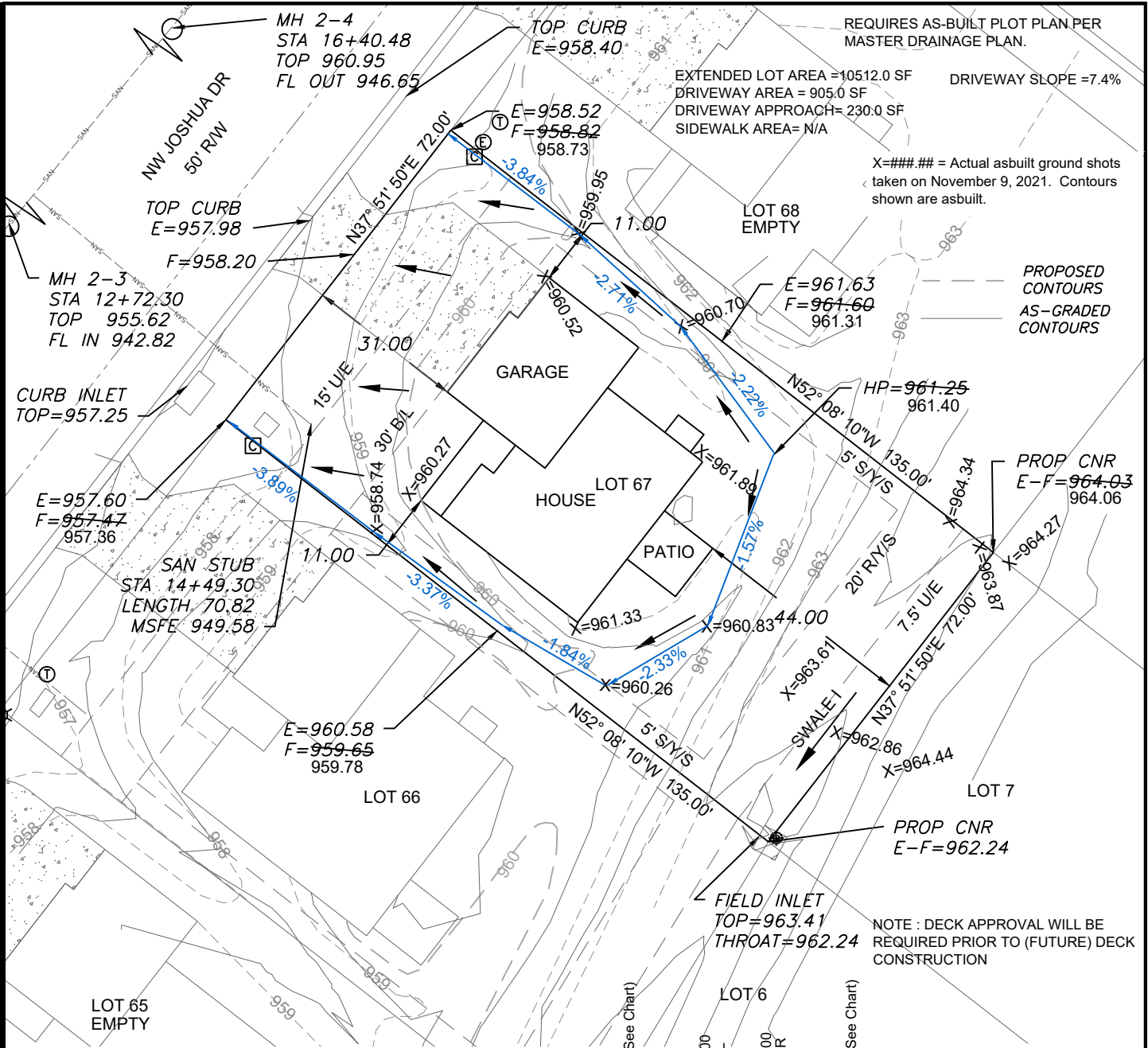




REQUIRES AS-BUILT PLOT PLAN PER MASTER DRAINAGE PLAN.

