

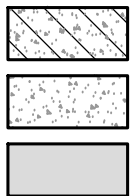
SHEET INDEX

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C2 EROSION CONTROL PLAN
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C5 DIMENSION PLAN SHEET
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FINAL DEVELOPMENT PLAN
TRACT D, SUMMIT VIEW FARMS 4TH PLAT
3132 SW SUMMIT VIEW TRL
NEIGHBORHOOD SWIMMING POOL

LEGEND:

- DRIVEWAY CONCRETE PAVEMENT
SIDEWALK CONCRETE PAVEMENT
ASPHALTIC CONCRETE PAVEMENT



RELEASED FOR
CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
01/10/2022

NOTES:

- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S DESIGN AND CONSTRUCTION MANUAL, AS STATED IN ORDINANCE NO. 5813.
- THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT ENGINEERING FIELD ENGINEERING INSPECTORS AT 816-969-1200 PRIOR TO ANY LAND DISTURBANCE.
- THE CONTRACTOR SHALL CONTACT THE CITY'S RIGHT-OF-WAY INSPECTOR AT 816-969-1800 PRIOR TO ANY LAND DISTURBANCE ACTIVITIES WITHIN THE RIGHT-OF-WAY. THESE ACTIVITIES MAY REQUIRE A PERMIT.
- PERMITS ARE ISSUED BY THE DEVELOPMENT ENGINEERING DIVISION AFTER PLANS ARE APPROVED FOR PERMITTING AND FEES ARE PAID.
- WATER MAIN TAPS, 2-IN DIAMETER AND SMALLER, WILL BE MADE BY WATER UTILITIES, OPERATIONS DEPARTMENT 816-969-1900 WITH A FOURTY-EIGHT (48) HOUR PRIOR NOTICE TO SCHEDULE THE TAP.
- ALL PERMANENT CONCRETE CURB SHALL BE STRAIGHT BACK CURB AND GUTTER (TYPE CG-1), WET OR DRY AS INDICATED, UNLESS SHOWN OTHERWISE.
- ALL PRIVATE SANITARY SEWER LATERALS SHALL BE 4-IN PVC, SDR 26, AT 2.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE.
- ALL WATER LINES SHALL HORIZONTALLY CLEAR STORM SEWER STRUCTURES BY 5-FT, SANITARY SEWER STRUCTURES BY 10-FT, AND PIPES BY 18-IN VERTICALLY.
- AT THE HEAD OF EACH ACCESSIBLE PARKING SPACE, PROVIDE A SIGN MEETING THE REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). THE SIGN SHALL BE MOUNTED 60-IN (5-FT) ABOVE THE GROUND MEASURED FROM THE BOTTOM OF THE SIGN. THE SIGN SHALL BE 12-IN X 18-IN IN AREA.
- THE SUBJECT SITE LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD) AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0531G, WITH A REVISED MAP DATE OF JANUARY 20, 2017.
- THERE ARE NO ABANDONED OIL AND/OR GAS WELLS PRESENT WITHIN THE LIMITS OF THE TRACT, PER THE APPROXIMATE LOCATIONS GIVEN IN THE ONLINE MDNR OIL AND GAS DATABASE UPDATED NOVEMBER 7, 2019.
- THE SUBJECT SITE IS ZONED R-1. THIS USE IS ALLOWED BY THE SINGLE FAMILY RESIDENTIAL ZONING DISTRICT.
- ALL SIDEWALK PAVEMENT SURFACES AND CURB SHALL BE KCMMB4K CONCRETE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S DESIGN AND CONSTRUCTION MANUAL, SECTION 5100, AS STATED IN ORDINANCE NO. 5813.
- THE UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE DESIGN SUMMIT VIEW FARMS 4TH PLAT LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (PUBLIC AND PRIVATE, WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE.
- SUMMIT VIEW FARMS 4TH PLAT PRIVATE INFRASTRUCTURE HAS NOT BEEN CONSTRUCTED. CONTRACTOR SHALL COORDINATE FINAL DEVELOPMENT PLAN IMPROVEMENTS WITH 4TH PLAT CONSTRUCTION.

SITE PLAN INFORMATION

SITE AREA (SF), (AC)	49,874 SF 1.15 AC	TOTAL BUILDING AREA (SF)	1,220 SF
FLOOR AREA RATIO	0.015	IMPERVIOUS COVERAGE (SF), (%)	19,400 SF 38.9 %

PARKING TABLE

USE	PARKING REQUIREMENT	LEE'S SUMMIT LOTS	CODE REQUIRED	PROVIDED*
SUBDIVISION POOL	1 PER 16 SUBDIVISION LOTS	120	8	18
* 1 ACCESSIBLE PARKING SPACE REQUIRED AND PROVIDED				

APPLICANT CONTACT

BILL KENNEY
SUMMIT VIEW FARMS
DEVELOPMENT GROUP, LLC
P.O. BOX 291
LEE'S SUMMIT, MO 64063
BILLKENNEY9@GMAIL.COM
(816) 838-0552

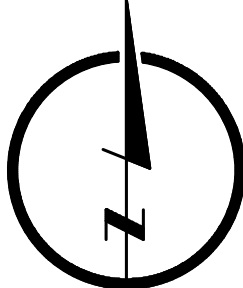
CONSULTANT CONTACT

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DAN.MCGHEE@LAMPRYNEARSON.COM
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MARK DANIEL MCGHEE, JR.
PE - 2008019568

SITE PLAN SHEET

SUMMIT VIEW FARMS 4TH PLAT POOL
CITY OF LEE'S SUMMIT, MISSOURI

REVISIONS

12-10-2021 - PER CITY COMMENTS

DESIGNER / DRAFTER

JDM/AJM

DATE

OCTOBER 2021

PROJECT NUMBER

0318050.02

BOOK AND PAGE

MISSOURI AUTHORIZATION NUMBER

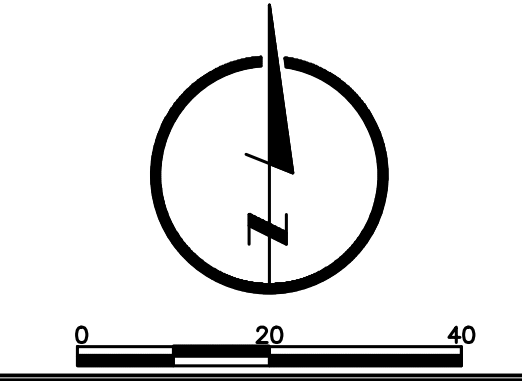
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RYNEARSON

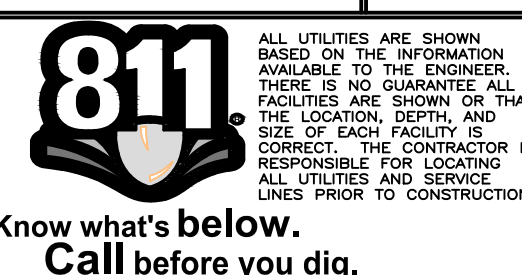
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EROSION CONTROL PLAN SHEET

SUMMIT VIEW FARMS 4TH PLAT POOL
CITY OF LEE'S SUMMIT, MISSOURI



REVISIONS	
DESIGNER / DRAFTER	
JDM/AJM	
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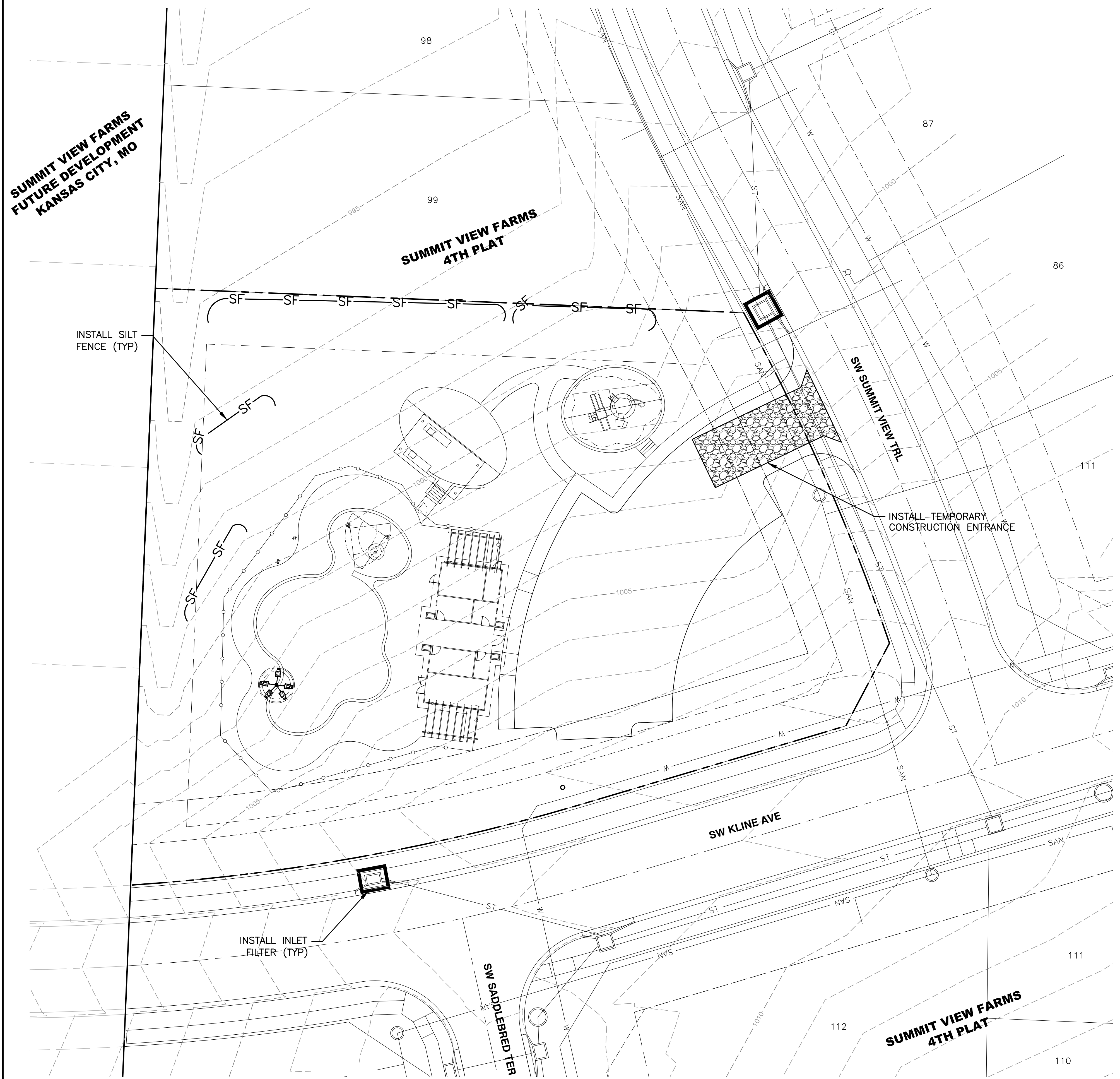
- GENERAL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL PUBLIC ROADWAYS ADJACENT TO THE CONSTRUCTION SITE FREE OF DIRT AND DEBRIS RESULTING FROM ACTIVITIES RELATED TO THE CONSTRUCTION OF THIS PROJECT.
 2. ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, OR AS DIRECTED BY THE OWNER.
 3. CONTRACTOR SHALL UTILIZE TEMPORARY CONSTRUCTION ENTRANCE(S) FOR ACCESS TO THE PROJECT AREA.
 4. CONTRACTOR SHALL REFER TO THE SPECIFIC SWPPP AND MDNR LAND DISTURBANCE PERMIT FOR ADDITIONAL REQUIREMENTS AND BEST MANAGEMENT PRACTICES.
 5. CONTRACTOR IS TO MAINTAIN ALL EROSION CONTROL INSTALLATIONS.
- EROSION AND SEDIMENT CONTROL SEQUENCING:**
1. IMPLEMENT PRE-CLEARING: ALL STRUCTURAL BMPs MUST BE IN PLACE BEFORE GENERAL CLEARING OPERATIONS. CLEARING NECESSARY TO PLACE STRUCTURAL BMPs IS THE MINIMUM REQUIRED FOR INSTALLATION. COORDINATE CLEARING NECESSARY TO PLACE STRUCTURAL BMPs WITH LOCAL WEATHER FORECAST SO THAT CLEARING AND PLACEMENT MAY BE COMPLETED WITHIN A FORECAST DRY PERIOD. STABILIZE ALL DIVERSION BERMS AND SEDIMENT TRAPS WITHIN 5 DAYS AFTER INSTALLATION.
 2. CLEAR AND STABILIZE WORK AREAS: GRADE PARKING AND CONTRACTOR AREAS AND PLACE ALL-WEATHER SURFACE ON CONTRACTOR AREAS.
 3. BUILDING TOP-OUT: COMPLETE BUILDING FOUNDATION, FRAMING, SEEDING AND ROOF INSTALLATION INCLUDING UTILITY SERVICES
 4. IMPLEMENT STEEP SLOPE PROTECTION (AS APPLICABLE). DURING GRADING OPERATIONS, PLACE STEEP SLOPE PROTECTION AS SOON AS PRACTICABLE.
 5. STABILIZE INACTIVE AREAS: THE GROUND COVER AND OTHER STRUCTURAL BMPs MUST BE PLACED WITHIN 14 DAYS OF CESSATION OF GROUND DISTURBING ACTIVITY AT THE LOCATION OF THE BMP. IN DETERMINING THE INACTIVE STATUS OF THE GROUND, EVALUATE EACH PORTION FOR THE SITE SEPARATELY. THE NEED FOR SUBSEQUENT PLACEMENT OF TRENCHED UTILITIES OR OTHER CONSTRUCTION IN AN OTHERWISE INACTIVE AREA IS NOT JUSTIFICATION FOR DELAY OF STABILIZATION.
 6. COMPLETE PAVEMENT AND STORMWATER IMPROVEMENTS DEPICTED ON THE CONSTRUCTION PLANS.
 7. IMPLEMENT FINAL STABILIZATION: COORDINATE REMOVAL OF CONSTRUCTION PHASE BMPs NECESSARY TO PLACE FINAL STABILIZATION WITH LOCAL WEATHER FORECAST SO THAT REMOVAL AND PLACEMENT MAY BE COMPLETED WITHIN A FORECAST DRY PERIOD. DOWN-SLOPE PERIMETER CONTROLS SHALL NOT BE REMOVED UNTIL FINAL STABILIZATION IS PLACED AND VEGETATIVE COVER IS ESTABLISHED OVER THE REMAINDER OF THE SITE.
 8. ESTABLISHMENT AND FINAL CONSTRUCTION: ONCE THE REMAINDER OF THE SITE IS STABILIZED INCLUDING ESTABLISHMENT OF SEEDED COVER TYPES, REMOVE THE SEDIMENT CONTROLS AND THE REMAINING ACCESS CONTROLS. RESTORE AREA DISTURBED BY REMOVAL OF SEDIMENT CONTROLS.
 9. PLAN MODIFICATION: THE CONTRACTOR MUST MODIFY THE PLAN IF THE PLAN FAILS TO SUBSTANTIALLY CONTROL EROSION AND OFFSITE SEDIMENTATION. THE CONTRACTOR MAY MODIFY THE PLAN OR CONSTRUCTION SEQUENCE IF IMPLEMENTATION IS INFEASIBLE FOR SITE CONDITIONS OR CONTRACTOR METHODS. ANY SUCH MODIFICATIONS SHALL CONTROL EROSION AND OFFSITE SEDIMENTATION TO THE MAXIMUM EXTENT PRACTICABLE. ANY SUCH MODIFICATIONS SHALL REQUIRE THE PRIOR APPROVAL OF THE PERMITTING AUTHORITY.

