



**LEE'S SUMMIT**  
MISSOURI

**RELEASE FOR LAWN SPRINKLER SYSTEM  
IN CITY OF LEE'S SUMMIT RIGHT OF WAY  
(RESIDENTIAL)**

In consideration for the City of Lee's Summit's permission to extend a Lawn Irrigation System into the City's right of way at (legal description of the property):

Lot No 678 Plat Title Eagle Creek 15th Plat Address: 2609 SW River Trail Rd.

County: Jackson State: Missouri

I, Brett D. Shelton, the undersigned, successors, and assigns do hereby release and forever discharge the City of Lee's Summit, its employees and/or agents from and against any and all liability, claims and demands for any use arising out of, relating to, or being in any way connected with work or service by the City, its employees or agents within the City's right of way for any purpose whatsoever.

NOW THEREFORE, the Undersigned hereby declares that said property described above shall be held, sold and conveyed subject to the release herein and said release shall run with the real property and be binding on all parties having any part thereof, their heirs, successors and assigns.

IN WITNESS WHEREOF, this release has been read, signed and sealed this 14<sup>th</sup> day of February, 2022.

By:

[Signature]  
Brett D. Shelton

Printed or Typed Name

**INDIVIDUAL ACKNOWLEDGMENT**

STATE OF MISSOURI  
COUNTY OF JACKSON

ON THIS, The 14 day of Feb, 2022 before me, a Notary Public, personally appeared:

Brett D. Shelton  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) subscribed to the within instrument, and acknowledged that he she/they executed the same for the purposes stated therein and no other.

WITNESS my hand and official seal in the County and State aforesaid, the day and year first above written.

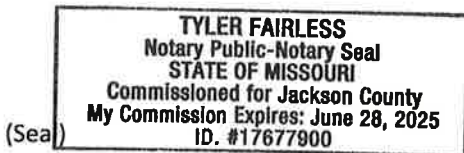
[Signature]