EXTENDED LOT AREA = 10512.0 SF
DRIVEWAY AREA = 905.0 SF
DRIVEWAY APPROACH = 230.0 SF
SIDEWALK AREA = N/A

DRIVEWAY SLOPE = 7.4%

X=###.## = Actual asbuilt ground shots taken on November 9, 2021. Contours shown are asbuilt.

- LEGEND**
- Gas Meter
 - Telephone or Fiber-Optic Pedestal
 - Cable TV Pedestal
 - Electric Pedestal
 - Light Pole
 - Mailbox
 - Fire Hydrant
 - Water Valve

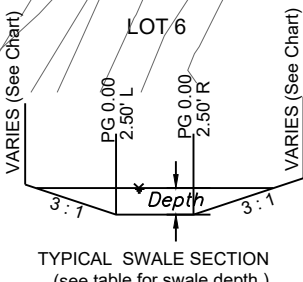
PROPOSED HOUSE

TOP FOUNDATION = 962.50
GARAGE FLOOR = 960.50
TOP FOOTING = 953.50
BASEMENT FLOOR = 953.83

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

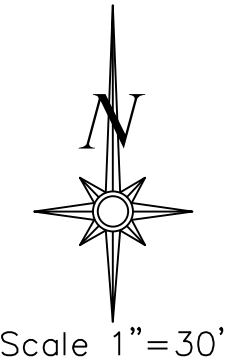
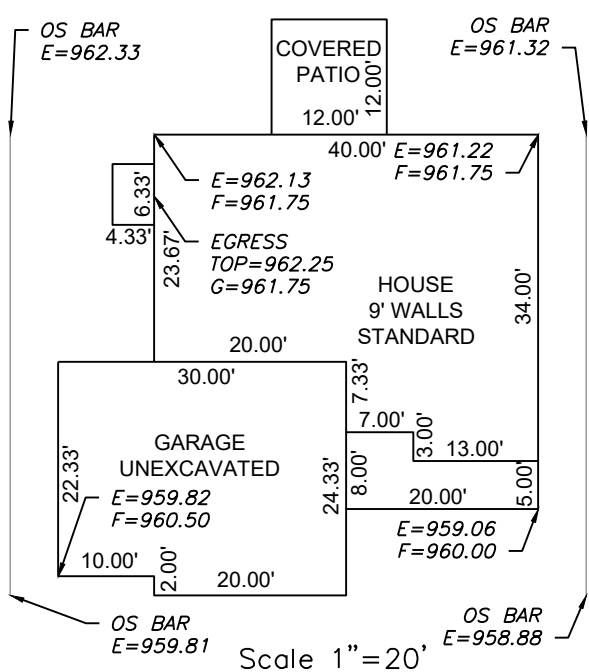
1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.



SWALE I

SECTION DATA

MANNINGS COEFFICIENT	0.03
CHANNEL SLOPE	2.25%
DEPTH	1.35'
SIDE SLOPE	3 : 1
BOTTOM WIDTH	5.0'
DISCHARGE	1.97 cfs



LOT INFORMATION

9720.0 SQ. FT.

MSFE = 949.58
ADDRESS
127 NW JOSHUA DR

LEGAL DESCRIPTION

LOT 67, WOODSIDE RIDGE 1ST PLAT A SUBDIVISION AS RECORDED IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

E

ENGINEERING & SURVEYING

SOLUTIONS

50 SE 30TH STREET

LEE'S SUMMIT, MO 64082

P (816) 623-9888 F (816) 623-9849

WWW.ENGINEERINGSSOLUTIONKCC.COM

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.

AS-GRADED PLOT PLAN - LOT 67

WOODSIDE RIDGE 1ST PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SUMMIT HOMES
120 SE 30TH STREET
LEE'S SUMMIT, MO 64082

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 66, 67, WOODSIDE RIDGE	1/19/21	1	1

Rev: