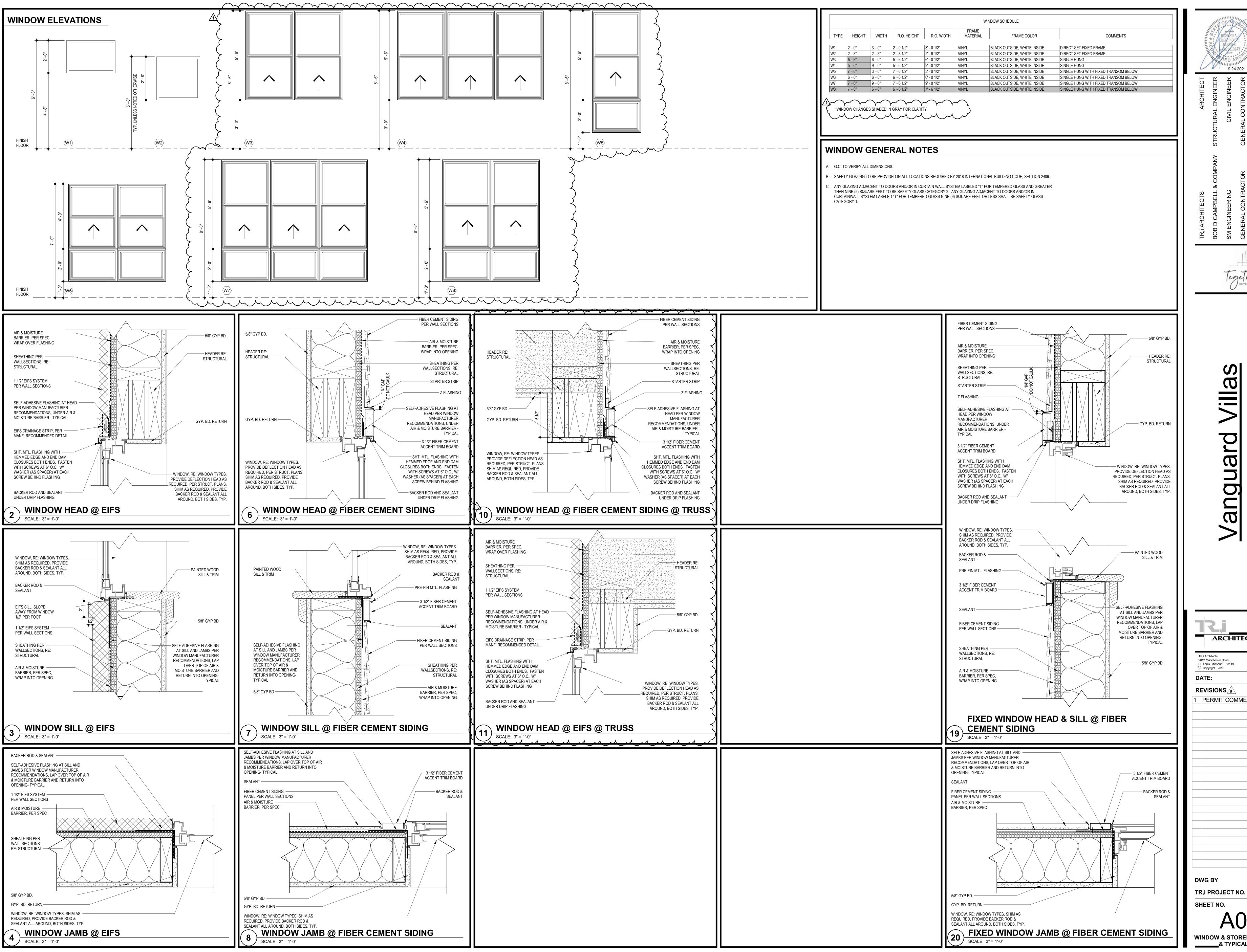
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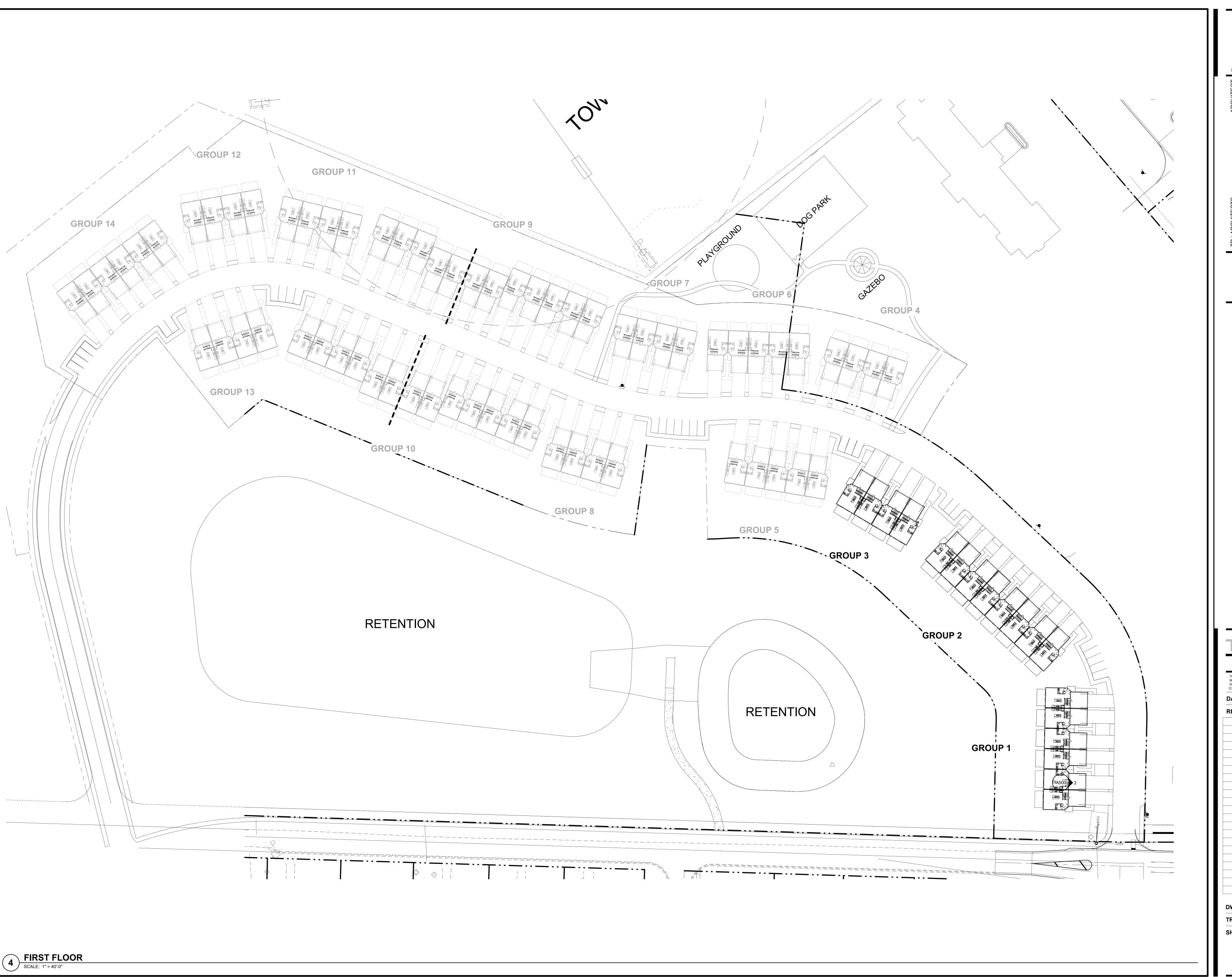


9.24.2021

CONSTRUCTION
As Noted on Plans Review

ARCHITECTS TR.i Architects 9812 Manchester Road T: 314-395-9750 F: 314-395-9751 St. Louis, Missouri 63119 © Copyright 2018 www.triarchitects.com 9.2.2021 REVISIONS /#\ 9.24.2021 PERMIT COMMENTS **DWG BY**

____& TYPICAL DETAILS_____





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ASSOCIATES
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Vanguard Villa

ARCHITECTS

TR,i Architects

TR,i Architects
9812 Manchester Road
St. Louis, Missouri 63119
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PATE:
9.2.2021

REVISIONS
#

DWG BY MKSS
TR,i PROJECT NO. 20-078
SHEET NO.

A100

- A. DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY.
- B. FOR DOOR SCHEDULE SEE SHEET A040 XXX
- C. FOR WINDOW SCHEDULE SEE SHEET A050 (X)
- D. FOR PARTITION TYPES SEE SHEET A030 X
- E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A400 THROUGH A401).
- F. GENERAL CONTRACTOR WILL FURNISH & INSTALL 5 LB MULTIPURPOSE DRY CHEMICAL 2A:10B:C RATED FIRE EXTINGUISHERS w/ MOUNTING BRACKETS & ACCESSORIES @ 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT IN PUBLIC SPACES AND CORRIDORS. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT.
- G. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 30-'0" MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50'-0" IN EITHER DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING/FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.

- MATERIAL DIMENSION STRING

49' - 6 5/8"

49' - 6 5/8"

- STUD DIMENSION STRING

GROUP 1 - FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"

- MATERIAL DIMENSION STRING

4' - 6 1/2"

19' - 10 1/4"

1/4" / 1'-0"**►** 5 /

- H. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS.
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- S. ALL OPENING DIMENSIONS ARE TO CENTERLINE OF OPENING.

MASONRY SPECIFICATIONS.

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- 3. FULLY ADHERED T.P.O. ROOF MEMBRANE.
- 4. CHANGE IN ROOF SLOPE AND/OR ELEVATION.
- 5. THRU-WALL ROOF SCUPPER WITH OVERFLOW.
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STEP PARAPET DOWN 1'-6" FOR ROOF ACCESS —

GROUP 1 - ROOF PLAN

SCALE: 3/32" = 1'-0"

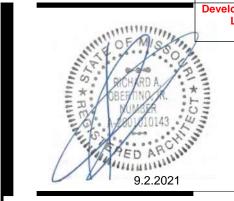
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DOWNSPOUT CALC

3 1/4" / 1'-0"

1,059 S.F. / 1 DOWNSPOUTS = 1,058 S.F./D.S. (SMACNA) TABLE 1-2 - 100 YEAR S.F./S.I. = 120 1,059 /120 = 8.825 SQUARE INCHES OF DOWNSPOUT AREA

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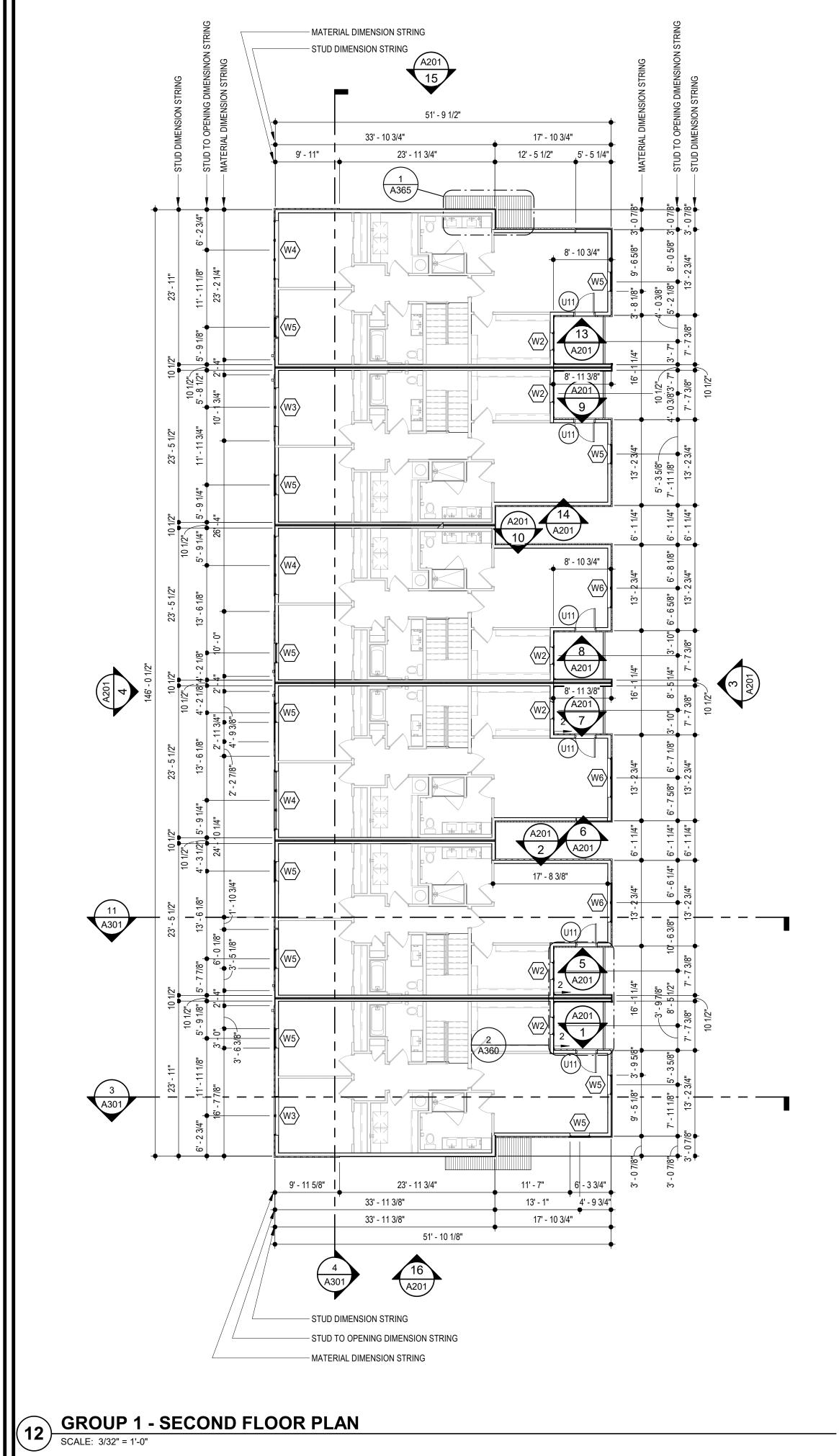


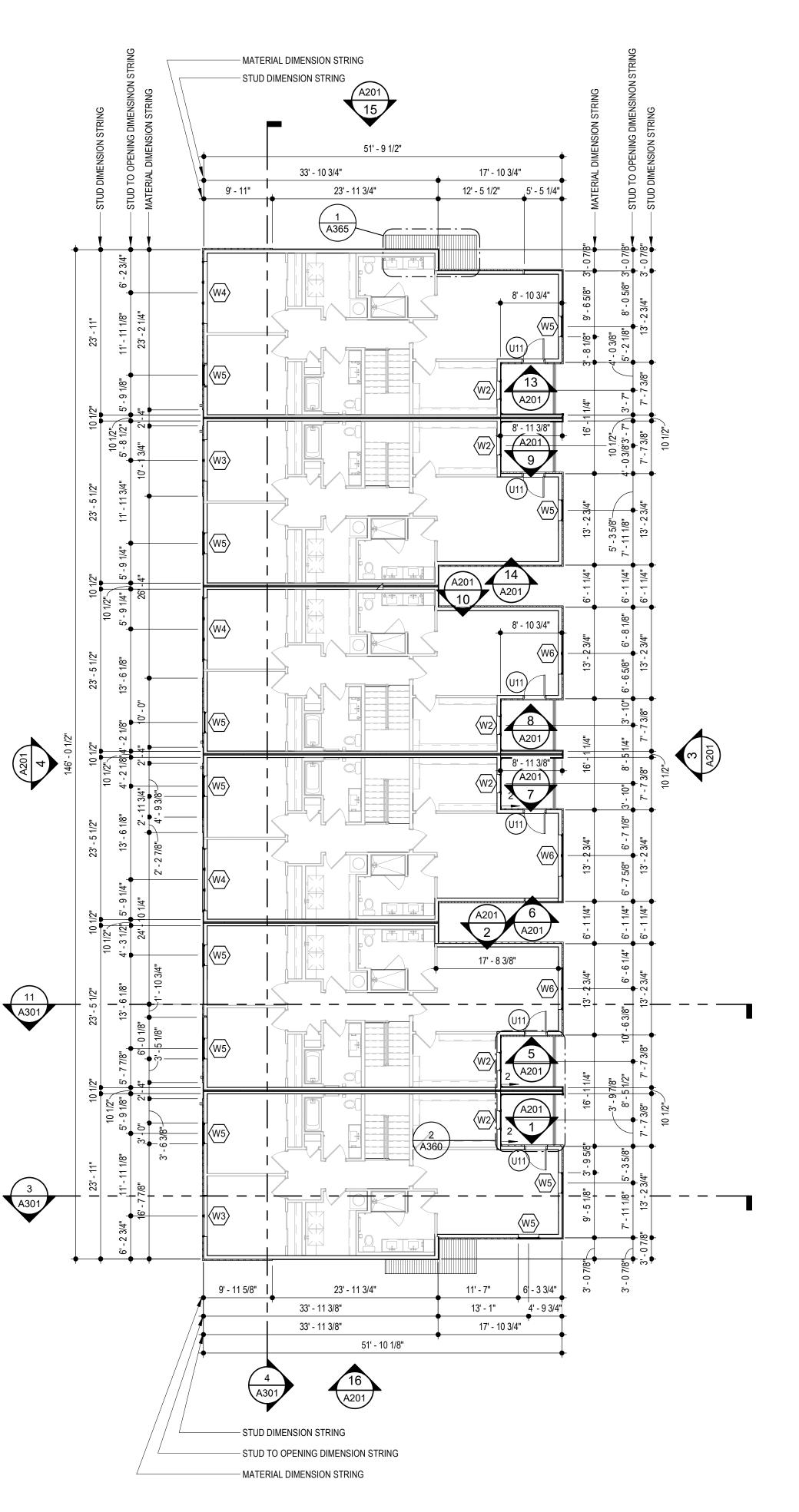
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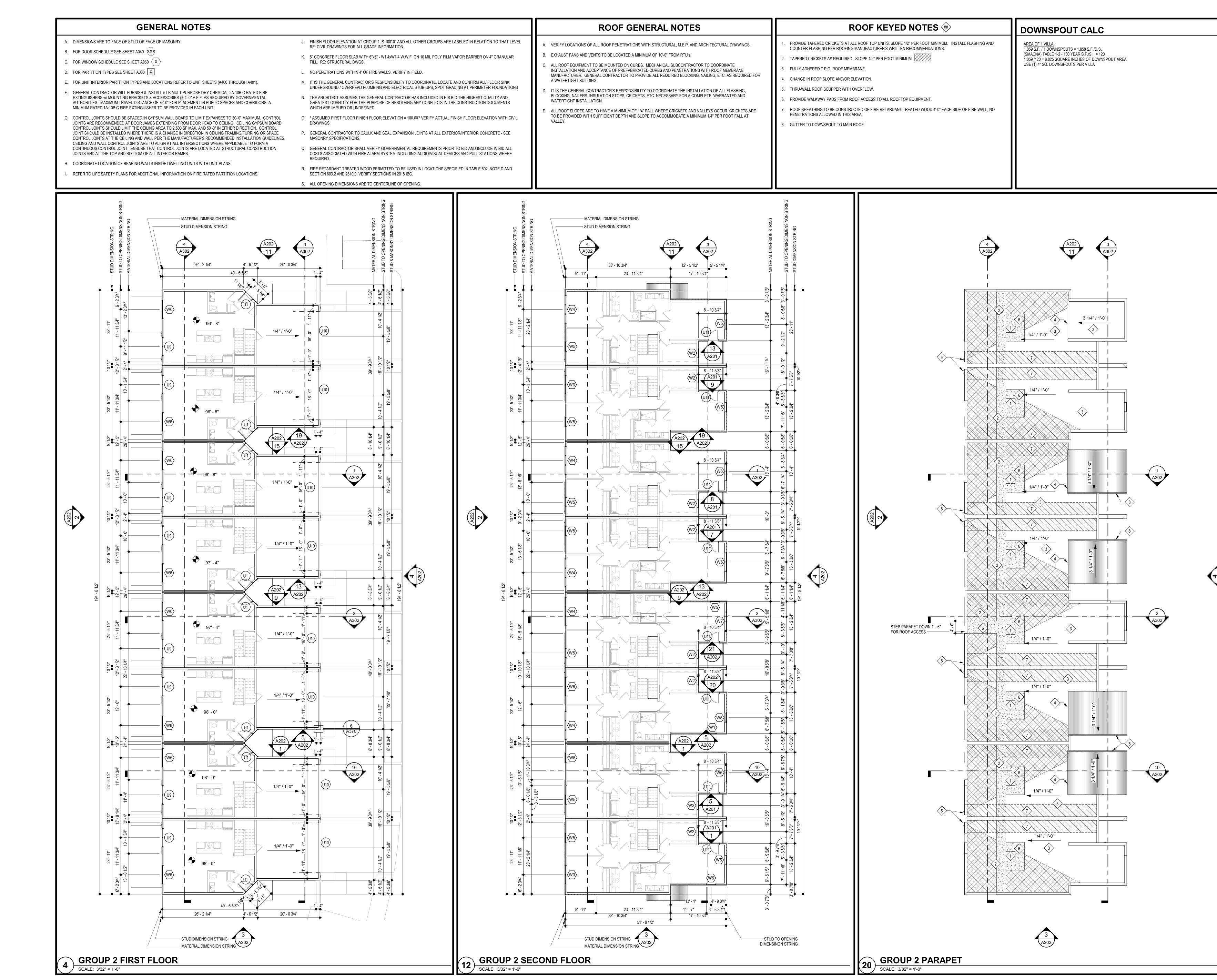
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SCALE: 3/32" = 1'-0"

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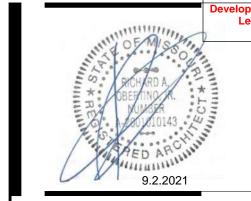
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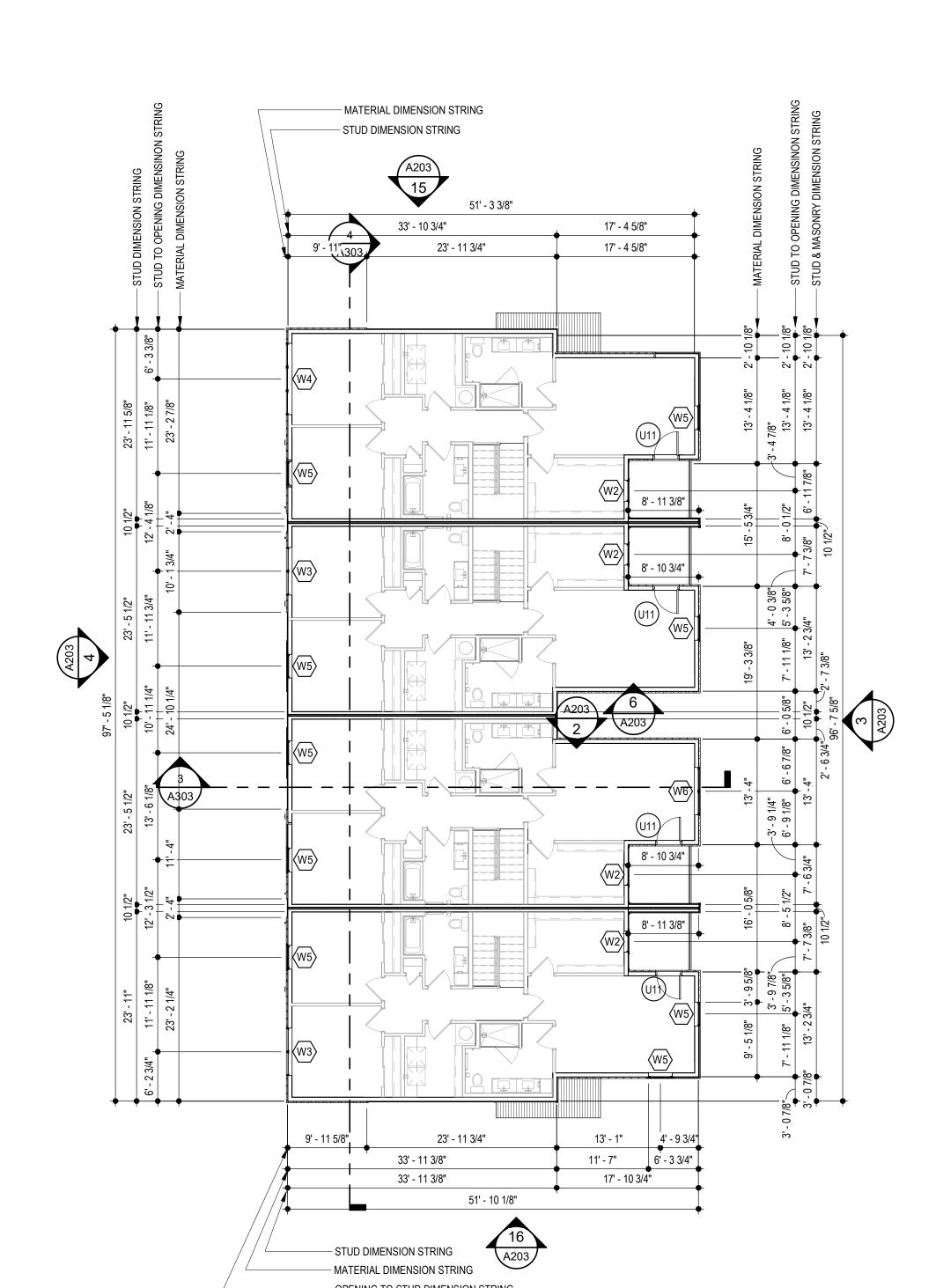


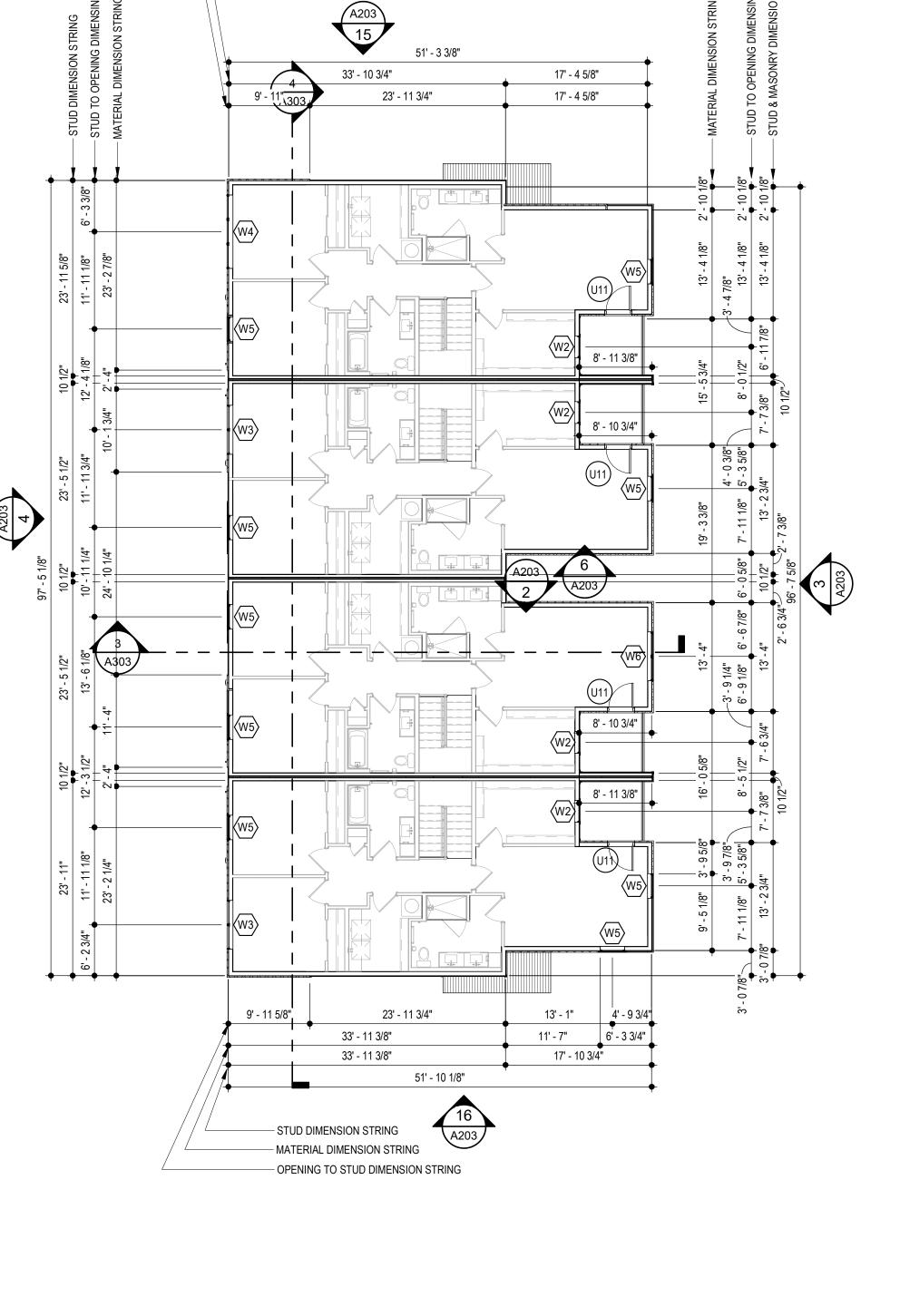
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TR,i PROJECT NO. SHEET NO.





GROUP 3 SECOND FLOOR

SCALE: 3/32" = 1'-0"

GROUP 3 FIRST FLOOR

SCALE: 3/32" = 1'-0"

20' - 0 3/4"

26' - 2 1/4"

- STUD DIMENSION STRING - MATERIAL DIMENSION STRING

GROUP 3 ROOF PLANSCALE: 3/32" = 1'-0"

STEP PARAPET DOWN 1' - 6" FOR ROOF ACCESS -

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- STUD DIMENSION STRING

20' - 0 3/4"

- MATERIAL DIMENSION STRING

- STUD DIMENSION STRING

49' - 6 5/8"

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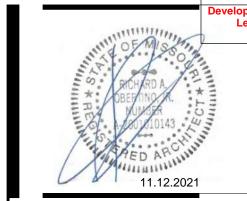
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PENETRATIONS ALLOWED IN THIS AREA

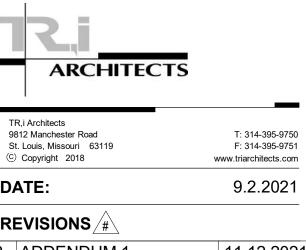
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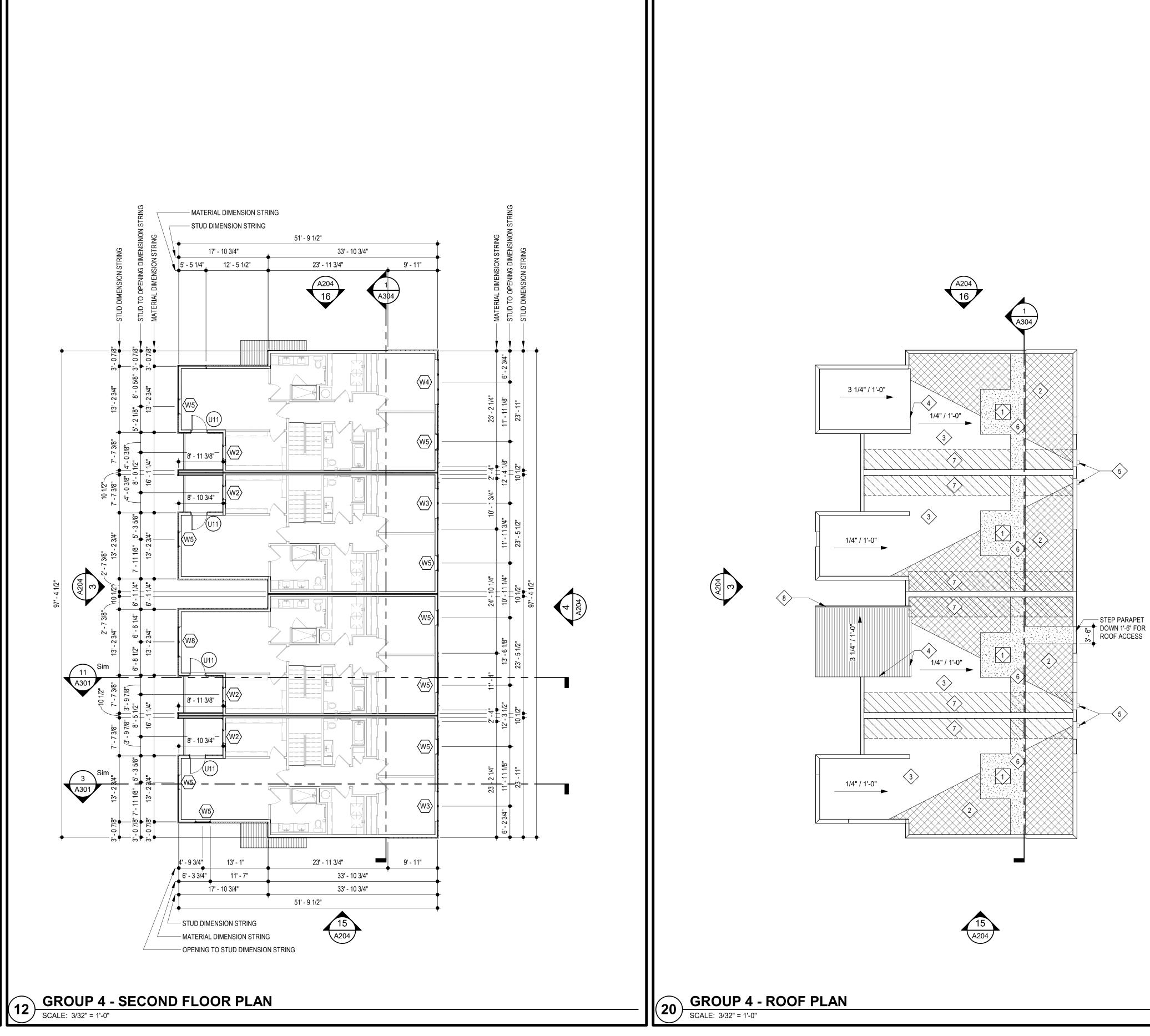


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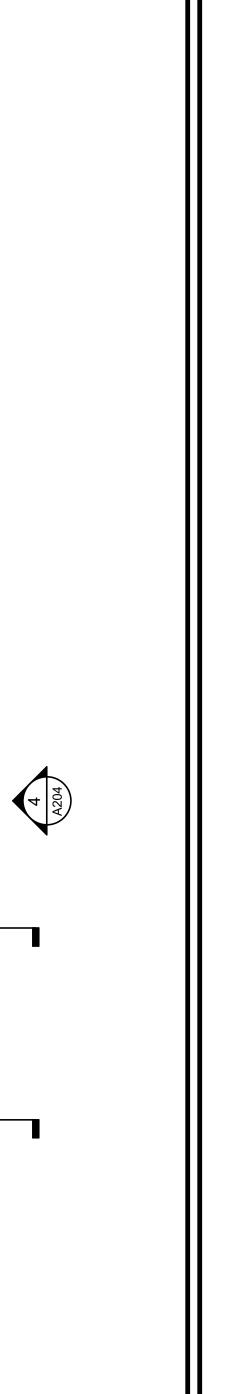


REVISIONS /#\ 2 ADDENDUM 1 11.12.2021

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GROUP 4 - FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"

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- P. GENERAL CONTRACTOR TO CAULK AND SEAL EXPANSION JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE SEE MASONRY SPECIFICATIONS.
- Q. GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIO/VISUAL DEVICES AND PULL STATIONS WHERE
- R. FIRE RETARDANT TREATED WOOD PERMITTED TO BE USED IN LOCATIONS SPECIFIED IN TABLE 602, NOTE D AND SECTION 603.2 AND 2310.0. VERIFY SECTIONS IN 2018 IBC.
- S. ALL OPENING DIMENSIONS ARE TO CENTERLINE OF OPENING.

ROOF GENERAL NOTES

- A. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, M.E.P. AND ARCHITECTURAL DRAWINGS.
- B. EXHAUST FANS AND VENTS TO BE LOCATED A MINIMUM OF 10'-0" FROM RTU's.
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PROVIDE TAPERED CRICKETS AT ALL ROOF TOP UNITS, SLOPE 1/2" PER FOOT MINIMUM. INSTALL FLASHING AND COUNTER FLASHING PER ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.

- TAPERED CRICKETS AS REQUIRED. SLOPE 1/2" PER FOOT MINIMUM.
- FULLY ADHERED T.P.O. ROOF MEMBRANE.
- CHANGE IN ROOF SLOPE AND/OR ELEVATION.

PENETRATIONS ALLOWED IN THIS AREA

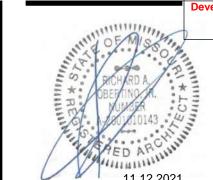
THRU-WALL ROOF SCUPPER WITH OVERFLOW.

- PROVIDE WALKWAY PADS FROM ROOF ACCESS TO ALL ROOFTOP EQUIPMENT.
- ROOF SHEATHING TO BE CONSTRUCTED OF FIRE RETARDANT TREATED WOOD 4'-0" EACH SIDE OF FIRE WALL, NO
- GUTTER TO DOWNSPOUT TO MAIN ROOF

DOWNSPOUT CALC

USE (1) 4" SQ. DOWNSPOUTS PER VILLA

AREA OF 1 VILLA: 1,059 S.F. / 1 DOWNSPOUTS = 1,058 S.F./D.S. (SMACNA) TABLE 1-2 - 100 YEAR S.F./S.I. = 120 1,059 /120 = 8.825 SQUARE INCHES OF DOWNSPOUT AREA

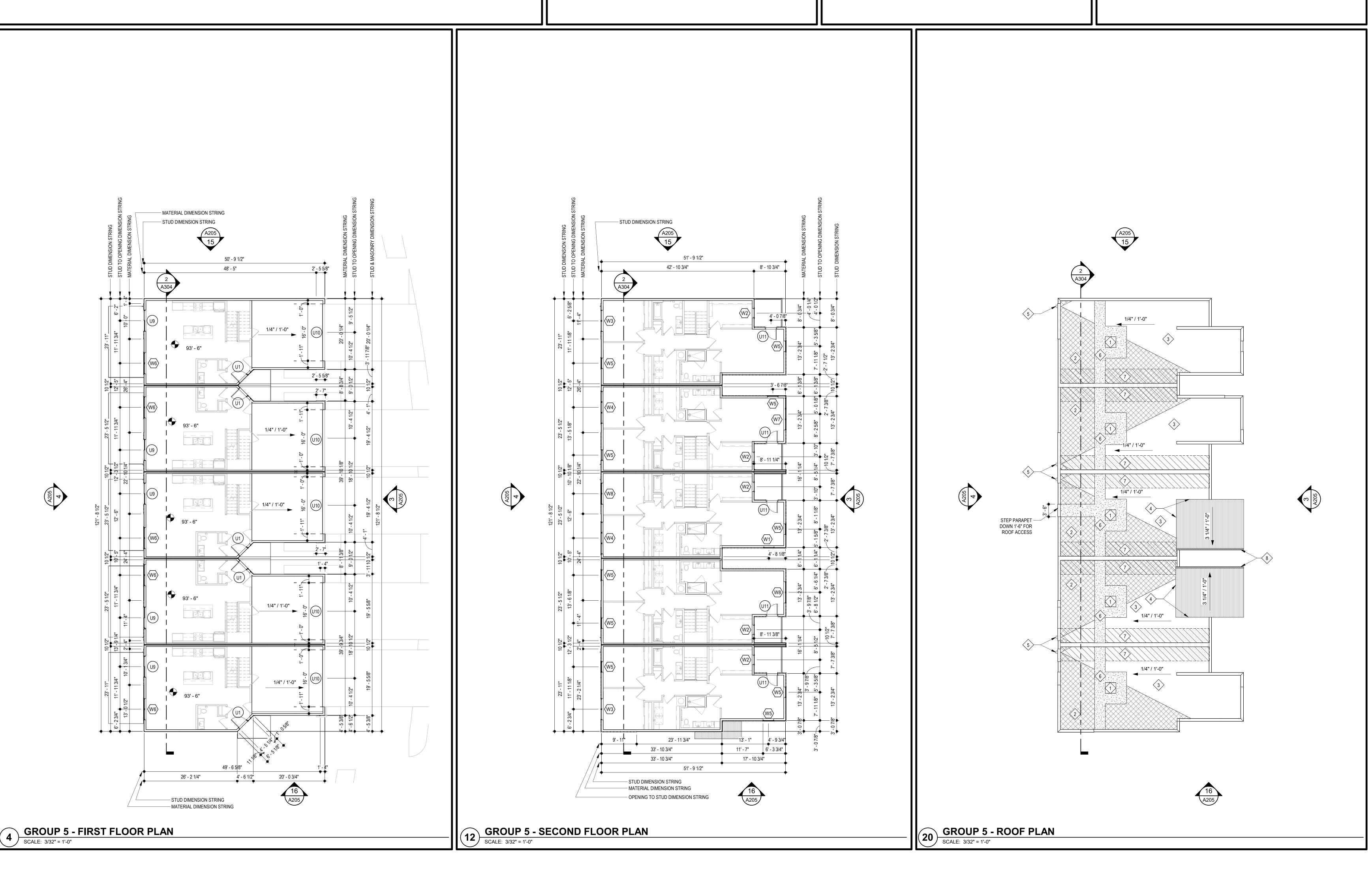


CONSTRUCTION
As Noted on Plans Review

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2 ADDENDUM 1

DWG BY TR,i PROJECT NO.



- A. DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY.
- B. FOR DOOR SCHEDULE SEE SHEET A040 XXX
- C. FOR WINDOW SCHEDULE SEE SHEET A050 \langle X \rangle
- D. FOR PARTITION TYPES SEE SHEET A030 X
- E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A400 THROUGH A401).
- F. GENERAL CONTRACTOR WILL FURNISH & INSTALL 5 LB MULTIPURPOSE DRY CHEMICAL 2A:10B:C RATED FIRE EXTINGUISHERS w/ MOUNTING BRACKETS & ACCESSORIES @ 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT IN PUBLIC SPACES AND CORRIDORS. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT.
- G. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 30-'0" MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50'-0" IN EITHER DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING/FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.

---- MATERIAL DIMENSION STRING

- H. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS.
- I. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.

4' - 6 1/2" 4' - 6 1/2" 4' - 6 1/2"

GROUP 6 - FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"

20' - 0 3/4"

MATERIAL DIMENSION STRING

STUD DIMENSION STRING

49' - 6 5/8"

- J. FINISH FLOOR ELEVATION AT GROUP 1 IS 100'-0" AND ALL OTHER GROUPS ARE LABELED IN RELATION TO THAT LEVEL RE: CIVIL DRAWINGS FOR ALL GRADE INFORMATION.
- K. 5" CONCRETE FLOOR SLAB WITH 6"x6" W1.4xW1.4 W.W.F. ON 10 MIL POLY FILM VAPOR BARRIER ON 4" GRANULAR
- FILL. RE: STRUCTURAL DWGS. L. NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD.
- M. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS, SPOT GRADING AT PERIMETER FOUNDATIONS
- N. THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
- O. * ASSUMED FIRST FLOOR FINISH FLOOR ELEVATION = 100.00'* VERIFY ACTUAL FINISH FLOOR ELEVATION WITH CIVIL
- P. GENERAL CONTRACTOR TO CAULK AND SEAL EXPANSION JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE SEE MASONRY SPECIFICATIONS.
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- S. ALL OPENING DIMENSIONS ARE TO CENTERLINE OF OPENING.

ROOF GENERAL NOTES

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- ALL ROOF EQUIPMENT TO BE MOUNTED ON CURBS. MECHANICAL SUBCONTRACTOR TO COORDINATE

B. EXHAUST FANS AND VENTS TO BE LOCATED A MINIMUM OF 10'-0" FROM RTU's.

- INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE MANUFACTURER. GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED BLOCKING, NAILING, ETC. AS REQUIRED FOR A WATERTIGHT BUILDING.
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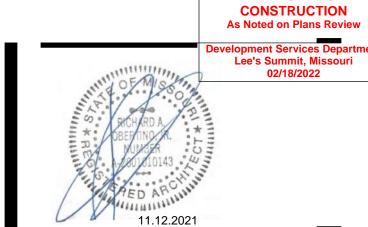
ROOF KEYED NOTES (##)

- PROVIDE TAPERED CRICKETS AT ALL ROOF TOP UNITS, SLOPE 1/2" PER FOOT MINIMUM. INSTALL FLASHING AND
- COUNTER FLASHING PER ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.
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- FULLY ADHERED T.P.O. ROOF MEMBRANE.
- CHANGE IN ROOF SLOPE AND/OR ELEVATION.
- THRU-WALL ROOF SCUPPER WITH OVERFLOW.
- PROVIDE WALKWAY PADS FROM ROOF ACCESS TO ALL ROOFTOP EQUIPMENT.
- ROOF SHEATHING TO BE CONSTRUCTED OF FIRE RETARDANT TREATED WOOD 4'-0" EACH SIDE OF FIRE WALL, NO PENETRATIONS ALLOWED IN THIS AREA
- GUTTER TO DOWNSPOUT TO MAIN ROOF

DOWNSPOUT CALC

USE (1) 4" SQ. DOWNSPOUTS PER VILLA

AREA OF 1 VILLA: 1,059 S.F. / 1 DOWNSPOUTS = 1,058 S.F./D.S. (SMACNA) TABLE 1-2 - 100 YEAR S.F./S.I. = 120 1,059 /120 = 8.825 SQUARE INCHES OF DOWNSPOUT AREA



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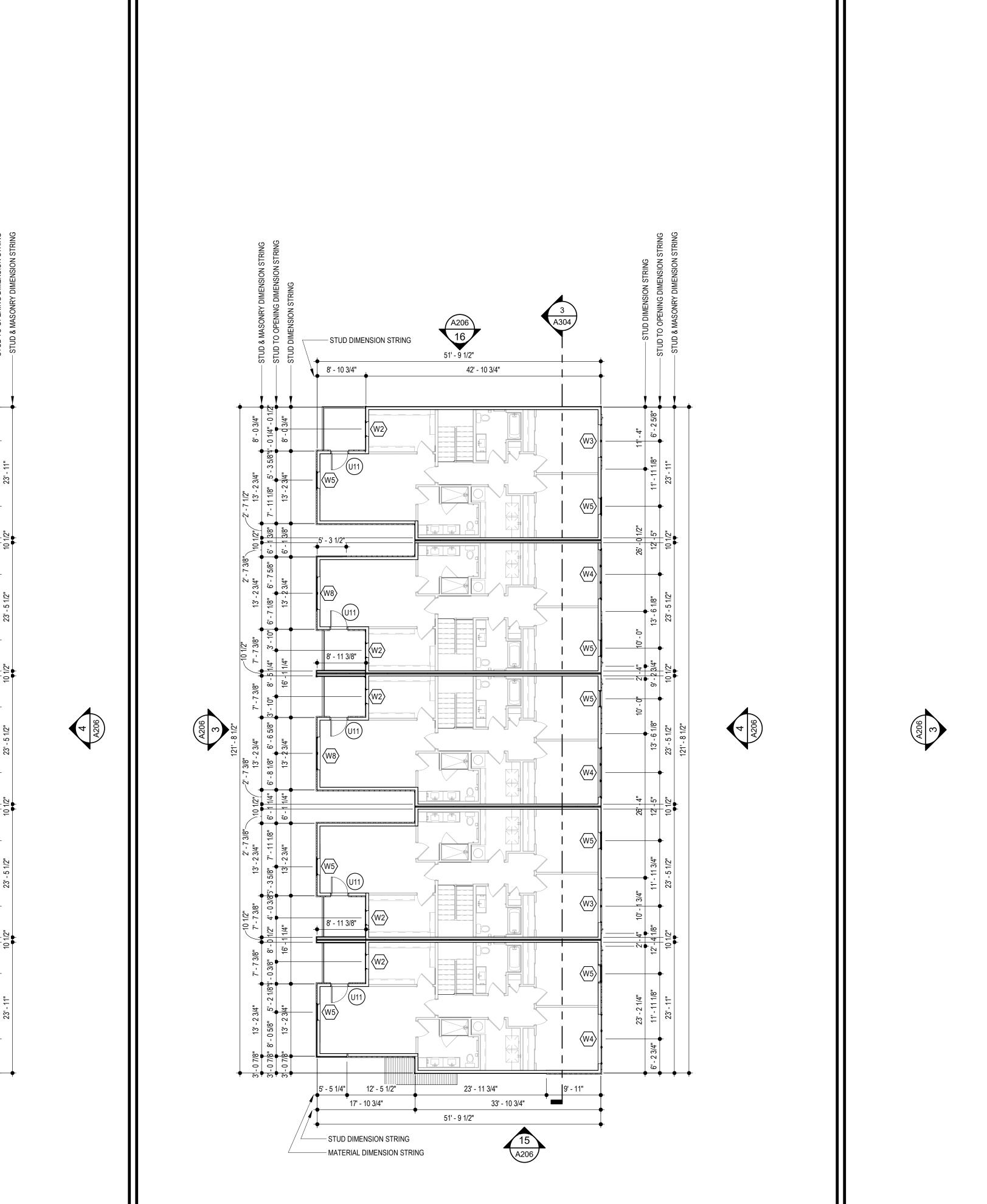
2 ADDENDUM 1

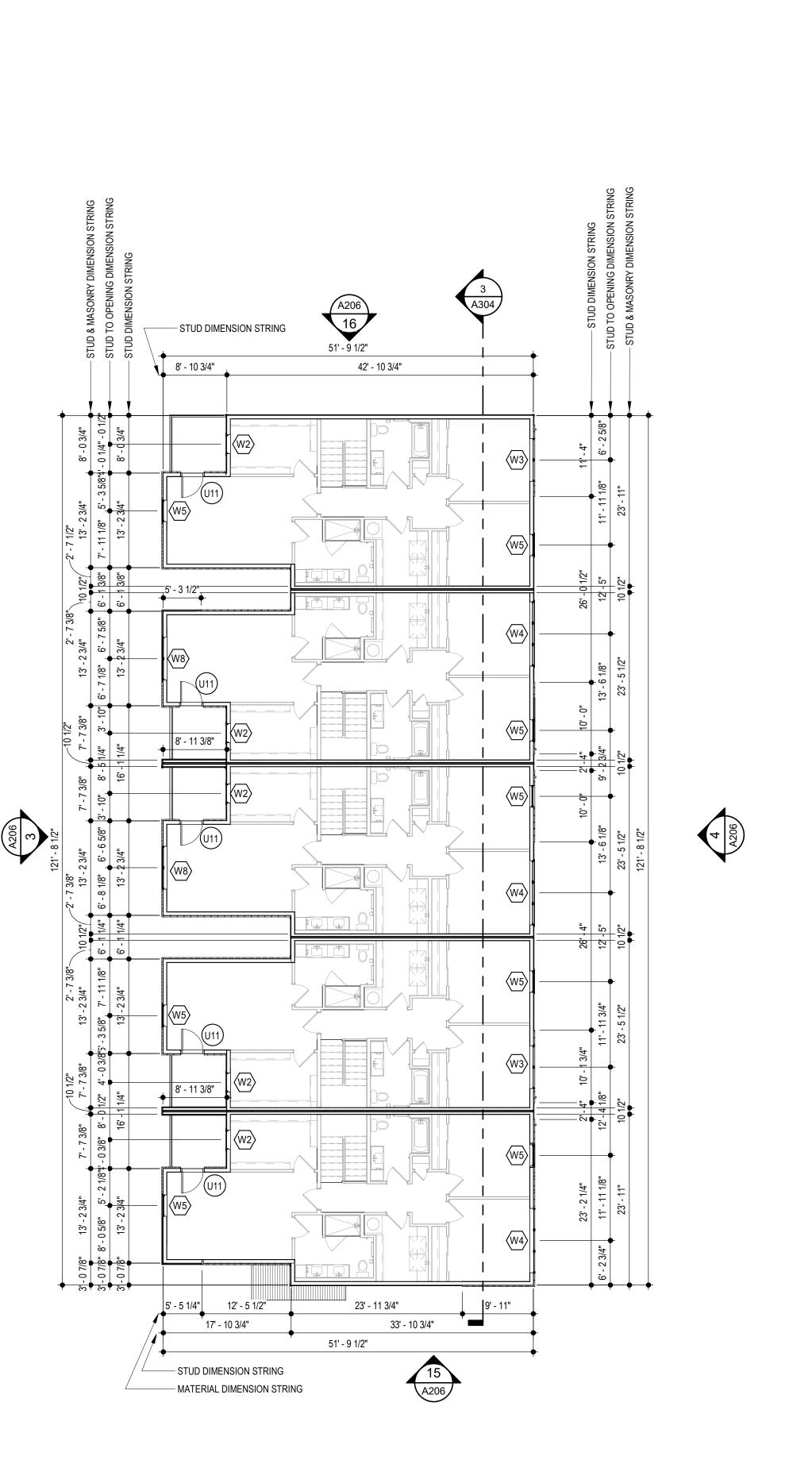
- STEP PARAPET DOWN 1' - 6" FOR

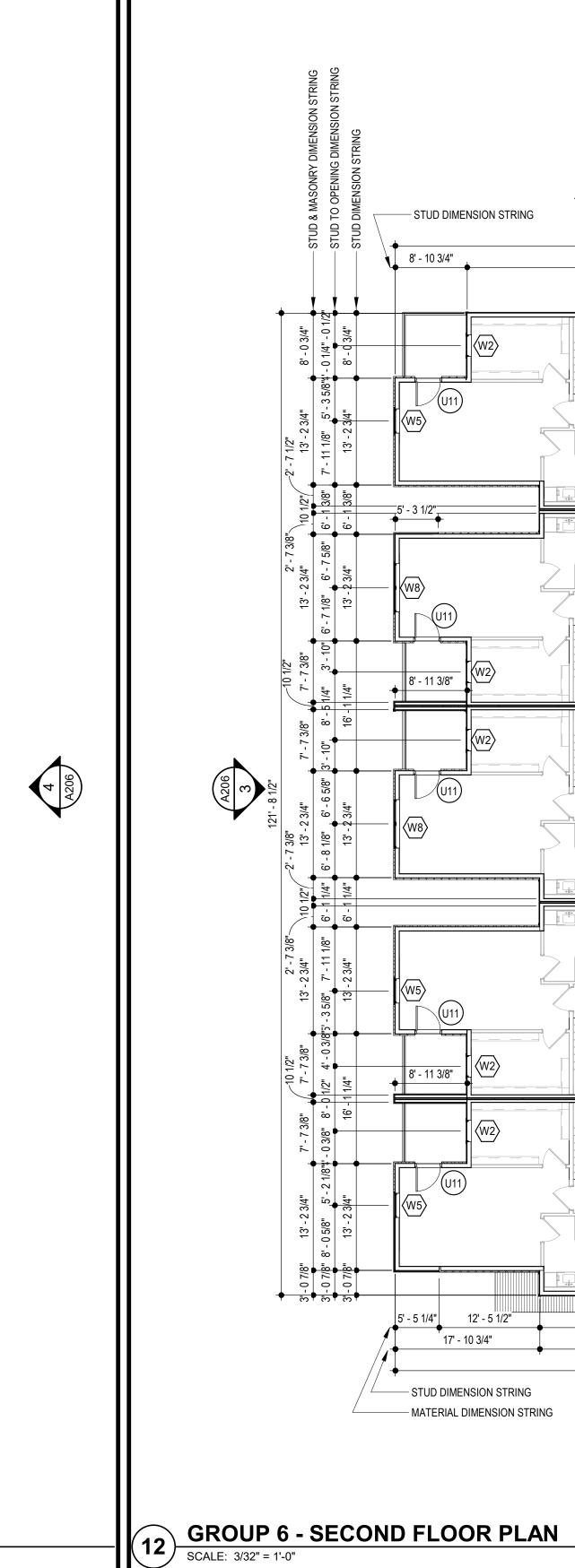
3 1/4" / 1'-0"

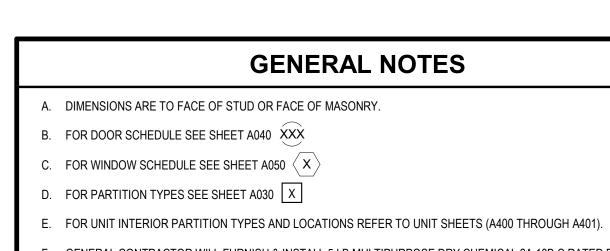
GROUP 6 - ROOF PLANSCALE: 3/32" = 1'-0"

TR,i PROJECT NO.









- UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS, SPOT GRADING AT PERIMETER FOUNDATIONS F. GENERAL CONTRACTOR WILL FURNISH & INSTALL 5 LB MULTIPURPOSE DRY CHEMICAL 2A:10B:C RATED FIRE EXTINGUISHERS w/ MOUNTING BRACKETS & ACCESSORIES @ 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT IN PUBLIC SPACES AND CORRIDORS. A
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MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT.

I. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.

4' - 6 1/2" 4' - 6 1/2" 4' - 6 1/2"

GROUP 7 - FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"

4' - 6 1/2"

STUD DIMENSION STRING

- MATERIAL DIMENSION STRING

50' - 9 1/2"

26' - 2 1/4"

- J. FINISH FLOOR ELEVATION AT GROUP 1 IS 100'-0" AND ALL OTHER GROUPS ARE LABELED IN RELATION TO THAT LEVEL RE: CIVIL DRAWINGS FOR ALL GRADE INFORMATION.
- K. 5" CONCRETE FLOOR SLAB WITH 6"x6" W1.4xW1.4 W.W.F. ON 10 MIL POLY FILM VAPOR BARRIER ON 4" GRANULAR
- FILL. RE: STRUCTURAL DWGS.
- L. NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD. M. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK,
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- S. ALL OPENING DIMENSIONS ARE TO CENTERLINE OF OPENING.

MATERIAL DIMENSION STRING — STUD DIMENSION STRING -

6' - 2 3/4"

26' - 2 1/4"

ROOF GENERAL NOTES

- A. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, M.E.P. AND ARCHITECTURAL DRAWINGS.
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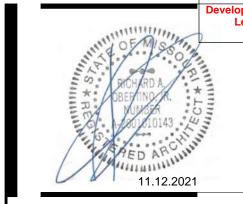
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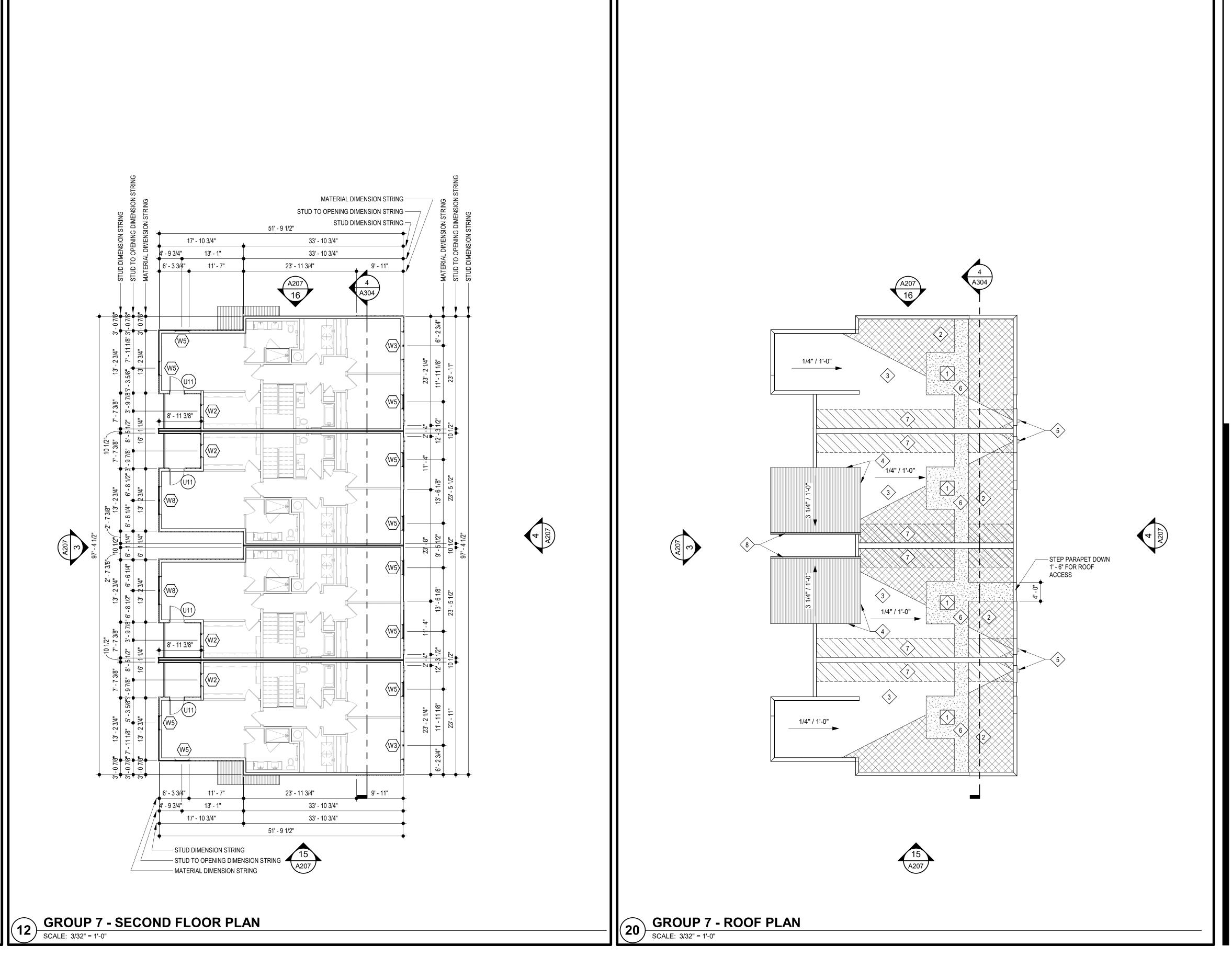


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REVISIONS /#\ 2 ADDENDUM 1

TR,i PROJECT NO. SHEET NO.



- A. DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY.
- B. FOR DOOR SCHEDULE SEE SHEET A040 XXX C. FOR WINDOW SCHEDULE SEE SHEET A050 \langle X \rangle
- D. FOR PARTITION TYPES SEE SHEET A030 X

MATERIAL DIMENSION STRING —

SCALE: 3/32" = 1'-0"

STUD DIMENSION STRING -

GROUP 8 - FIRST FLOOR PLAN

20' - 0 3/4"

26' - 2 1/4"

50' - 9 1/2"

- E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A400 THROUGH A401).
- F. GENERAL CONTRACTOR WILL FURNISH & INSTALL 5 LB MULTIPURPOSE DRY CHEMICAL 2A:10B:C RATED FIRE EXTINGUISHERS w/ MOUNTING BRACKETS & ACCESSORIES @ 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT IN PUBLIC SPACES AND CORRIDORS. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT.
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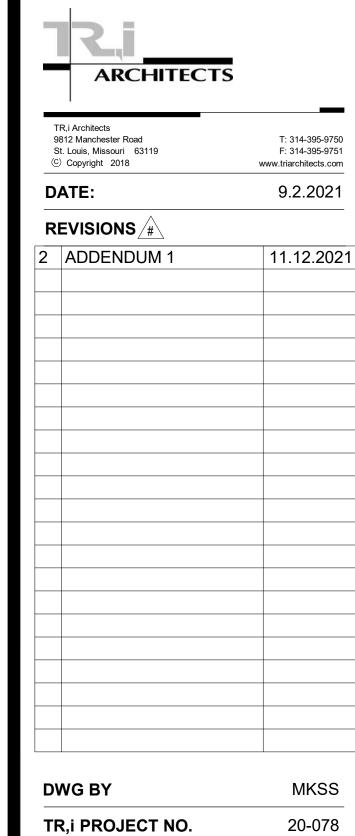
ROOF KEYED NOTES (#)

- PROVIDE TAPERED CRICKETS AT ALL ROOF TOP UNITS, SLOPE 1/2" PER FOOT MINIMUM. INSTALL FLASHING AND COUNTER FLASHING PER ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.
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- 3. FULLY ADHERED T.P.O. ROOF MEMBRANE.
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- GUTTER TO DOWNSPOUT TO MAIN ROOF

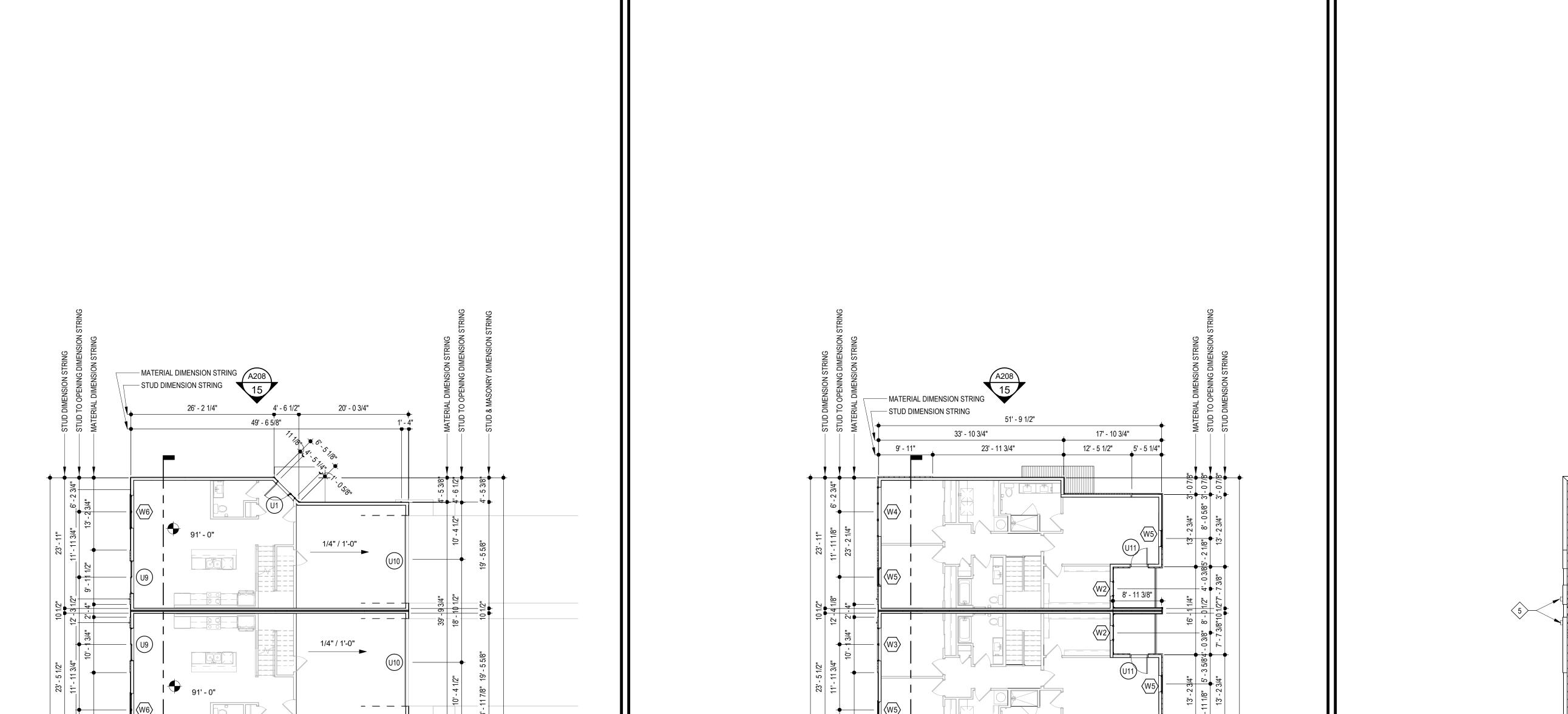
DOWNSPOUT CALC

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CONSTRUCTION
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SHEET NO.



MATERIAL DIMENSION STRING —

STUD DIMENSION STRING -

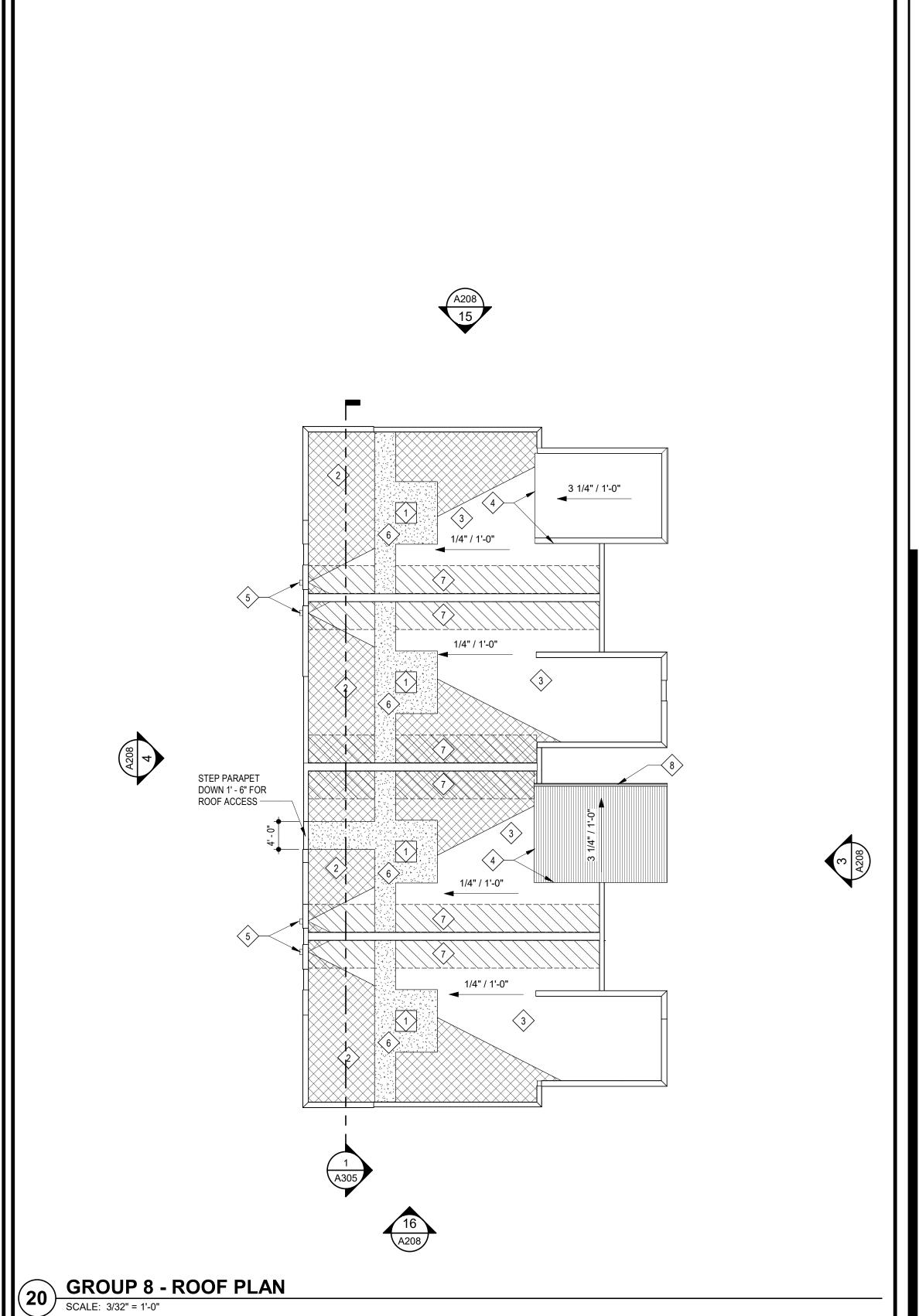
17' - 10 3/4"

51' - 9 1/2"

OPENING TO STUD DIMENSION STRING -

GROUP 8 - SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"



- A. DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY.
- B. FOR DOOR SCHEDULE SEE SHEET A040 XXX
- C. FOR WINDOW SCHEDULE SEE SHEET A050 (X)
- D. FOR PARTITION TYPES SEE SHEET A030 X
- E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A400 THROUGH A401).
- F. GENERAL CONTRACTOR WILL FURNISH & INSTALL 5 LB MULTIPURPOSE DRY CHEMICAL 2A:10B:C RATED FIRE EXTINGUISHERS w/ MOUNTING BRACKETS & ACCESSORIES @ 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT IN PUBLIC SPACES AND CORRIDORS. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT.
- G. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 30-'0" MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50'-0" IN EITHER DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING/FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
- H. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS.
- I. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.

- J. FINISH FLOOR ELEVATION AT GROUP 1 IS 100'-0" AND ALL OTHER GROUPS ARE LABELED IN RELATION TO THAT LEVEL RE: CIVIL DRAWINGS FOR ALL GRADE INFORMATION.
- K. 5" CONCRETE FLOOR SLAB WITH 6"x6" W1.4xW1.4 W.W.F. ON 10 MIL POLY FILM VAPOR BARRIER ON 4" GRANULAR
- FILL. RE: STRUCTURAL DWGS.
- L. NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD. M. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK,
- UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS, SPOT GRADING AT PERIMETER FOUNDATIONS
- N. THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
- O. * ASSUMED FIRST FLOOR FINISH FLOOR ELEVATION = 100.00'* VERIFY ACTUAL FINISH FLOOR ELEVATION WITH CIVIL
- P. GENERAL CONTRACTOR TO CAULK AND SEAL EXPANSION JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE SEE MASONRY SPECIFICATIONS.
- Q. GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIO/VISUAL DEVICES AND PULL STATIONS WHERE
- R. FIRE RETARDANT TREATED WOOD PERMITTED TO BE USED IN LOCATIONS SPECIFIED IN TABLE 602, NOTE D AND SECTION 603.2 AND 2310.0. VERIFY SECTIONS IN 2018 IBC.
- S. ALL OPENING DIMENSIONS ARE TO CENTERLINE OF OPENING.