LEGEND

TEMPORARY CONSTRUCTION ENTRANCE

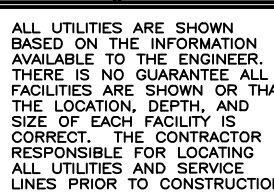
SILT FENCE

INLET FILTERS





**SUMMIT VIEW FARMS 4TH PLAT POOL
CITY OF LEE'S SUMMIT, MISSOURI**



REVISIONS

DESIGNER / DRAFTER

MDM (AIM)

MDM/AJM
DATE

DATE _____

OCTOBER 2021

PROJECT NUMBER _____

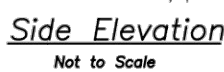
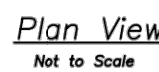
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1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for possible drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3:1-IV side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

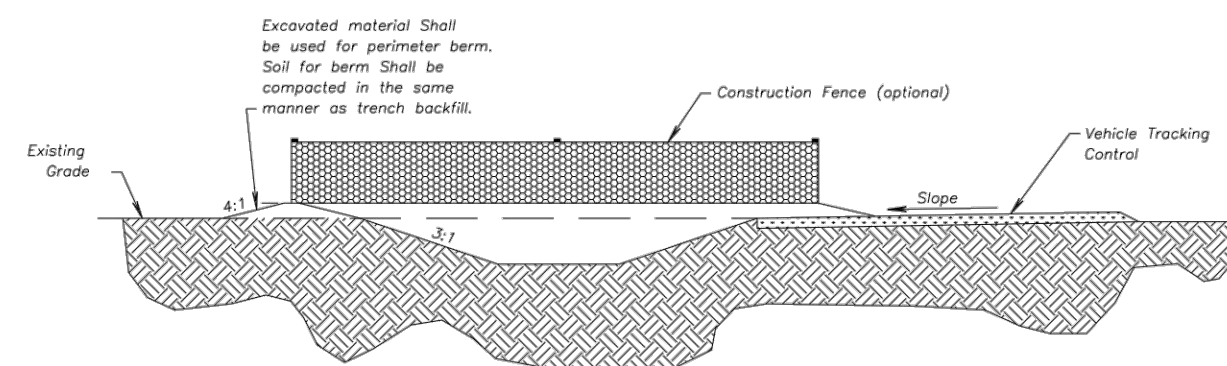
1. Reshape entrance as needed to maintain function and integrity of Installation. Top dress with clean aggregate as needed.

CONSTRUCTION ENTRANCE


Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes of the flat subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump trucks.
5. A one-piece impermeable liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

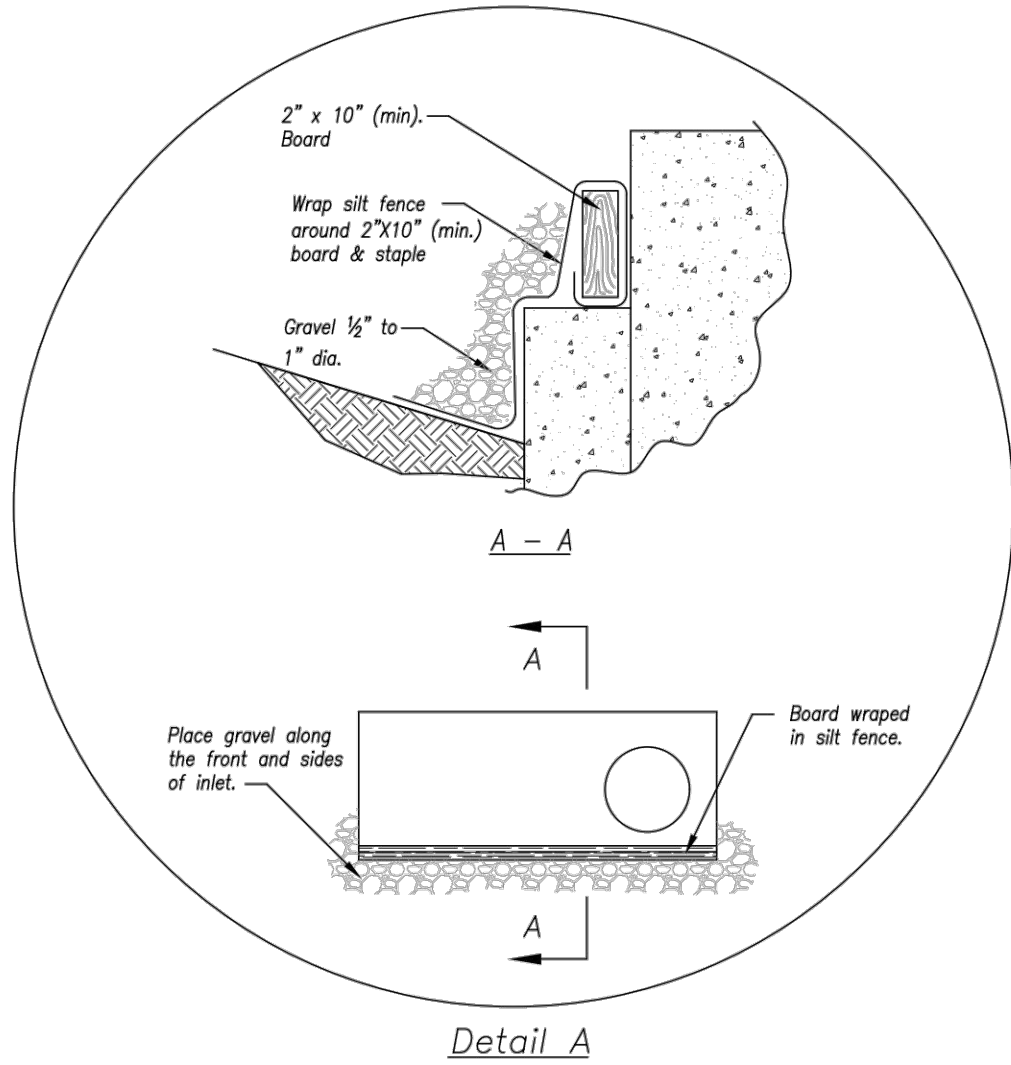
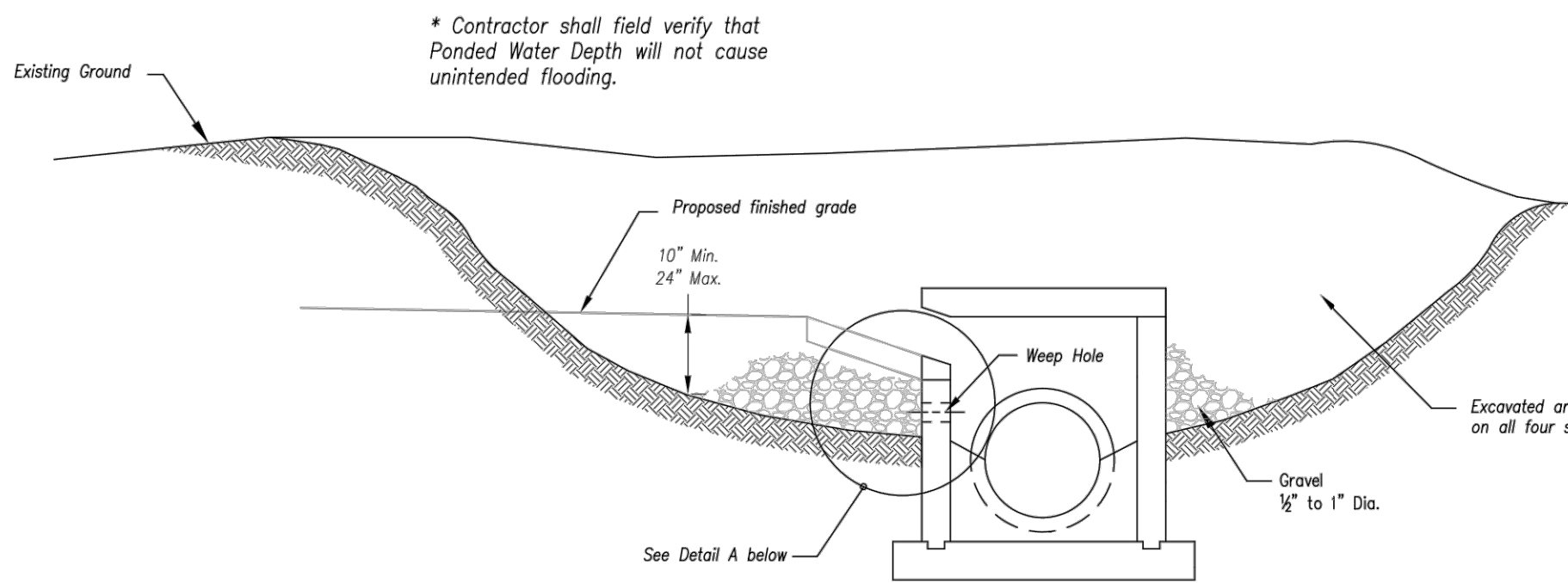
1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topped, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



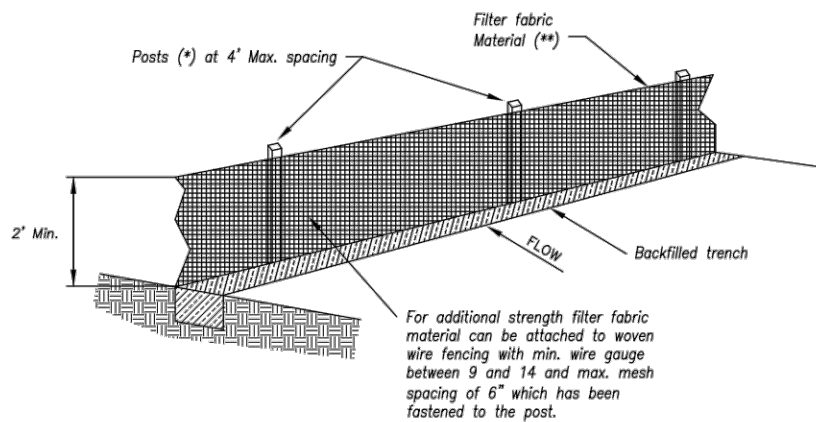
CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION 		KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT		STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016

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EARLY STAGE CURB INLET
(Open Box and Prior to Pouring
Curb and Inlet Throat)



(*) POSTS

- MIN. LENGTH 4'
- HARDWOOD 1 3/4" x 1 3/4"
- NO.2 SOUTHERN PINE 2 3/8" x 2 3/8"
- STEEL 1.33 LB/FT

(*) - Geotextile Fabric shall meet the requirements of ASTM D 288

SILT FENCE DETAILS
Not to Scale

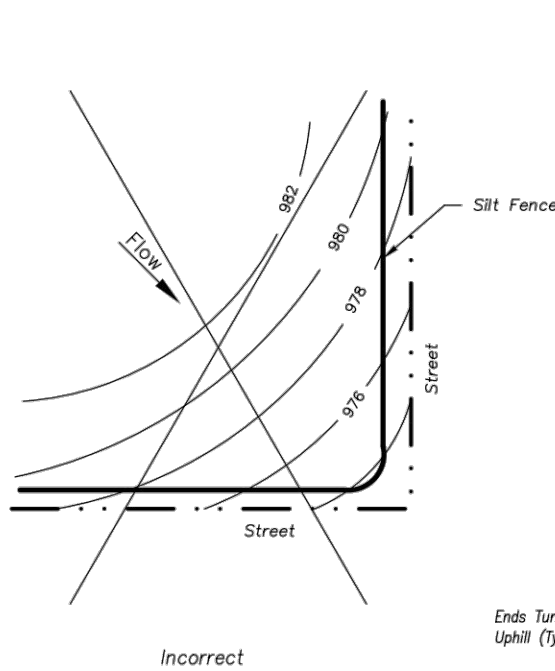
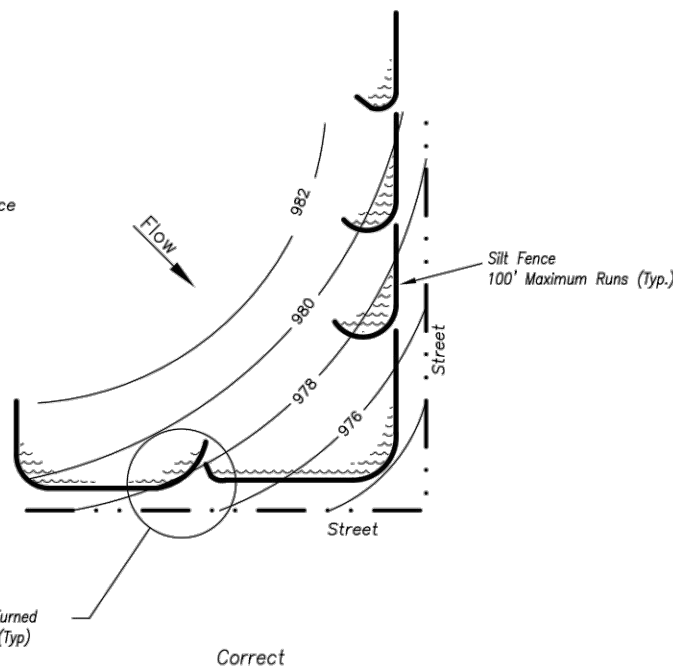
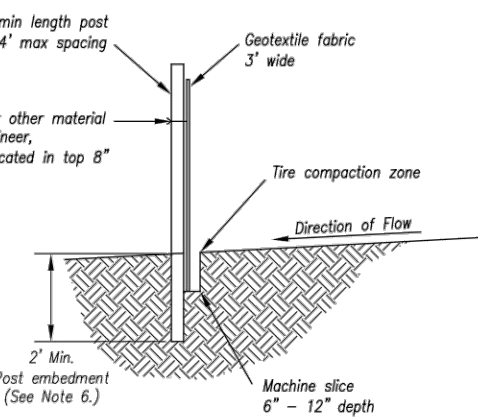


Figure A



SILT FENCE LAYOUT
Not to Scale

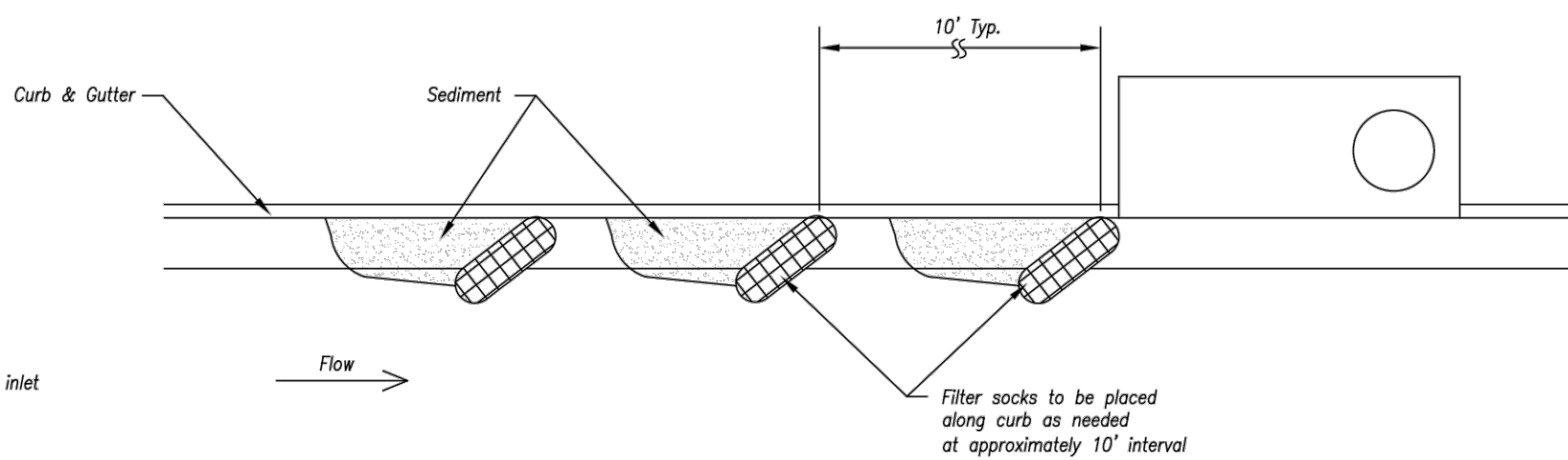
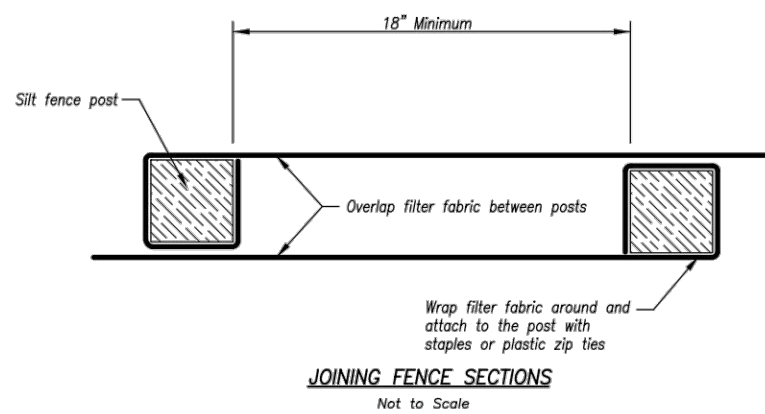


Notes:

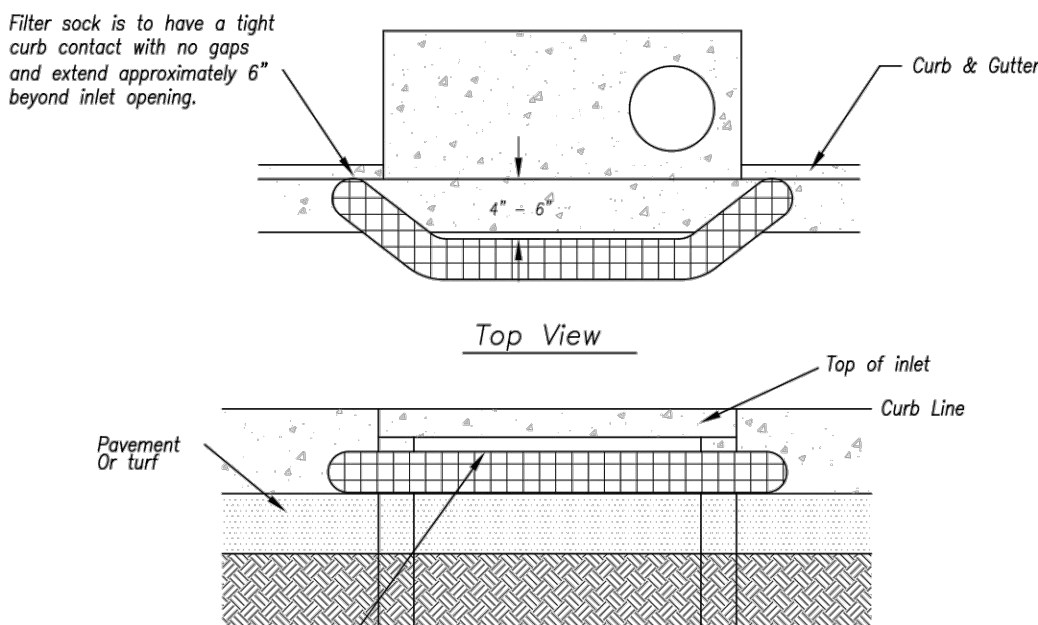
1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches 1/3 the height of silt fence.
2. Repair as necessary to maintain function and structure.



On Grade Curb Inlet Protection



Sump Inlet Sediment Filter

LATE STAGE CURB INLET

(After Pouring Curb and Inlet Throat)

Notes:

1. Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2" x 10" (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
2. When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
3. Contractor to field verify ponding water shall not create a traffic hazard.

Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.

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MARK DANIEL MCGHEE JR.

PE - 2008019568

EROSION CONTROL DETAIL SHEET

SUMMIT VIEW FARMS 4TH PLAT POOL
CITY OF LEE'S SUMMIT, MISSOURI



Know what's below.
Call before you dig.

REVISIONS

DESIGNER / DRAFTER

MDM/AJM

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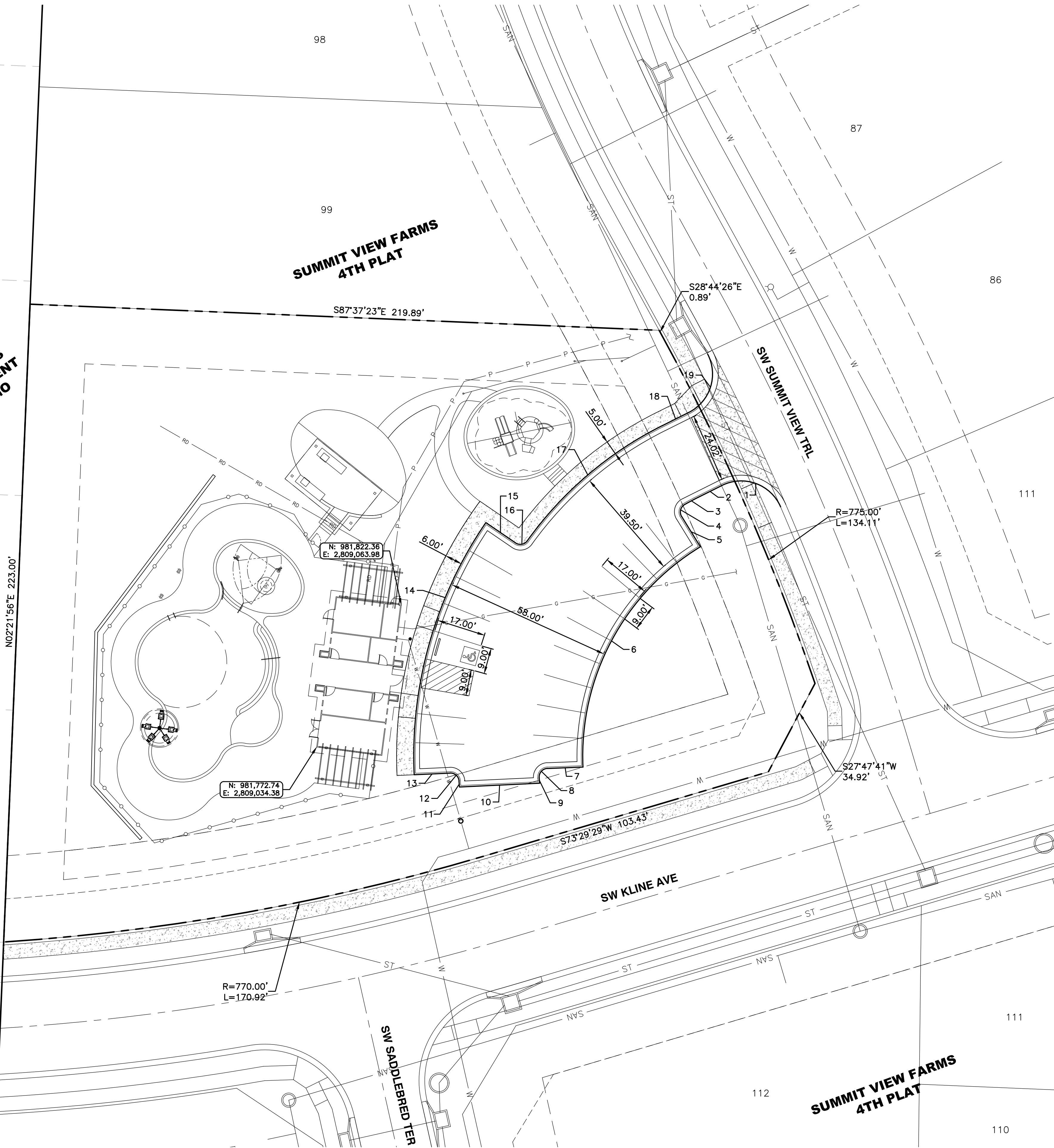
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AMERICAN PUBLIC WORKS ASSOCIATION	
SILT FENCE	STANDARD DRAWING NUMBER ESC-03 ADOPTED: 10/24/2016
	ADOPTED: 10/24/2016
CURB INLET PROTECTION	STANDARD DRAWING NUMBER ESC-06 ADOPTED: 10/24/2016
	ADOPTED: 10/24/2016

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SUMMIT VIEW FARMS
FUTURE DEVELOPMENT
KANSAS CITY, MO

N02°21'56"E 223.00'



- GENERAL NOTES:
1. ALL BUILDING DIMENSIONS SHOWN ON THIS SHEET ARE LOCATED AT OUTSIDE FACE OF WALL.
 2. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
 3. REFER TO POOL AND ASSOCIATED HARDSCAPE IMPROVEMENT PLANS PREPARED BY LORAX DESIGN GROUP, FOR DIMENSIONS, ELEVATIONS AND DETAILS.

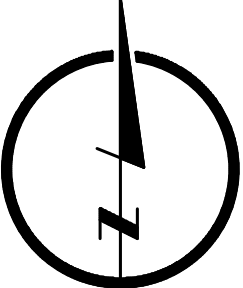
BACK OF CURB TABLE				
LINE #/CURVE #	LENGTH	DIRECTION/DELTA	RADIUS	NORTHING/EASTING
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2	9.26	S63° 26' 02.43"W		N=981864.13/E=2809175.95
3	5.34	3.03	101.00	N=981859.99/E=2809167.665
4	4.82	92.05	3.00	N=981857.48/E=2809162.955
5	12.44	S31° 38' 29.61"E		N=981853.29/E=2809161.88
6	91.47	61.30	85.50	N=981842.70/E=2809168.408
7	12.44	S87° 43' 53.44"W		N=981765.77/E=2809127.42
8	4.82	92.05	3.00	N=981765.28/E=2809114.994
9	1.92	S04° 51' 33.48"E		N=981762.05/E=2809112.12
10	28.02	S87° 16' 49.60"W		N=981760.14/E=2809112.28
11	2.06	N04° 21' 47.53"W		N=981758.81/E=2809084.29
12	4.63	87.78	3.02	N=981760.86/E=2809084.135
13	12.53	S87° 23' 47.21"W		N=981763.66/E=2809081.01
14	93.14	36.93	144.50	N=981763.09/E=2809068.484
15	12.53	S55° 40' 17.03"E		N=981851.14/E=2809093.50
16	4.64	88.70	3.00	N=981844.07/E=2809103.855
17	62.60	27.80	129.00	N=981844.80/E=2809107.986
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MARK DANIEL MCCHIE, JR.
PE - 2008019568

DIMENSION PLAN SHEET

SUMMIT VIEW FARMS 4TH PLAT POOL
CITY OF LEE'S SUMMIT, MISSOURI



ALL UTILITIES ARE SHOWN
BASED ON THE INFORMATION
AVAILABLE TO THE ENGINEER.
THERE IS NO GUARANTEE ALL
UTILITIES ARE SHOWN OR THAT
THE LOCATION, DEPTH, AND
SIZE OF EACH FACILITY IS
CORRECT. THE SUBMITTOR IS
RESPONSIBLE FOR LOCATING
ALL UTILITIES AND SERVICE
LINES PRIOR TO CONSTRUCTION.

Know what's below.
Call before you dig.

