



LEE'S SUMMIT
MISSOURI

**RELEASE FOR LAWN SPRINKLER SYSTEM
IN CITY OF LEE'S SUMMIT RIGHT OF WAY
(RESIDENTIAL)**

In consideration for the City of Lee's Summit's permission to extend a Lawn Irrigation System into the City's right of way at (legal description of the property):

Lot No. 723 Plat Title Eagle Creek 16th Address: 2346 SW Old Port Rd

County: Jackson State: Missouri

I, Brett D Sheehan, the undersigned, successors, and assigns do hereby release and forever discharge the City of Lee's Summit, its employees and/or agents from and against any and all liability, claims and demands for any use arising out of, relating to, or being in any way connected with work or service by the City, its employees or agents within the City's right of way for any purpose whatsoever.

NOW THEREFORE, the Undersigned hereby declares that said property described above shall be held, sold and conveyed subject to the release herein and said release shall run with the real property and be binding on all parties having any part thereof, their heirs, successors and assigns.

IN WITNESS WHEREOF, this release has been read, signed and sealed this 14th day of February, 2022

By:

[Signature]
Brett D Sheehan

Printed or Typed Name

INDIVIDUAL ACKNOWLEDGMENT

STATE OF MISSOURI
COUNTY OF JACKSON

ON THIS, The 14 day of Feb, 2022 before me, a Notary Public, personally appeared:
Brett D Sheehan

proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) subscribed to the within instrument, and acknowledged that he/she/they executed the same for the purposes stated therein and no other.

WITNESS my hand and official seal in the County and State aforesaid, the day and year first above written.



(Seal)

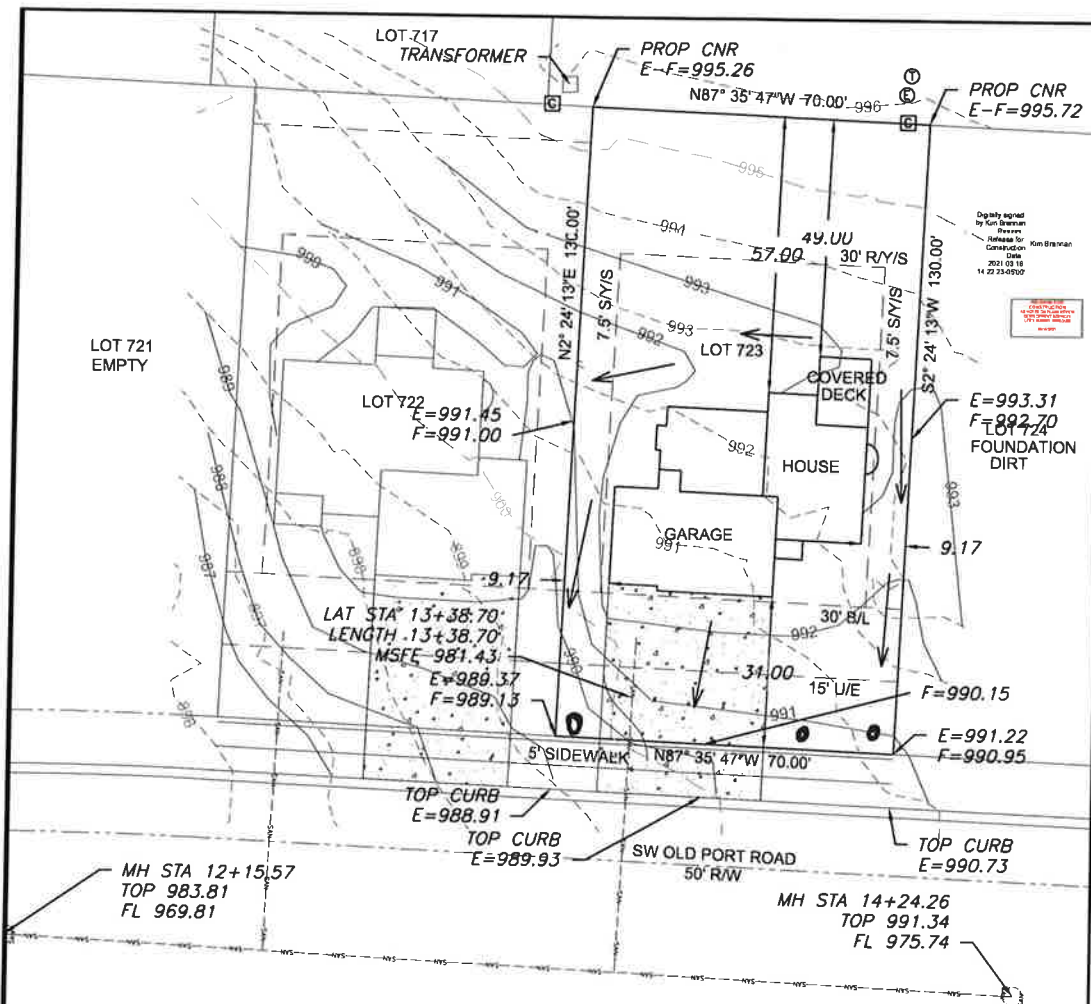
/s/

[Signature]
Notary Public Signature

Tyler Fairless
Printed or Typed Name

My Commission Expires:

06/28/2025



Scale 1"=30'

LOT INFORMATION

9,100 SQ. FT.
MSFE=981.43
MLO (REAR LEFT) = 991.66
MLO (REAR RIGHT) = 993.62
MLO (FRONT LEFT) = 989.68
MLO (FRONT RIGHT) = 991.44
ADDRESS
2346 SW OLD PORT RD

LEGAL DESCRIPTION

LOT 723, EAGLE CREEK 16TH
PLAT, A SUBDIVISION AS
RECORDED IN LEE'S SUMMIT,
JACKSON COUNTY, MISSOURI.

LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

PROPOSED HOUSE

TOP FOUNDATION = 997.50
GARAGE FLOOR = 992.50
TOP FOOTING = 988.50
BASEMENT FLOOR = 988.83

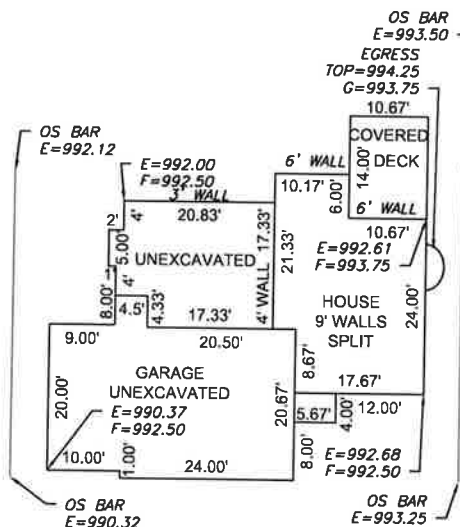
E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS

U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.

DRIVEWAY SLOPE = 7.6%



Scale 1"=20'

ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P (816) 623-9888 F (816) 623-9849
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THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.



PLOT PLAN - LOT 723

EAGLE CREEK 16TH PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

IQ HOMEBUILDERS
P.O. BOX 8423
LEE'S SUMMIT, MO 64084

PROJECT NO. 1	FILE NAME LOT 723, EAGLE CREEK	DATE 1/26/21	SHEET 1	OF 1
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