ROOF GENERAL NOTES

- A. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, M.E.P. AND ARCHITECTURAL DRAWINGS.
- B. EXHAUST FANS AND VENTS TO BE LOCATED A MINIMUM OF 10'-0" FROM RTU's.
- C. ALL ROOF EQUIPMENT TO BE MOUNTED ON CURBS. MECHANICAL SUBCONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE MANUFACTURER. GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED BLOCKING, NAILING, ETC. AS REQUIRED FOR A WATERTIGHT BUILDING.
- D. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE INSTALLATION OF ALL FLASHING, BLOCKING, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR A COMPLETE, WARRANTED AND WATERTIGHT INSTALLATION.
- ALL ROOF SLOPES ARE TO HAVE A MINIMUM OF 1/4" FALL WHERE CRICKETS AND VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT

ROOF KEYED NOTES (#)

- PROVIDE TAPERED CRICKETS AT ALL ROOF TOP UNITS, SLOPE 1/2" PER FOOT MINIMUM. INSTALL FLASHING AND COUNTER FLASHING PER ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- TAPERED CRICKETS AS REQUIRED. SLOPE 1/2" PER FOOT MINIMUM.
- FULLY ADHERED T.P.O. ROOF MEMBRANE.
- 4. CHANGE IN ROOF SLOPE AND/OR ELEVATION.
- THRU-WALL ROOF SCUPPER WITH OVERFLOW.
- PROVIDE WALKWAY PADS FROM ROOF ACCESS TO ALL ROOFTOP EQUIPMENT.
- ROOF SHEATHING TO BE CONSTRUCTED OF FIRE RETARDANT TREATED WOOD 4'-0" EACH SIDE OF FIRE WALL, NO PENETRATIONS ALLOWED IN THIS AREA
- GUTTER TO DOWNSPOUT TO MAIN ROOF

DOWNSPOUT CALC

AREA OF 1 VILLA: 1,059 S.F. / 1 DOWNSPOUTS = 1,058 S.F./D.S. (SMACNA) TABLE 1-2 - 100 YEAR S.F./S.I. = 120

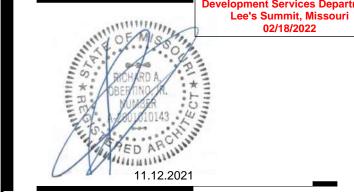
1,059 /120 = 8.825 SQUARE INCHES OF DOWNSPOUT AREA

20 / A109B

--- STEP PARAPET DOWN 1' - 6" FOR ROOF ACCESS

USE (1) 4" SQ. DOWNSPOUTS PER VILLA

1/4" / 1'-0"



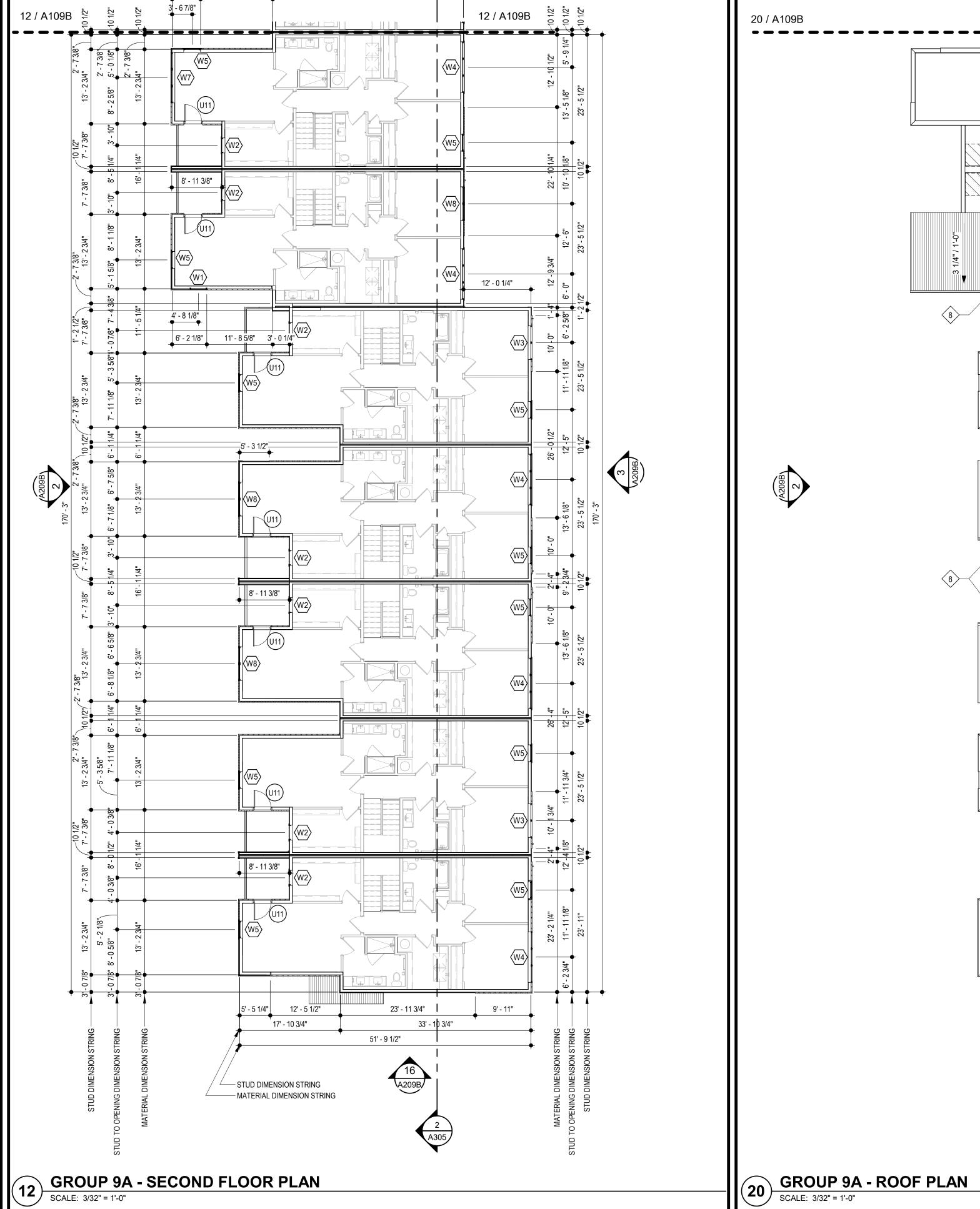
CONSTRUCTION
As Noted on Plans Review

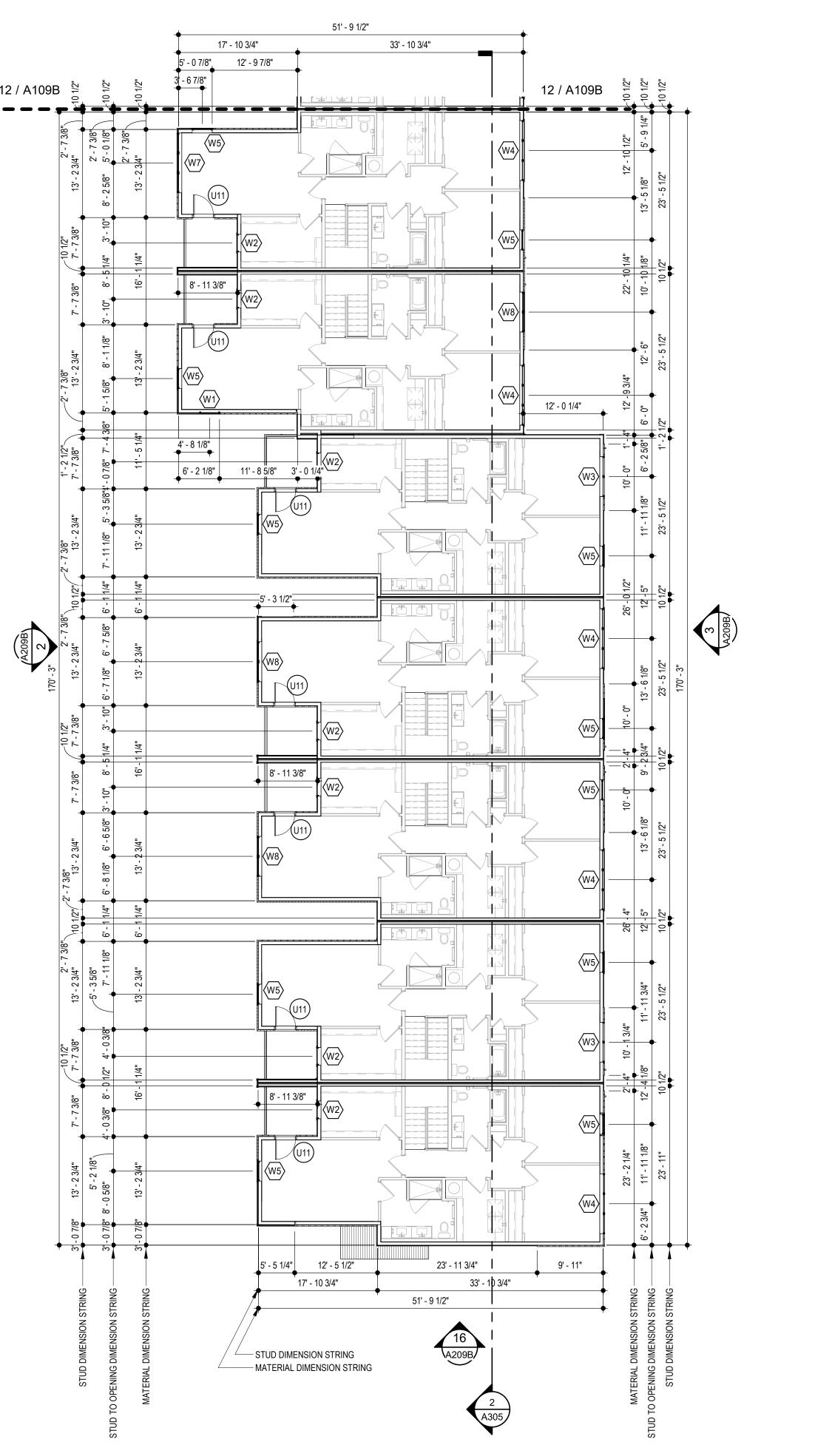
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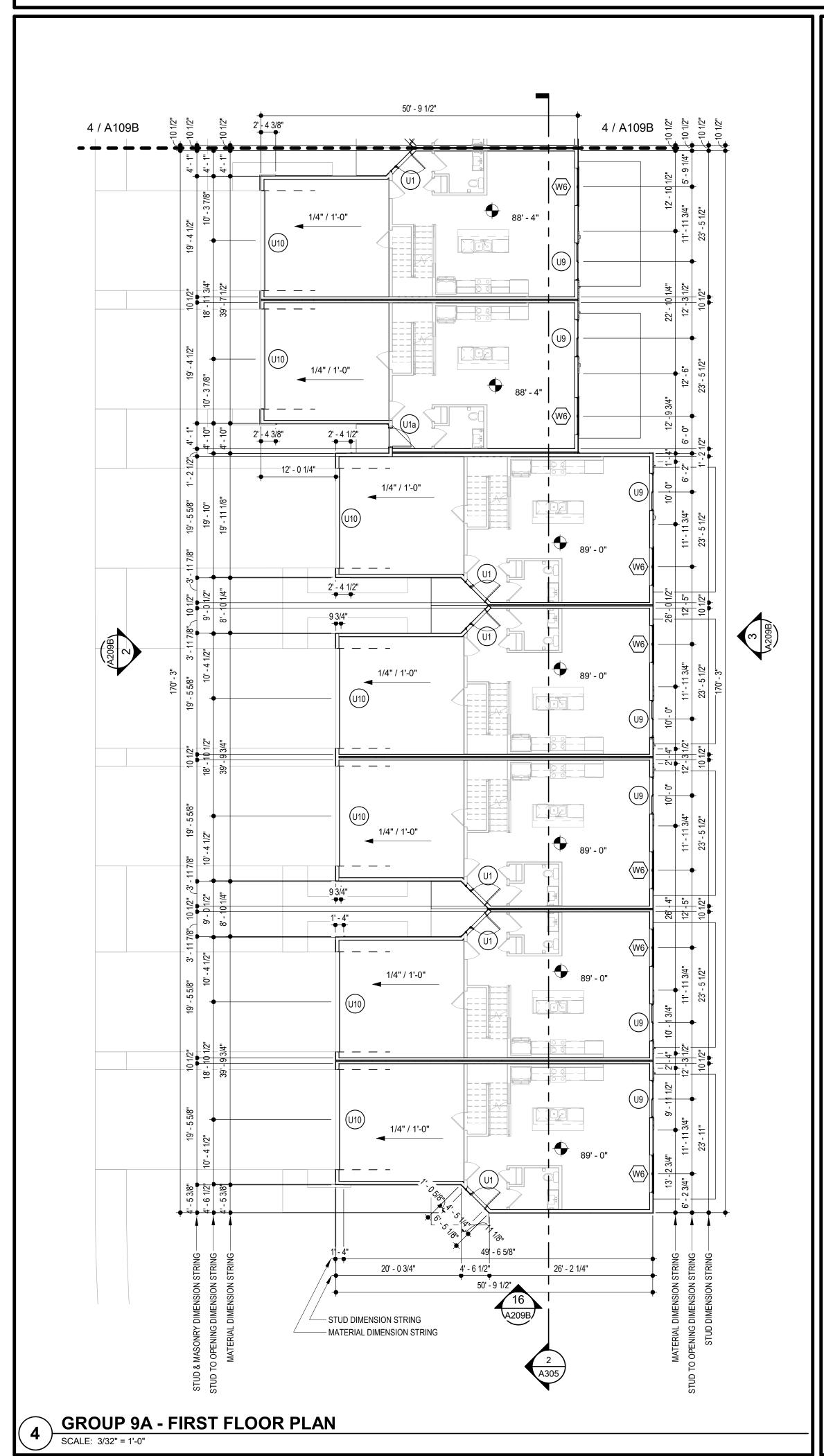
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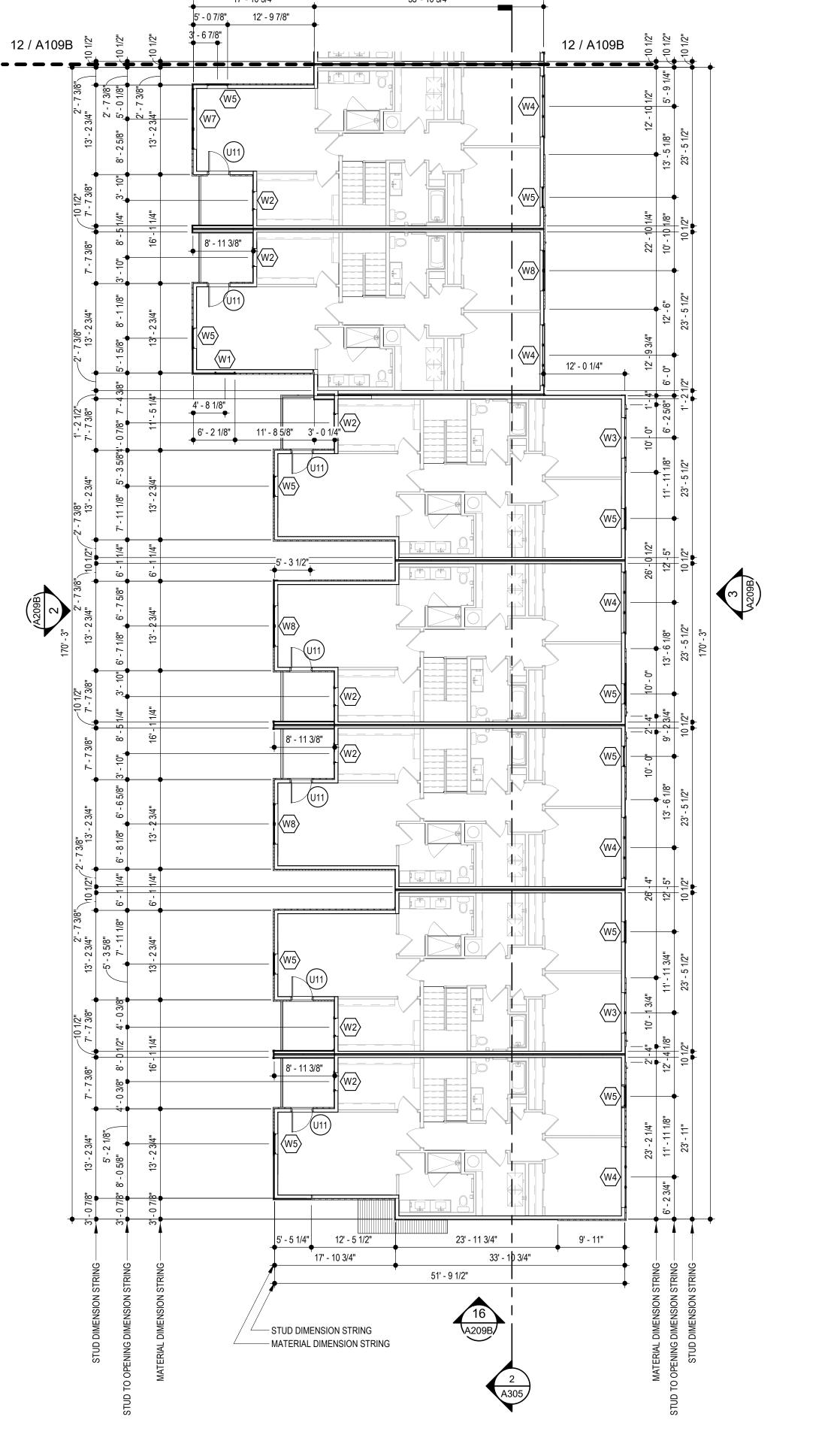
REVISIONS /#\ 2 ADDENDUM 1

TR,i PROJECT NO. SHEET NO.









- A. DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY.
- B. FOR DOOR SCHEDULE SEE SHEET A040 XXX
- C. FOR WINDOW SCHEDULE SEE SHEET A050 \langle X \rangle
- D. FOR PARTITION TYPES SEE SHEET A030 X
- E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A400 THROUGH A401).
- F. GENERAL CONTRACTOR WILL FURNISH & INSTALL 5 LB MULTIPURPOSE DRY CHEMICAL 2A:10B:C RATED FIRE EXTINGUISHERS w/ MOUNTING BRACKETS & ACCESSORIES @ 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT IN PUBLIC SPACES AND CORRIDORS. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT.
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- MATERIAL DIMENSION STRING

20' - 0 3/4"

1/4" / 1'-0"

1/4" / 1'-0"

1/4" / 1'-0"

50' - 9 1/2"

4 / A109A

10 7/8"

GROUP 9B - FIRST FLOOR PLAN

4 / A109A

SCALE: 3/32" = 1'-0"

— STUD DIMENSION STRING

- H. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS.
- I. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.

- J. FINISH FLOOR ELEVATION AT GROUP 1 IS 100'-0" AND ALL OTHER GROUPS ARE LABELED IN RELATION TO THAT LEVEL RE: CIVIL DRAWINGS FOR ALL GRADE INFORMATION.
- K. 5" CONCRETE FLOOR SLAB WITH 6"x6" W1.4xW1.4 W.W.F. ON 10 MIL POLY FILM VAPOR BARRIER ON 4" GRANULAR
- FILL. RE: STRUCTURAL DWGS.
- L. NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD. M. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK,
- UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS, SPOT GRADING AT PERIMETER FOUNDATIONS N. THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS
- O. * ASSUMED FIRST FLOOR FINISH FLOOR ELEVATION = 100.00'* VERIFY ACTUAL FINISH FLOOR ELEVATION WITH CIVIL
- P. GENERAL CONTRACTOR TO CAULK AND SEAL EXPANSION JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE SEE MASONRY SPECIFICATIONS.
- Q. GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIO/VISUAL DEVICES AND PULL STATIONS WHERE
- R. FIRE RETARDANT TREATED WOOD PERMITTED TO BE USED IN LOCATIONS SPECIFIED IN TABLE 602, NOTE D AND SECTION 603.2 AND 2310.0. VERIFY SECTIONS IN 2018 IBC.
- S. ALL OPENING DIMENSIONS ARE TO CENTERLINE OF OPENING.

WHICH ARE IMPLIED OR UNDEFINED.

26' - 2 1/4"

49' - 6 5/8"

ROOF GENERAL NOTES

- A. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, M.E.P. AND ARCHITECTURAL DRAWINGS.
- B. EXHAUST FANS AND VENTS TO BE LOCATED A MINIMUM OF 10'-0" FROM RTU's.

A WATERTIGHT BUILDING.

- ALL ROOF EQUIPMENT TO BE MOUNTED ON CURBS. MECHANICAL SUBCONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE MANUFACTURER. GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED BLOCKING, NAILING, ETC. AS REQUIRED FOR
- D. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE INSTALLATION OF ALL FLASHING, BLOCKING, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR A COMPLETE, WARRANTED AND WATERTIGHT INSTALLATION.
- E. ALL ROOF SLOPES ARE TO HAVE A MINIMUM OF 1/4" FALL WHERE CRICKETS AND VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT

ROOF KEYED NOTES (#)

- PROVIDE TAPERED CRICKETS AT ALL ROOF TOP UNITS, SLOPE 1/2" PER FOOT MINIMUM. INSTALL FLASHING AND COUNTER FLASHING PER ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- TAPERED CRICKETS AS REQUIRED. SLOPE 1/2" PER FOOT MINIMUM.
- 3. FULLY ADHERED T.P.O. ROOF MEMBRANE.
- 4. CHANGE IN ROOF SLOPE AND/OR ELEVATION.
- 5. THRU-WALL ROOF SCUPPER WITH OVERFLOW.
- PROVIDE WALKWAY PADS FROM ROOF ACCESS TO ALL ROOFTOP EQUIPMENT.
- ROOF SHEATHING TO BE CONSTRUCTED OF FIRE RETARDANT TREATED WOOD 4'-0" EACH SIDE OF FIRE WALL, NO

20 / A109A

GROUP 9B - ROOF PLAN

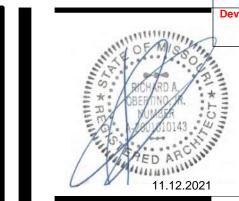
SCALE: 3/32" = 1'-0"

GUTTER TO DOWNSPOUT TO MAIN ROOF

PENETRATIONS ALLOWED IN THIS AREA

DOWNSPOUT CALC

AREA OF 1 VILLA: 1,059 S.F. / 1 DOWNSPOUTS = 1,058 S.F./D.S. (SMACNA) TABLE 1-2 - 100 YEAR S.F./S.I. = 120 1,059 /120 = 8.825 SQUARE INCHES OF DOWNSPOUT AREA USE (1) 4" SQ. DOWNSPOUTS PER VILLA

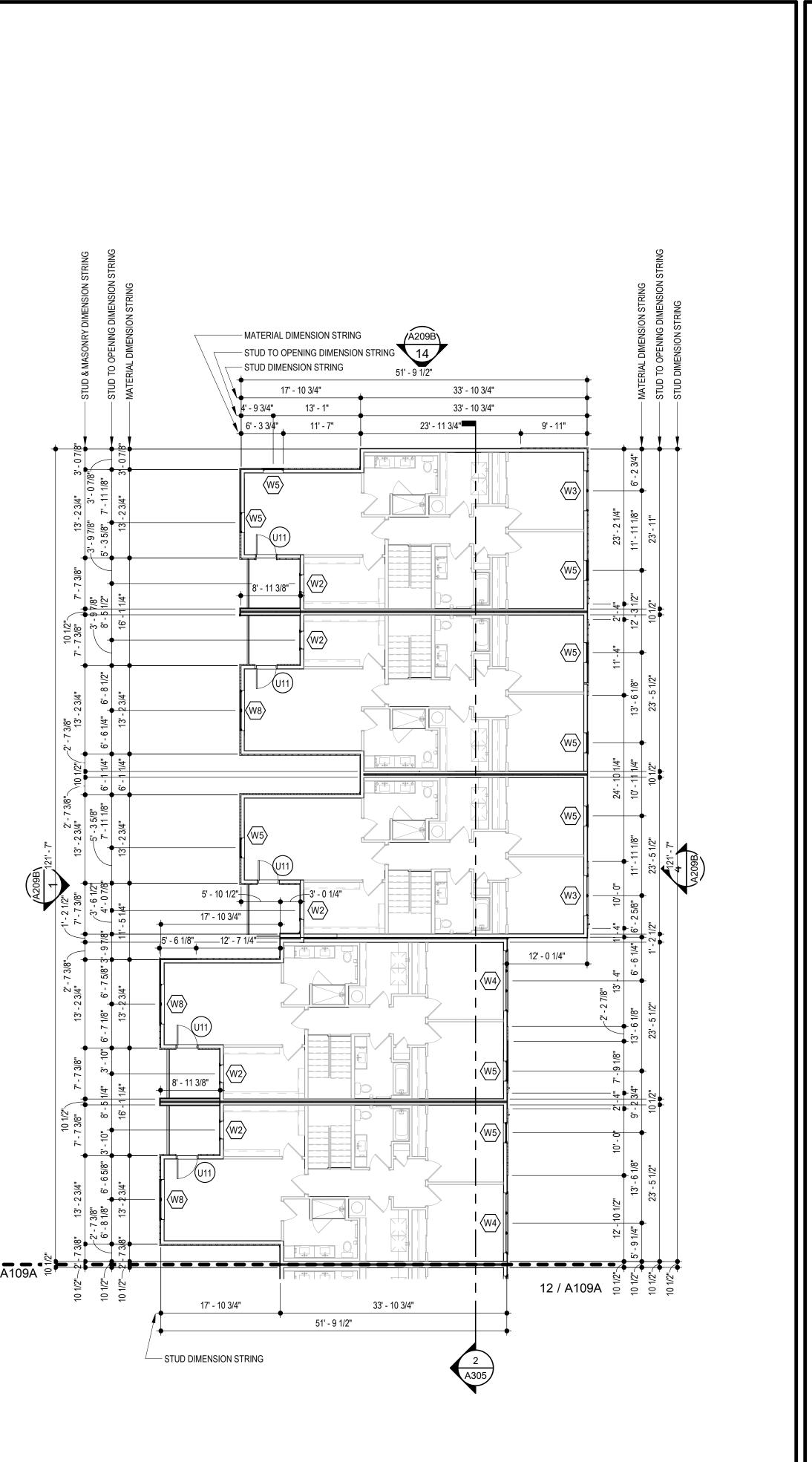


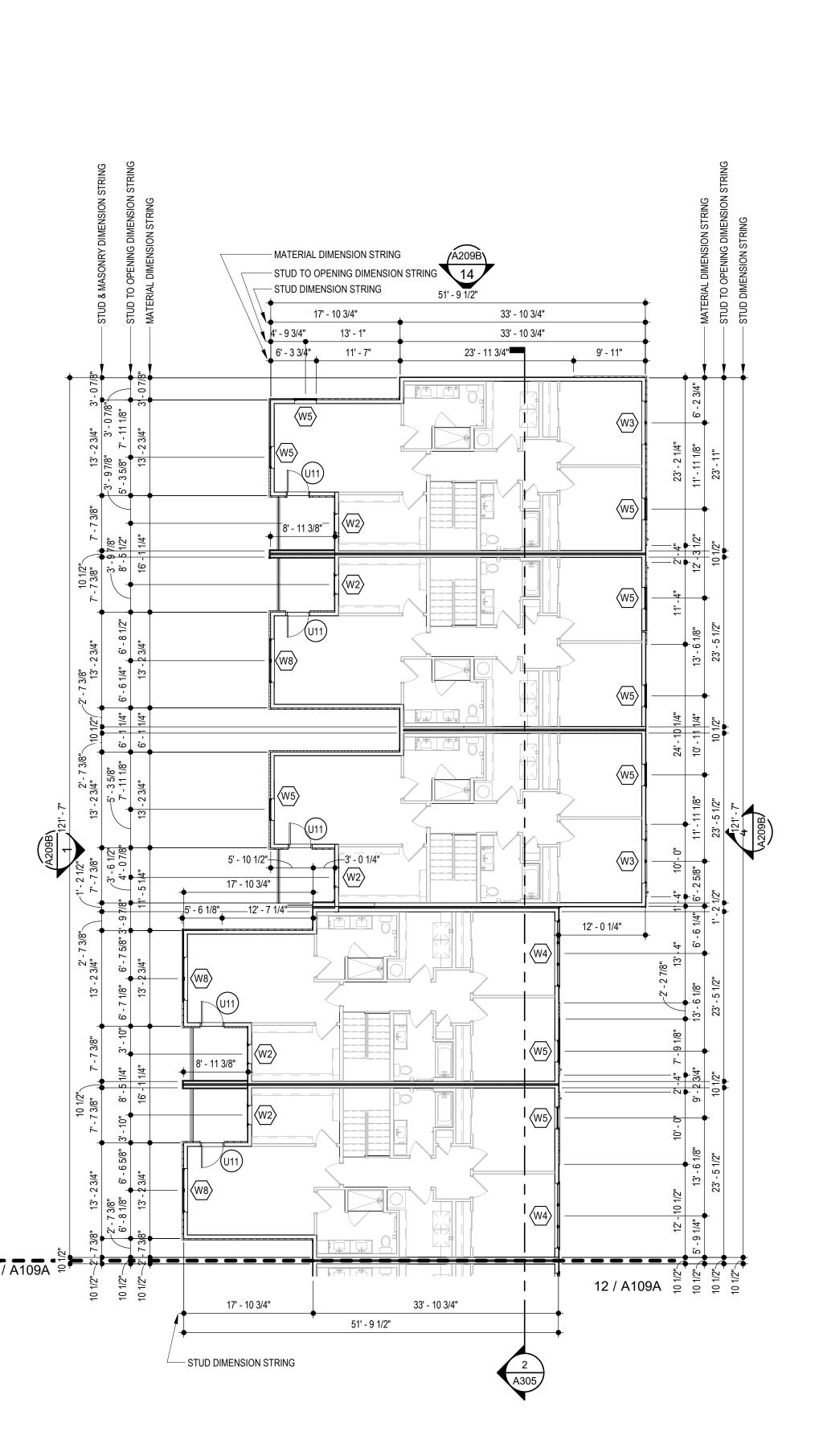
CONSTRUCTION
As Noted on Plans Review

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TR,i PROJECT NO.

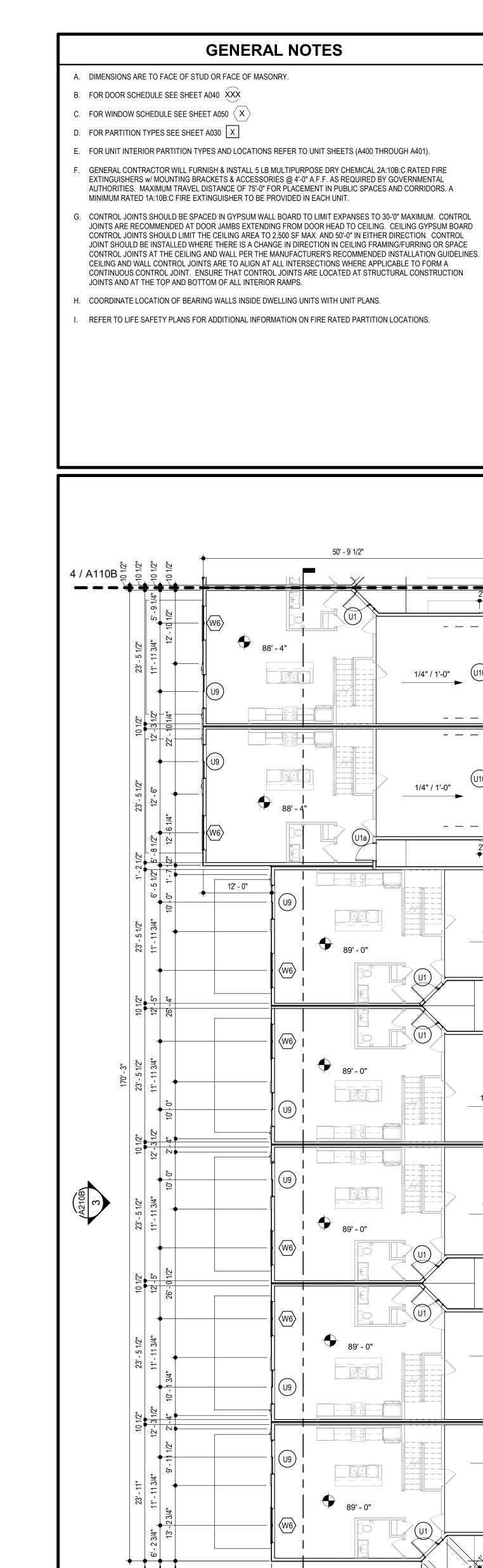
SHEET NO.





GROUP 9B - SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"



50' - 9 1/2"

1/4" / 1'-0"

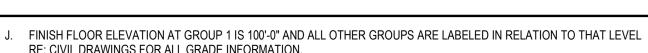
50' - 9 1/2"

— STUD DIMENSION STRING

GROUP 10A - FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"

- MATERIAL DIMENSION STRING



- RE: CIVIL DRAWINGS FOR ALL GRADE INFORMATION. K. 5" CONCRETE FLOOR SLAB WITH 6"x6" - W1.4xW1.4 W.W.F. ON 10 MIL POLY FILM VAPOR BARRIER ON 4" GRANULAR
- FILL. RE: STRUCTURAL DWGS. L. NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD.
- M. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS, SPOT GRADING AT PERIMETER FOUNDATIONS
- N. THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
- O. * ASSUMED FIRST FLOOR FINISH FLOOR ELEVATION = 100.00'* VERIFY ACTUAL FINISH FLOOR ELEVATION WITH CIVIL
- P. GENERAL CONTRACTOR TO CAULK AND SEAL EXPANSION JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE SEE MASONRY SPECIFICATIONS.
- Q. GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIO/VISUAL DEVICES AND PULL STATIONS WHERE
- R. FIRE RETARDANT TREATED WOOD PERMITTED TO BE USED IN LOCATIONS SPECIFIED IN TABLE 602, NOTE D AND SECTION 603.2 AND 2310.0. VERIFY SECTIONS IN 2018 IBC.

4 / A110B

S. ALL OPENING DIMENSIONS ARE TO CENTERLINE OF OPENING.

ROOF GENERAL NOTES

- A. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, M.E.P. AND ARCHITECTURAL DRAWINGS.
- B. EXHAUST FANS AND VENTS TO BE LOCATED A MINIMUM OF 10'-0" FROM RTU's. ALL ROOF EQUIPMENT TO BE MOUNTED ON CURBS. MECHANICAL SUBCONTRACTOR TO COORDINATE
- MANUFACTURER. GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED BLOCKING, NAILING, ETC. AS REQUIRED FOR A WATERTIGHT BUILDING. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE INSTALLATION OF ALL FLASHING,

INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE

- BLOCKING, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR A COMPLETE, WARRANTED AND WATERTIGHT INSTALLATION.
- . ALL ROOF SLOPES ARE TO HAVE A MINIMUM OF 1/4" FALL WHERE CRICKETS AND VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT

ROOF KEYED NOTES (#)

DOWNSPOUT CALC

AREA OF 1 VILLA: 1,059 S.F. / 1 DOWNSPOUTS = 1,058 S.F./D.S.

(SMACNA) TABLE 1-2 - 100 YEAR S.F./S.I. = 120

1/4" / 1'-0"

USE (1) 4" SQ. DOWNSPOUTS PER VILLA

1,059 /120 = 8.825 SQUARE INCHES OF DOWNSPOUT AREA

- PROVIDE TAPERED CRICKETS AT ALL ROOF TOP UNITS, SLOPE 1/2" PER FOOT MINIMUM. INSTALL FLASHING AND COUNTER FLASHING PER ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- TAPERED CRICKETS AS REQUIRED. SLOPE 1/2" PER FOOT MINIMUM.
- 3. FULLY ADHERED T.P.O. ROOF MEMBRANE.
- 4. CHANGE IN ROOF SLOPE AND/OR ELEVATION.
- 5. THRU-WALL ROOF SCUPPER WITH OVERFLOW.
- 6. PROVIDE WALKWAY PADS FROM ROOF ACCESS TO ALL ROOFTOP EQUIPMENT.
- ROOF SHEATHING TO BE CONSTRUCTED OF FIRE RETARDANT TREATED WOOD 4'-0" EACH SIDE OF FIRE WALL, NO PENETRATIONS ALLOWED IN THIS AREA
- 8. GUTTER TO DOWNSPOUT TO MAIN ROOF

20 / A110B

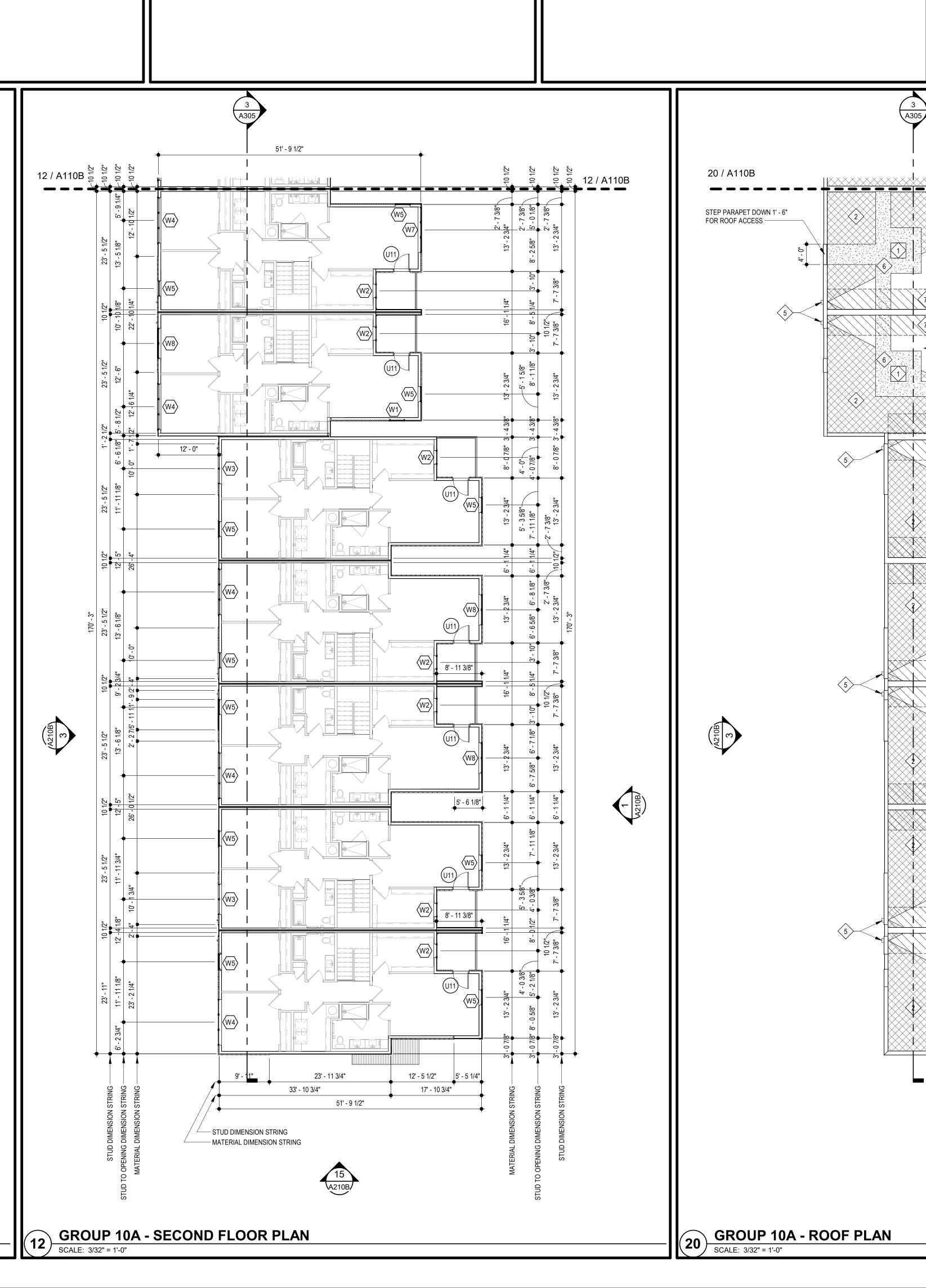
11.12.2021

CONSTRUCTION
As Noted on Plans Review

Lee's Summit, Missouri 02/18/2022

St. Louis, Missouri 63119 REVISIONS /#\ 2 ADDENDUM 1 11.12.2021

TR,i PROJECT NO.



- A. DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY.
- B. FOR DOOR SCHEDULE SEE SHEET A040 XXX
- C. FOR WINDOW SCHEDULE SEE SHEET A050 X
- D. FOR PARTITION TYPES SEE SHEET A030 X
- E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A400 THROUGH A401).
- F. GENERAL CONTRACTOR WILL FURNISH & INSTALL 5 LB MULTIPURPOSE DRY CHEMICAL 2A:10B:C RATED FIRE EXTINGUISHERS w/ MOUNTING BRACKETS & ACCESSORIES @ 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT IN PUBLIC SPACES AND CORRIDORS. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT.
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- H. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS.

GROUP 10B- FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"

I. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.

- J. FINISH FLOOR ELEVATION AT GROUP 1 IS 100'-0" AND ALL OTHER GROUPS ARE LABELED IN RELATION TO THAT LEVEL RE: CIVIL DRAWINGS FOR ALL GRADE INFORMATION.
- K. 5" CONCRETE FLOOR SLAB WITH 6"x6" W1.4xW1.4 W.W.F. ON 10 MIL POLY FILM VAPOR BARRIER ON 4" GRANULAR
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- O. * ASSUMED FIRST FLOOR FINISH FLOOR ELEVATION = 100.00'* VERIFY ACTUAL FINISH FLOOR ELEVATION WITH CIVIL DRAWINGS.
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- S. ALL OPENING DIMENSIONS ARE TO CENTERLINE OF OPENING.

L. NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD.

ROOF GENERAL NOTES

- A. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, M.E.P. AND ARCHITECTURAL DRAWINGS.
- B. EXHAUST FANS AND VENTS TO BE LOCATED A MINIMUM OF 10'-0" FROM RTU's.
- INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE MANUFACTURER. GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED BLOCKING, NAILING, ETC. AS REQUIRED FOR A WATERTIGHT BUILDING.

ALL ROOF EQUIPMENT TO BE MOUNTED ON CURBS. MECHANICAL SUBCONTRACTOR TO COORDINATE

- D. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE INSTALLATION OF ALL FLASHING, BLOCKING, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR A COMPLETE, WARRANTED AND WATERTIGHT INSTALLATION.
- E. ALL ROOF SLOPES ARE TO HAVE A MINIMUM OF 1/4" FALL WHERE CRICKETS AND VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT VALLEY.