REVISIONS
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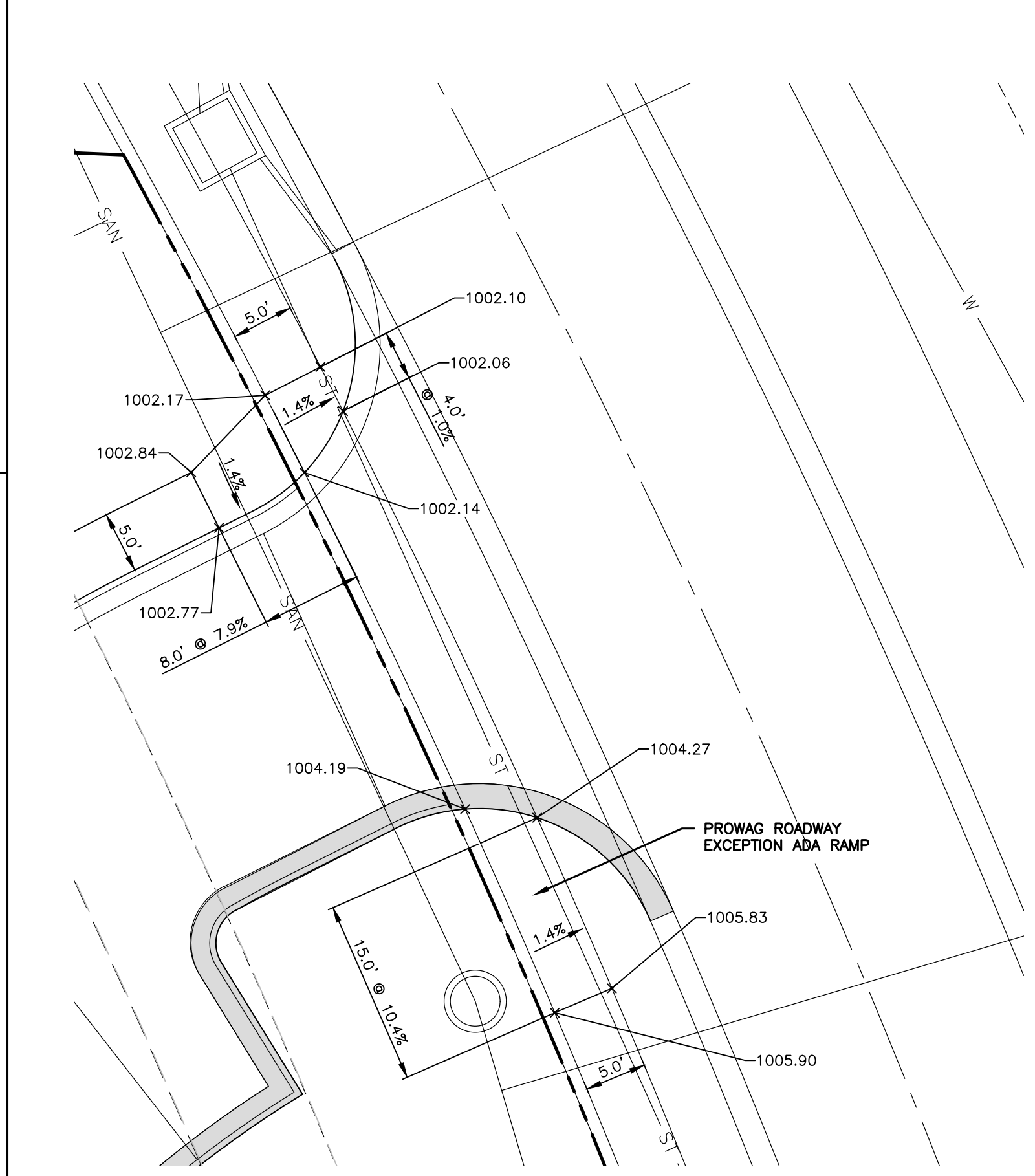
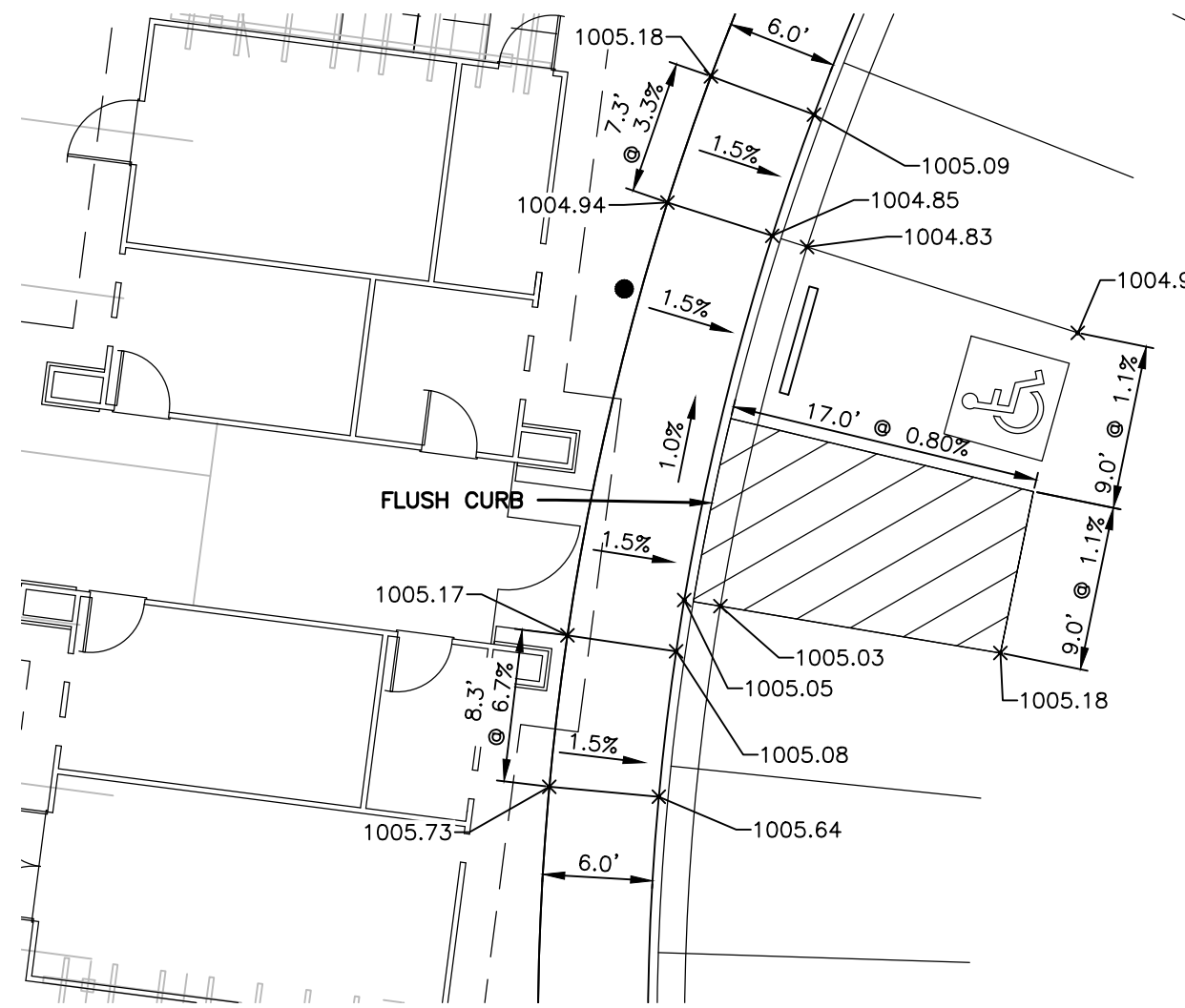
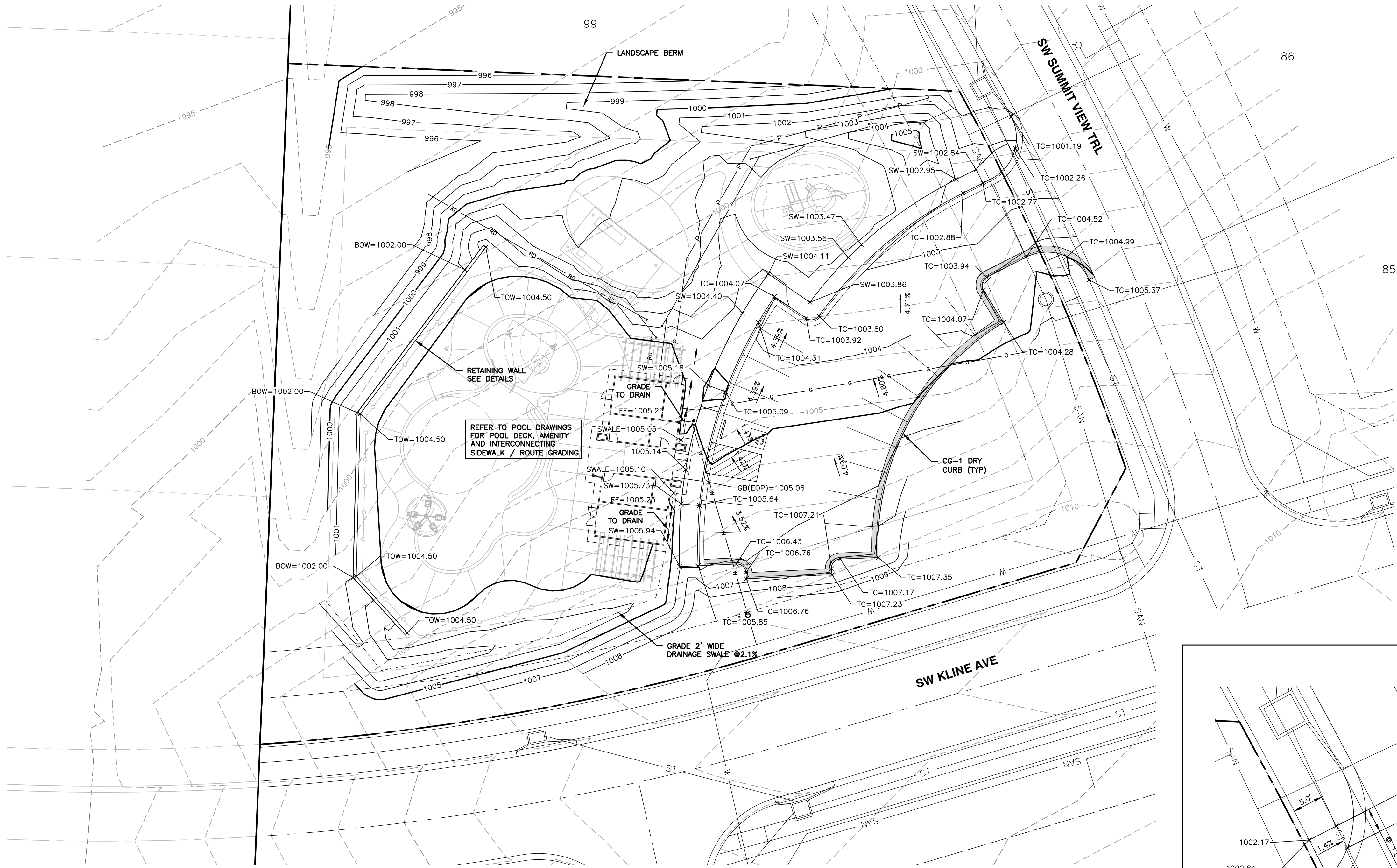
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0 20 40

MARK DANIEL MCGHEE, JR.
PE - 2008019568

GRADING PLAN

SUMMIT VIEW FARMS 4TH PLAT POOL
CITY OF LEE'S SUMMIT, MISSOURI

811

ALL UTILITIES ARE SHOWN BASED ON THE INFORMATION AVAILABLE TO THE ENGINEER. THERE IS NO GUARANTEE ALL UTILITIES ARE SHOWN ON THAT THE LOCATION, DEPTH, AND SIZE OF EACH FACILITY IS CORRECT. THE INSTALLER IS RESPONSIBLE FOR LOCATING ALL UTILITIES AND SERVICE LINES PRIOR TO CONSTRUCTION.

Know what's below.
Call before you dig.

REVISIONS

12-10-2021 - PER CITY COMMENTS

DESIGNER / DRAFTER

MDM/AJM

DATE

OCTOBER 2021

PROJECT NUMBER

0318050.02

BOOK AND PAGE

2013011903

SHEET

C6

\\Engineering\0318050 Summit View Farms 3rd Plat\Drawings\CONSTRUCTION DRAWINGS\4TH PLAT\POOL-PLANS\0318050.02 - UTILITY-PLAN - POOL.dwg, 12/10/2021 11:23:59 AM, DAN MCGHEE, LAMP RYNEARSON

SUMMIT VIEW FARMS
FUTURE DEVELOPMENT
KANSAS CITY, MO

SUMMIT VIEW FARMS
4TH PLAT

6" PVC SDR-26
STORM DRAINAGE LINE

6" BACKWASH
FILTER DISCHARGE
N: 981,884.89
E: 2,808,979.76

INSTALL CLEANOUTS AT ALL
CHANGES IN DIRECTION (TYP)

FF=1005.25

INSTALL 1" SERVICE LINE
COPPER TYPE "K" SOFT
AND 3/4" WATER METER
SEE DETAILS
N: 981,746.92
E: 2,809,084.75

FIELD LOCATE SANITARY SEWER
LATERAL AND VERIFY STUB INVERT
ELEVATION; SEWER MAIN INV=989.31,
MIN LATERAL STUB INV=990.59

INSTALL SEWER CLEANOUT
AT ALL CHANGES IN
ALIGNMENT (TYP)

GAS SERVICE LINE
(BY UTILITY)