Notary Public Signature

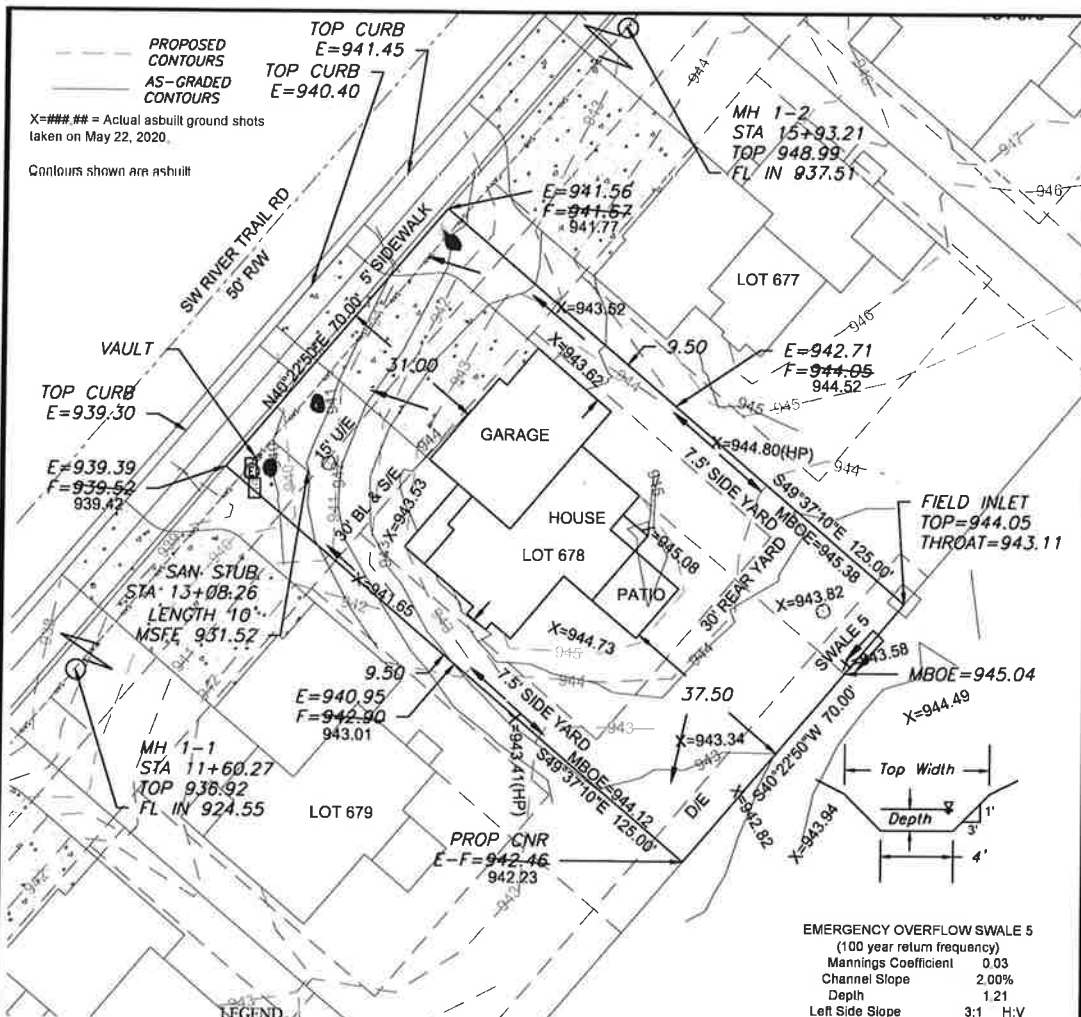
Tyler Fairless  
Printed or Typed Name

My Commission Expires:

06/28/2025



(Seal)



#### LEGEND



- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

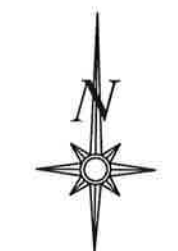
#### PROPOSED HOUSE

TOP FOUNDATION = 946.00  
GARAGE FLOOR = 944.00  
TOP FOOTING = 937.00  
BASEMENT FLOOR = 937.33

E = EXISTING ELEVATION  
F = PROPOSED FINAL ELEVATION  
G = ADJACENT GRADE AT EGRESS  
U/E = UTILITY EASEMENT  
B/L = BUILDING LINE  
S/Y/S = SIDE YARD SETBACK  
R/Y/S = REAR YARD SETBACK

#### NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. EASEMENTS MAY EXIST.



Scale 1"=30'

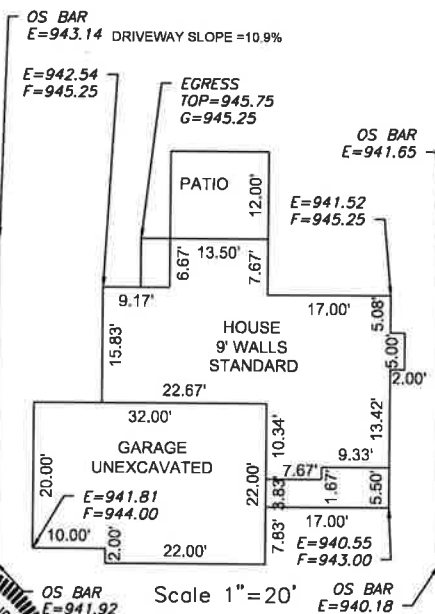
#### LOT INFORMATION

8,750 SQ. FT.  
MBOE = (LT) 845.38  
MBOE = (RT) 844.12  
MSFE = 931.52  
ADDRESS  
2809 S.W. RIVER TRAIL ROAD

#### LEGAL DESCRIPTION

LOT 678, EAGLE CREEK -  
FIFTEENTH PLAT, A  
SUBDIVISION AS RECORDED IN  
LEE'S SUMMIT, JACKSON  
COUNTY, MISSOURI.

AS-GRADED PLOT PLAN IS  
REQUIRED PRIOR TO SODDING.



**ENGINEERING SOLUTIONS**  
ENGINEERING & SURVEYING  
50 SE 30TH STREET  
LEE'S SUMMIT, MO 64082  
PHONE 625-9881 / 64023-5949  
WWW.ENGINEERING SOLUTIONS MO.COM



#### AS-GRADED PLOT PLAN - LOT 678

EAGLE CREEK-FIFTEENTH PLAT  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

IQ HOMEBUILDERS  
PO BOX 6423  
LEE'S SUMMIT, MO 64084

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 678-680, EAGLE CREEK	4/30/19	1	1

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.