ROOF KEYED NOTES (#)

- PROVIDE TAPERED CRICKETS AT ALL ROOF TOP UNITS, SLOPE 1/2" PER FOOT MINIMUM. INSTALL FLASHING AND COUNTER FLASHING PER ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 2. TAPERED CRICKETS AS REQUIRED. SLOPE 1/2" PER FOOT MINIMUM.
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 THRU-WALL ROOF SCUPPER WITH OVERFLOW.
- 6. PROVIDE WALKWAY PADS FROM ROOF ACCESS TO ALL ROOFTOP EQUIPMENT.
- 7. ROOF SHEATHING TO BE CONSTRUCTED OF FIRE RETARDANT TREATED WOOD 4'-0" EACH SIDE OF FIRE WALL, NO PENETRATIONS ALLOWED IN THIS AREA
- 8. GUTTER TO DOWNSPOUT TO MAIN ROOF

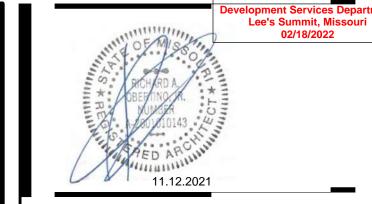
DOWNSPOUT CALC

ADEA OF ANNUA

AREA OF 1 VILLA:

1,059 S.F. / 1 DOWNSPOUTS = 1,058 S.F./D.S.
(SMACNA) TABLE 1-2 - 100 YEAR S.F./S.I. = 120

1,059 /120 = 8.825 SQUARE INCHES OF DOWNSPOUT AREA
USE (1) 4" SQ. DOWNSPOUTS PER VILLA



STRUCTURAL ENGINEER
CIVIL ENGINEER
GENERAL CONTRACTOR
MECHANICAL ENGINEER
PLUMBING ENGINEER

CONSTRUCTION
As Noted on Plans Review

SM ENGINEERING
GENERAL CONTRACTOR
LATIMER SOMMERS &

SM E SM E GEN LATING GEN LATING ASS ASS

anguard Villas

TR,i Architects
9812 Manchester Road
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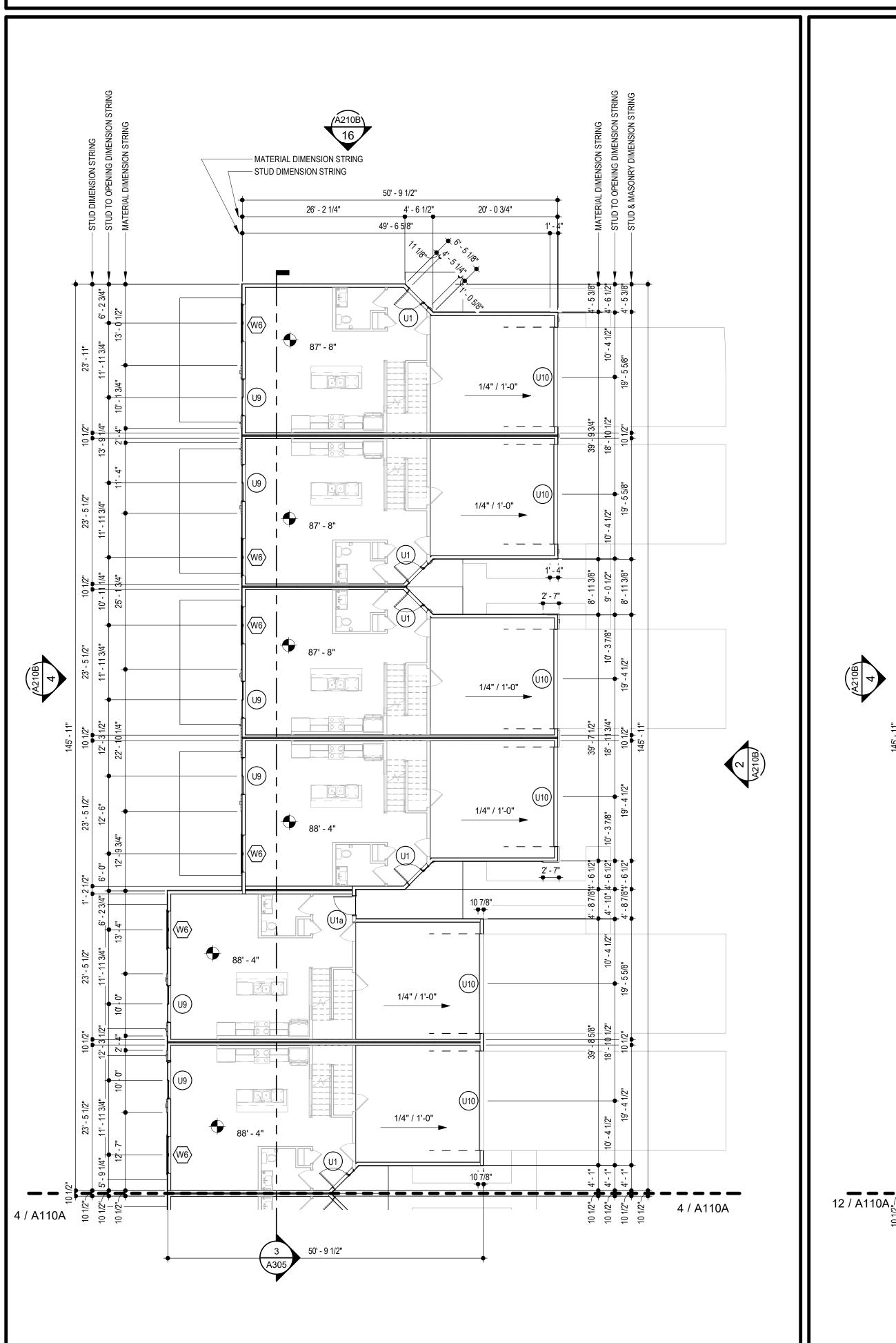
DATE:
9.2.2021

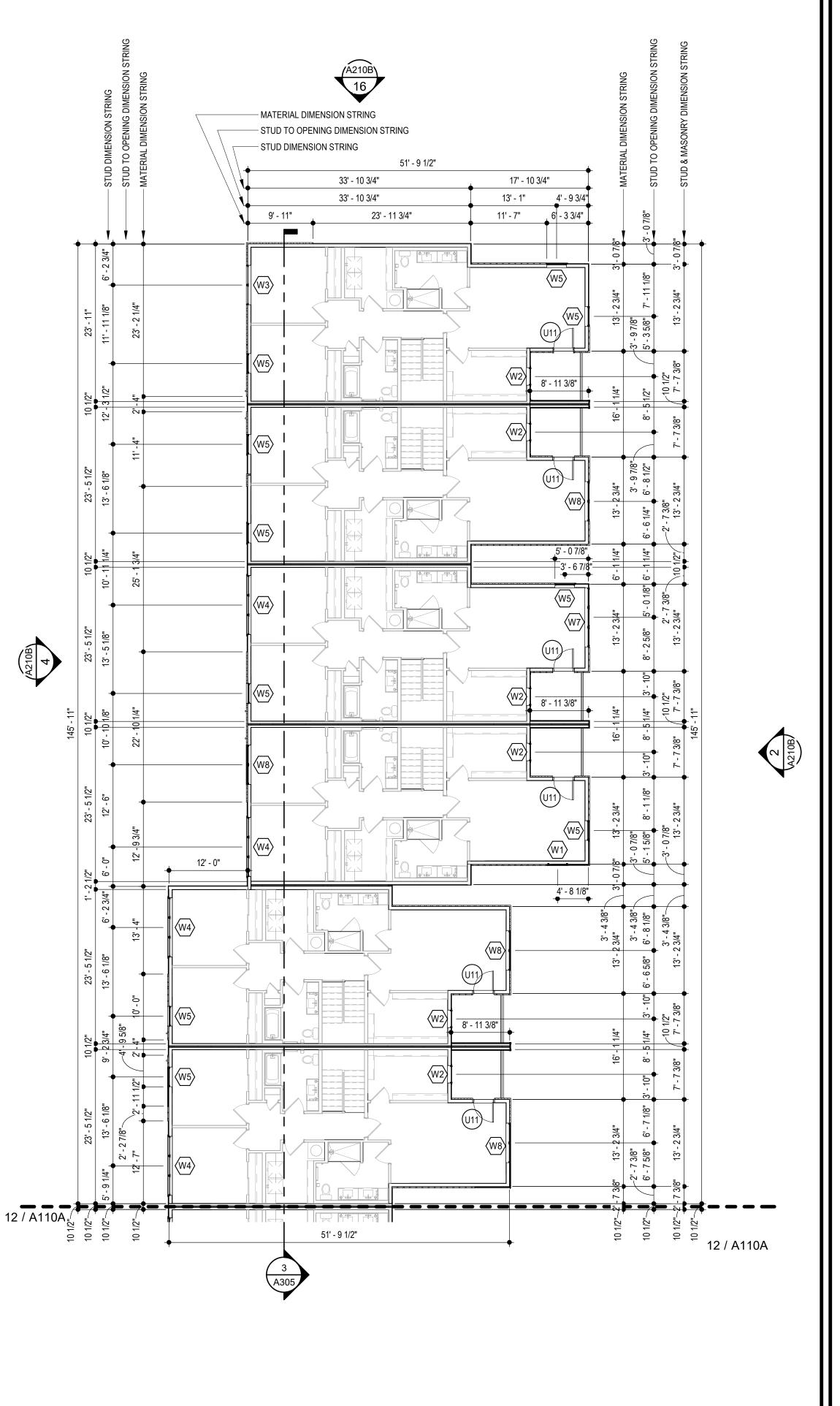
REVISIONS
#

2 ADDENDUM 1 11.12.2021

DWG BY
TR,i PROJECT NO.

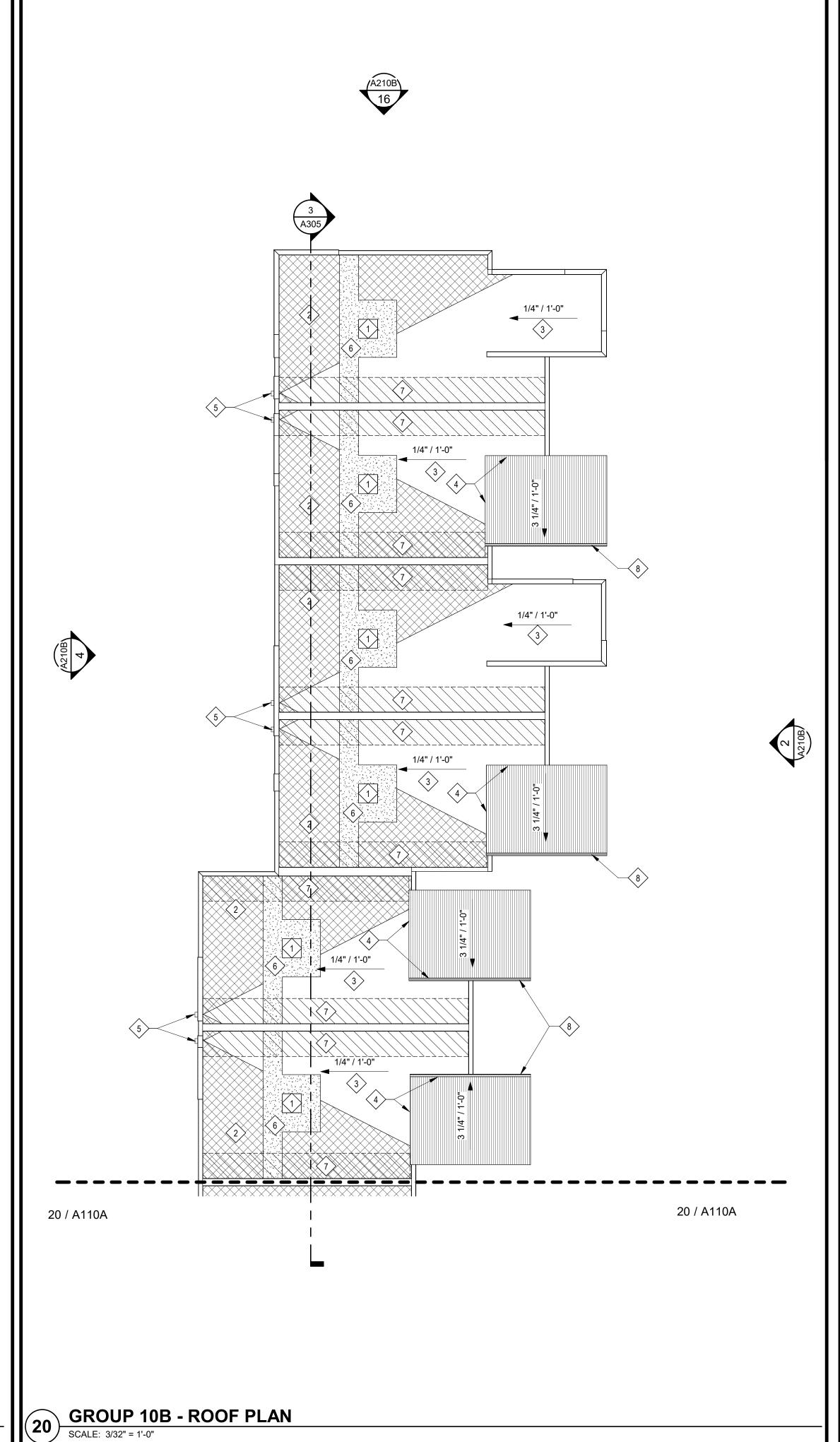
TR,i PROJECT NO. 20
SHEET NO. A 110B





GROUP 10B - SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"



- A. DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY.
- B. FOR DOOR SCHEDULE SEE SHEET A040 XXX
- C. FOR WINDOW SCHEDULE SEE SHEET A050 \langle X \rangle
- D. FOR PARTITION TYPES SEE SHEET A030 X
- E. FOR UNIT INTERIOR PARTITION TYPES AND LOCATIONS REFER TO UNIT SHEETS (A400 THROUGH A401).
- F. GENERAL CONTRACTOR WILL FURNISH & INSTALL 5 LB MULTIPURPOSE DRY CHEMICAL 2A:10B:C RATED FIRE EXTINGUISHERS w/ MOUNTING BRACKETS & ACCESSORIES @ 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT IN PUBLIC SPACES AND CORRIDORS. A MINIMUM RATED 1A:10B:C FIRE EXTINGUISHER TO BE PROVIDED IN EACH UNIT.
- G. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 30-'0" MAXIMUM. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50'-0" IN EITHER DIRECTION. CONTROL JOINT SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING/FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
- H. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS.
- I. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.

- J. FINISH FLOOR ELEVATION AT GROUP 1 IS 100'-0" AND ALL OTHER GROUPS ARE LABELED IN RELATION TO THAT LEVEL RE: CIVIL DRAWINGS FOR ALL GRADE INFORMATION.
- K. 5" CONCRETE FLOOR SLAB WITH 6"x6" W1.4xW1.4 W.W.F. ON 10 MIL POLY FILM VAPOR BARRIER ON 4" GRANULAR
- FILL. RE: STRUCTURAL DWGS.
- L. NO PENETRATIONS WITHIN 4' OF FIRE WALLS. VERIFY IN FIELD. M. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK,

UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS, SPOT GRADING AT PERIMETER FOUNDATIONS

- N. THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
- O. * ASSUMED FIRST FLOOR FINISH FLOOR ELEVATION = 100.00'* VERIFY ACTUAL FINISH FLOOR ELEVATION WITH CIVIL
- P. GENERAL CONTRACTOR TO CAULK AND SEAL EXPANSION JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE SEE MASONRY SPECIFICATIONS.
- Q. GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIO/VISUAL DEVICES AND PULL STATIONS WHERE
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ROOF GENERAL NOTES

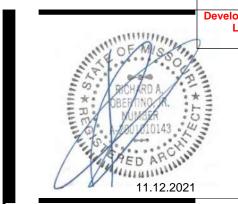
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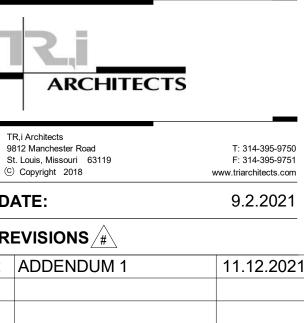
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- . CHANGE IN ROOF SLOPE AND/OR ELEVATION.
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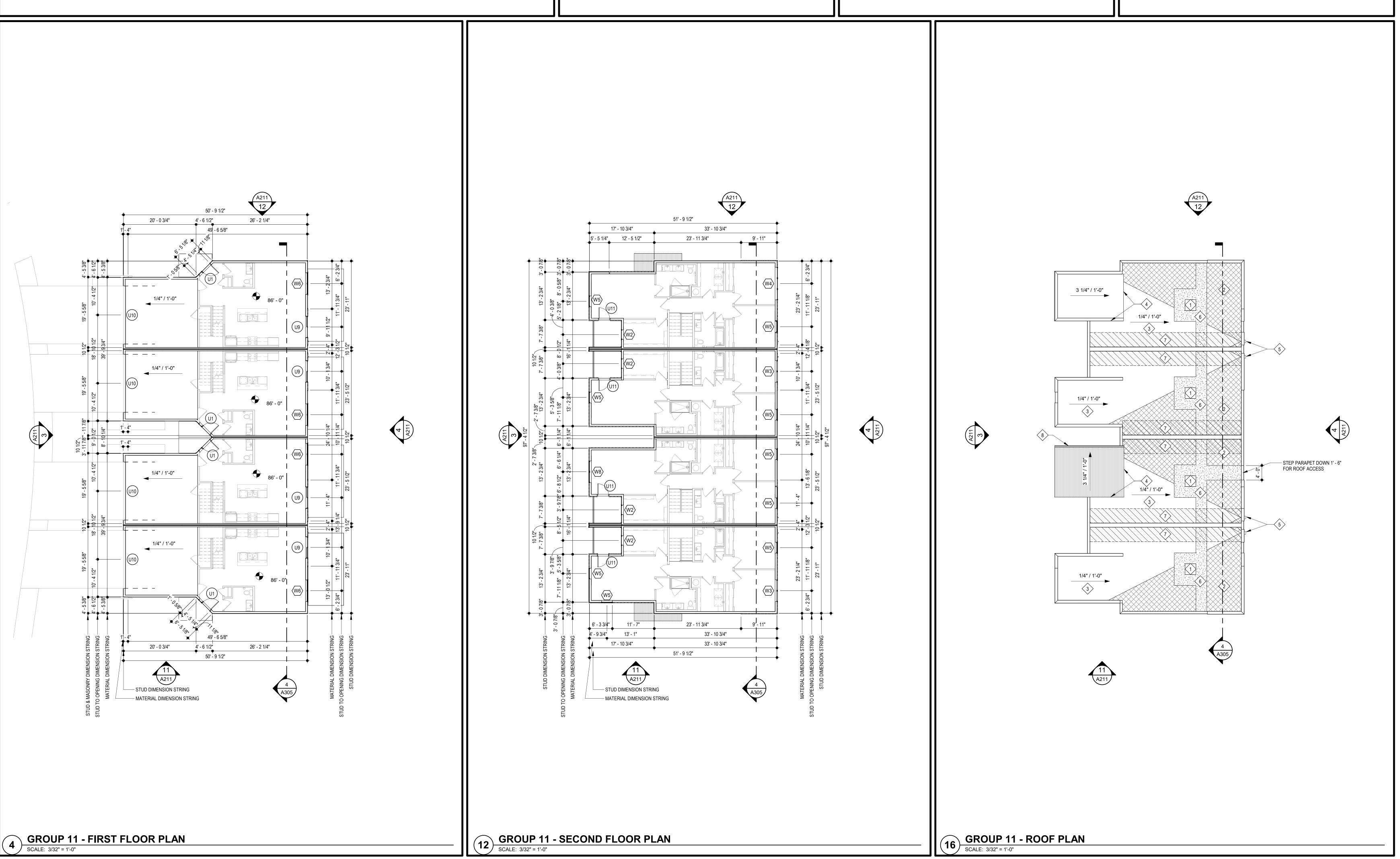


CONSTRUCTION
As Noted on Plans Review



REVISIONS /#\ 2 ADDENDUM 1 11.12.2021

TR,i PROJECT NO. SHEET NO.



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- H. COORDINATE LOCATION OF BEARING WALLS INSIDE DWELLING UNITS WITH UNIT PLANS.

GROUP 12 - FIRST FLOOR PLAN

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ROOF KEYED NOTES (#)

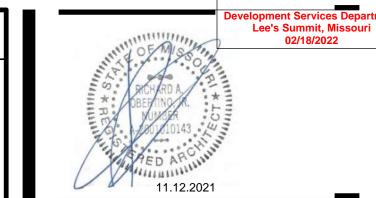
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- 2. TAPERED CRICKETS AS REQUIRED. SLOPE 1/2" PER FOOT MINIMUM.

COUNTER FLASHING PER ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.

- 3. FULLY ADHERED T.P.O. ROOF MEMBRANE.
- 4. CHANGE IN ROOF SLOPE AND/OR ELEVATION. 5. THRU-WALL ROOF SCUPPER WITH OVERFLOW.
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DOWNSPOUT CALC

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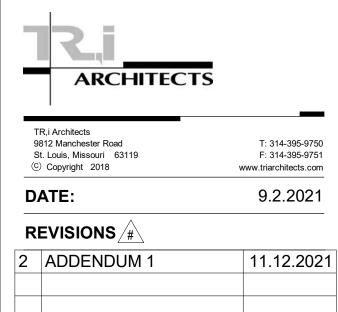
CONSTRUCTION
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STEP PARAPET DOWN 1' - 6" FOR ROOF ACCESS

3 1/4" / 1'-0"

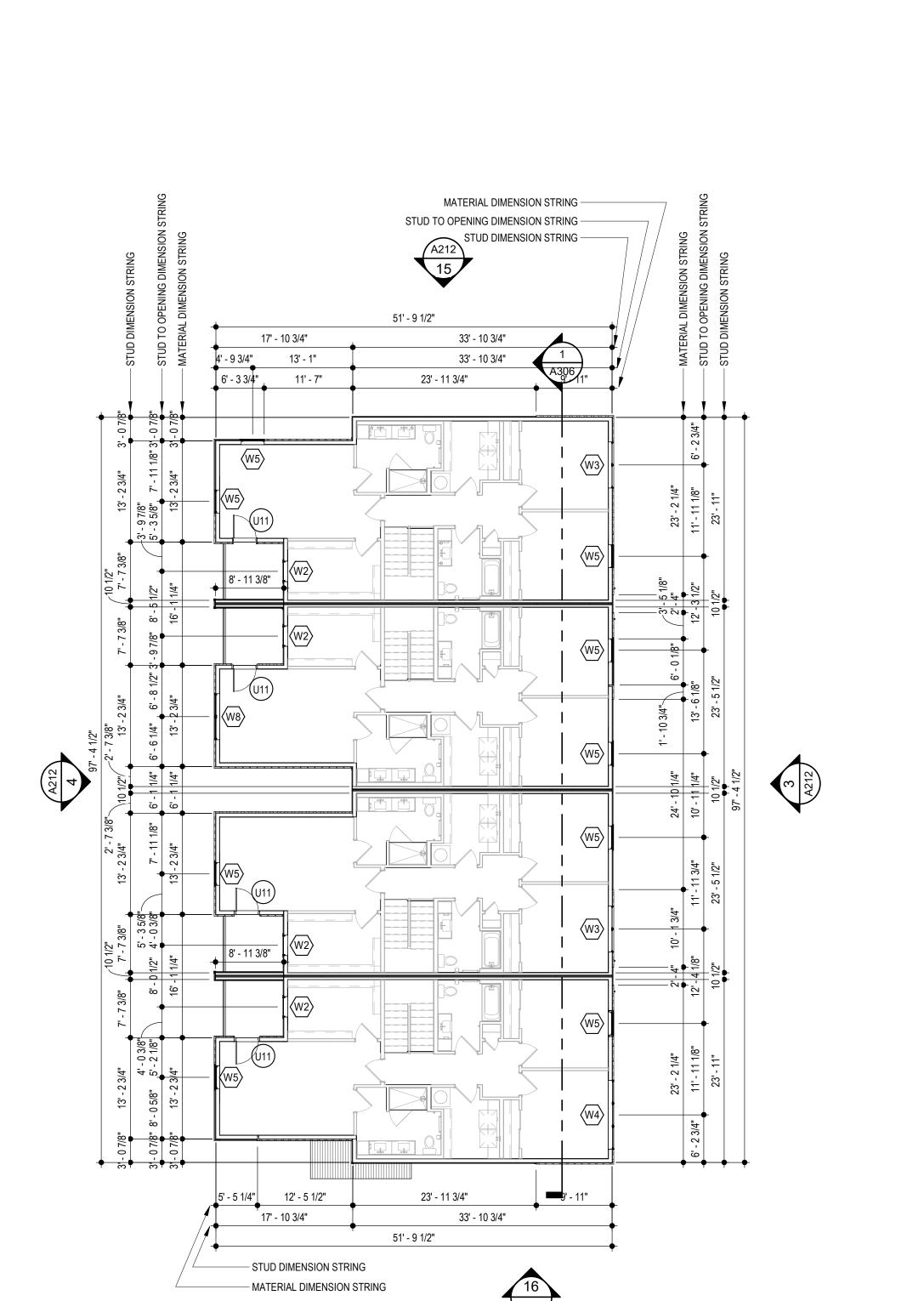
GROUP 12 - ROOF PLAN

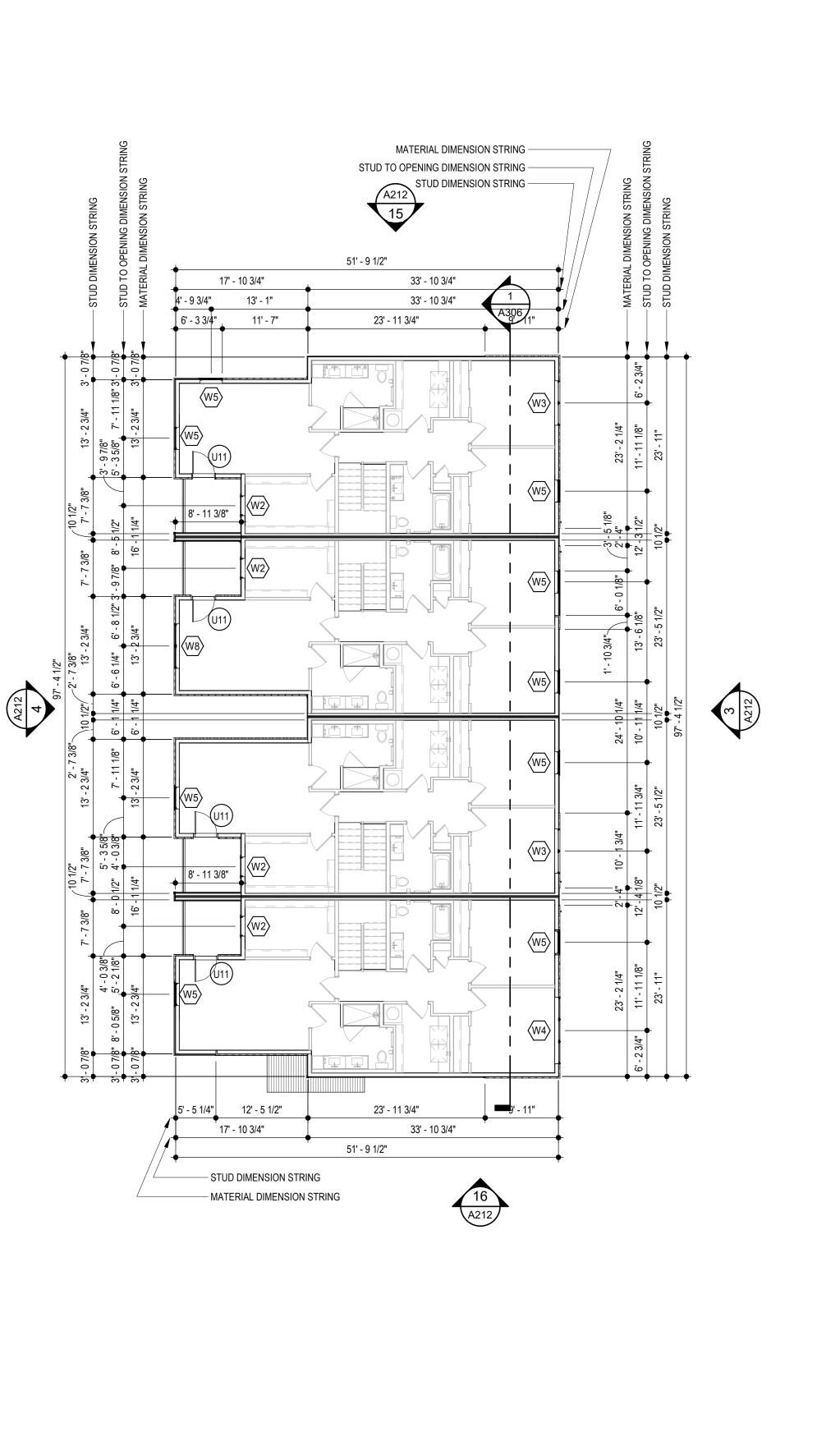
SCALE: 3/32" = 1'-0"

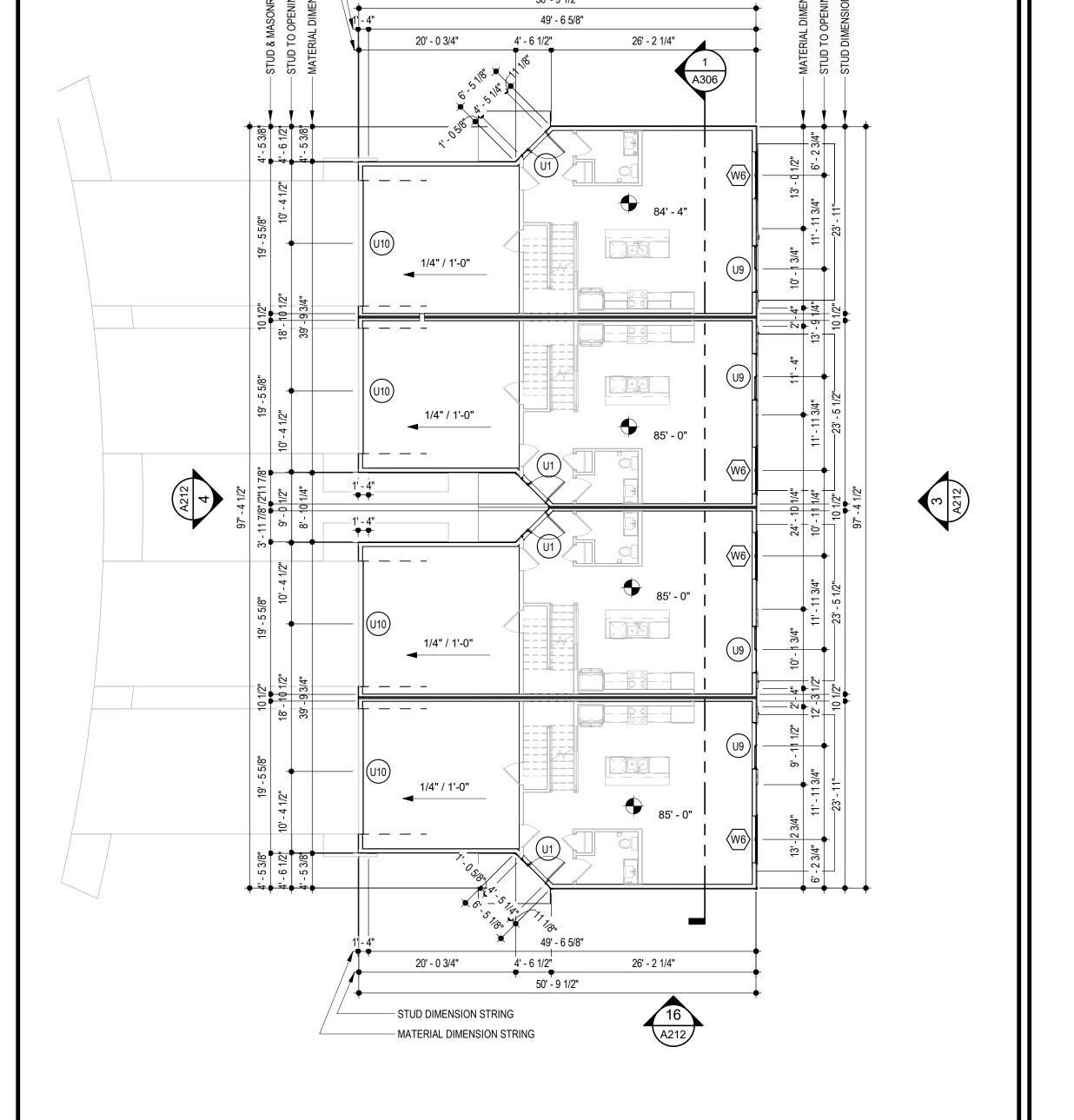


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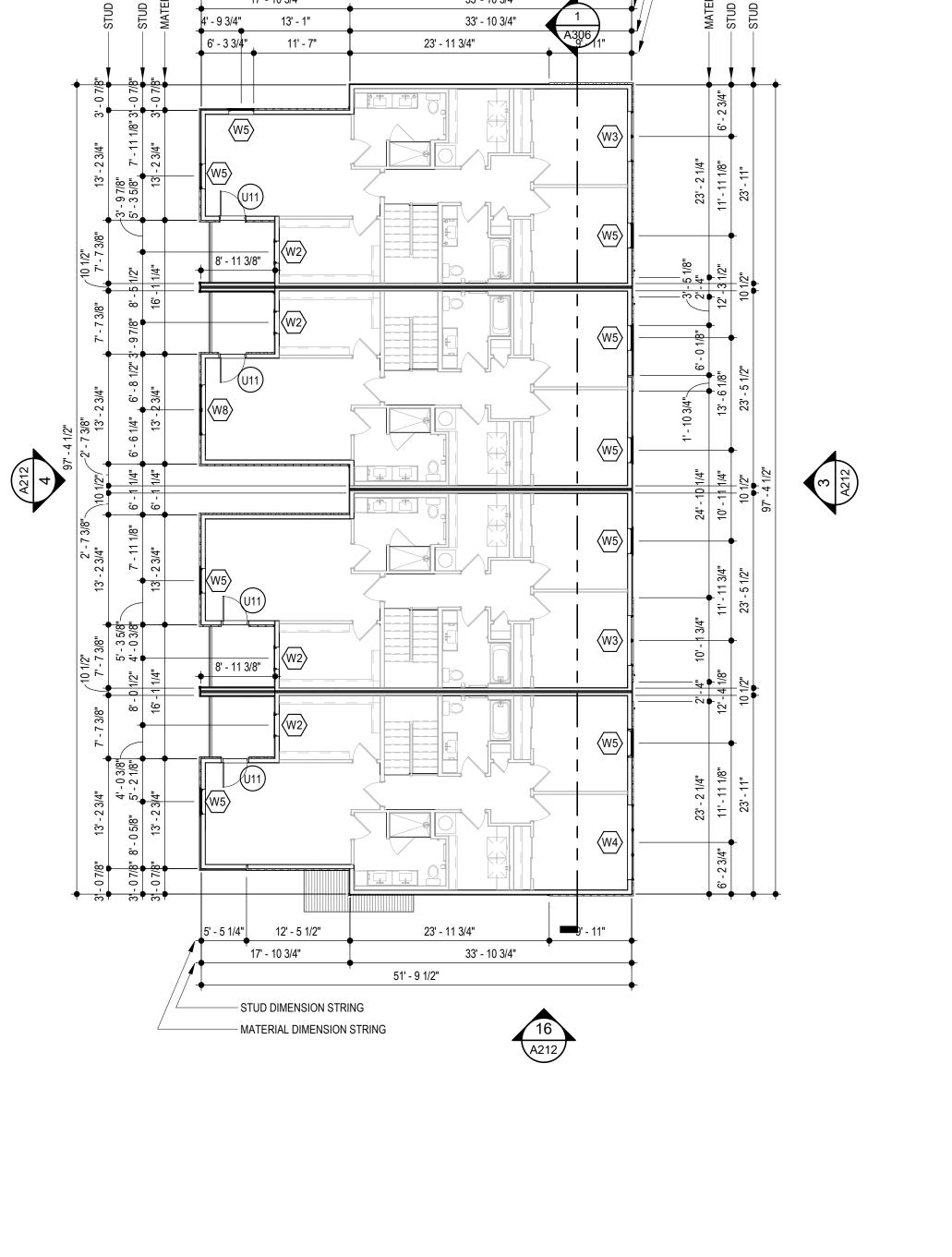