1" SERVICE LINE
COPPER TYPE
"K" SOFT

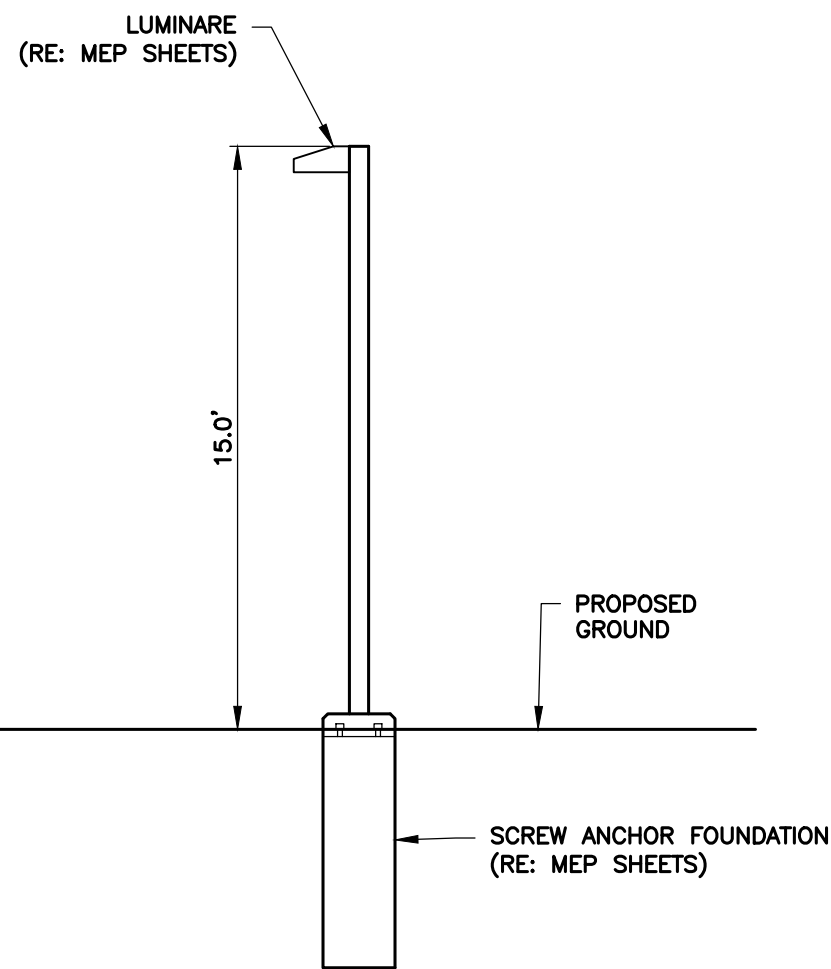
112

SUMMIT VIEW FARMS
4TH PLAT

110

GENERAL NOTES:

- ALL UTILITIES SHOWN ARE DESIGN LOCATIONS. THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR ALL LOCATIONS AND CONNECTIONS.
- THE CONTRACTOR SHALL VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL CONTACT THE ENGINEER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION TO THE DESIGN CAN BE MADE.
- THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY COMPANIES AND CITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL PAY ALL FEES FOR CONNECTIONS, RELOCATIONS, INSPECTIONS AND DEMOLITION.
- THE SANITARY SEWER SERVICE LATERAL SHALL MAINTAIN 10-FT MIN. HORIZONTAL AND 18-IN MIN. VERTICAL SEPARATION FROM WATER LINES. WATER LINES SHALL BE INSTALLED TO MAINTAIN A MINIMUM OF 42-INCHES OF COVER OVER THE PIPE.
- THE SANITARY SEWER SHALL BE INSTALLED TO MAINTAIN POSITIVE SLOPE. THE CONTRACTOR SHALL VERIFY THAT EACH RUN OF PIPE CAN BE INSTALLED WITH POSITIVE SLOPE, ACHIEVING AT LEAST MINIMUM SLOPE, WITHOUT INTERFERENCE WITH OTHER UNDERGROUND UTILITIES OR OBSTRUCTIONS PRIOR TO INSTALLING THE LINE.
- THIS PLAN DETAILS UTILITIES UP TO 5-FT FROM THE BUILDING FACE. REFER TO THE BUILDING DRAWINGS FOR BUILDING CONNECTIONS.
- WATER SERVICE COPPER PIPE SHALL BE TYPE K WITH COMPRESSION FITTINGS.
- ALL SANITARY SEWER SERVICE LINES SHALL BE PVC SDR-26 PIPE, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED PROCEDURES. MINIMUM SLOPE IS 2% WITH AT LEAST 36 INCHES OF COVER.
- ELECTRICAL SERVICE LINES SHALL BE INSTALLED IN CONDUITS IN ACCORDANCE WITH EVERGY'S STANDARD REQUIREMENTS.
- SUMMIT VIEW FARMS 4TH PLAT PRIVATE UTILITIES HAVE NOT BEEN CONSTRUCTED. CONTRACTOR SHALL COORDINATE FINAL DEVELOPMENT PLAN IMPROVEMENTS WITH 4TH PLAT CONSTRUCTION.
- SEE SHEET ME-1 SHEET FOR LIGHT POLE LOCATIONS, ME-4 FOR LIGHT POLE FOUNDATION DETAIL, AND E-2 FOR LUMINARE CUT SHEETS, SCHEDULE AND LIGHTING STATISTICS.



LIGHT POLE HEIGHT DETAIL
N.T.S.

UTILITY PLAN SHEET

SUMMIT VIEW FARMS 4TH PLAT POOL
CITY OF LEE'S SUMMIT, MISSOURI



ALL UTILITIES ARE SHOWN
BASED ON THE INFORMATION
AVAILABLE TO THE ENGINEER.
THERE IS NO GUARANTEE ALL
UTILITIES ARE SHOWN OR THAT
THE LOCATION, DEPTH, AND
SIZE OF EACH UTILITY IS
CORRECT. THE CONTRACTOR IS
RESPONSIBLE FOR LOCATING
ALL UTILITIES AND SERVICE
LINES PRIOR TO CONSTRUCTION.

Know what's below.
Call before you dig.

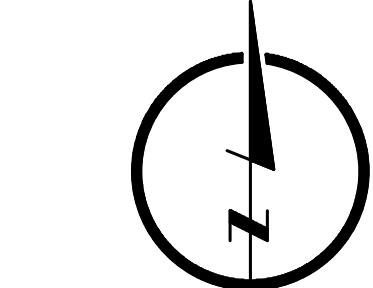
REVISIONS
12-10-2021 - PER CITY COMMENTS

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RELEASED FOR
CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
01/10/2022