- STUD DIMENSION STRING

— MATERIAL DIMENSION STRING



GROUP 12 - SECOND FLOOR PLAN

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ROOF KEYED NOTES

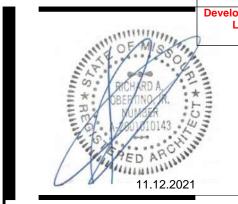
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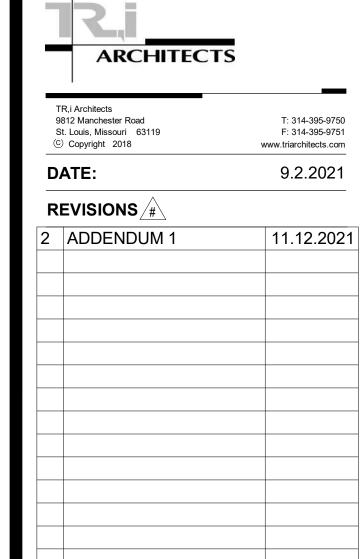
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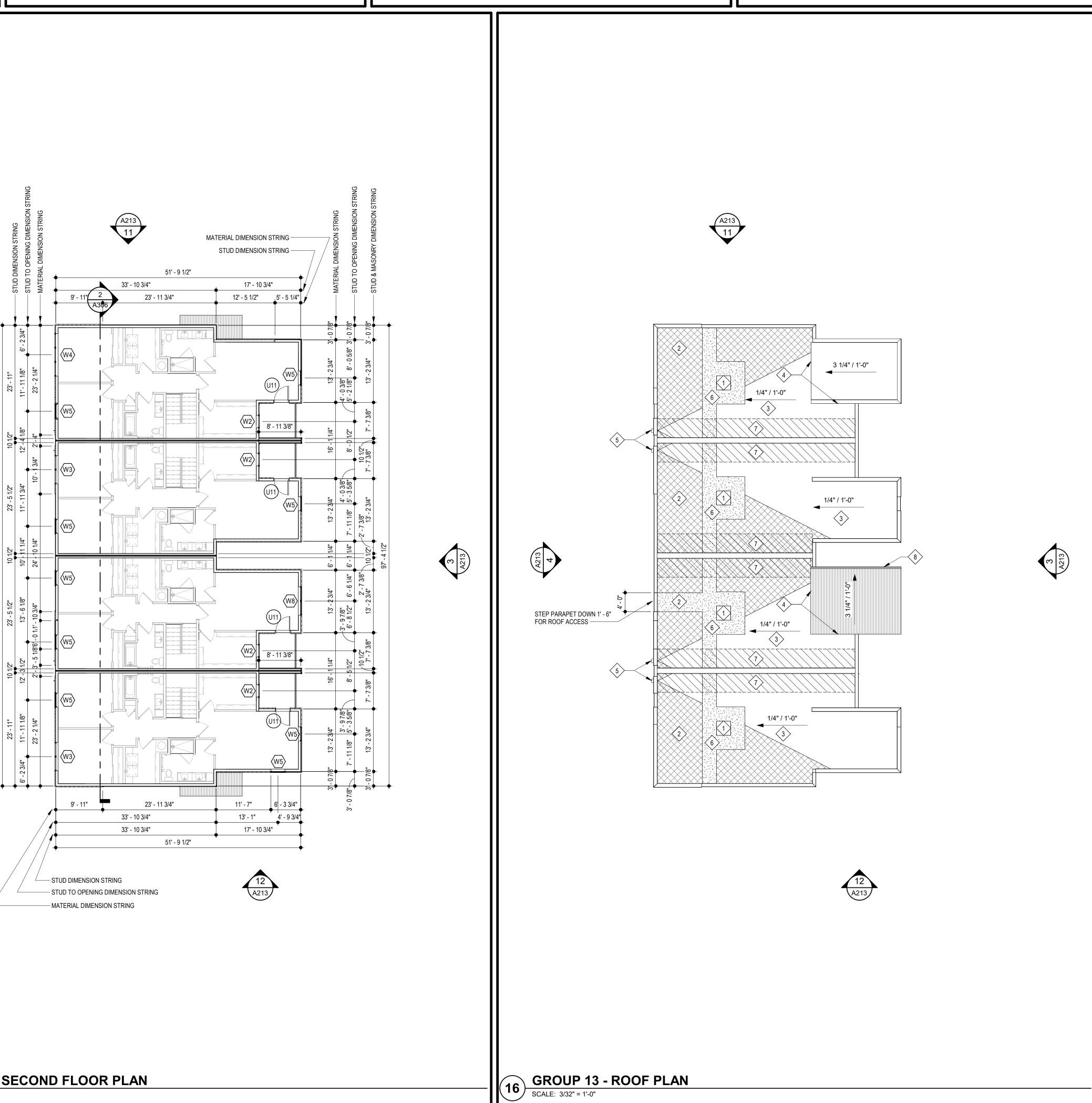
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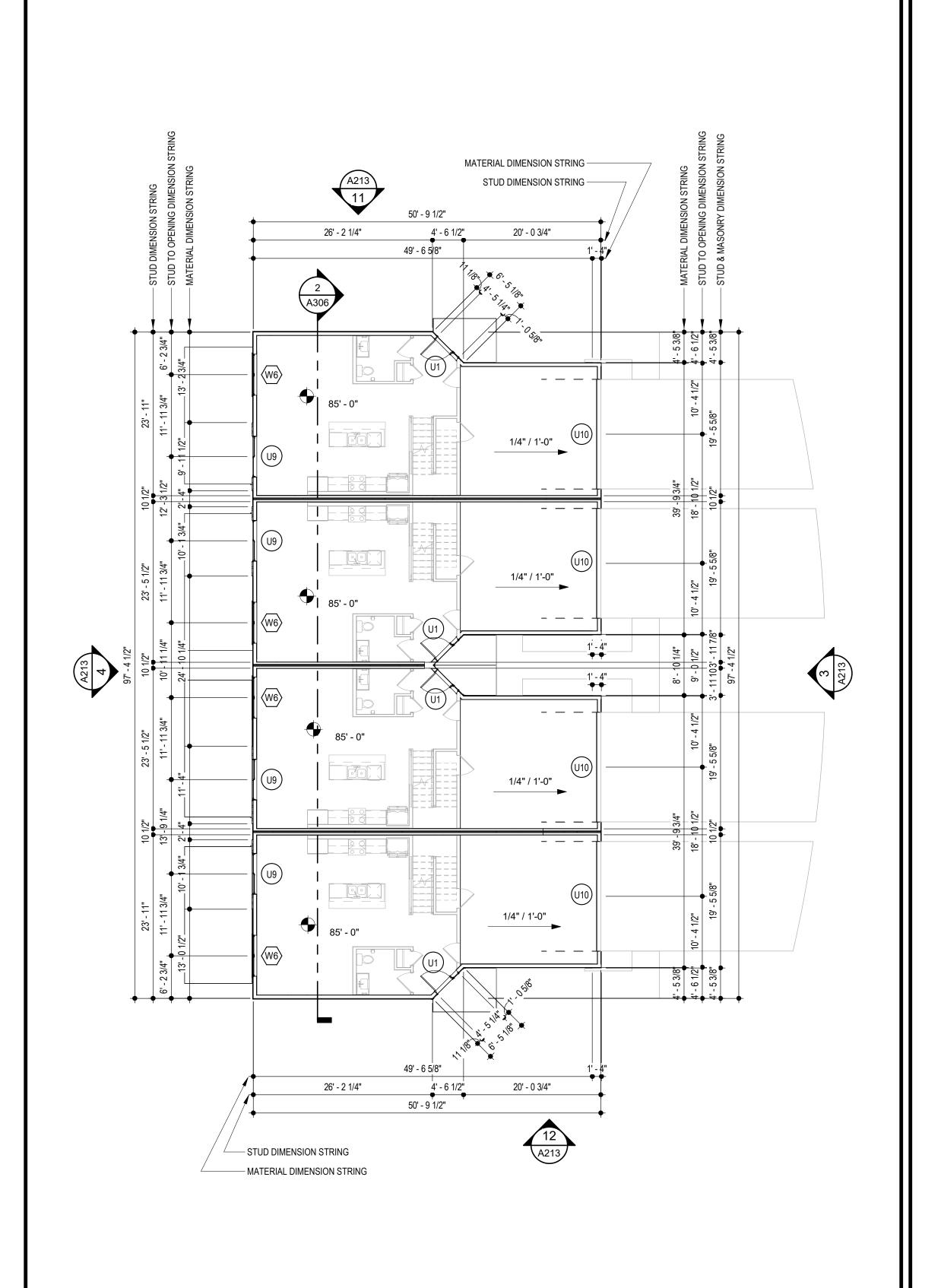


CONSTRUCTION
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TR,i PROJECT NO. SHEET NO.





4 GROUP 13 - FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"

GROUP 13 - SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"

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- C. FOR WINDOW SCHEDULE SEE SHEET A050 (X)
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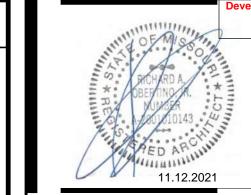
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- B. EXHAUST FANS AND VENTS TO BE LOCATED A MINIMUM OF 10'-0" FROM RTU's.
- INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE
- D. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE INSTALLATION OF ALL FLASHING, BLOCKING, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR A COMPLETE, WARRANTED AND WATERTIGHT INSTALLATION.
- ALL ROOF SLOPES ARE TO HAVE A MINIMUM OF 1/4" FALL WHERE CRICKETS AND VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT

ROOF KEYED NOTES (#)

- PROVIDE TAPERED CRICKETS AT ALL ROOF TOP UNITS, SLOPE 1/2" PER FOOT MINIMUM. INSTALL FLASHING AND COUNTER FLASHING PER ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- TAPERED CRICKETS AS REQUIRED. SLOPE 1/2" PER FOOT MINIMUM.
- . FULLY ADHERED T.P.O. ROOF MEMBRANE.
- CHANGE IN ROOF SLOPE AND/OR ELEVATION. THRU-WALL ROOF SCUPPER WITH OVERFLOW.
- PROVIDE WALKWAY PADS FROM ROOF ACCESS TO ALL ROOFTOP EQUIPMENT.
- ROOF SHEATHING TO BE CONSTRUCTED OF FIRE RETARDANT TREATED WOOD 4'-0" EACH SIDE OF FIRE WALL, NO PENETRATIONS ALLOWED IN THIS AREA
- GUTTER TO DOWNSPOUT TO MAIN ROOF

DOWNSPOUT CALC

AREA OF 1 VILLA: 1,059 S.F. / 1 DOWNSPOUTS = 1,058 S.F./D.S. (SMACNA) TABLE 1-2 - 100 YEAR S.F./S.I. = 120 1,059 /120 = 8.825 SQUARE INCHES OF DOWNSPOUT AREA USE (1) 4" SQ. DOWNSPOUTS PER VILLA



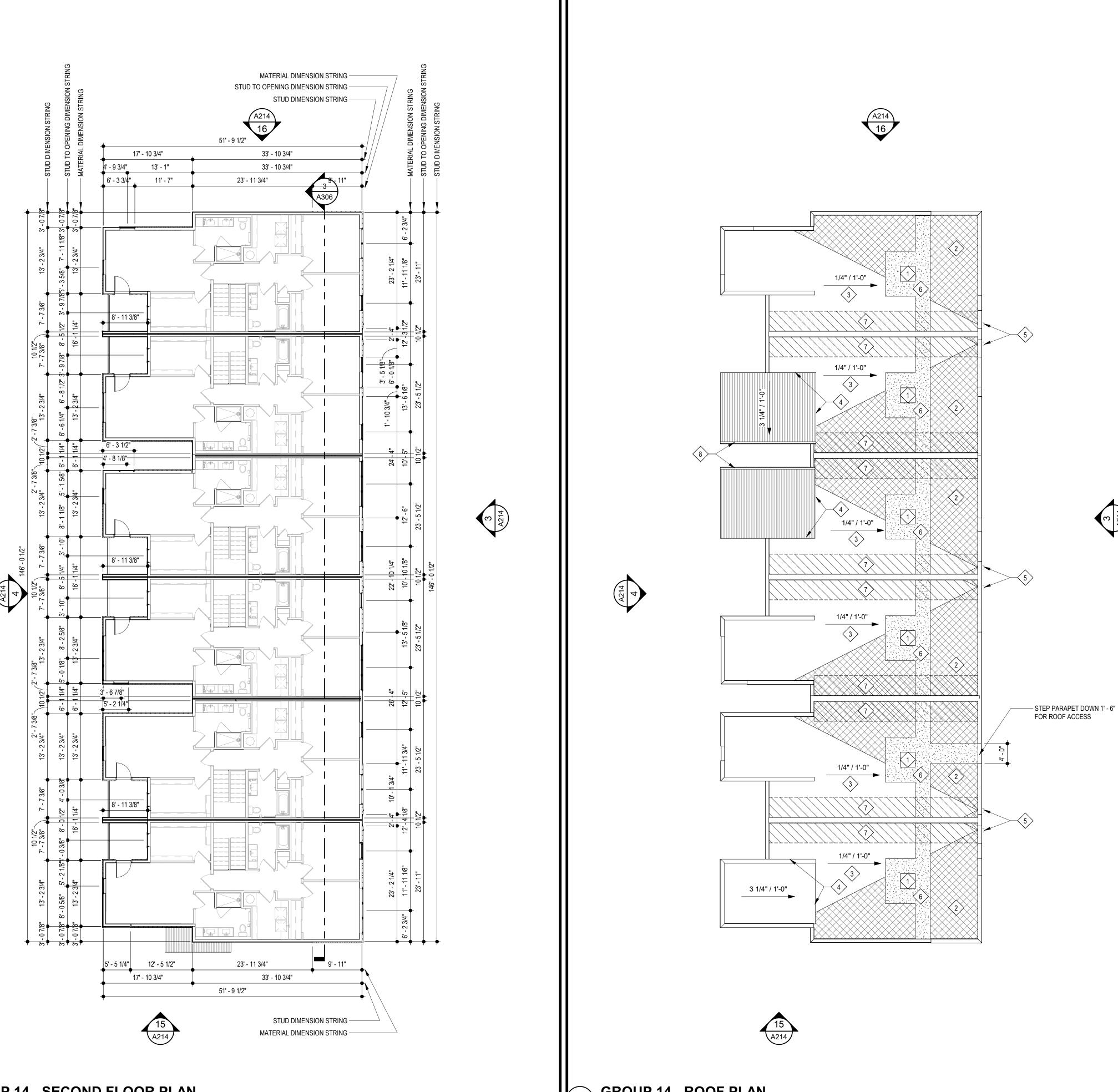
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Q. GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL R. FIRE RETARDANT TREATED WOOD PERMITTED TO BE USED IN LOCATIONS SPECIFIED IN TABLE 602, NOTE D AND SECTION 603.2 AND 2310.0. VERIFY SECTIONS IN 2018 IBC.

S. ALL OPENING DIMENSIONS ARE TO CENTERLINE OF OPENING.

C. ALL ROOF EQUIPMENT TO BE MOUNTED ON CURBS. MECHANICAL SUBCONTRACTOR TO COORDINATE MANUFACTURER. GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED BLOCKING, NAILING, ETC. AS REQUIRED FOR A WATERTIGHT BUILDING.

I. REFER TO LIFE SAFETY PLANS FOR ADDITIONAL INFORMATION ON FIRE RATED PARTITION LOCATIONS.

MATERIAL DIMENSION STRING -

STUD DIMENSION STRING -4' - 6 1/2" 20' - 0 3/4" 26' - 2 1/4" 49 - 6 5/8"

A306 4' - 5 3/8' 4' - 6 1/2' 4' - 5 3/8'

1/4" / 1'-0"

1/4" / 1'-0"

1/4" / 1'-0"

1/4" / 1'-0"

1/4" / 1'-0"

4' - 6 1/2" 20' - 0 3/4" 26' - 2 1/4"

STUD DIMENSION STRING -

MATERIAL DIMENSION STRING -

GROUP 14 - FIRST FLOOR PLAN

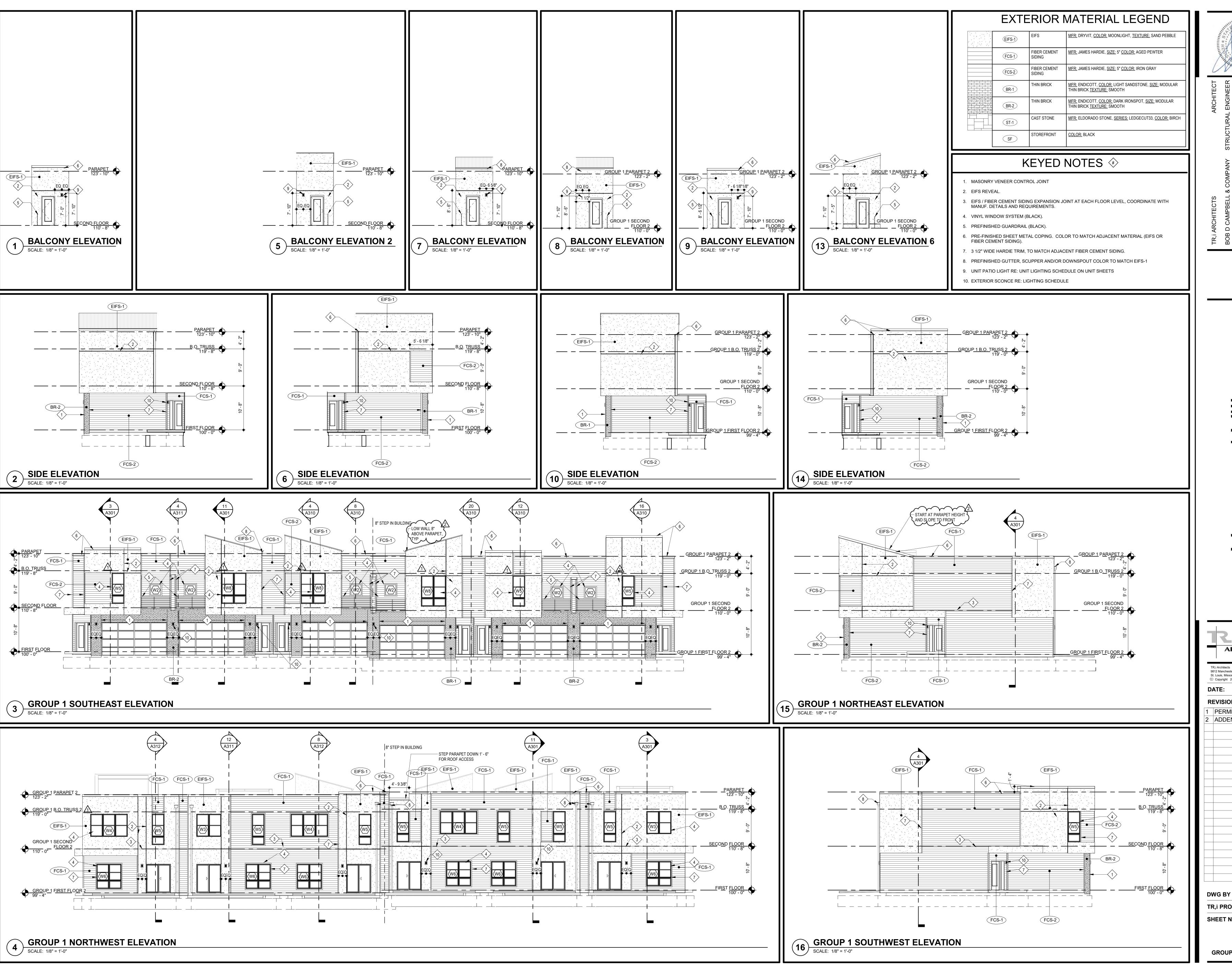
SCALE: 3/32" = 1'-0"

GROUP 14 - SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"

GROUP 14 - ROOF PLAN

SCALE: 3/32" = 1'-0"



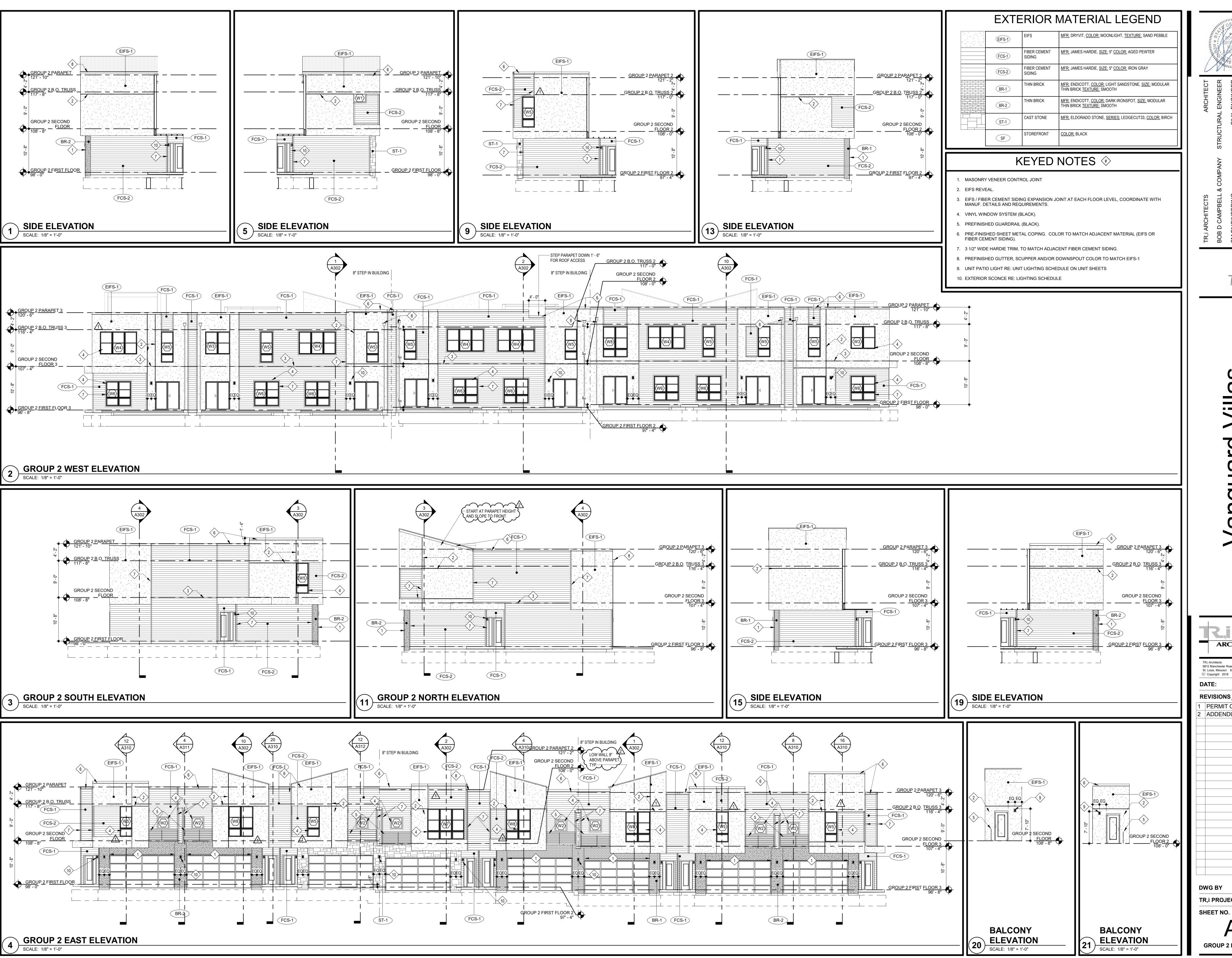
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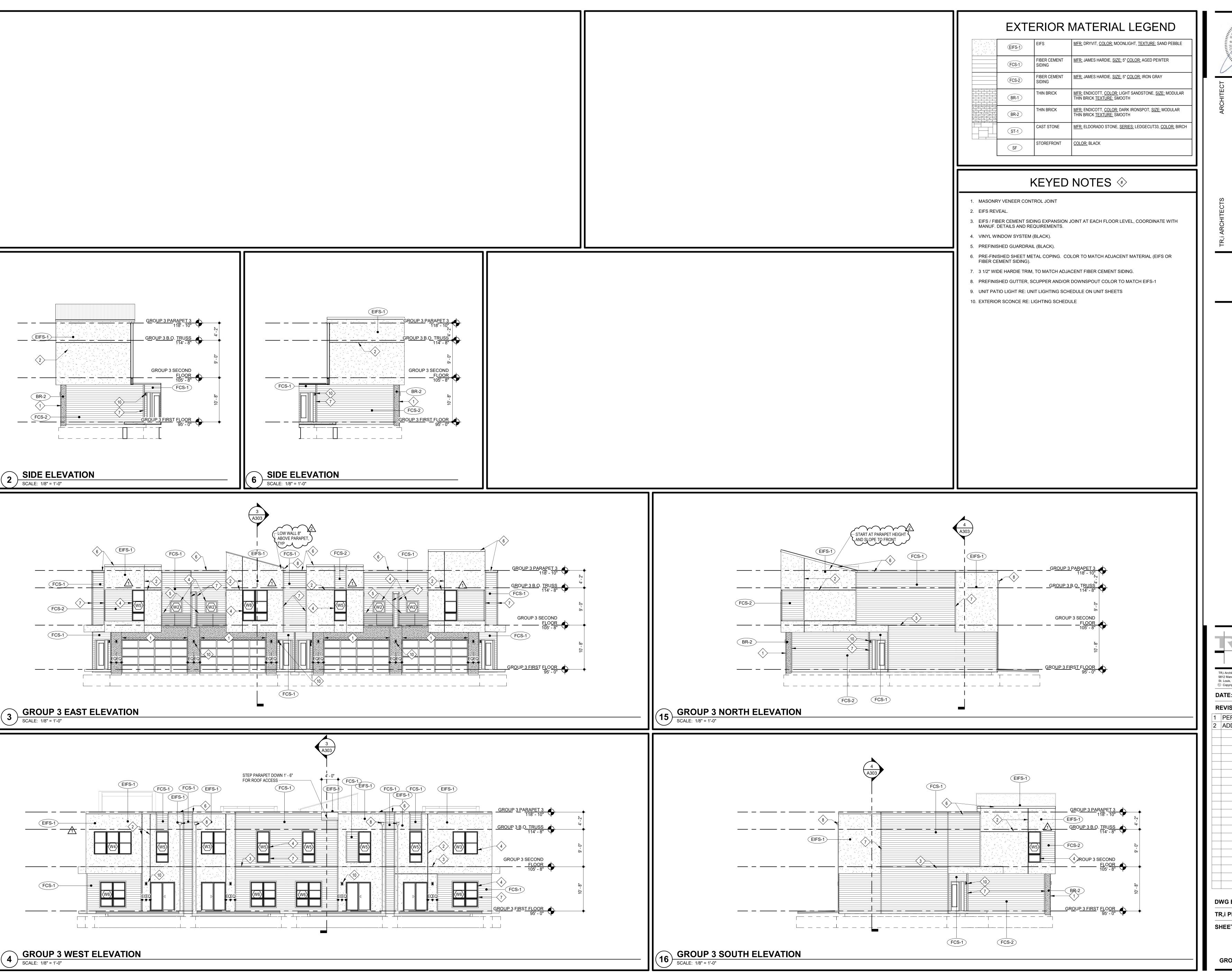
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GROUP 2 EXTERIOR ELEVATIONS



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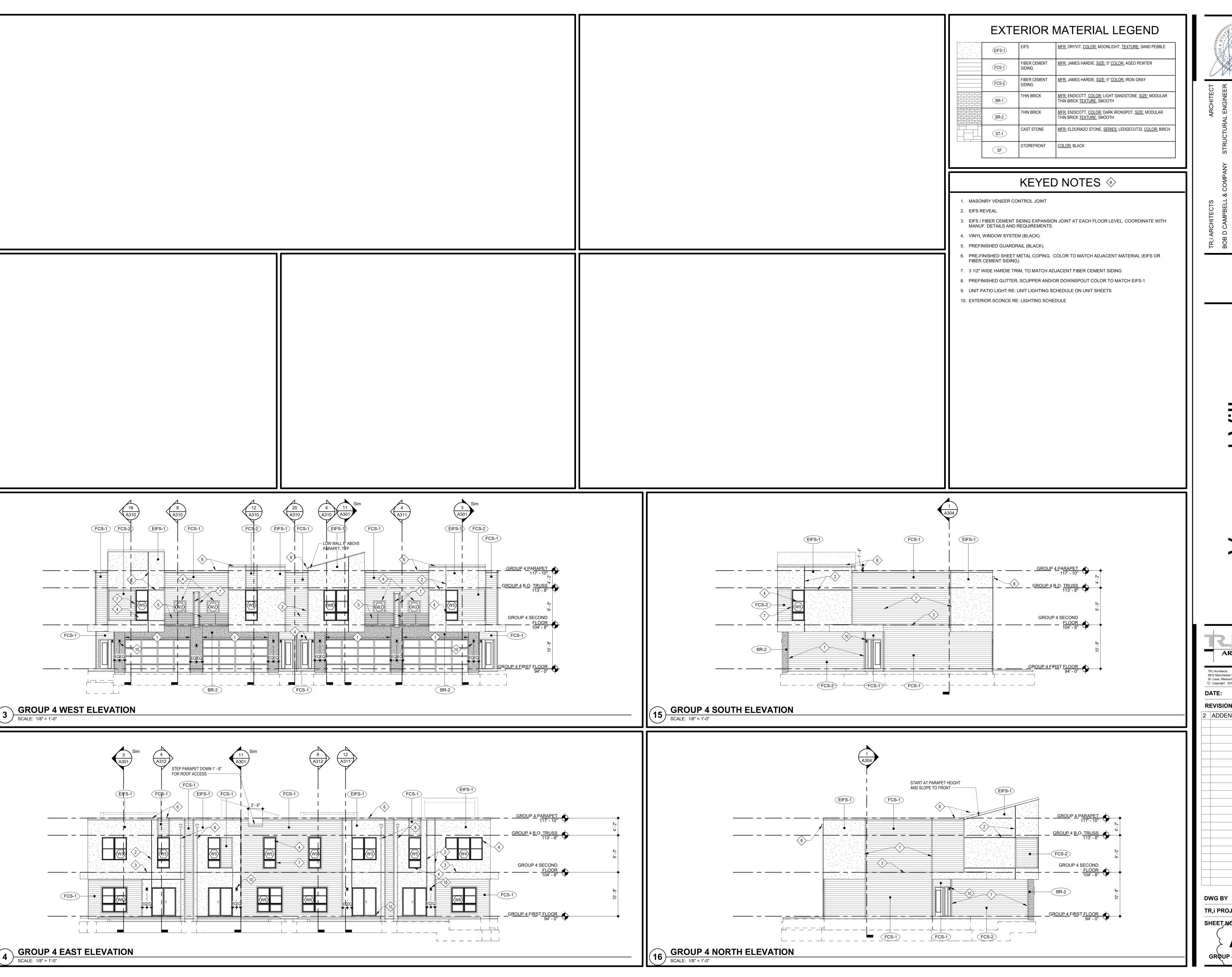
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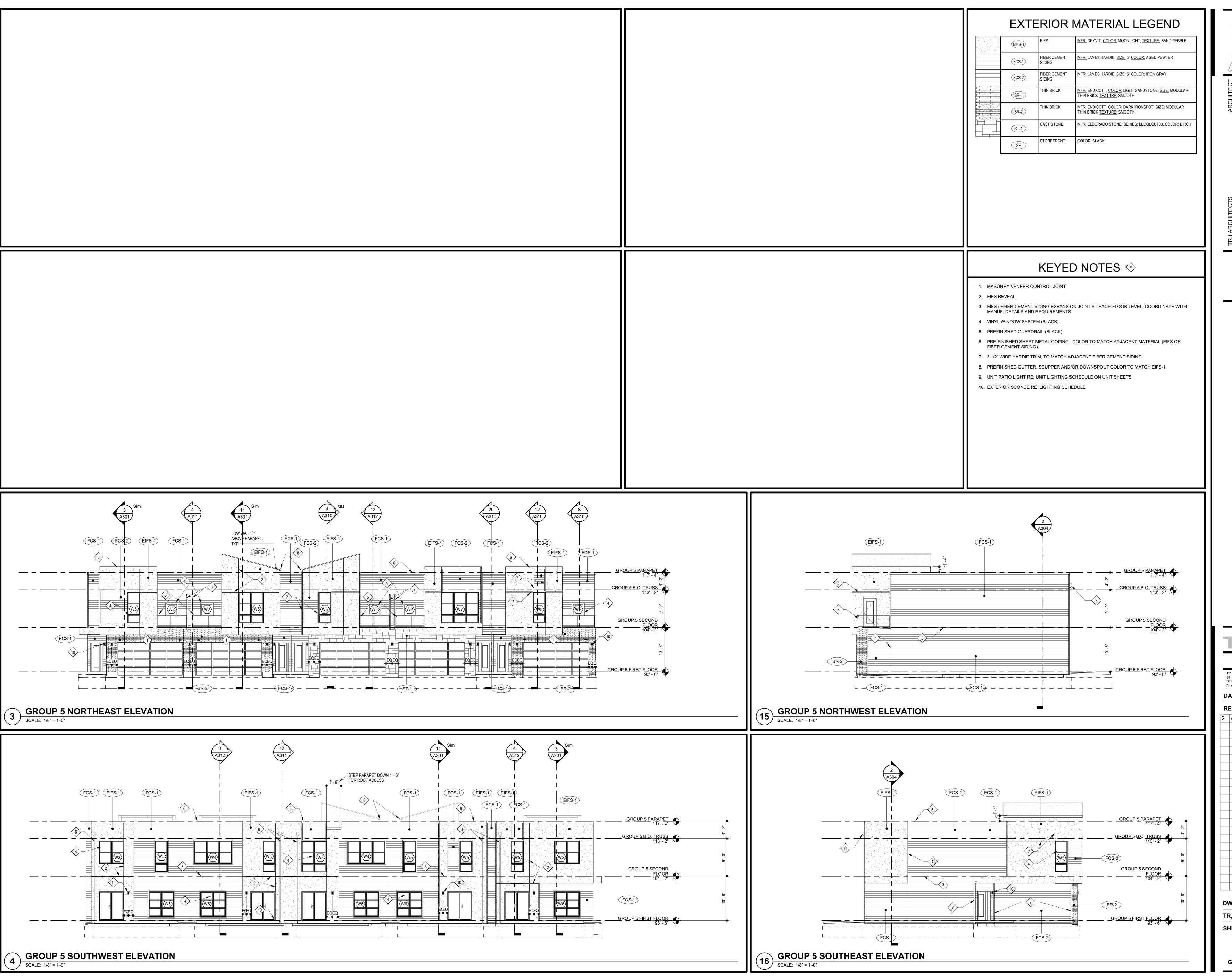