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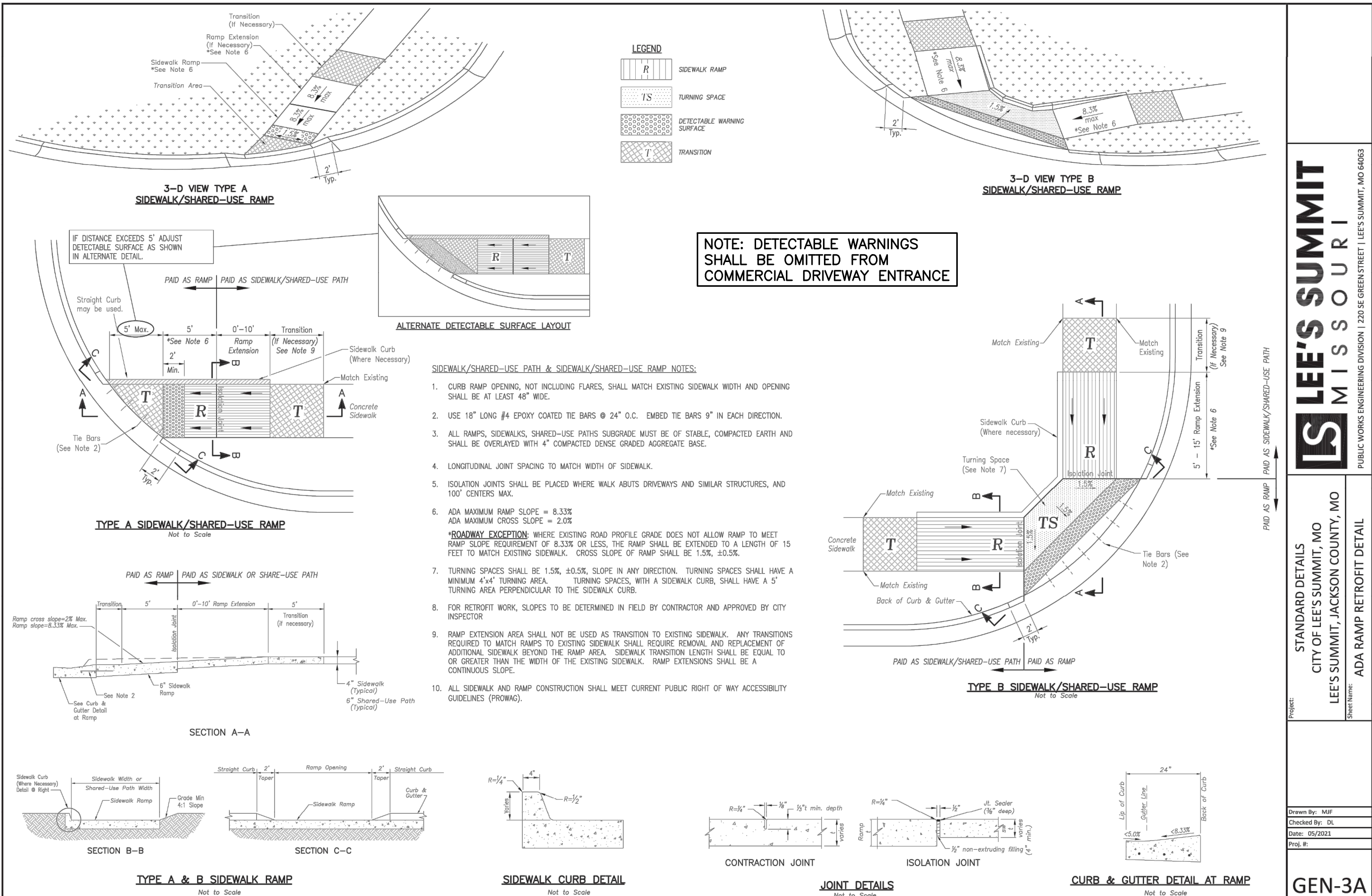
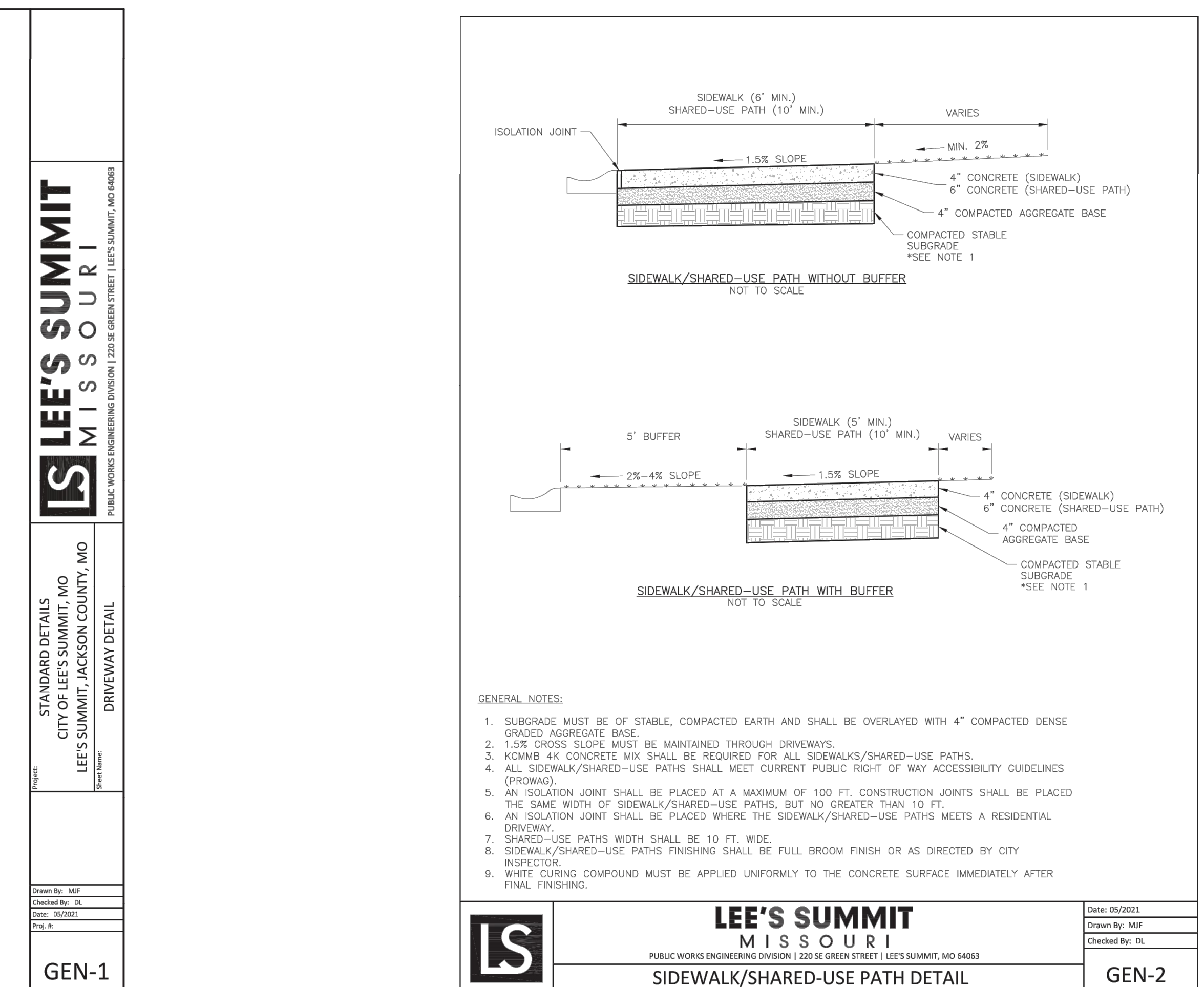
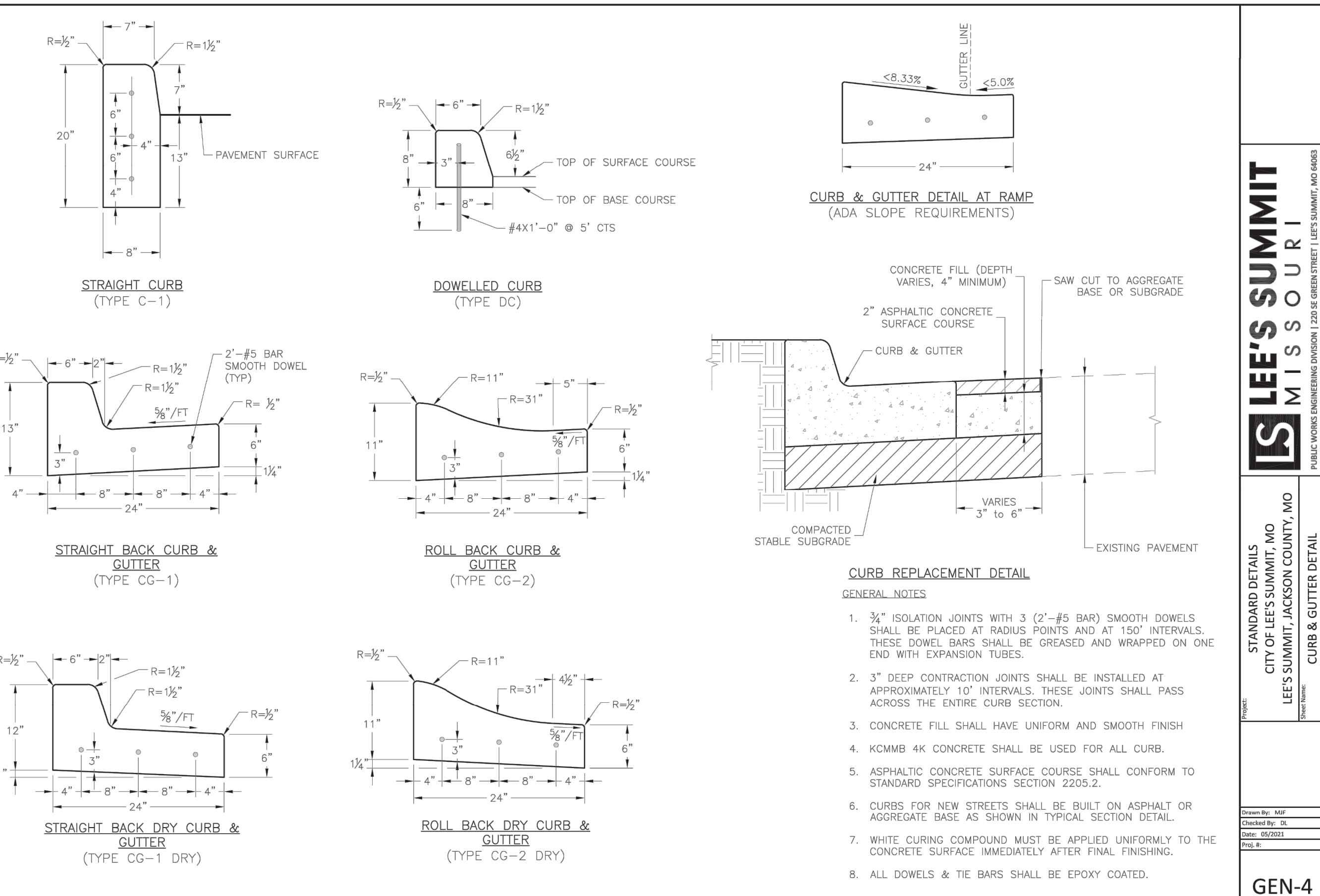
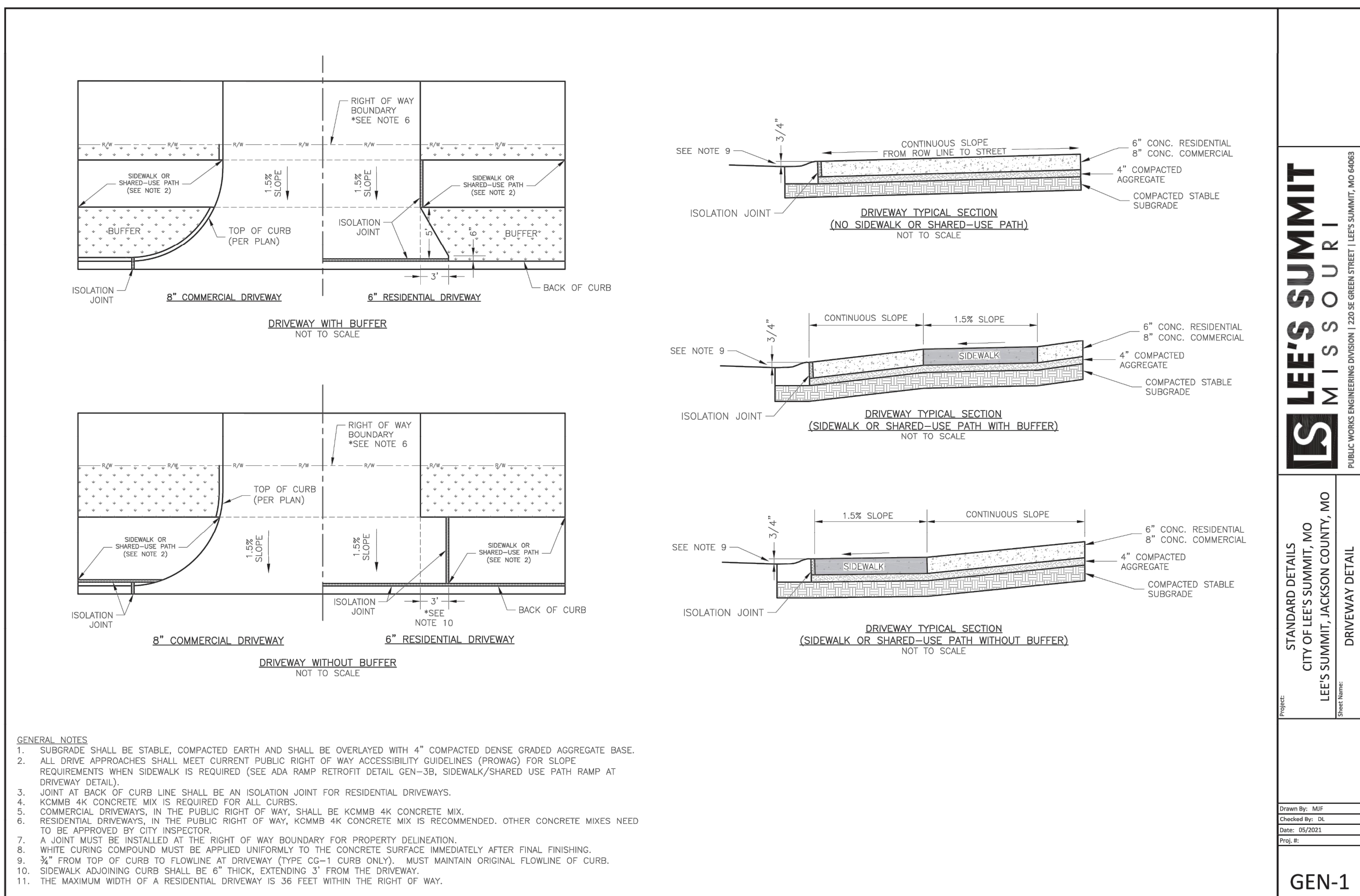
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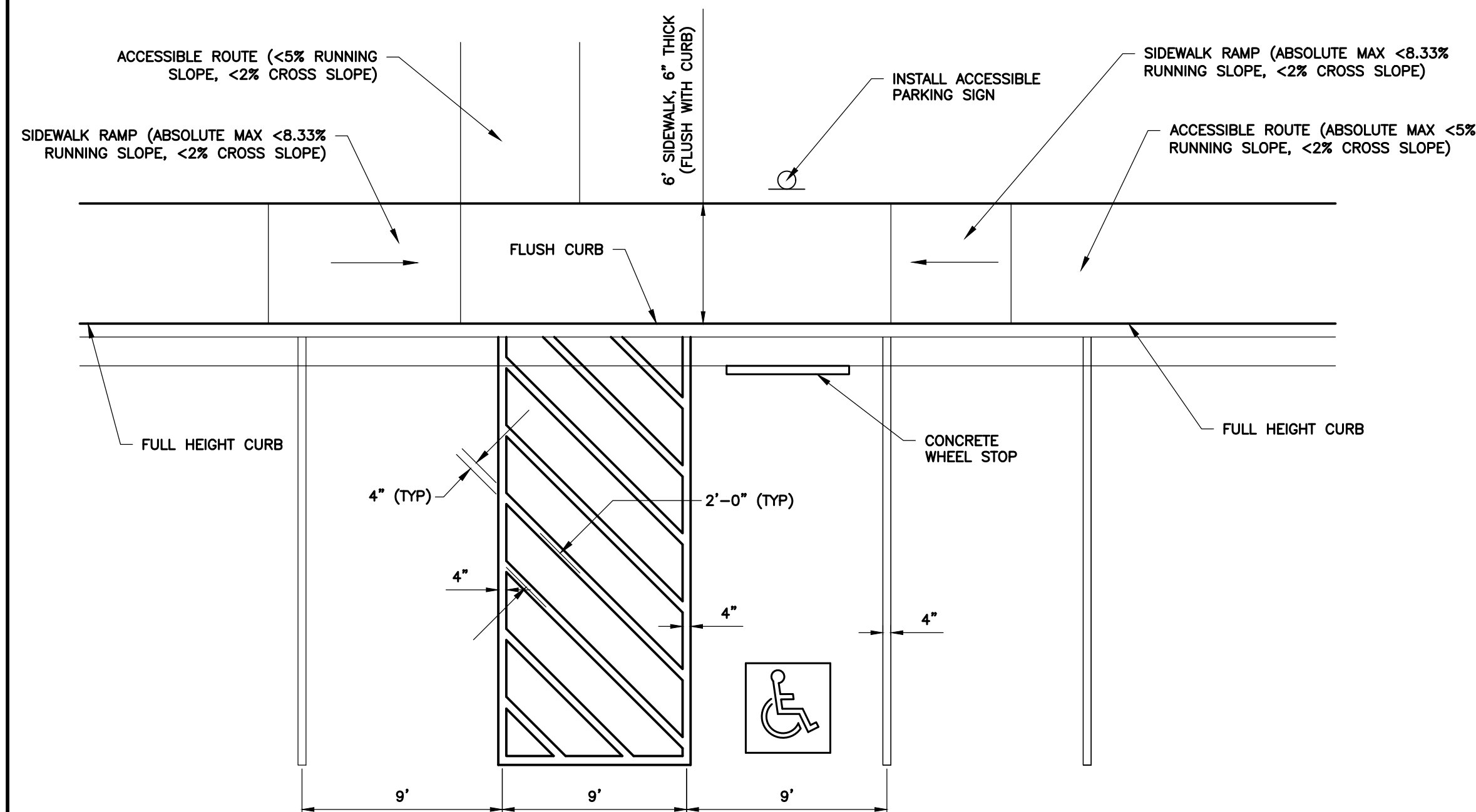
CIVIL DETAILS
SUMMIT VIEW FARMS 4TH PLAT POOL
CITY OF LEE'S SUMMIT, MISSOURI

811
Know what's below.
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REVISIONS

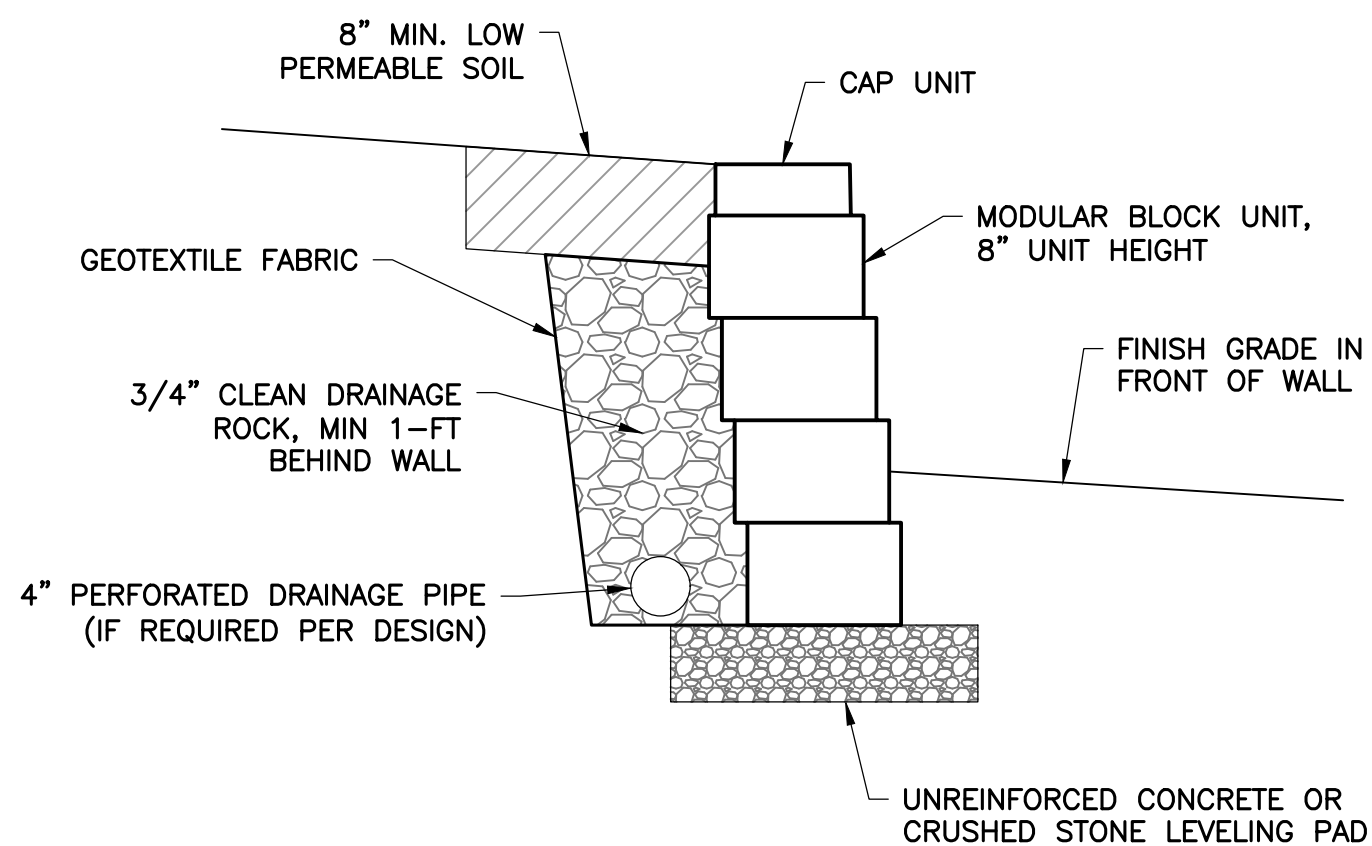
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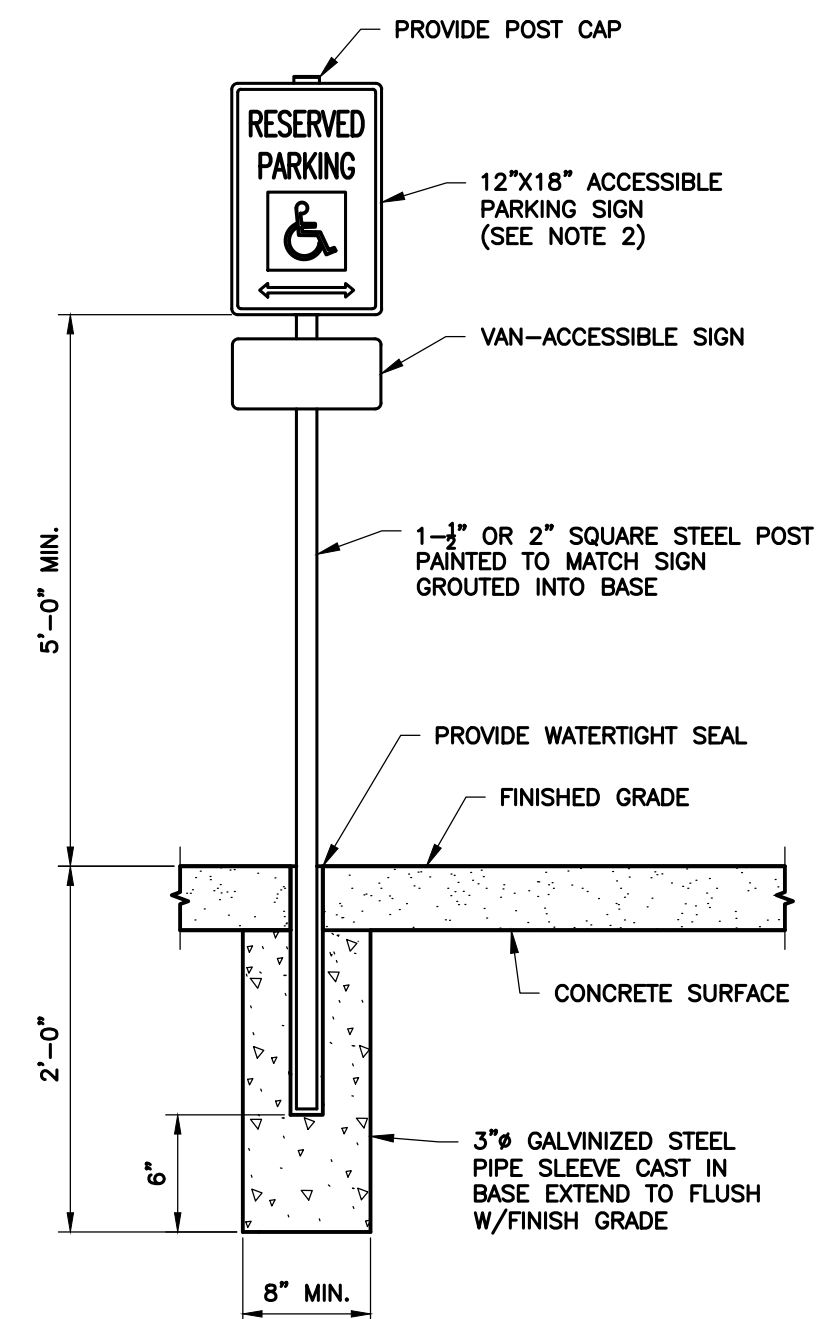