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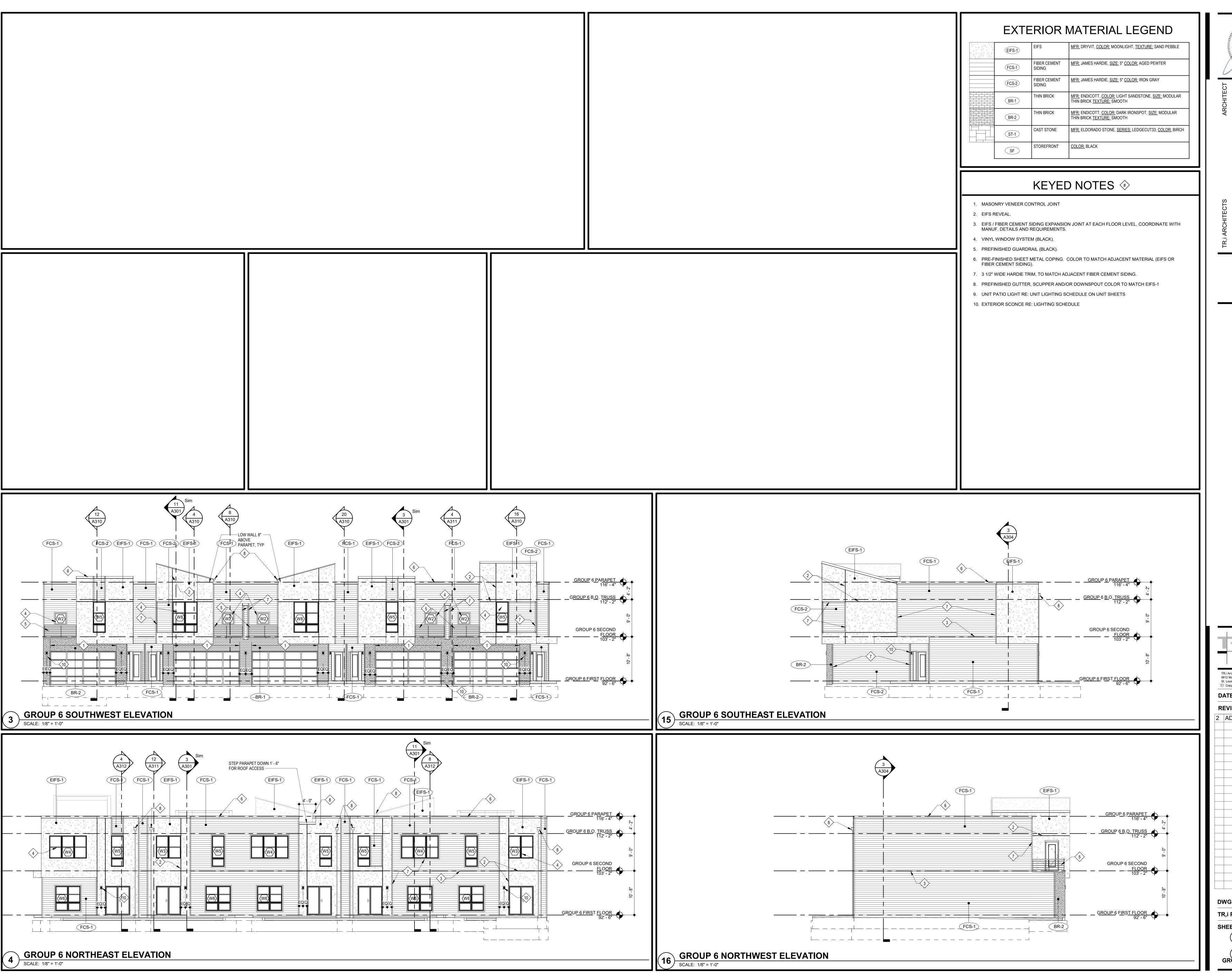
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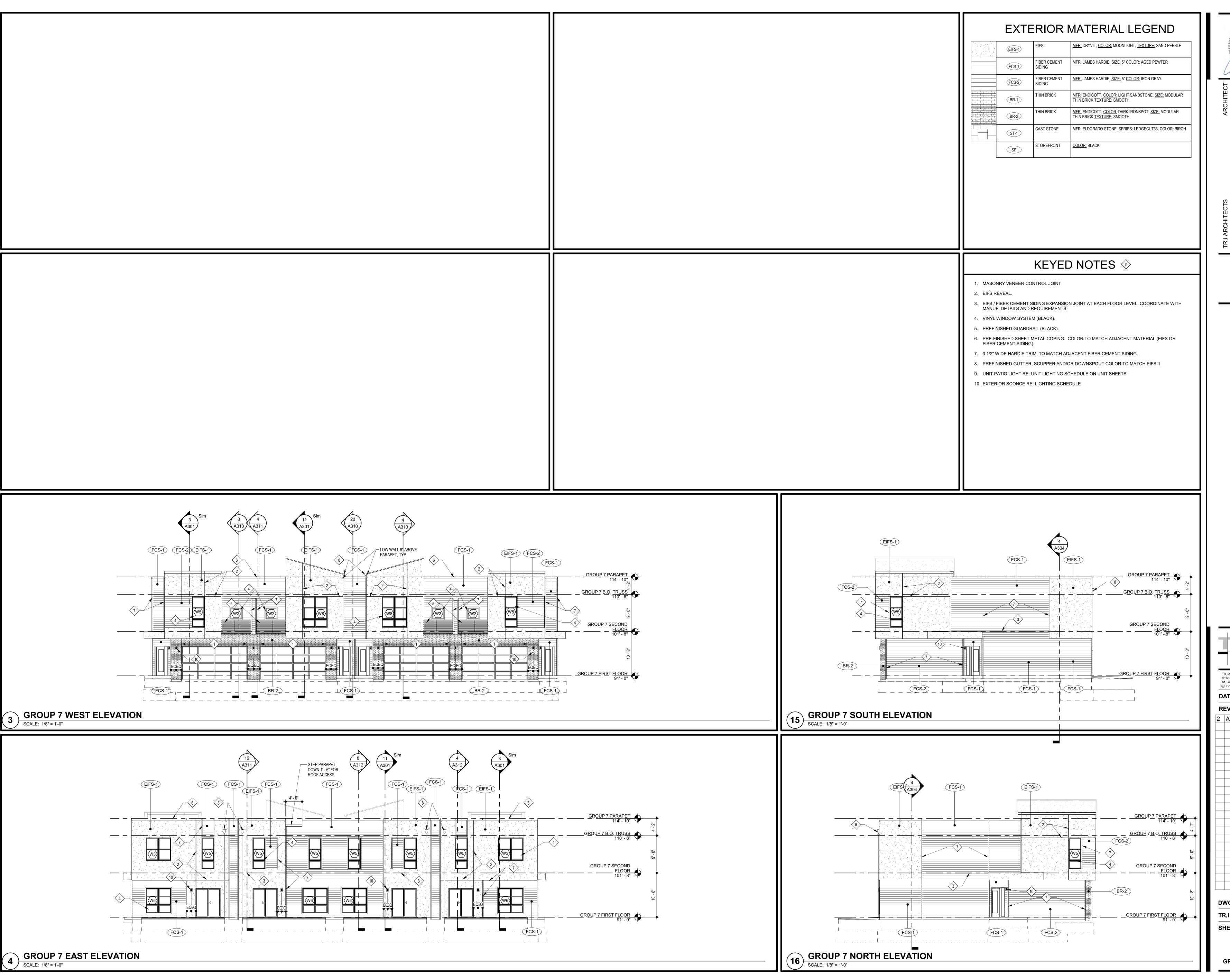
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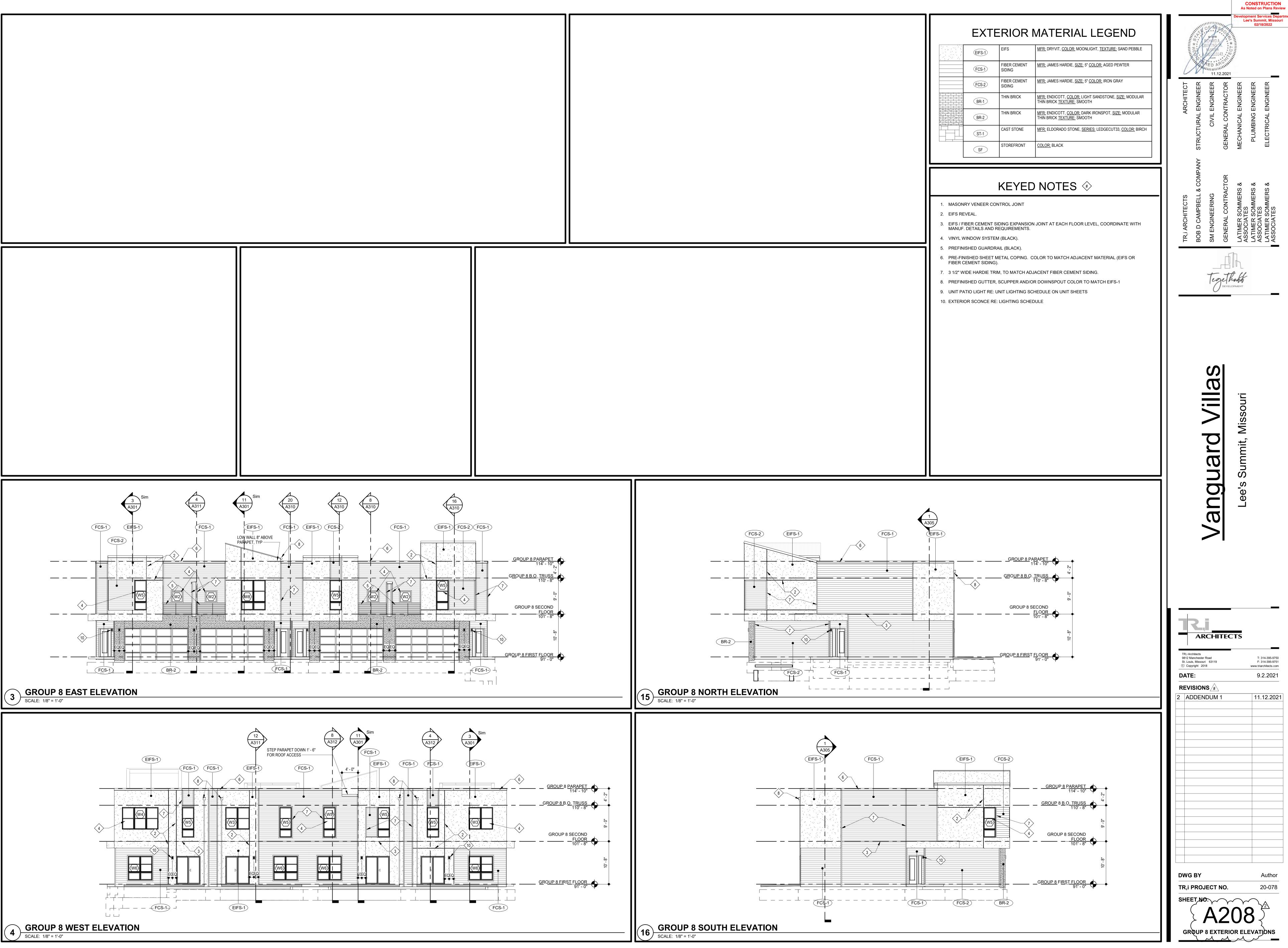
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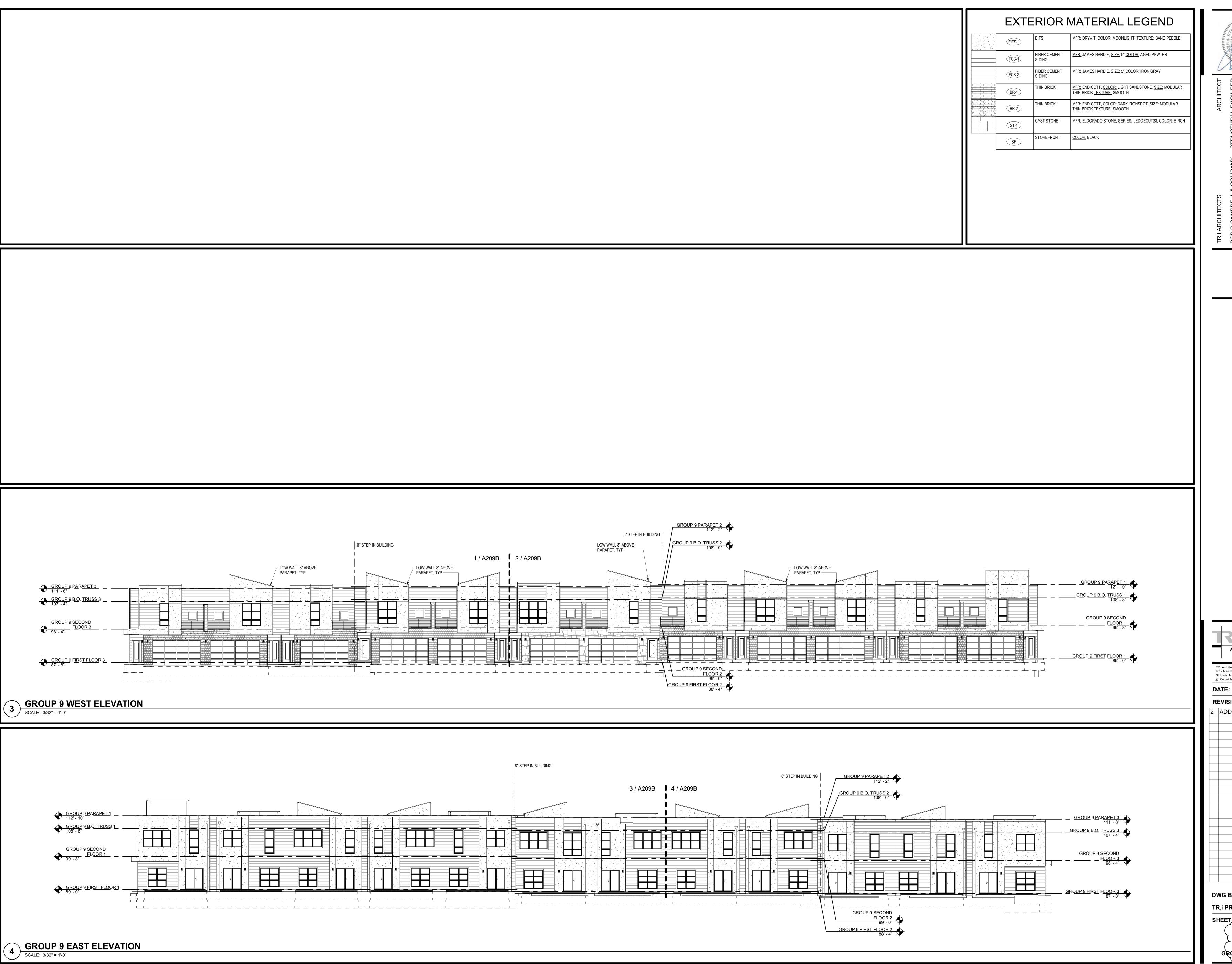
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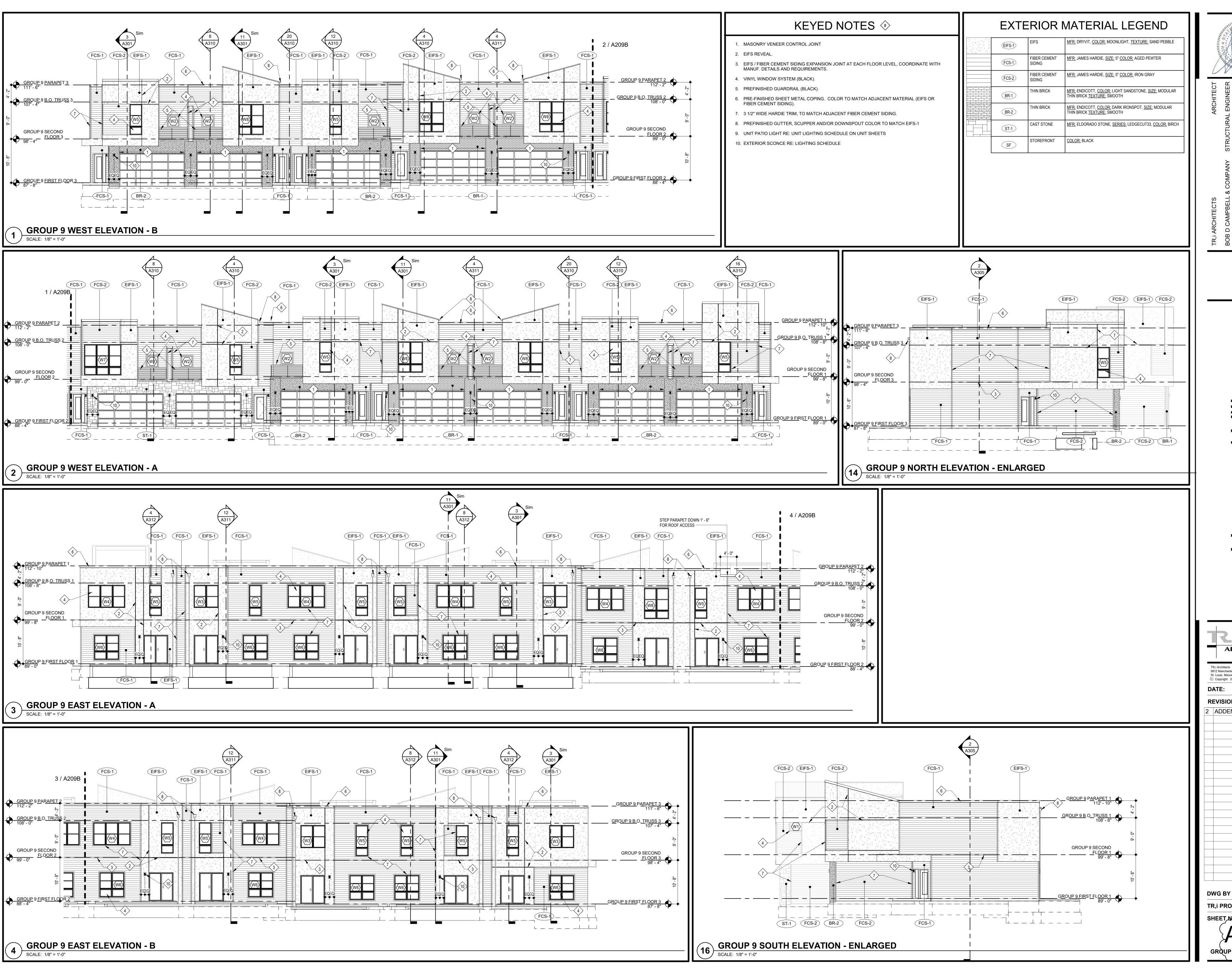
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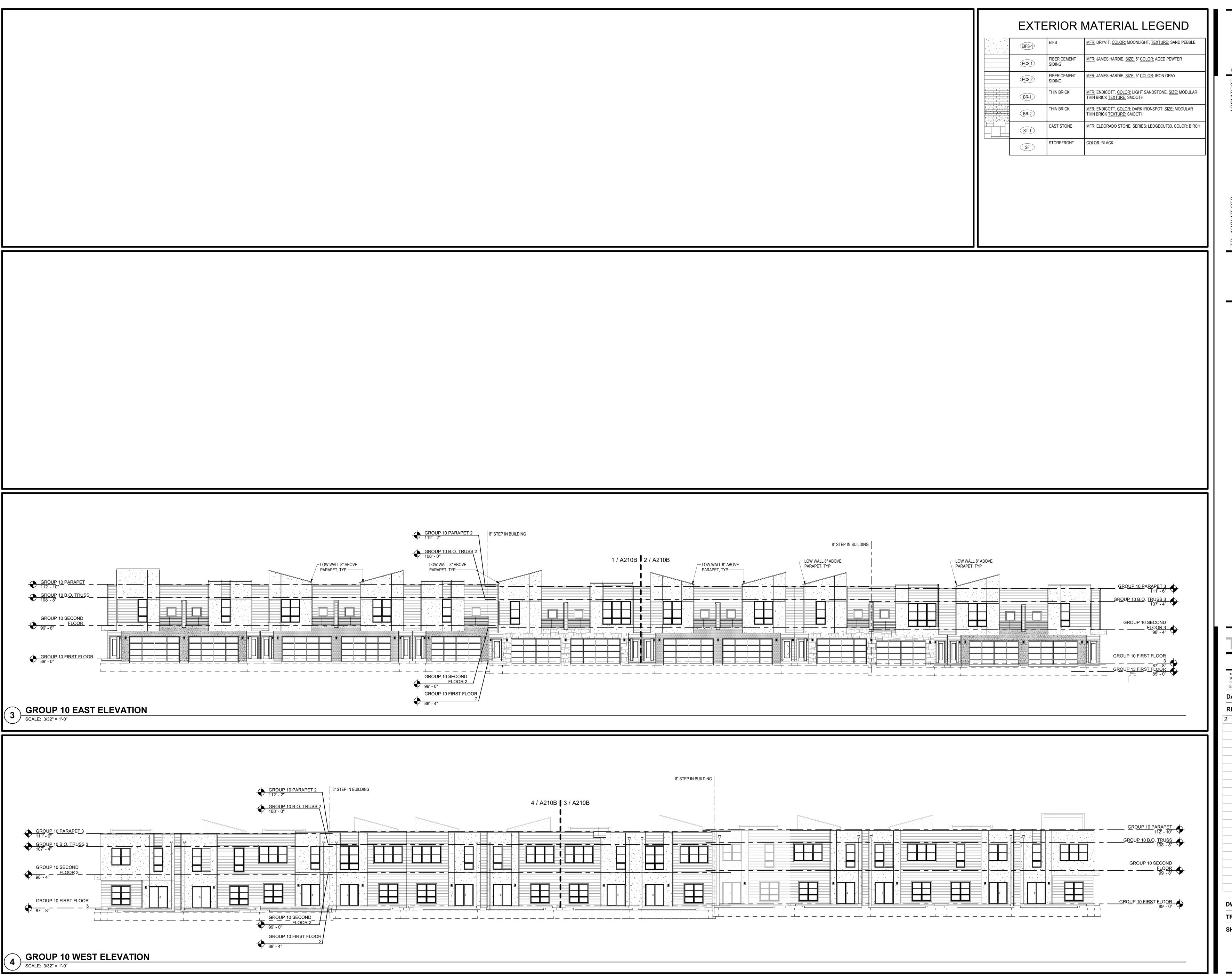
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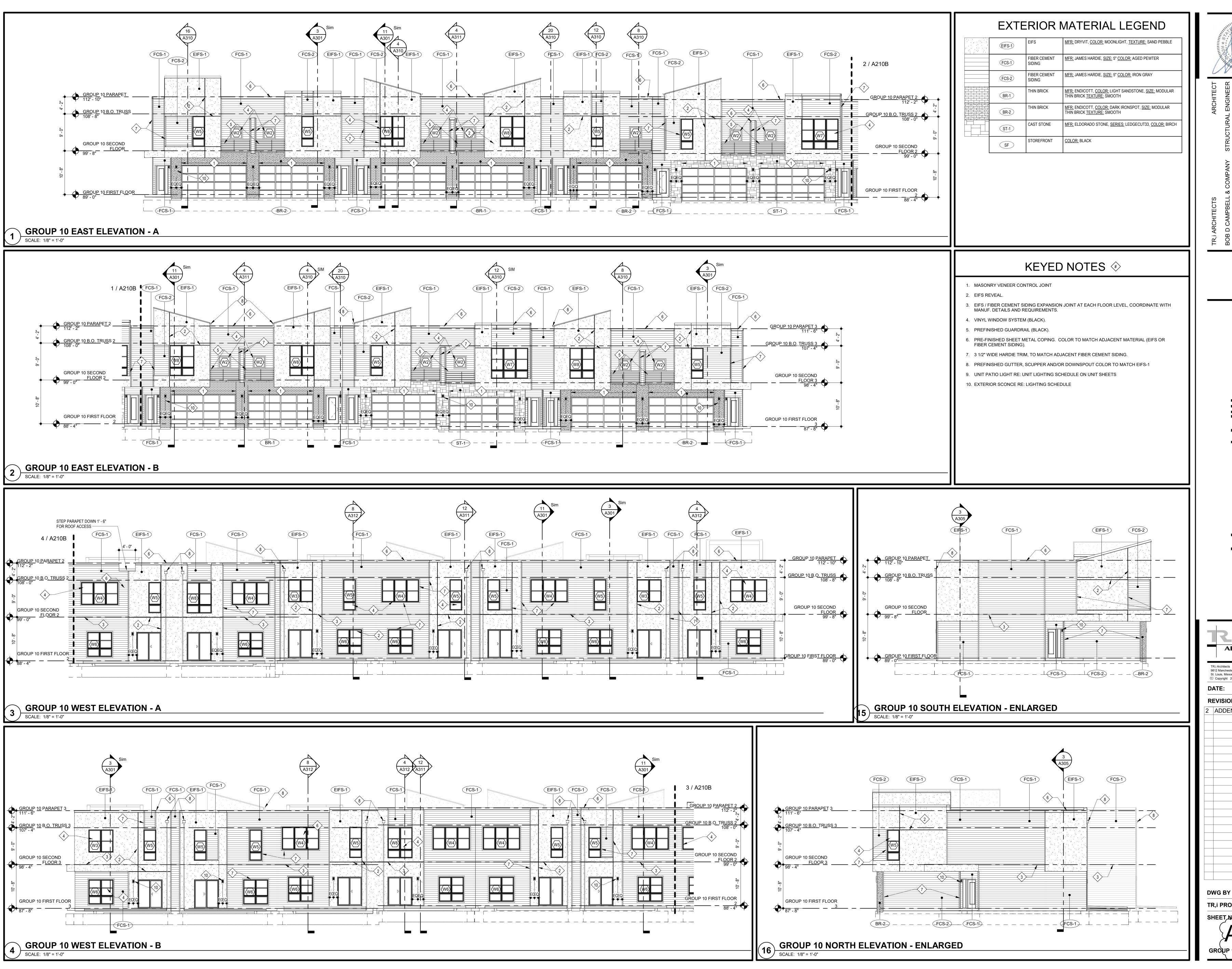
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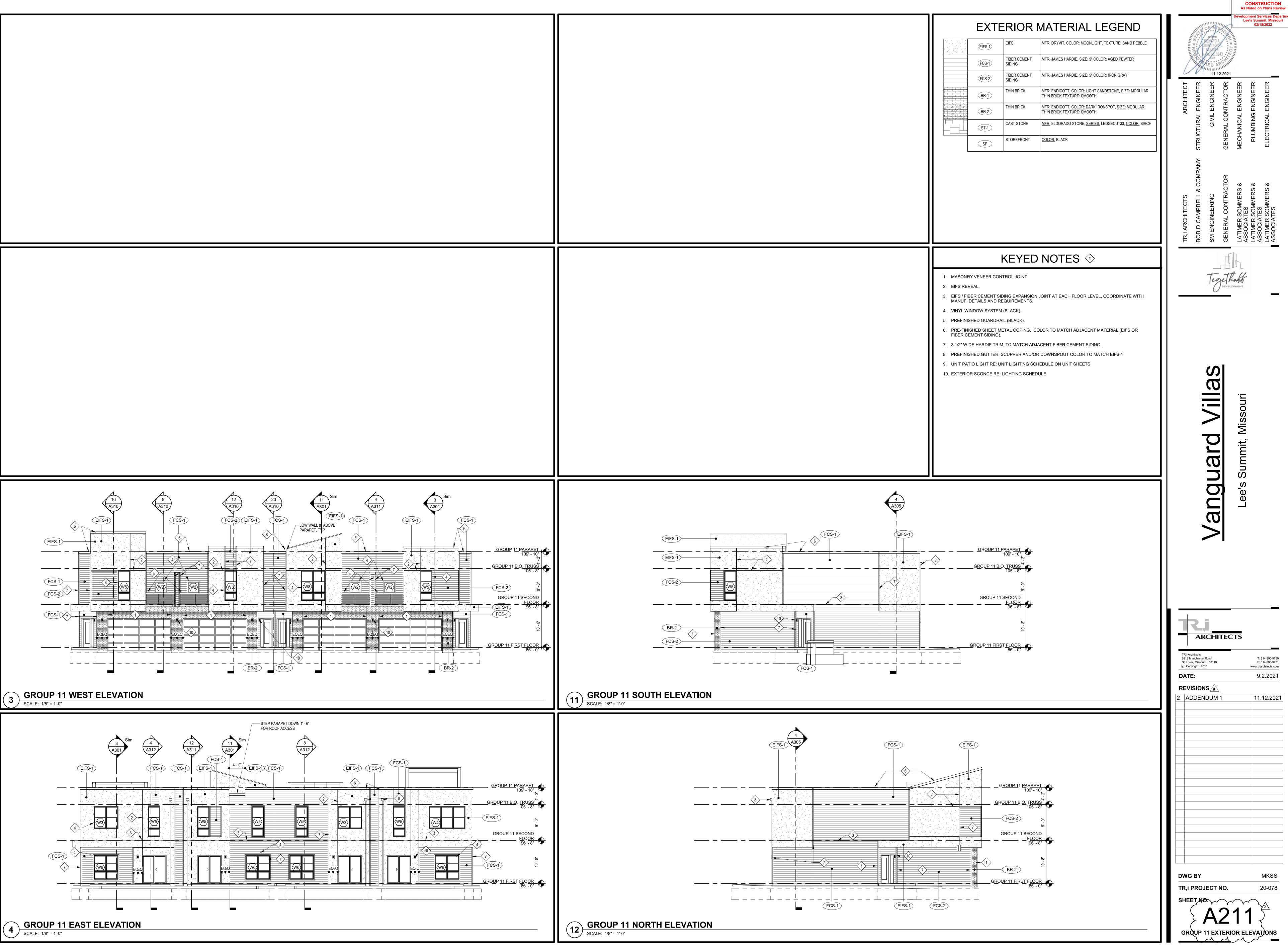
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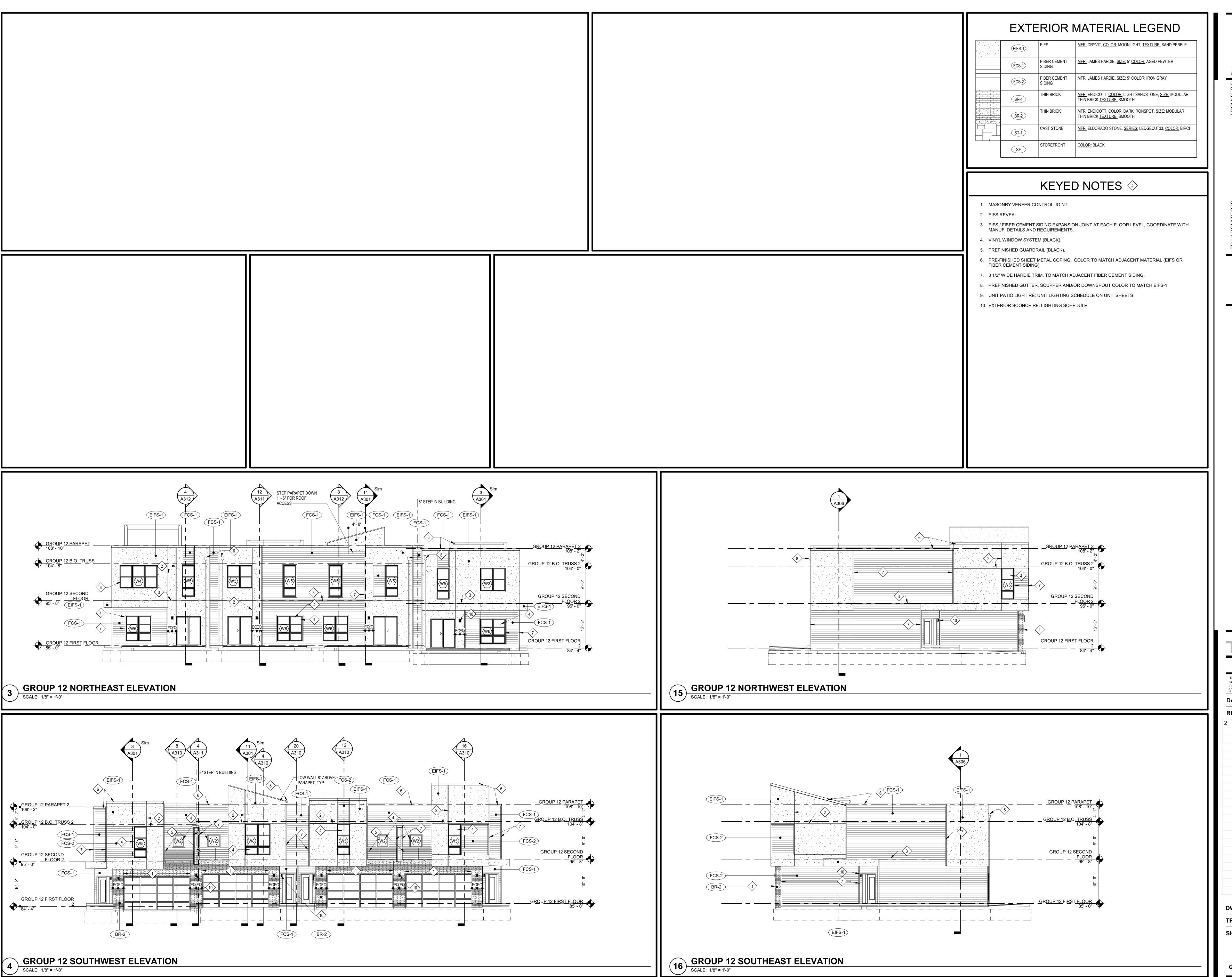
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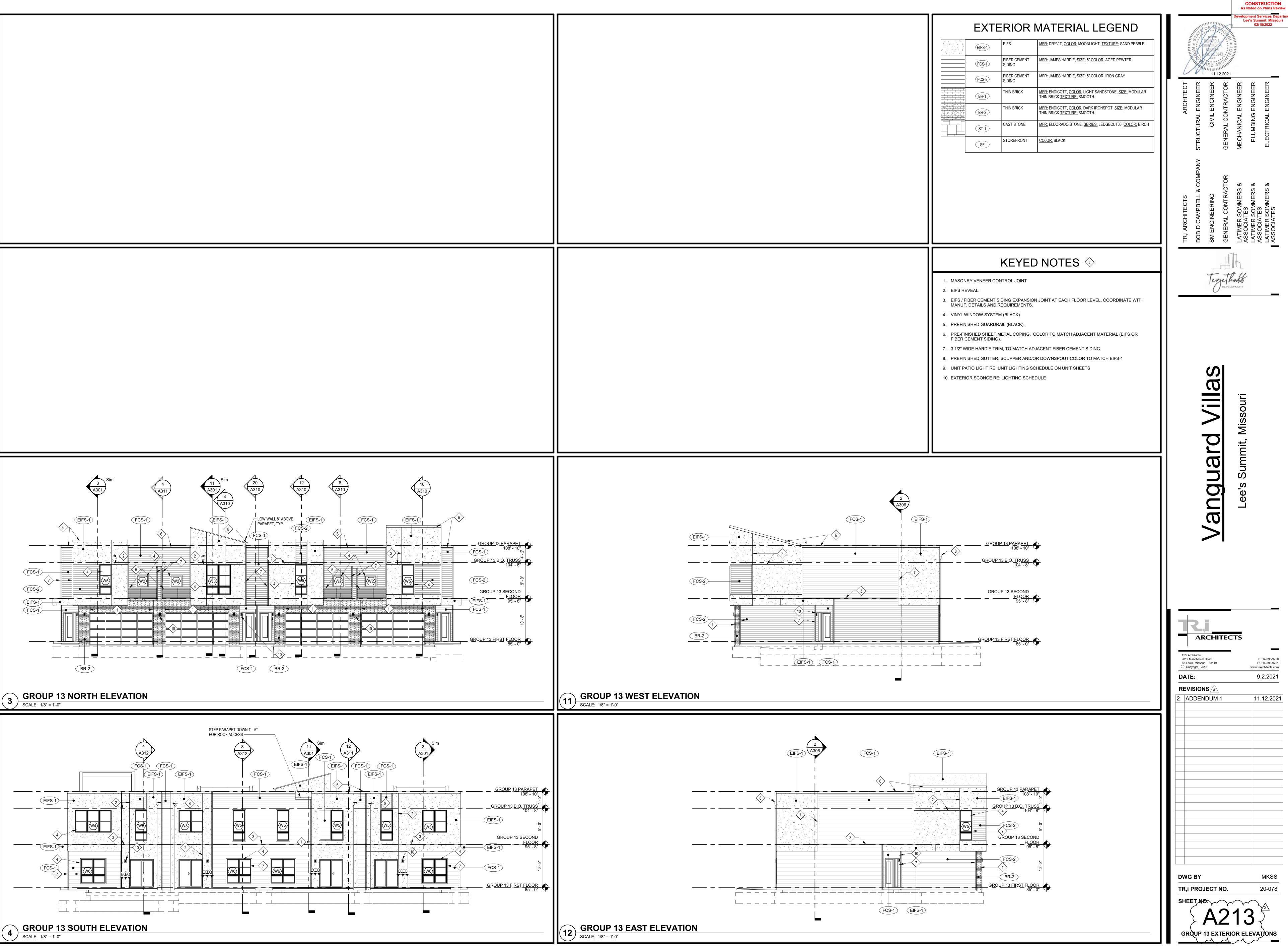
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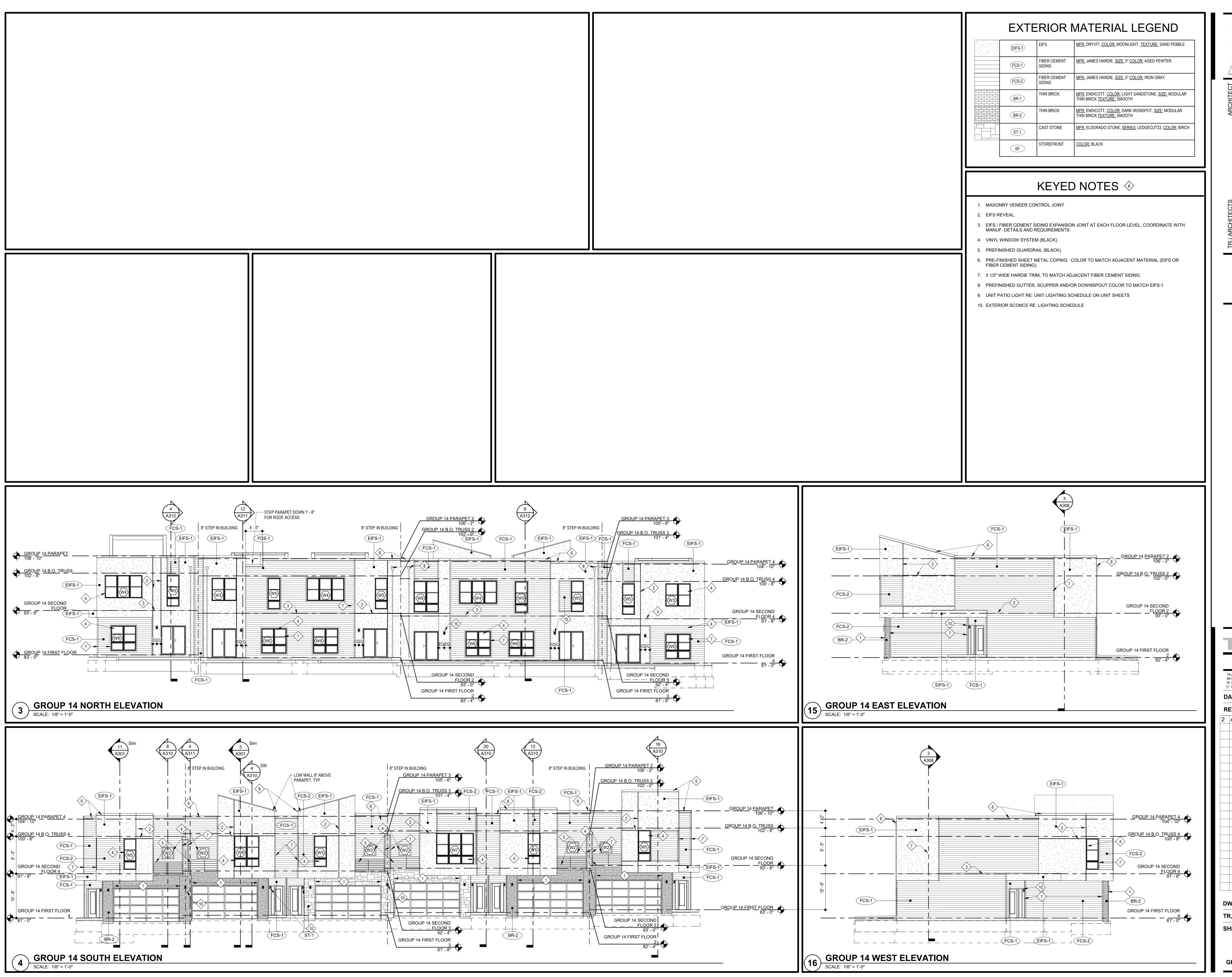
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GROUP 12 EXTERIOR ELEVATION



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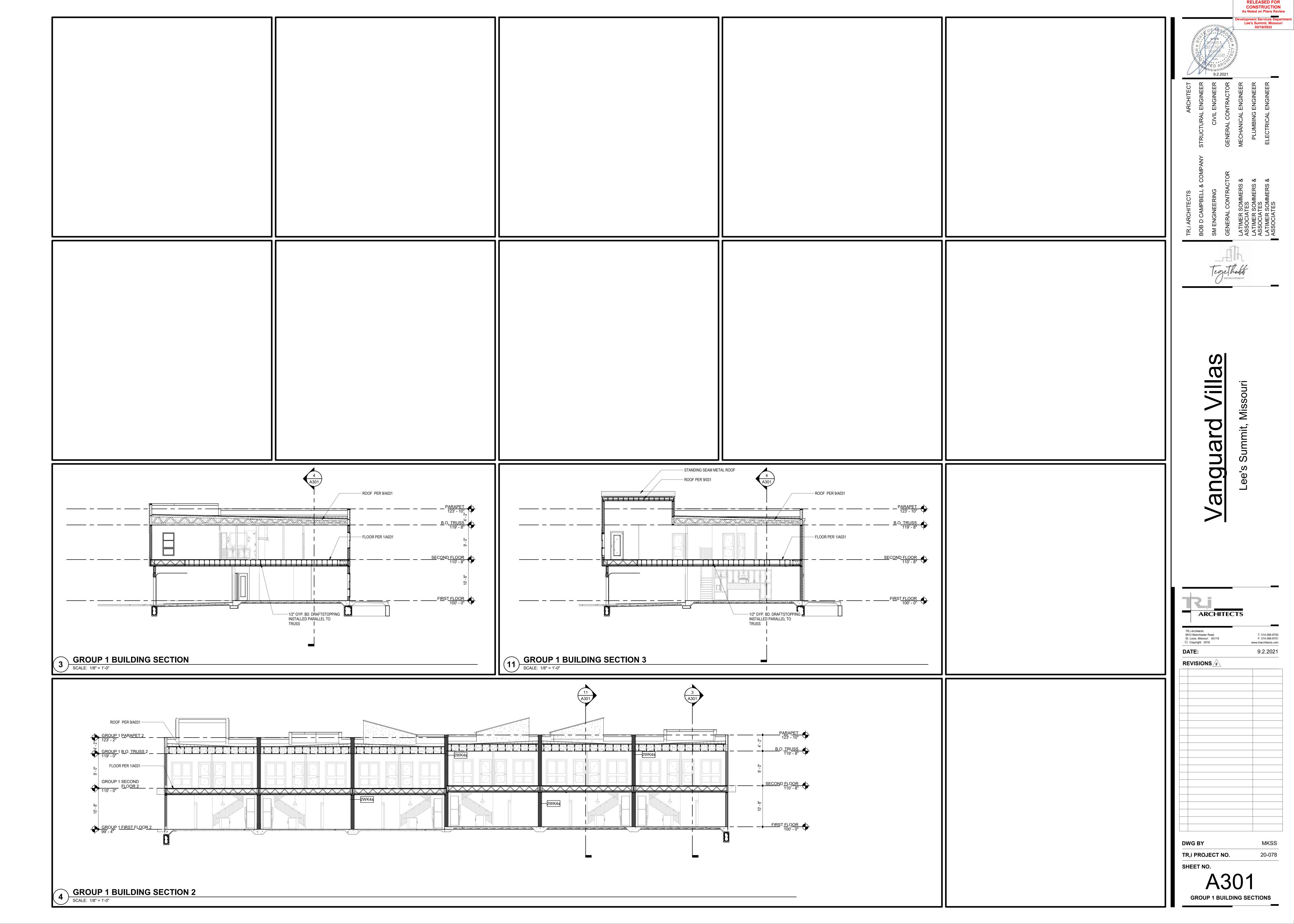