ADA PARKING SPACE LAYOUT

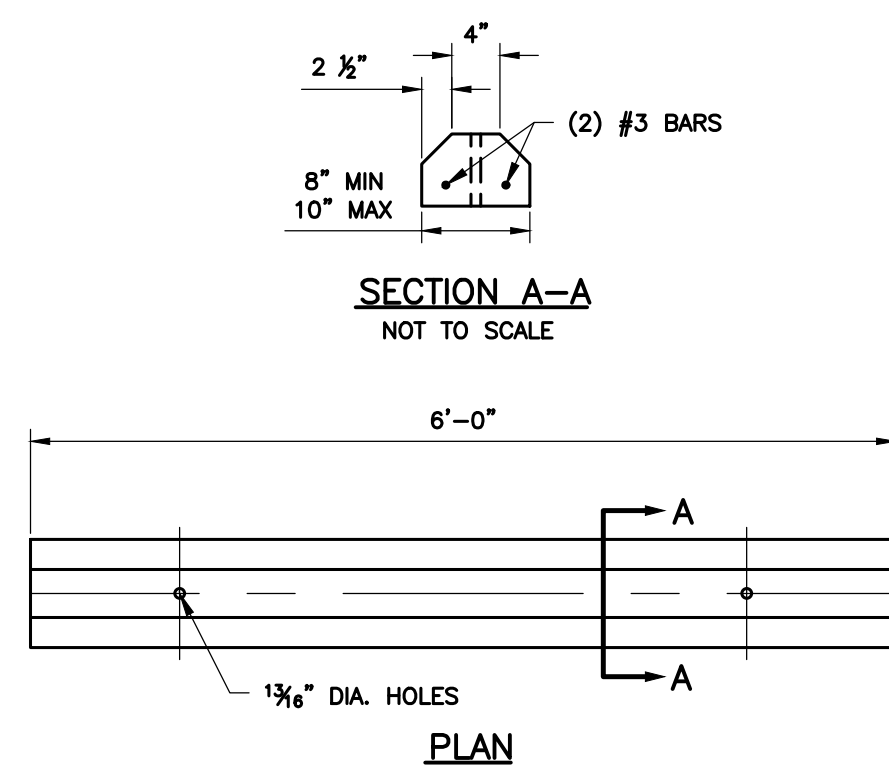


RETAINING WALL
NOT TO SCALE

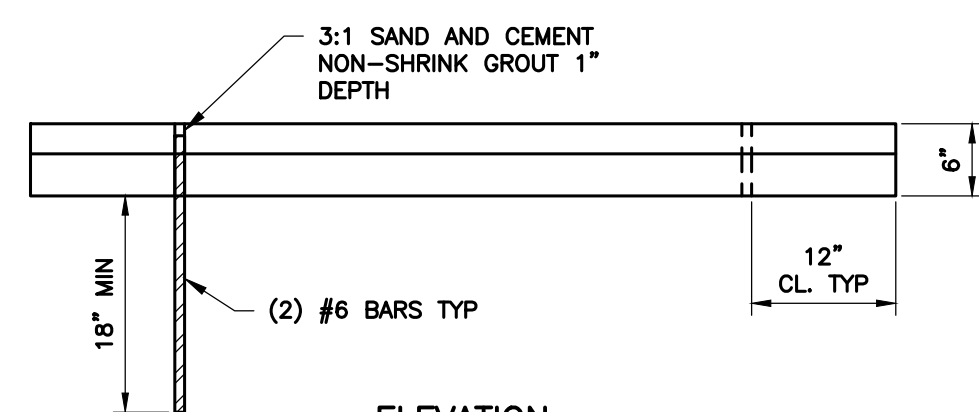


ACCESSIBLE PARKING SPACE SIGNAGE
NOT TO SCALE

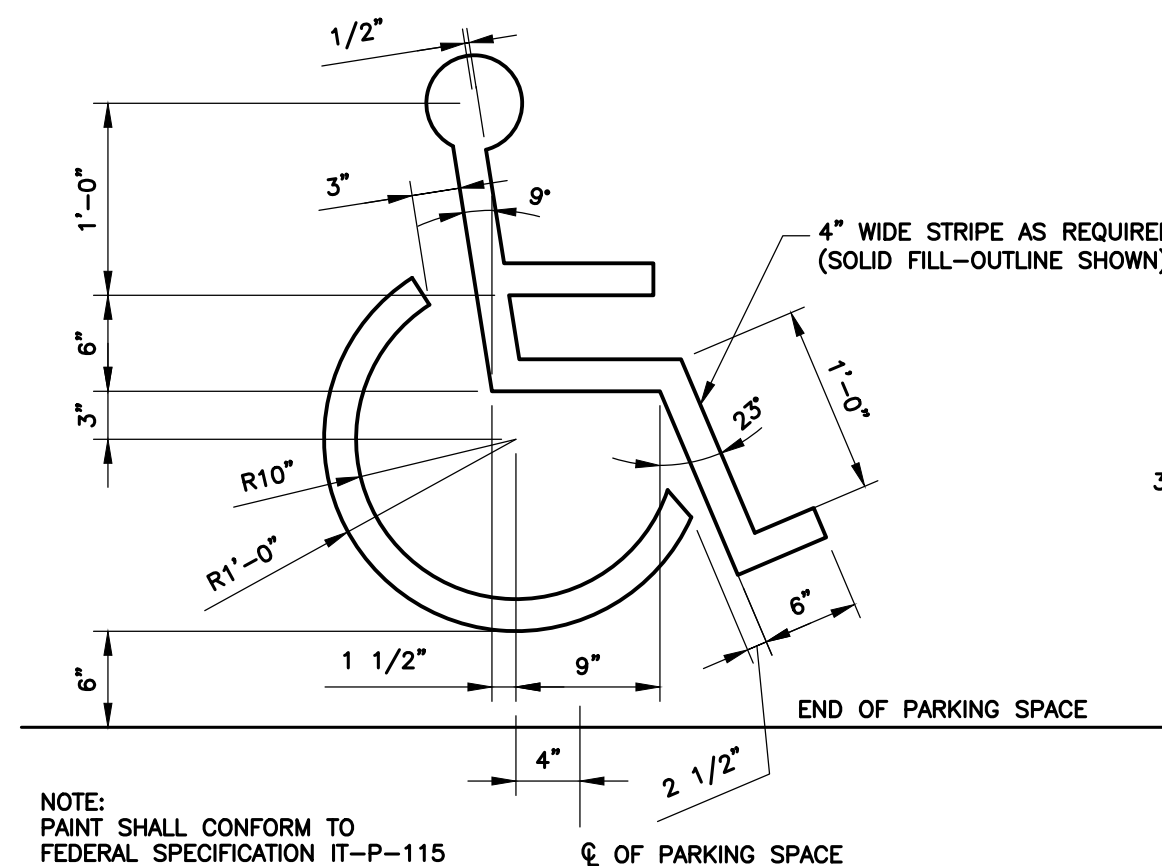
- SIGN NOTES:**
1. THE CONTRACTOR SHALL PROVIDE AN ACCESSIBLE PARKING SIGN FOR EACH ACCESSIBLE PARKING SPACE IN ACCORDANCE WITH CITY AND FEDERAL REGULATIONS.
 2. THE ACCESSIBLE PARKING SIGNS PROVIDED SHALL CONFORM TO TYPE "R7-8" IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 3. THE CONTRACTOR SHALL PLACE SIGNS AS DIRECTED BY THE OWNERS REPRESENTATIVE.



SECTION A-A
NOT TO SCALE

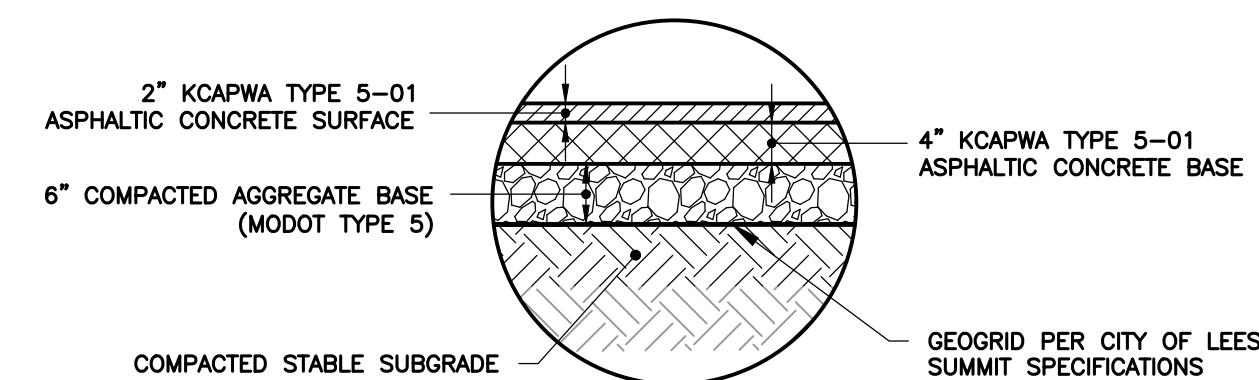
ELEVATION

PRECAST CONCRETE WHEEL STOP
NO SCALE

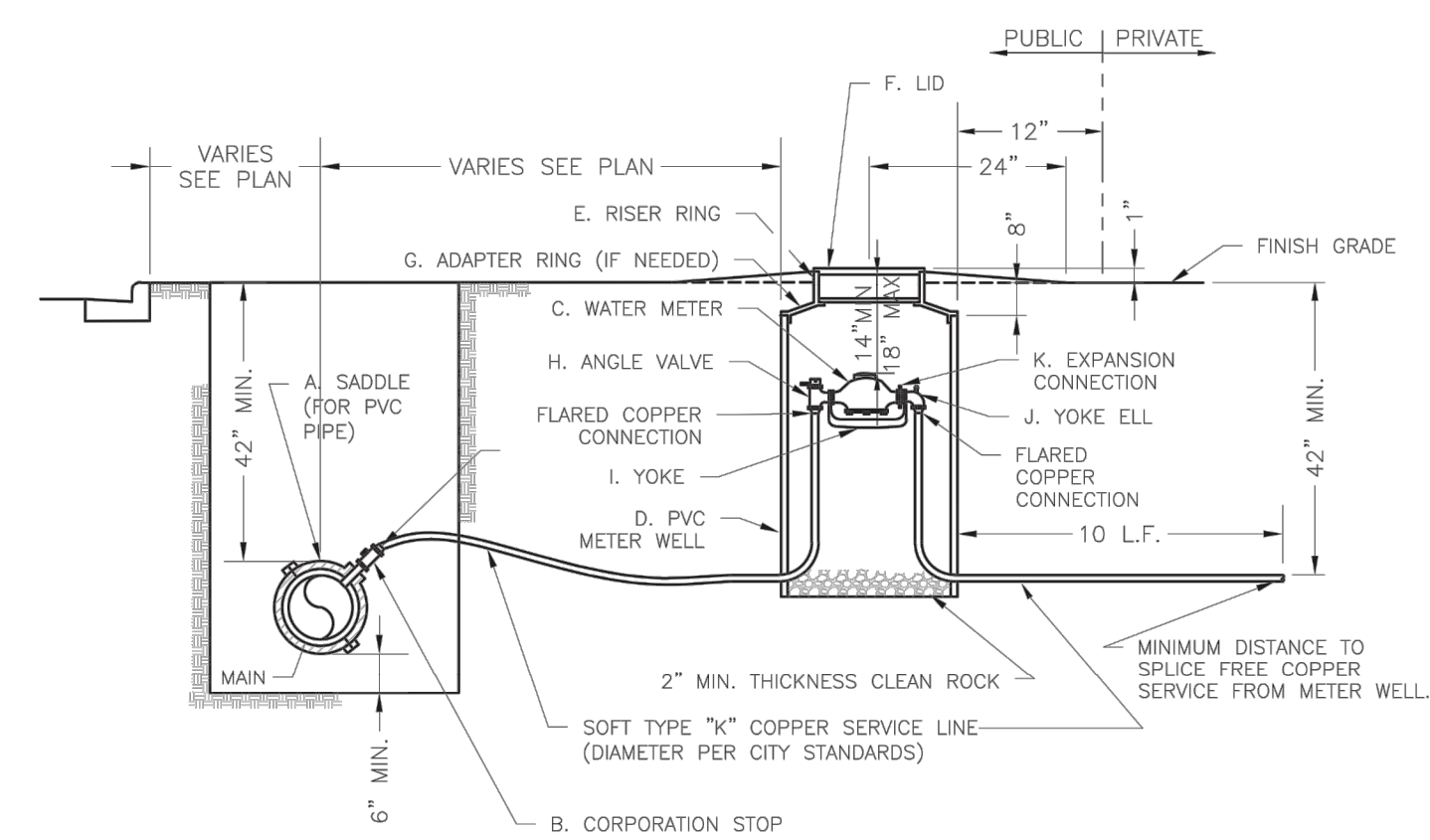


PROVIDE PAINTED SYMBOL AT EACH DESIGNATED ACCESSIBLE PARKING STALL.