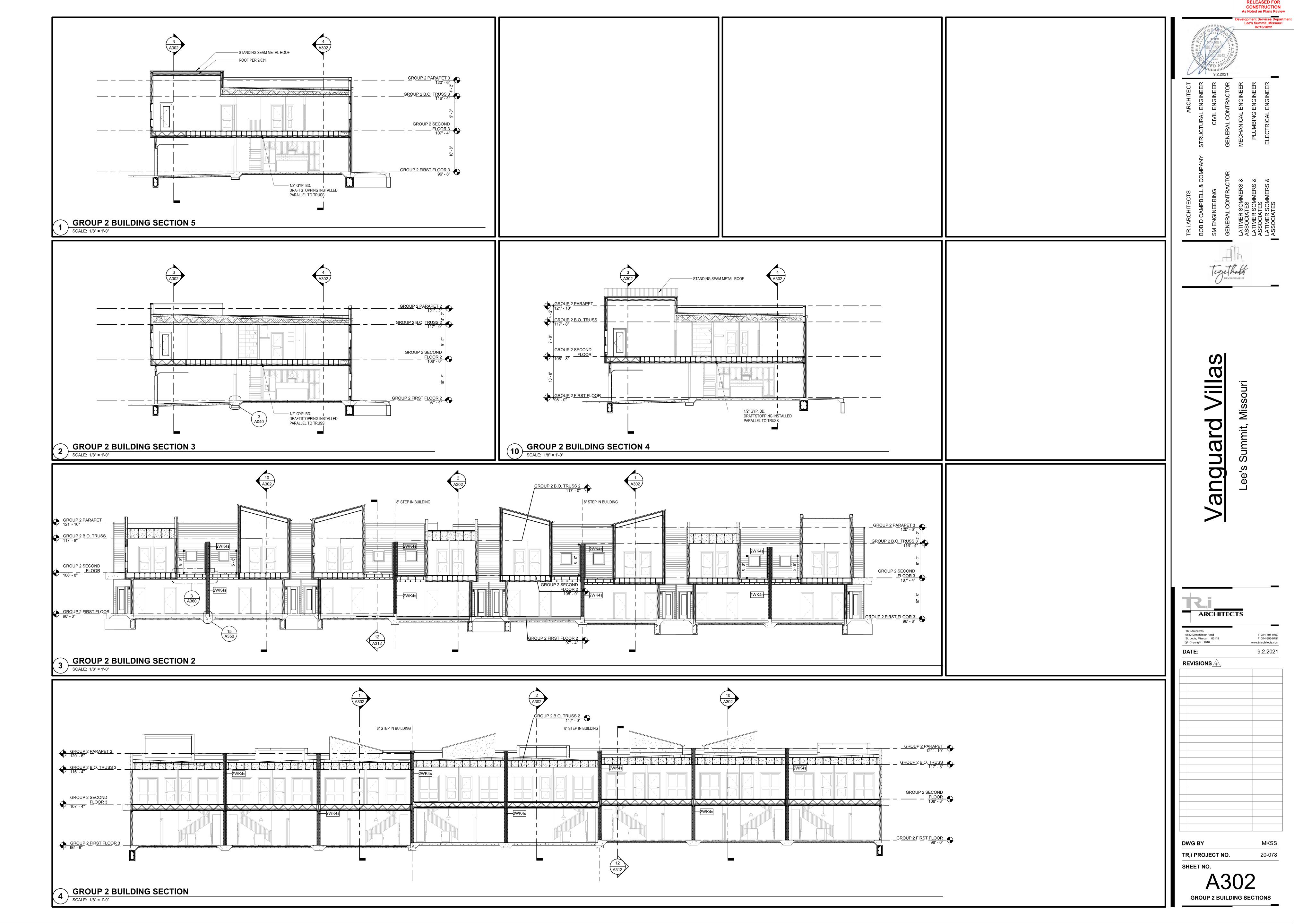
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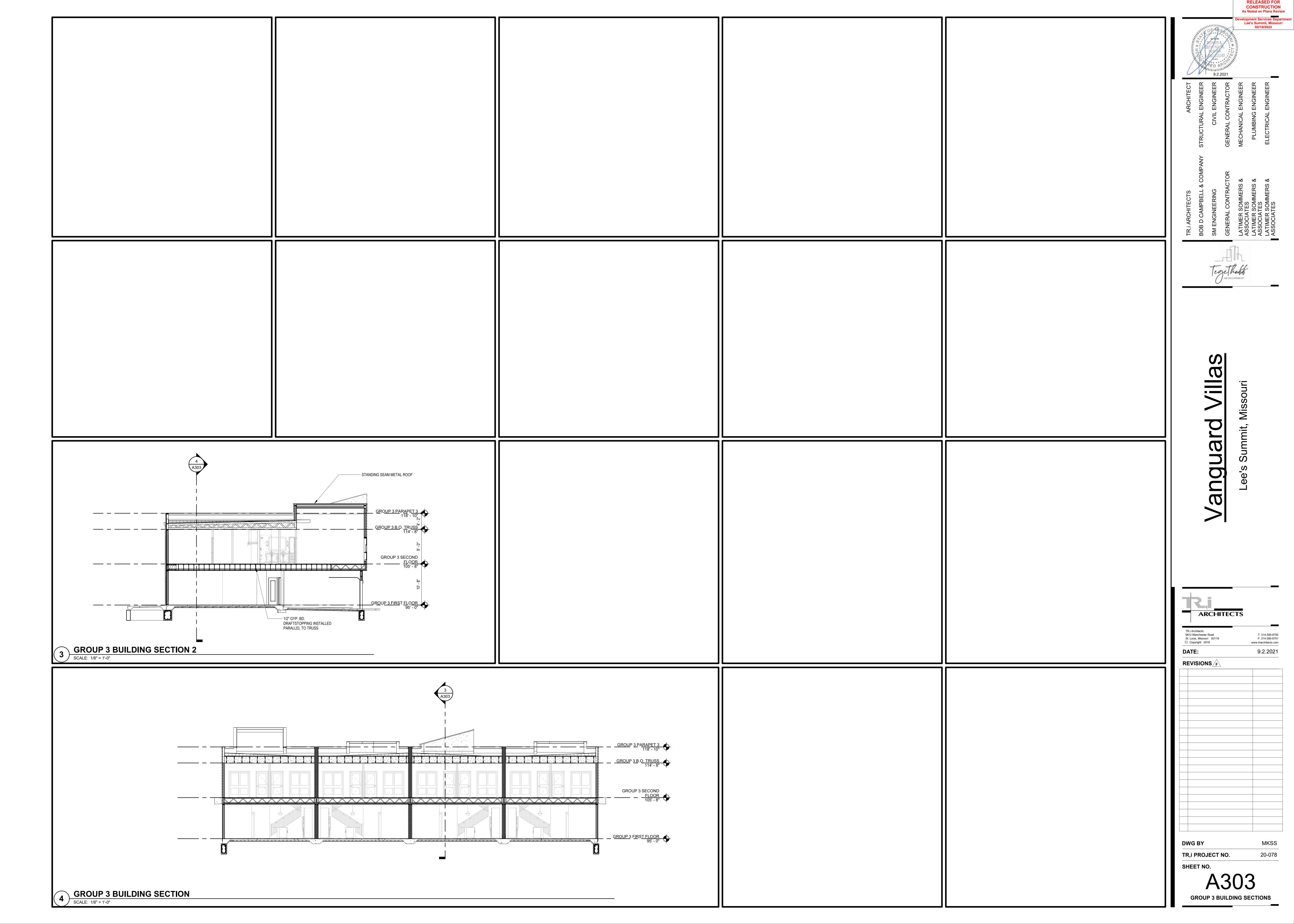
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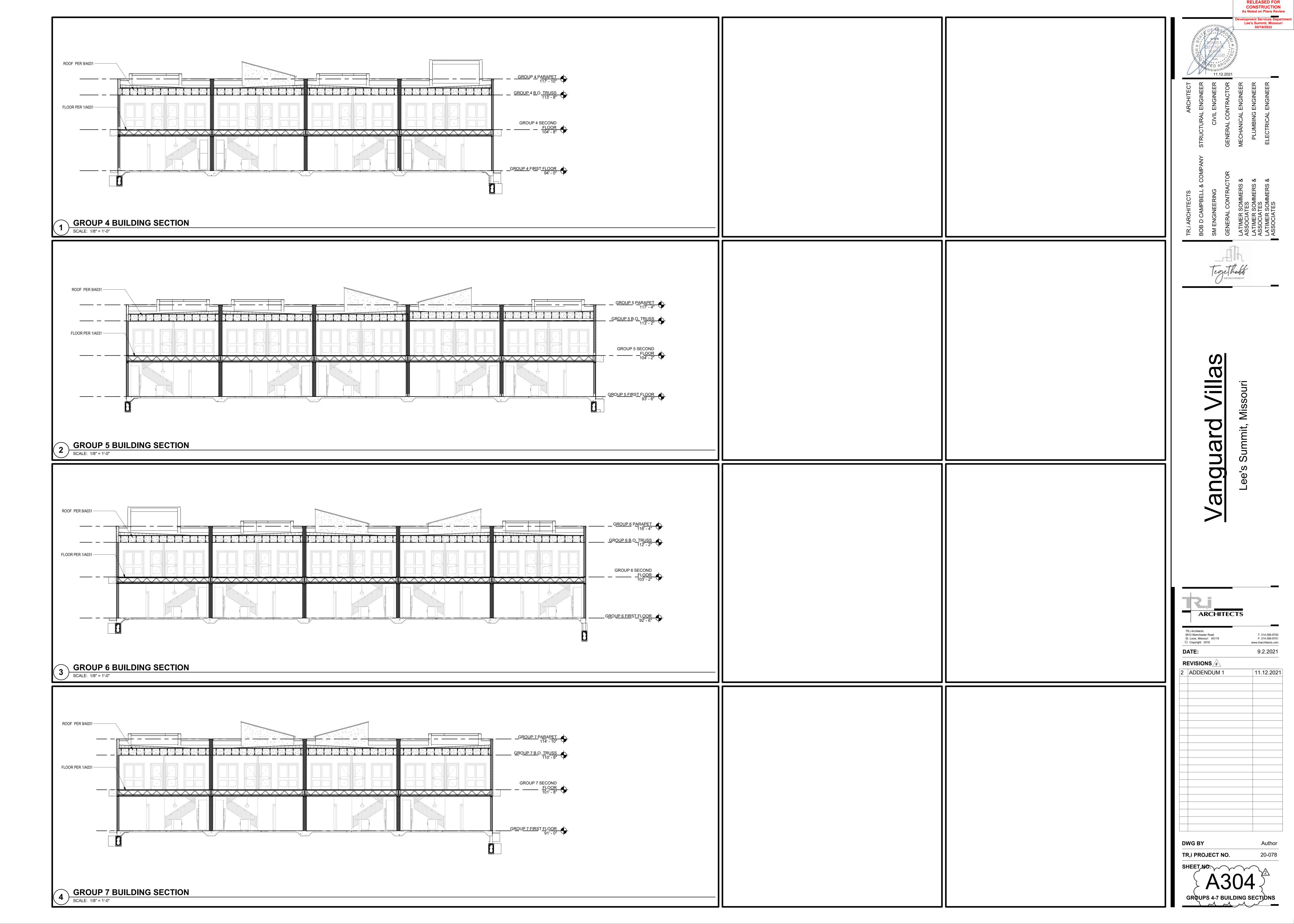
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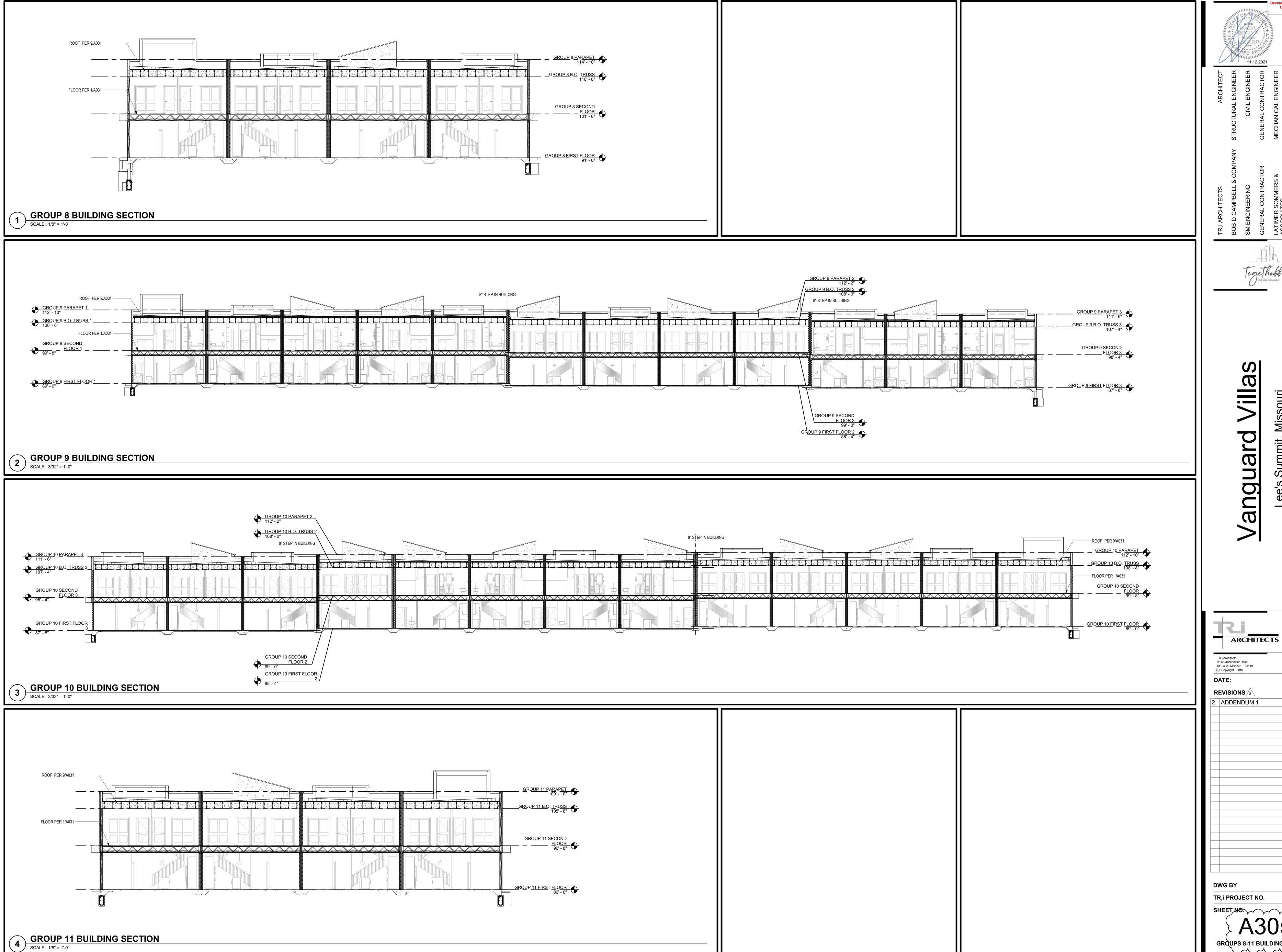
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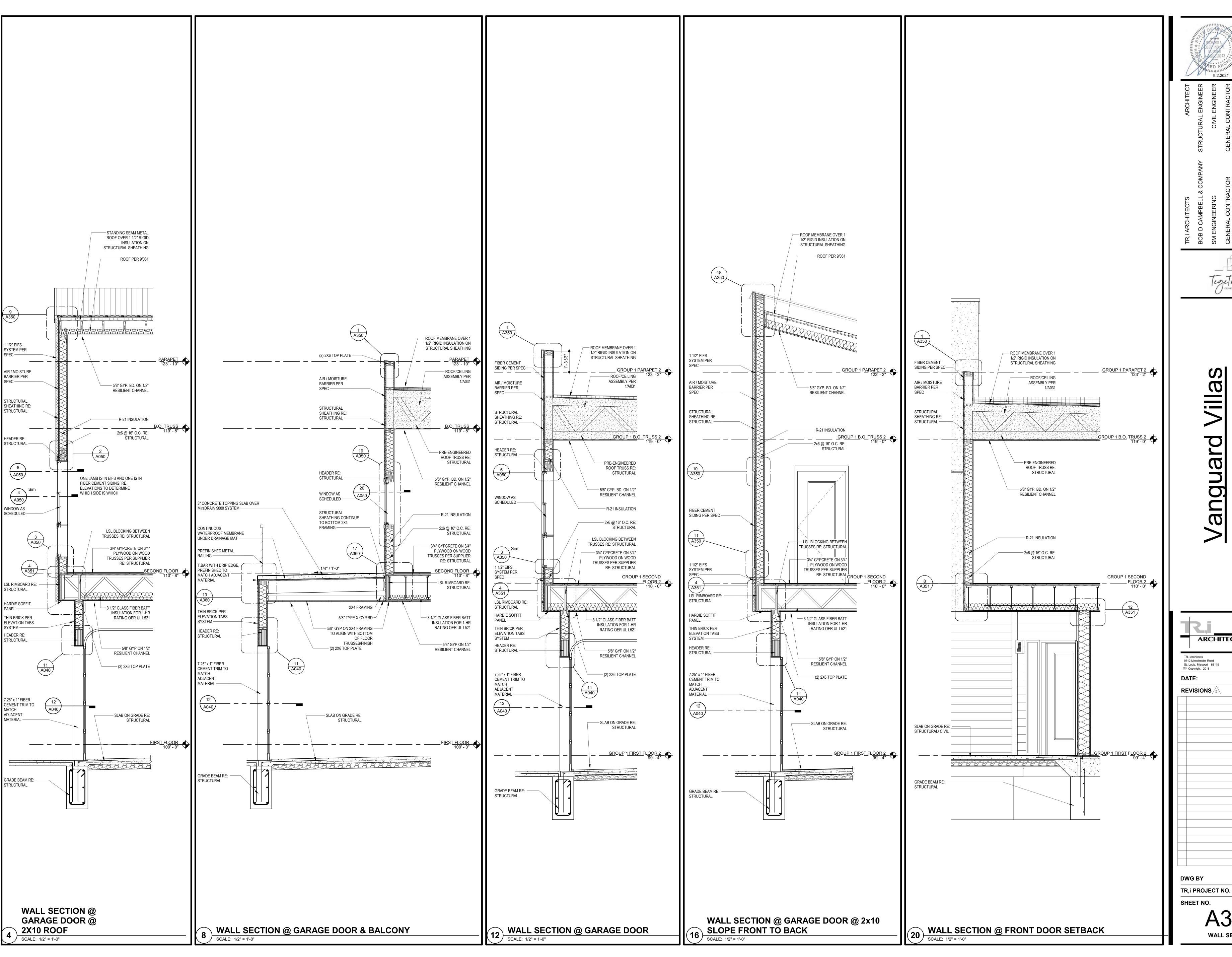
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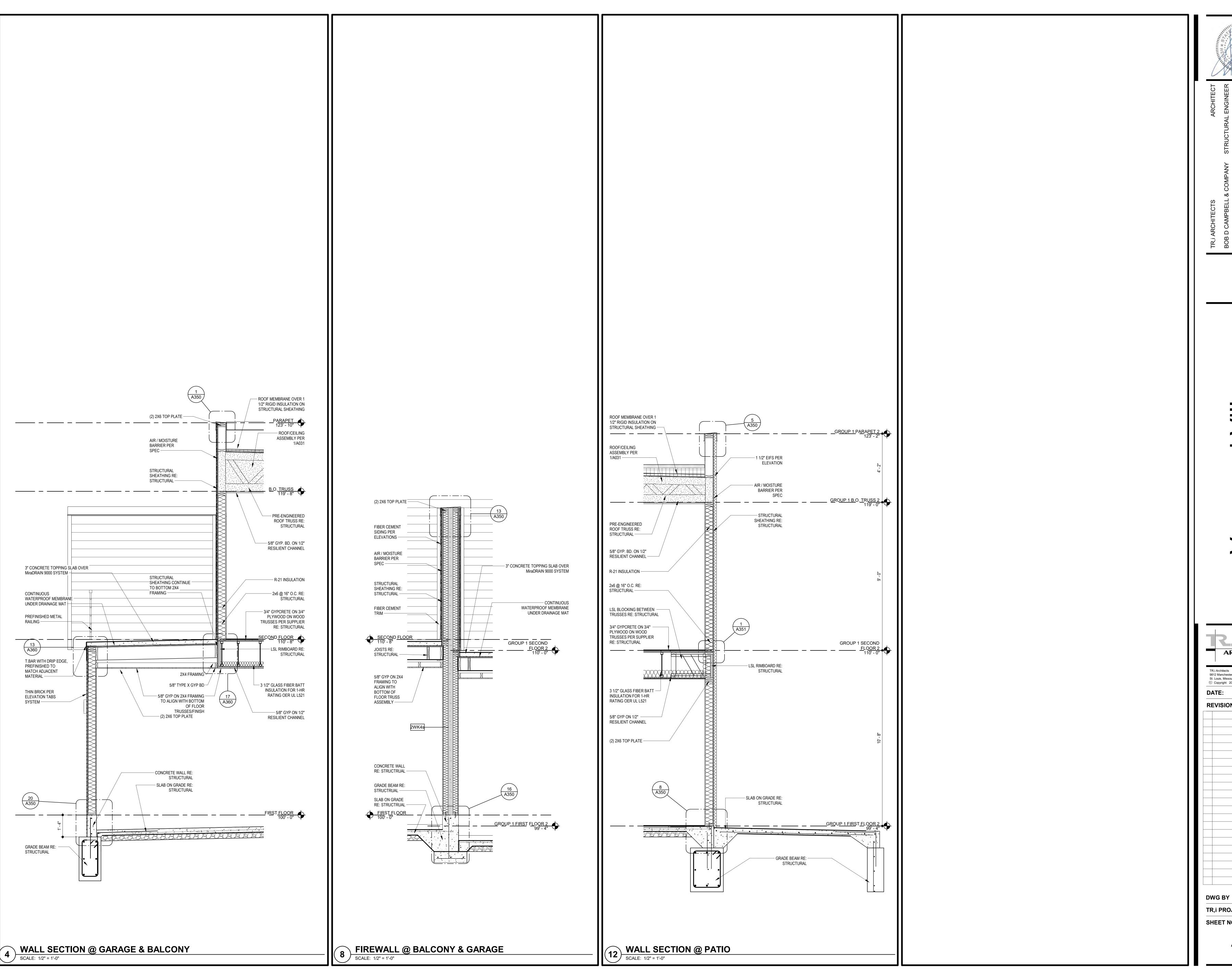
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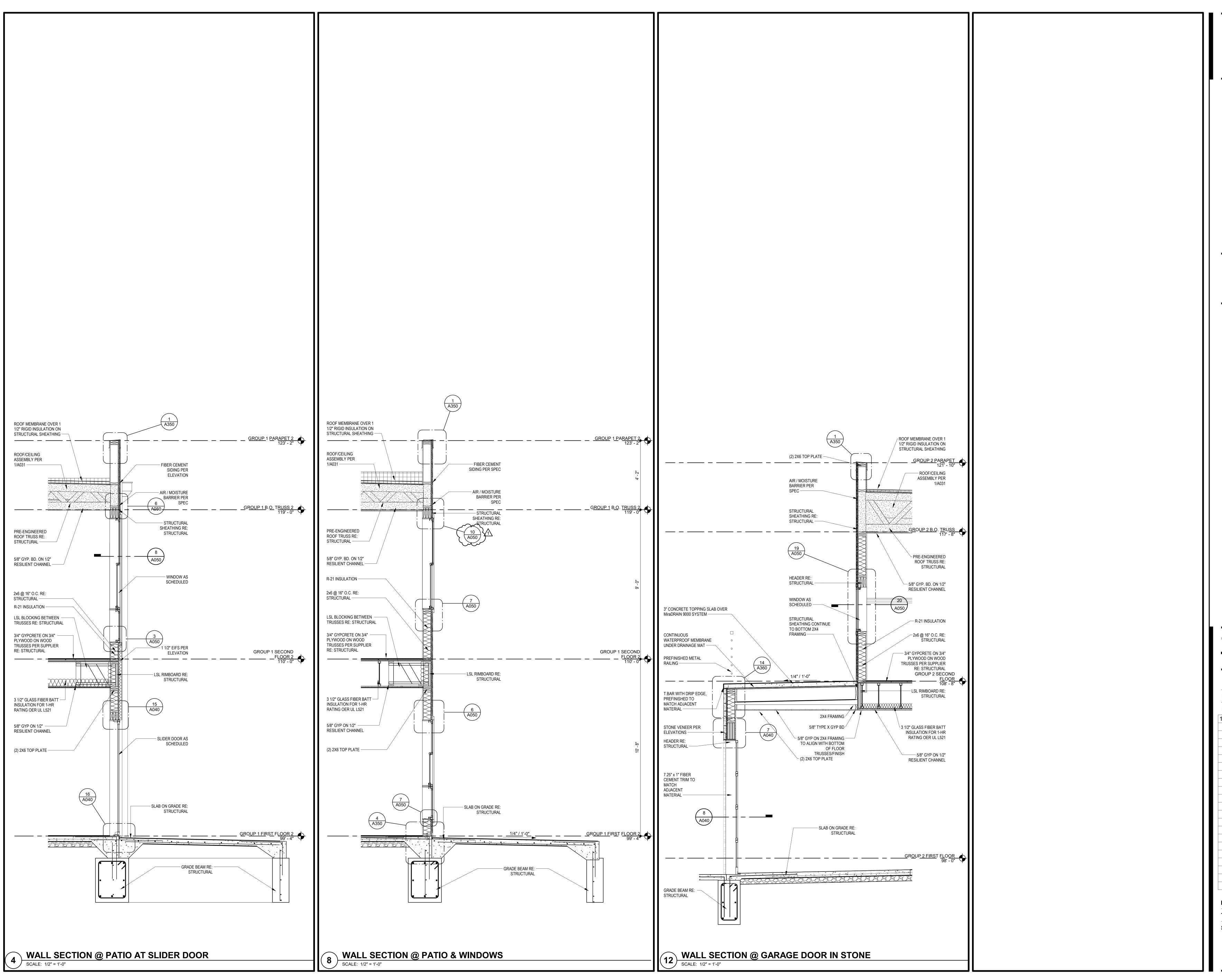
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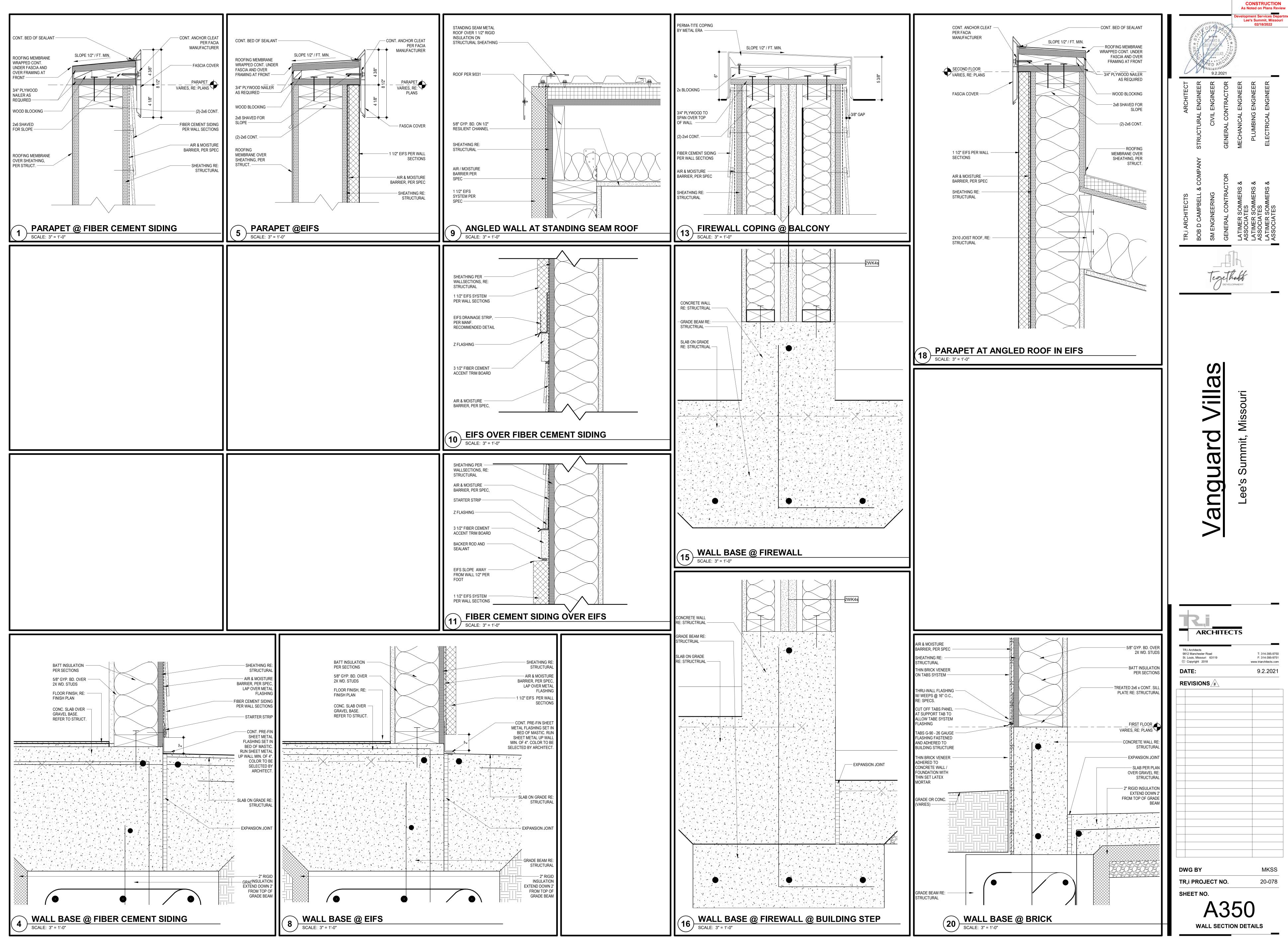
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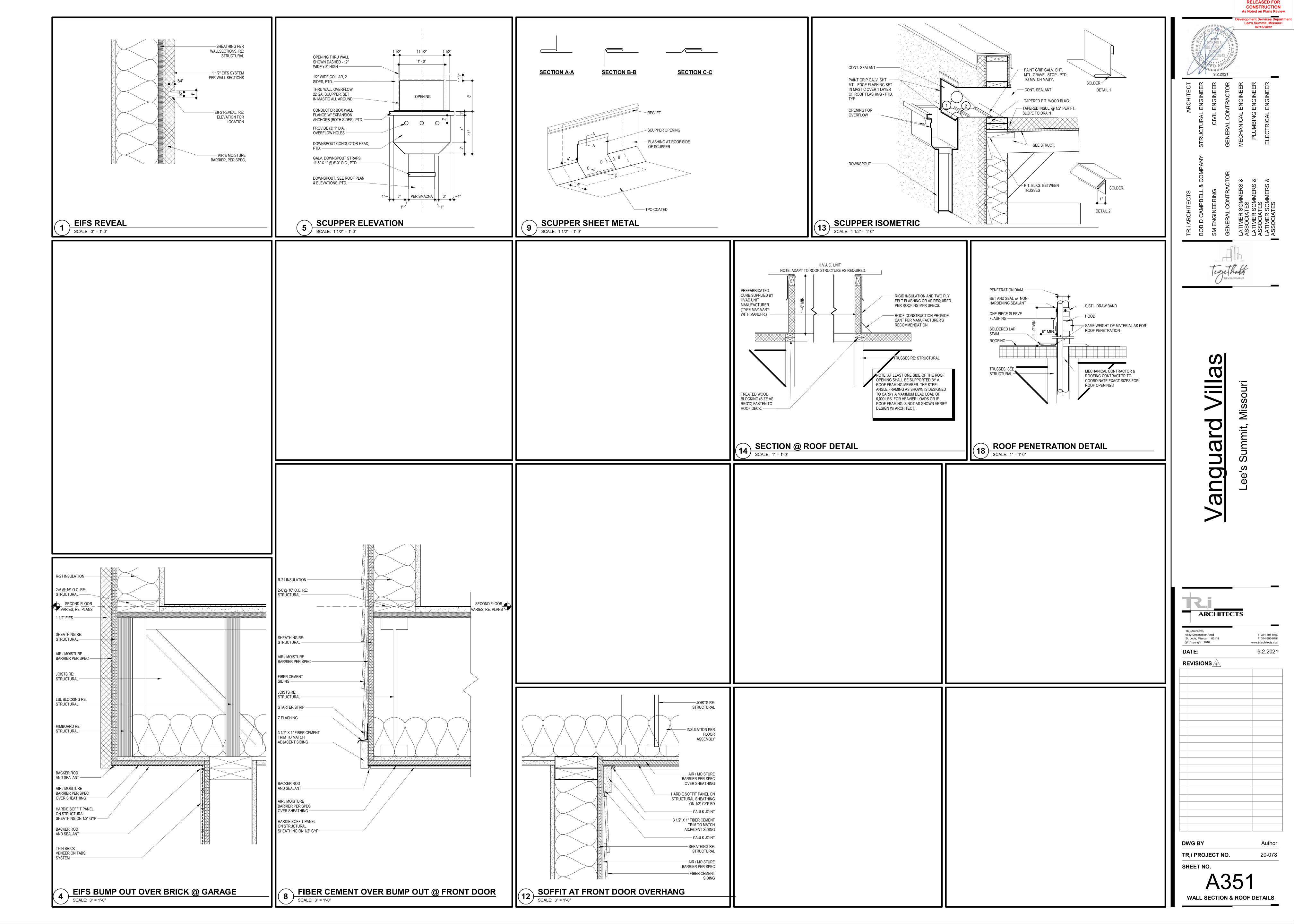
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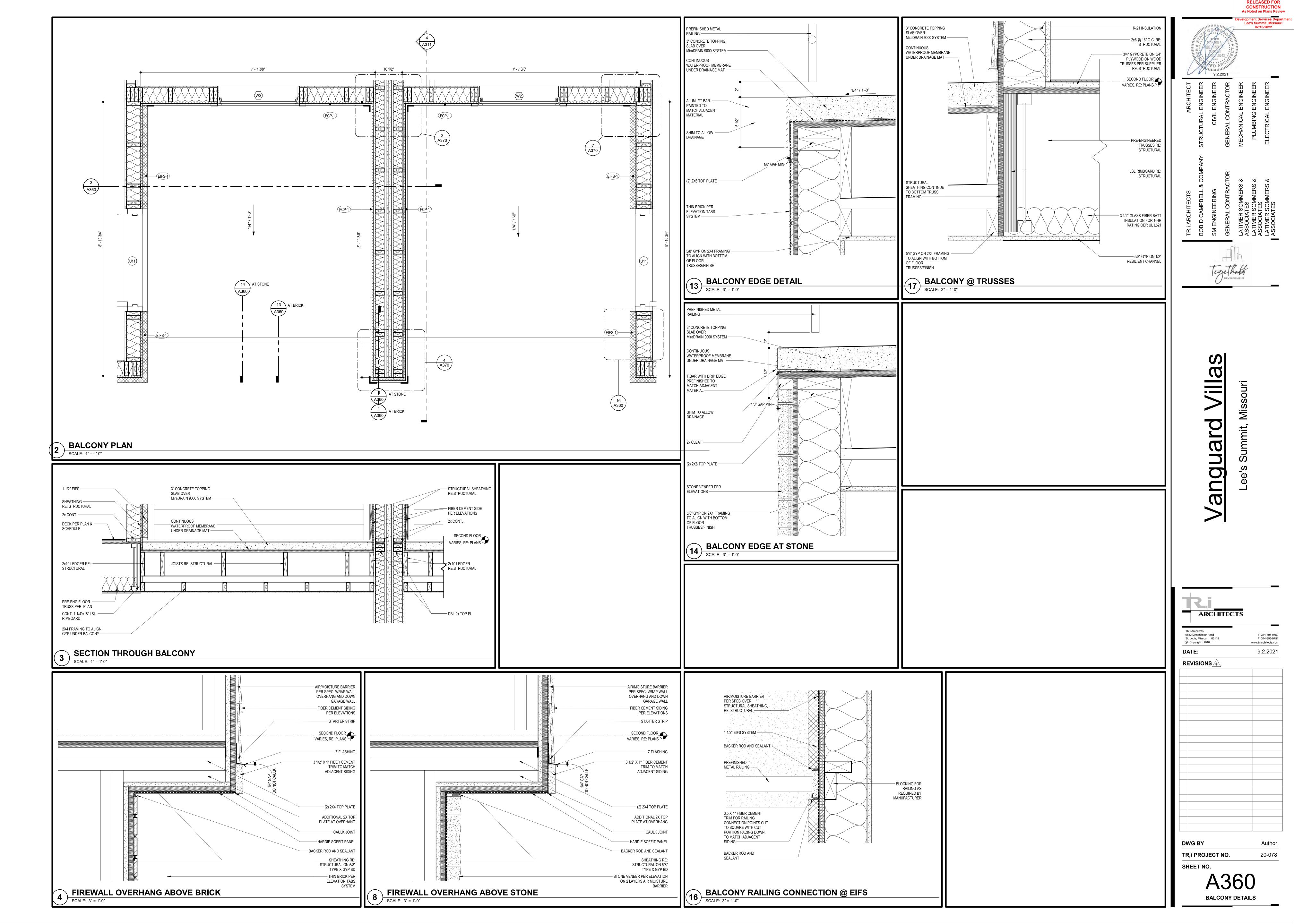
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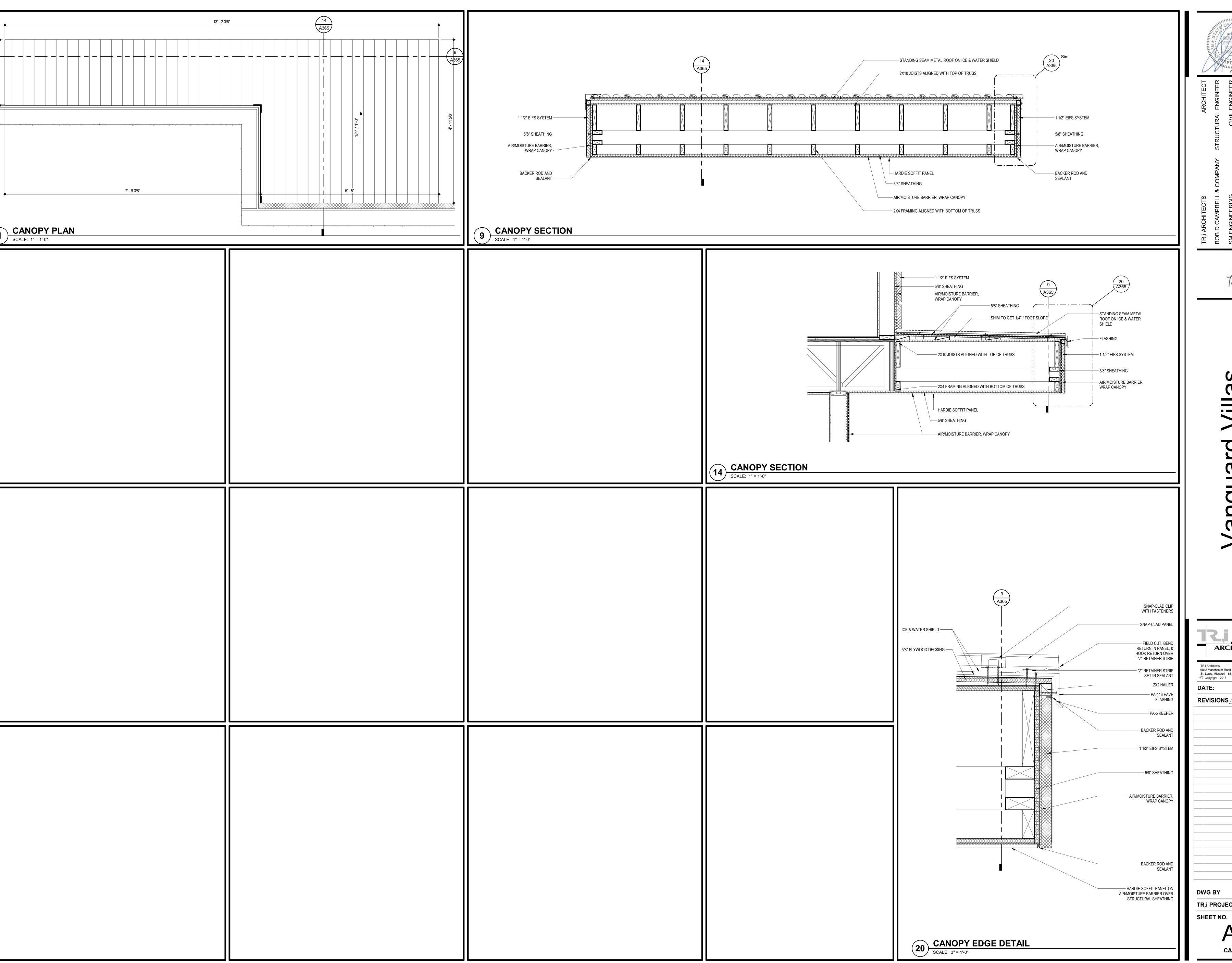
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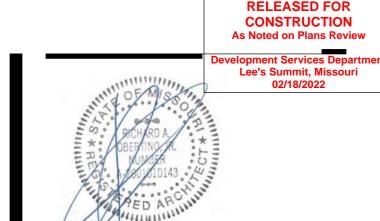


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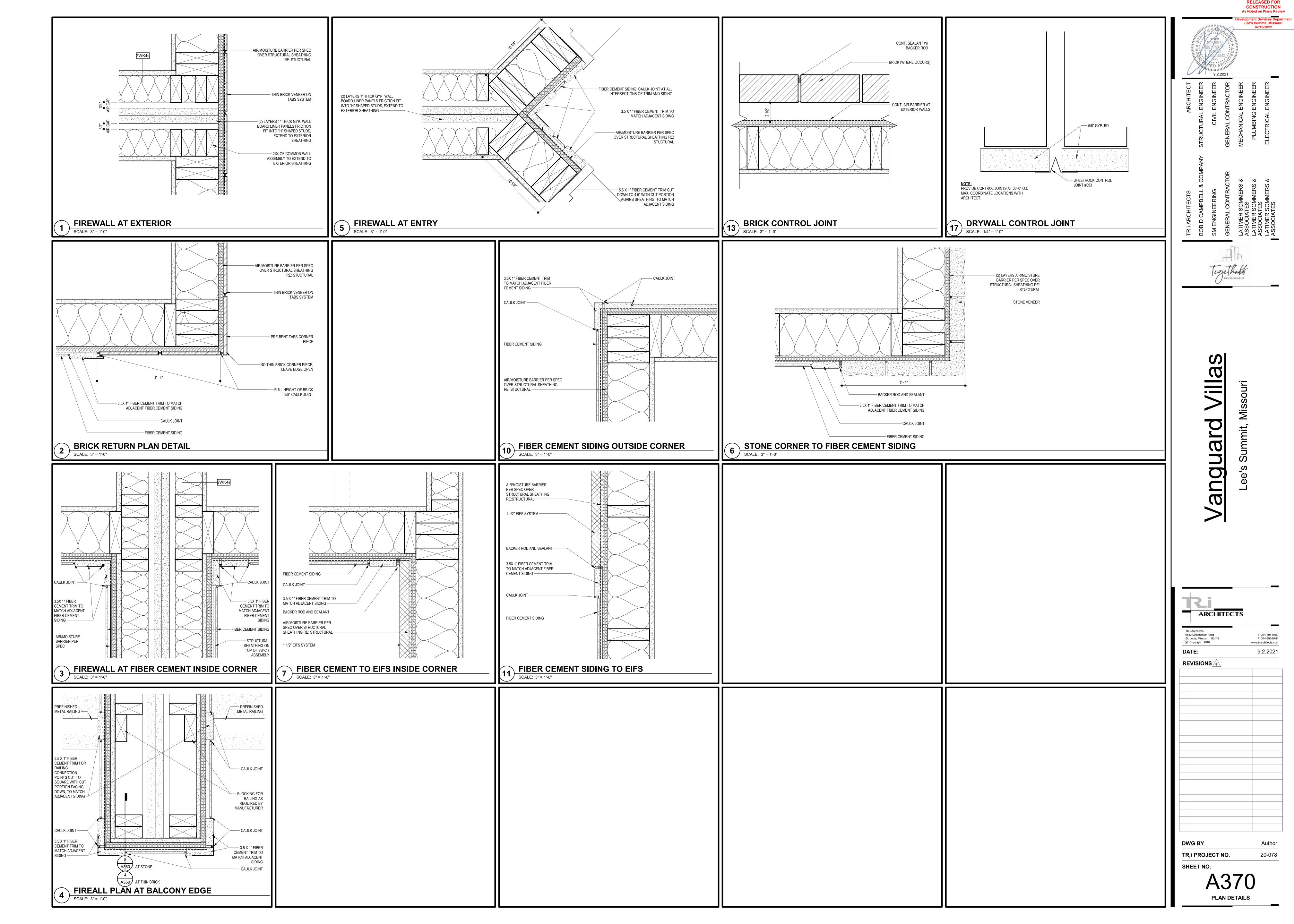


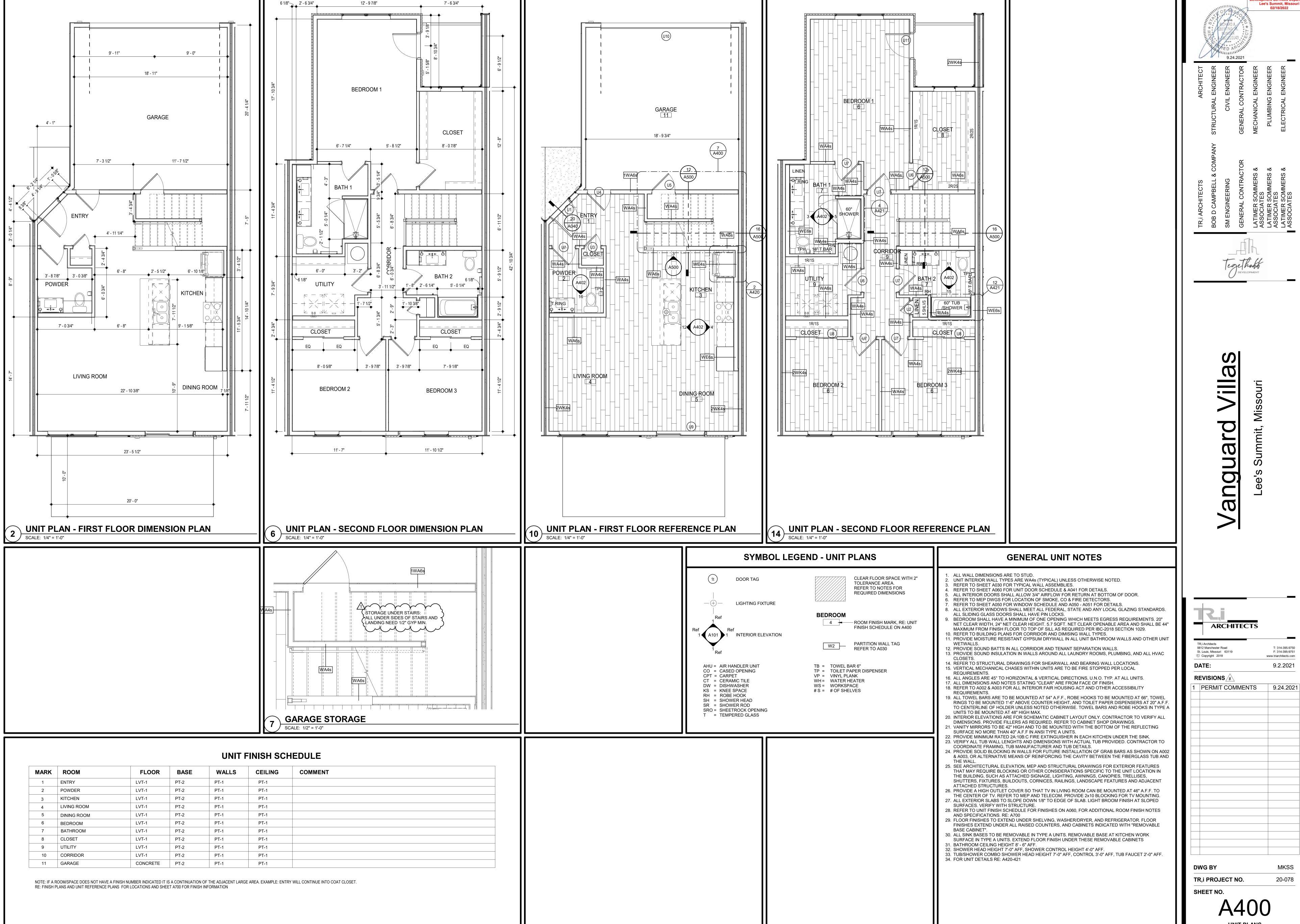
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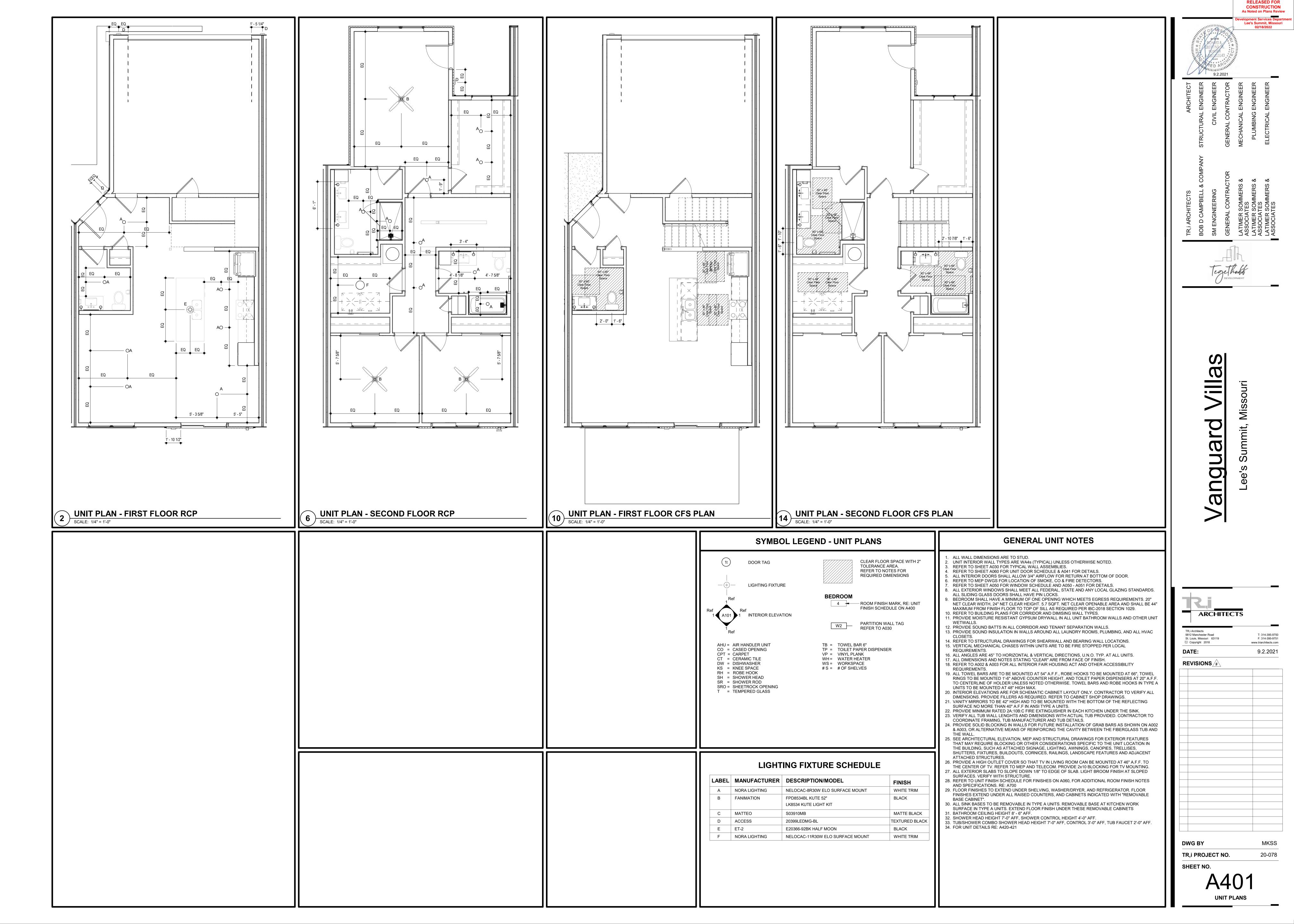
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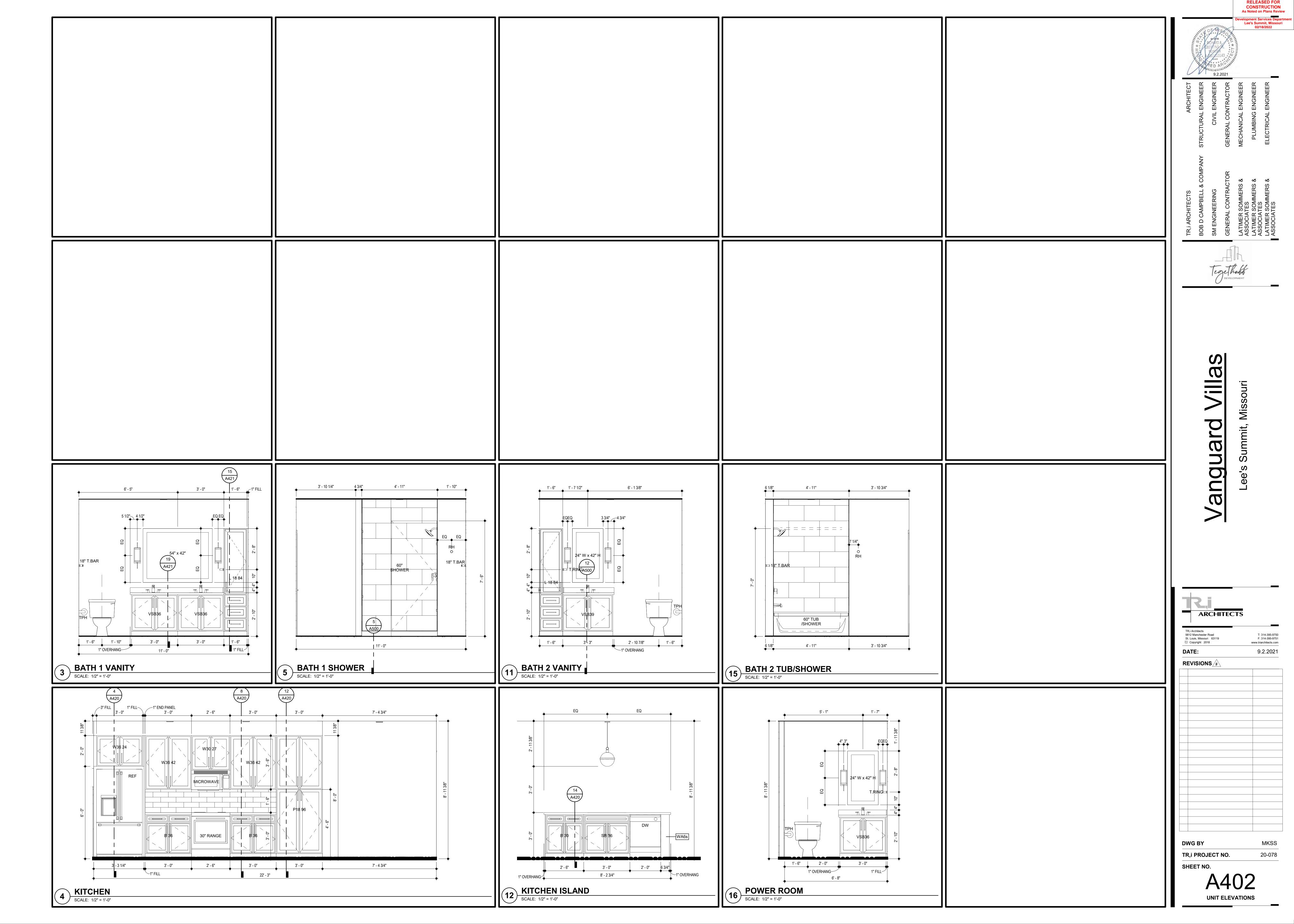
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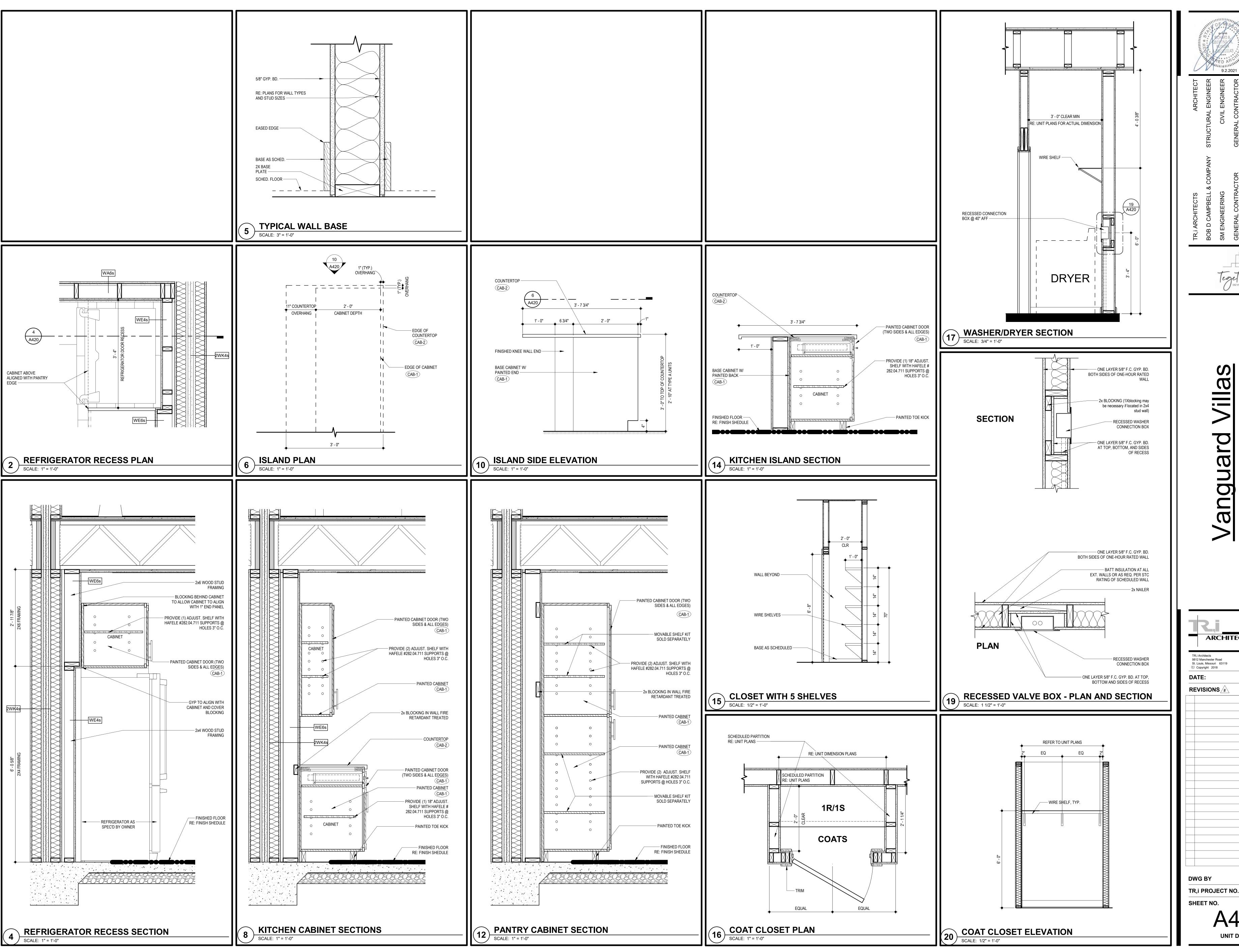
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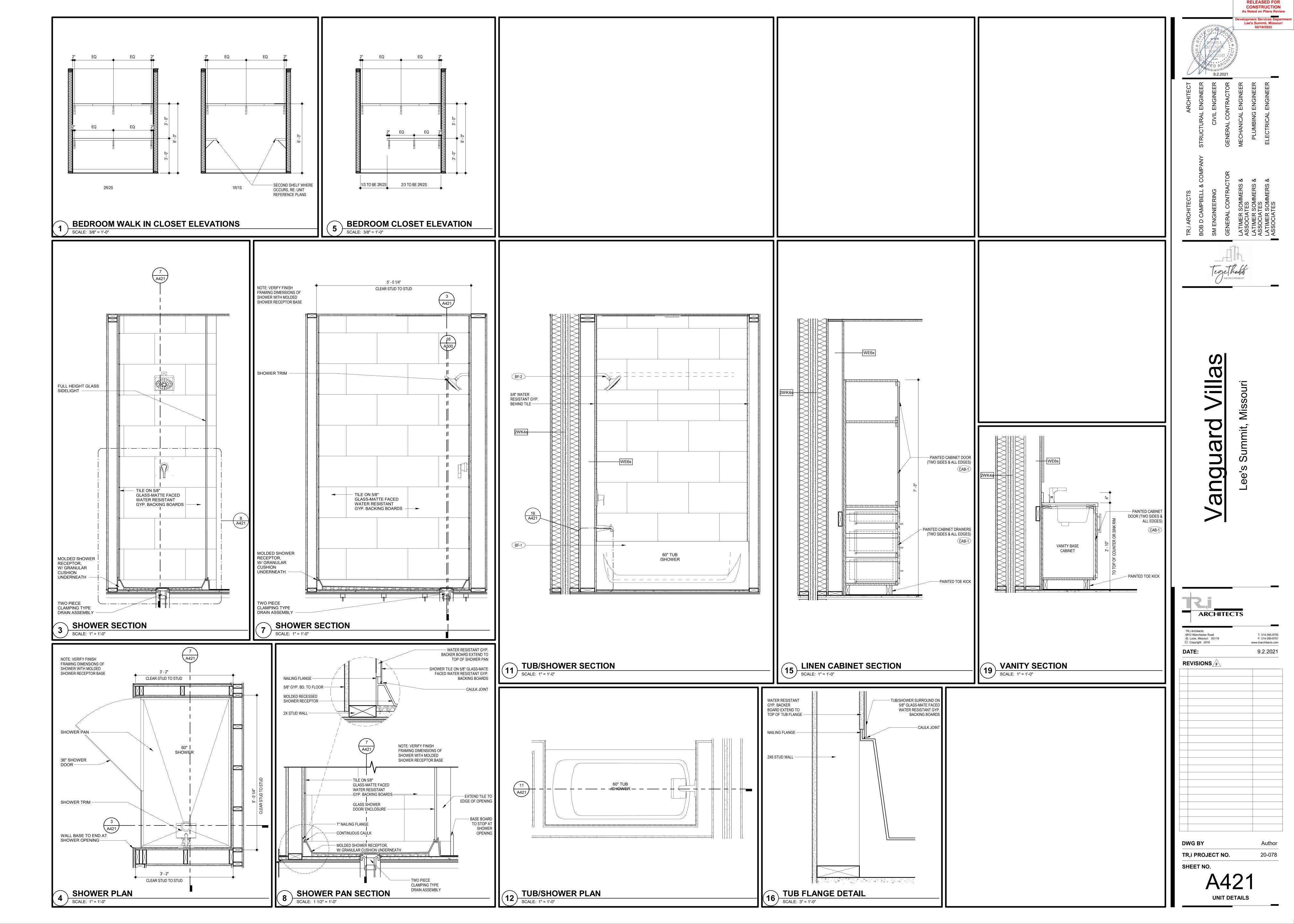


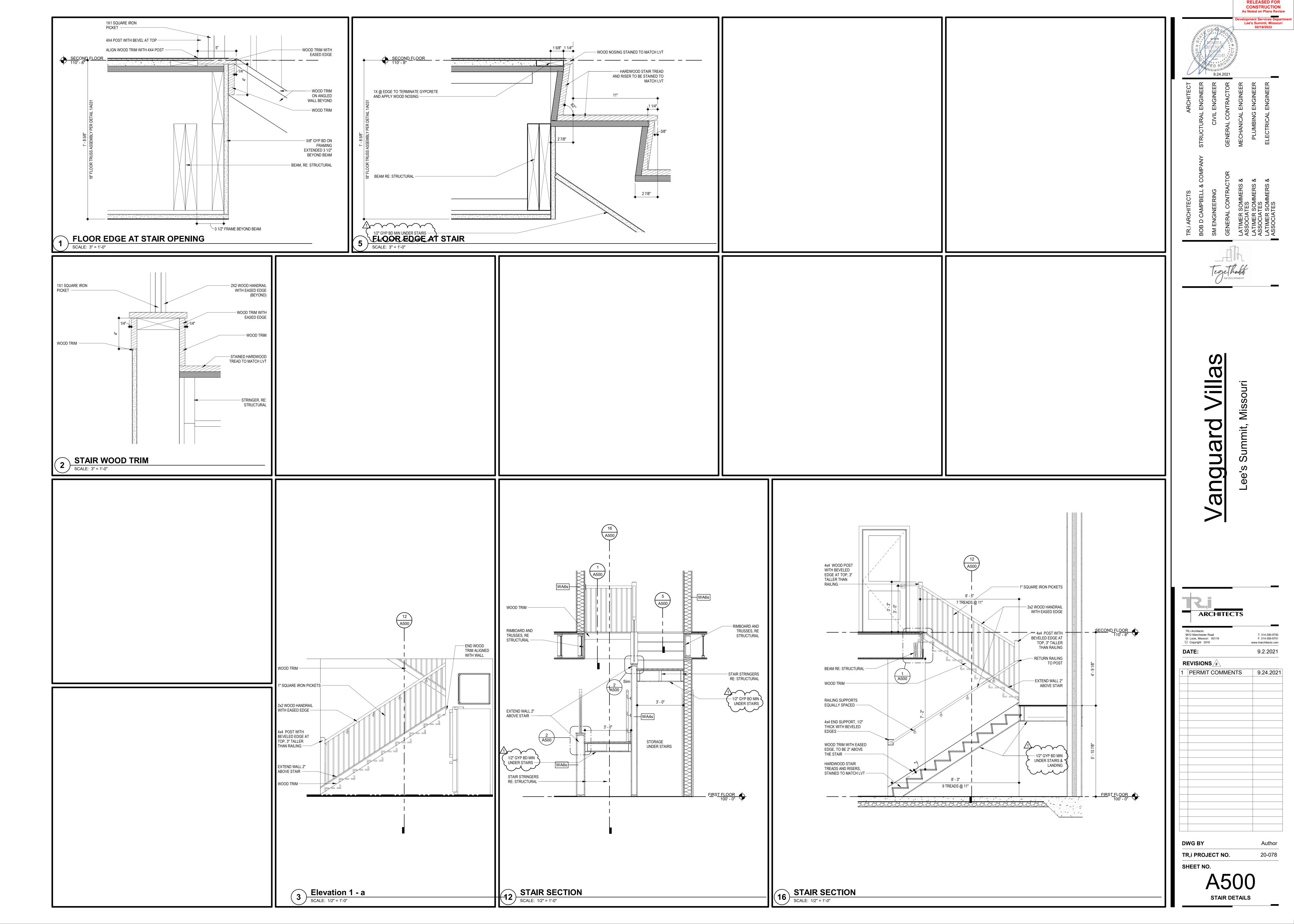






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FLOOR FINISH SCHEDULE

MARK	ITEM	MANUFACTURER	MODEL / DESCRIPTION	RESPONSIBILITY
LVT-1	LUXURY VINYL TILE	PHILIDELPHIA COMMERCIAL	PRODUCT NAME/#: 5533V G-FORCE 12 MIL COLOR: 00343 00343 SIZE: 6 in. x 48 in. INSTALL METHOD: DIRECT GLUE ASHLAR	CFCI

WALL FINISH SCHEDULE

PT-1	PAINT - WALLS	BENJAMIN MOORE	COLOR: OC-64 PURE WHITE	CFCI
	TAINT - WALLS	BEING/WIIN WOONE	FINISH: FLAT AT CEILING FINISH: EGGSHELL AT WALLS	J. J.
			TYPE: INTERIOR ACRYLIC WATERBASE PRIMER: BENJAMIN MOORE FRESH START 100% ACRYLIC SUPERIOR PRIMER (046)	
			INSTALLATION: 1 COAT PRIMER, 2 COATS PAINT, APPLY PER MANUFACTURER RECOMMENDATION	
PT-2	PAINT - DOOR AND TRIM	BENJAMIN MOORE	COLOR: PM-1 SUPER WHITE	CFCI
			FINISH: SEMI-GLOSS AT PAINTED DOORS AND TRIM TYPE: INTERIOR ACRYLIC WATERBASE	
			PRIMER: BENJAMIN MOORE FRESH START 100% ACRYLIC SUPERIOR PRIMER (046) INSTALLATION: 1 COAT PRIMER, 2 COATS PAINT, APPLY PER MANUFACTURER RECOMMENDATION	
T-1	WALL TILE	MSI	PRODUCT NAME/#: TEKTILE PORCELAIN COLLECTION COLOR: LINEART IVORY	CFCI
			DIMENSIONS: 12" X 24" X 3/8"	
			INSTALL METHOD: HORIZONTAL STACKED WITH 1/16" JOINT	
	GROUT	MOSAIC TILE & STONE	GROUT: TEC POWER GROUT COLOR: #949 SILVERADO	
			NOTE: TO BE SEALED	
T-2	KITCHEN BACKSPLASH	DALTILE	PRODUCT NAME/#: LINEAR COLOR: ARTIC WHITE 0190	CFCI
			FINISH: SEMI-GLOSS	
			DIMENSIONS: 4" X 12" X 5/16" INSTALL METHOD: HORIZONTAL RUNNING BOND WITH 1/16" JOINT	
	GROUT	ARCHITECTURAL CERAMICS	GROUT: LATICRETE	
	S.K.O.S.	7.4.0201012 02.0	COLOR: #89 SMOKEY GREY NOTE: TO BE SEALED	
T-3	KITCHEN BACKSPLASH	CERAMIC TECHNICS LTD	PRODUCT NAME/#: DESIGN WALL	CFCI
1 0	ALTERNATE	OLIV WING TEGHNIOG ETB	COLOR: CRACKLE BIANCO	OI OI
			FINISH: GLOSSY DIMENSIONS: 4" X 12" X 8mm	
	GROUT	MOSAIC TILE & STONE	INSTALL METHOD: HORIZONTAL STACKED WITH 1/16" JOINT	
			GROUT: TEC POWER GROUT COLOR: #910 BRIGHT WHITE	
			NOTE: TO BE SEALED	
WB-1	WOOD TRIM	MILLWORKER TO PROVIDE	PRODUCT: PAINT GRADE	CFCI
			FINISH: PAINT GRADE- PAINTED PT-2 IN TRIM FINISH DIMENSIONS: 4" HIGH BASE, 2.25" DOOR TRIM	
	1	I .		

CASEWORK FINISH SCHEDULE

MARK	ITEM	MANUFACTURER	MODEL / DESCRIPTION	RESPONSIBILITY
C-1	KITCHEN CABINETRY PAINTED SHAKER	SMART CABINETS	PRODUCT LINE: CAMBRIDGE STANDARD OVERLAY WITH SQUARE EDGE PROFILE COLOR: TBD INSTALL: SOFT CLOSE DIMENSION: CABINET SIZE SHOWN ON ELEVATIONS	CFCI
C-2	BATHROOM CABINETRY PAINTED SHAKER	SMART CABINETS	PRODUCT LINE: CAMBRIDGE STANDARD OVERLAY WITH SQUARE EDGE PROFILE COLOR: TBD INSTALL: SOFT CLOSE DIMENSION: CABINET SIZE SHOWN ON ELEVATIONS	CFCI
C-3	CABINET PULLS	TOP KNOBS	PRODUCT NAME/#: LYDIA PULL #TK795BLK 6 5/16" C. TO C. COLOR: BLACK FINISH: FLAT DIMENSION: 5 1/16" CENTER TO CENTER PULL	CFCI
C-4	KITCHEN COUNTERTOP	CAESARSTONE	QUARTZ PRODUCT: 5110 COLOR: ALPINE MIST FINISH: POLISHED THICKNESS: 3cm DIMENSIONS: 56.5" X 120" LARGEST AVAILABLE SLAB, RE TO UNIT PLANS FOR SIZES	CFCI
C-5	KITCHEN COUNTERTOP ALTERNATE	CAESARSTONE	QUARTZ PRODUCT: 4130 COLOR: CLAMSHELL FINISH: POLISHED THICKNESS: 3cm DIMENSIONS: 56.5" X 120" LARGEST AVAILABLE SLAB, RE TO UNIT PLANS FOR SIZES	CFCI
C-5	BATHROOM COUNTERTOP	CORIAN	QUARTZ COLOR: COARSE CARRARA FINISH: POLISHED THICKNESS: 3cm DIMENSIONS: RE TO UNIT PLANS FOR SIZES INSTALL: 4" BACKSPLASH AT SIDES AND BACK OF BATHROOM VANITIES	CFCI

MISC FINISH SCHEDULE

MARK	ITEM	MANUFACTURER	MODEL / DESCRIPTION	RESPONSIBILITY
M-1	WINDOW BLINDS	SWF CONTRACT	PRODUCT LINE: FAUX WOOD HORIZONTAL BLINGS COLOR: COCONUT 5630 DIMENSION: RE: WINDOW SCHEDULE	CFCI
M-2	M-2 WIRE CLOSET SHELVING	CLOSETMAID	HANGING SHELVING PRODUCT LINE: CLOSETMAID SHELF & ROD #30000 DIMENSION: RE: UNIT PLANS	CFCI
			LINEN/STORAGE SHELVING PRODUCT LINE: CLOSETMAID 16" TIGHT MESH #56402 DIMENSION: RE: UNIT PLANS	

UNIT KITCHEN SCHEDULE

MARK	ITEM	MANUFACTURER	MODEL / DESCRIPTION	RESPONSIBILITY
KF-1	KITCHEN SINK	PROFLO	PRODUCT NAME/#: PFUC301A COLOR: STAINLESS DIMENSIONS: 23 5/16" X 17 5/8"	CFCI
KF-2	FAUCET	MOEN	PRODUCT NAME/#: SINGLE HANDLE HIGH ARC PULLDOWN 7864 SERIES COLOR: BLACK	CFCI

UNIT BATHROOM SCHEDULE

MARK	ITEM	MANUFACTURER	MODEL / DESCRIPTION	RESPONSIBILIT
BF-1	BATHROOM SINK	KOHLER	PRODUCT NAME/#: K-2355 ARCHER UNDER-MOUNT COLOR: WHITE DIMENSIONS: 17 5/8" x 13"	CFCI
BF-2	WATER CLOSET	STERLING	PRODUCT NAME/#: VALTON COMFORT HEIGHT ELONGATED TOILET BOWL COLOR: WHITE PRODUCT NAME/#: VALTON TOILET TANK COLOR: WHITE PRODUCT NAME/#: PLASTIC TOILET SEAT PFTSE2000 COLOR: WHITE	CFCI
BF-3	FAUCET	MOEN	PRODUCT NAME/#: GENTA 6702 COLOR: BLACK	CFCI
BF-4	TUB/SHOWER BASE	STERLING	PRODUCT NAME/#: ENSEMBLE 30" BATH 71171110 COLOR: WHITE DIMENSION: 60" x 30" x 18"	CFCI
BF-5	TUB/SHOWER TRIM	MOEN	PRODUCT NAME/#: GENTA POSI-TEMP SINGLE HANDLE TUB/SHOWER TRIM KIT T2473EPBL FINISH: BLACK	CFCI
BF-6	SHOWER PAN	STERLING	PRODUCT NAME/#: ENSEMBLE 60 1/4" x 34" SHOWER BASE COLOR: WHITE DIMENSION: 60" x 34" x 5 1/2"	CFCI
BF-7	SHOWER TRIM	MOEN	PRODUCT NAME/#: GENTA POSI-TEMP SINGLE HANDLE SHOWER TRIM KIT T2472EPBL FINISH: BLACK	CFCI
	SHOWER DRAIN	KOHLER	PRODUCT NAME/#: SHOWER DRAIN K-9132 COLOR: MATTE BLACK	CFCI
BF-8	SHOWERHEAD	AMERICAN STANDARD	PRODUCT NAME/#: 1660.528 WATER SAVING SHOWERHEAD FINISH: MATTE BLACK	CFCI
BF-9	SHOWER DOOR	KOHLER	PRODUCT: REVEL FRAMELESS PIVOT SHOWER DOOR #K-707511-L HARDWARE FINISH: BLACKENED BRONZE, BKN DIMENSION: 60", RE:UNIT PLANS & DETAILS	CFCI
BF-10	TOILET PAPER HOLDER	MOEN	PRODUCT NAME/#: GENTA MATTE BLACK PIVOTING PAPER HOLDER #BH3808BL FINISH: MATTE BLACK DIMENSIONS: 7 53/64" W x 3 1/4" D	CFCI
BF-11	TOWEL RING AT SINK	MOEN	PRODUCT NAME/#: TOWEL RING #BH3886BL FINISH: MATTE BLACK	CFCI
BF-12	TOWEL BARS	MOEN	PRODUCT NAME/#: GENTA MATTE BLACK TOWEL BAR #BH3818BL OR #BH3824BL FINISH: MATTE BLACK DIMENSION: 18" OR 24"	CFCI
BF-13	ROBE HOOK	MOEN	PRODUCT NAME/#: GENTA MATTE BLACK SINGLE ROBE HOOK #BH3803BL FINISH: MATTE BLACK	CFCI

UNIT APPLIANCE SCHEDULE

APPLIANCE	MANUFACTURER	MODEL / DESCRIPTION	COLOR	RESPONSIBILITY
REFRIGERATOR	SAMSUNG	SRF260BEAESRAA STAINLESS STEEL 26 cu.ft. FRENCH DOOR REFRIGERATOR	STAINLESS	CFCI
RANGE / OVEN	SAMSUNG	NE58K9430SS 5.8 cu.ft.	FINGERPRINT RESISTANT STAINLESS	CFCI
MICROWAVE W/ VENT	SAMSUNG	ME16H703SES 1.6 cu.ft OVER THE RANGE MICROWAVE	SPOT RESISTANT STAINLESS	CFCI
DISHWASHER	SAMSUNG	DW80M2020US/AA BUILD IN DISHWASHER	STAINLESS	CFCI
WASHER	GE APPLIANCES	GGTW220ACKWW WHITE TOP LOAD WASHER	WHITE	CFCI
DRYER	GE APPLIANCES	GGTX22EASKWW WHITE FRONT LOAD DRYER	WHITE	CFCI
GARBAGE DISPOSAL	MOEN	GXP33C		CFCI





RELEASED FOR
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