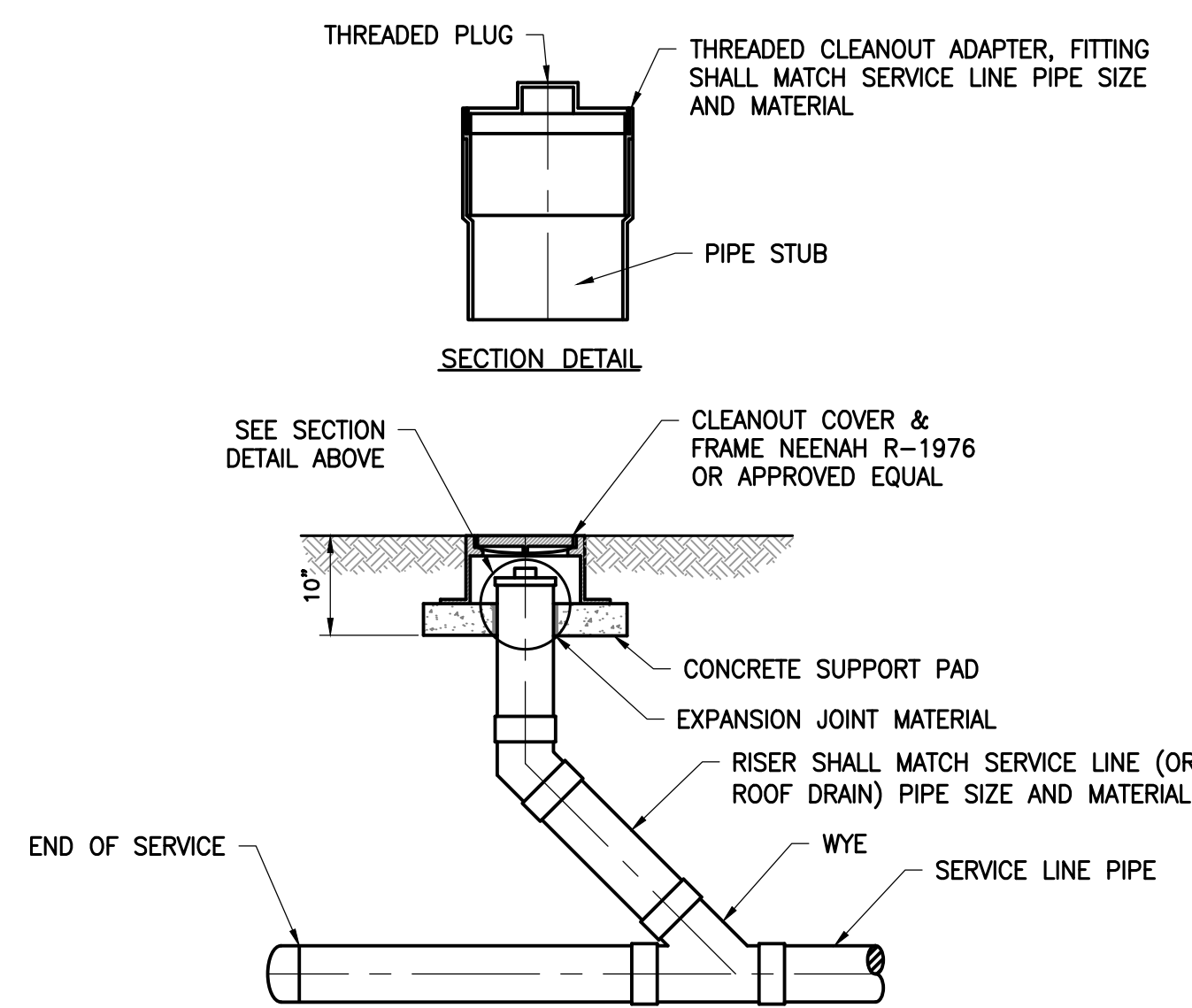
ACCESSIBLE PARKING SYMBOL
NOT TO SCALE



ASPHALTIC CONCRETE PAVEMENT SECTION



- NOTES:
1. METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
 2. IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
 3. CITY TO FURNISH ITEMS A-K.
 4. NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
 5. 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
 6. EXCAVATION FOR TAP TO EXPOSE 4 LINEAR FEET OF MAIN.
 7. NO SPLICES ALLOWED BETWEEN METER AND MAIN.
 8. SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
 9. NO AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
 10. CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2".



CLEANOUT DETAIL



CIVIL DETAILS

SUMMIT VIEW FARMS 4TH PLAT POOL
CITY OF LEE'S SUMMIT, MISSOURI



Know what's **below**.
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MDM/ALM

DATE _____

OCTOBER 2001

OCTOBER 2021

PROJECT NO. _____

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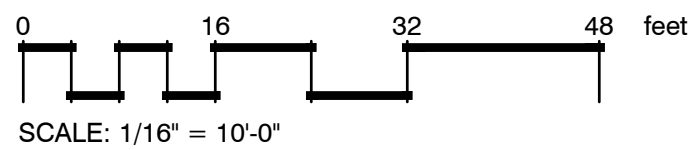
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LANDSCAPE PLAN

SCALE: 1/16"=1'-0"



PLANT SIZE REQUIREMENTS

(FOR THOSE PLANTS SATISFYING LEE'S SUMMIT REQUIREMENTS)

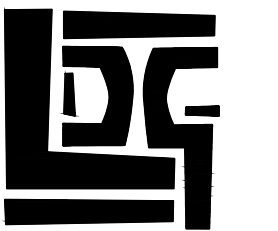
LANDSCAPE MATERIAL	SIZE REQUIREMENT (AT TIME OF PLANTING)
MEDIUM SHRUBS	18"-24" B&B OR 2-GAL. CONTAINER
LARGE SHRUBS	24"-30" B&B OR 5-GAL. CONTAINER
GROUND COVER	2 1/2" PEA POT
DECIDUOUS TREES	3" CALIFER
EVERGREEN TREES	8' HT. MIN.

LEE'S SUMMIT LANDSCAPE REQUIREMENTS

CODE REQUIREMENT	SECTION 8.140(A) - PROVIDE 1 STREET TREE PER 30 LF OF STREET FRONTAGE		
DESCRIPTION	CALCULATION	PLANTING REQUIRED	PLANTING PROVIDED
- PROVIDE 1 TREE / 30 LF OF STREET FRONTAGE	- 275 LF FRONTAGE ALONG SW KLINE AVE / 30 = 4.2 - 135 LF FRONTAGE ALONG SW SUMMIT VIEW TRL / 30 = 4.5	- 10 STREET TREES REQUIRED ALONG SW KLINE AVE - 5 STREET TREES REQUIRED ALONG SW SUMMIT VIEW TRL	- 10 STREET TREES PROVIDED ALONG SW KLINE AVE - 5 STREET TREES PROVIDED ALONG SW SUMMIT VIEW TRL
CODE REQUIREMENT	SECTION 8.140(B) - PROVIDE 2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA AND 1 TREE PER 5,000 SF OF LOT AREA NOT COVERED BY BUILDINGS OR STRUCTURES		
DESCRIPTION	CALCULATION	PLANTING REQUIRED	PLANTING PROVIDED
PROVIDE 2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA AND 1 TREE PER 5,000 SF OF LOT AREA NOT COVERED BY BUILDINGS OR STRUCTURES	44,842-463 SF BUILDING = 48,956 SF (48,956 SF SITE / 5,000) = 9.79 (48,956 SF SITE / 5,000) x 2 = 19.58	10 OPEN SPACE TREES REQUIRED 20 OPEN SPACE SHRUBS REQUIRED	10 OPEN SPACE TREES PROVIDED 68 OPEN SPACE SHRUBS PROVIDED
CODE REQUIREMENT	SECTION 8.820 - PROVIDE SCREENINGS OF THE PARKING WHERE VISIBLE FROM THE R.O.W. TO A HEIGHT OF 2.5 FEET. SCREEN SHALL CONSIST OF A HEDGE PLANTED WITH 12 SHRUBS PER 40 LF. SHRUBS SHALL BE 18" AT THE TIME OF PLANTING.		
DESCRIPTION	CALCULATION	PLANTING REQUIRED	PLANTING PROVIDED
PROVIDE 12 SHRUBS/40 LF ALONG PARKING FACING SW KLINE AVE & SW SUMMIT VIEW TRL	(175 LF PARKING LOT FRONTAGE / 40) x 12 = 53	53 SHRUBS REQUIRED	56 SHRUBS PROVIDED
CODE REQUIREMENT	SECTION 6.510 - PROVIDE A MEDIUM IMPACT SCREEN LOCATED ON A 3-FOOT TALL BERM ALONG ANY COMMON PROPERTY LINE SHARED WITH A RESIDENTIAL DWELLING. PROVIDE 1 SHADE TREE/500 SF, 1 ORNAMENTAL TREE/750 SF, 1 EVERGREEN TREE/300 SF AND 1 SHRUB/200 SF		
DESCRIPTION	CALCULATION	PLANTING REQUIRED	PLANTING PROVIDED
PROVIDE 1 SHADE TREE/500 SF, 1 ORNAMENTAL TREE/750 SF, 1 EVERGREEN TREE/300 SF, 1 SHRUB/200 SF ALONG NORTH PROPERTY LINE	4,522 SF BUFFER / 500 = 9.04 4,522 SF BUFFER / 750 = 6.03 4,522 SF BUFFER / 300 = 15.07 4,522 SF BUFFER / 200 = 22.61	9 SHADE TREES REQUIRED 6 ORNAMENTAL TREES REQUIRED 15 EVERGREEN TREES REQUIRED 22 SHRUBS REQUIRED	9 SHADE TREES PROVIDED 6 ORNAMENTAL TREES PROVIDED 15 EVERGREEN TREES PROVIDED 26 SHRUBS PROVIDED

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	AF	Acer x freemanii / Freeman Maple	3" Cal.	B&B
	TC	Tilia cordata / Littleleaf Linden	3" Cal.	B&B
	UC	Ulmus x 'Frontier' / Frontier Hybrid Elm	3" Cal.	B&B
	ZG	Zelkova serrata 'Green Vase' / Green Vase Sawleaf Zelkova	3" Cal.	B&B
EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	CG	Cedrus atlantica 'Glauca Fastigiata' / Blue Columnar Atlas Cedar	8'-9' ht.	B&B
	PF	Pinus strobus 'Fastigiata' / Pyramidal White Pine	8'-9' ht.	B&B
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	AG	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry	3" Cal.	B&B
	SS	Syringa reticulata 'Summer Snow' / Summer Snow Japanese Tree Lilac	3" Cal.	B&B
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	AS	Aronia melanocarpa 'UGONNAMO12' TM / Ground Hog Spreading Chokeberry	#3	
	HL2	Hydrangea paniculata 'Limelight' / Limelight Panicle Hydrangea	#5	
	HL	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	#3	
	JL	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	#5, 24" ht. min.	
	RG	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	#3	
	VM	Viburnum dentatum 'Blue Muffin' / Blue Muffin Viburnum	#5, 24" ht. min.	
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	ST	Sporobolus heterolepis 'Tara' / Prairie Dropseed	#2	



**LORAX
DESIGN GROUP**
8021 SANTA FE DRIVE
OVERLAND PARK, KS 66204
WWW.LORAXDESIGNGROUP.COM



SUMMIT VIEW FARMS
POOL CONSTRUCTION DOCUMENTS
LEE'S SUMMIT, MISSOURI

REVISION:

DECEMBER 2, 2021

LANDSCAPE PLAN

L101

GENERAL NOTES

1. THE LANDSCAPE CONTRACTOR SHALL READ ALL LANDSCAPE PLANS, SPECIFICATIONS AND VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT.
2. ANY AND ALL QUESTIONS CONCERNING THE LANDSCAPE PLANS AND SPECIFICATIONS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT.
3. THE LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES (INCLUDING THOSE INDICATED ON THE PLAN) PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MULCHING, AND OTHER REQUIREMENTS OF PLANT MATERIALS WHILE THEY ARE TEMPORARILY STORED ON OR OFF SITE.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE LAYOUT OF PLANTING BEDS, PLANT MASSING, STAKED LOCATION OF TREES AND INSTALLATION OF PLANT MATERIAL WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
6. ALL PLANT MATERIAL (EXCEPT SHADE TREES) IS DELINEATED AT MATURE SIZE OF PLANT MATERIAL. SHADE TREES ARE DELINEATED AT 85% OF ACTUAL MATURE SIZE.
7. ALL LANDSCAPE MATERIAL SHALL MEET THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-1996) PER THE AMERICAN ASSOCIATION OF NURSERYMEN.
8. PER OWNER'S DIRECTION, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIAL AT THE NURSERY, PRIOR TO SELECTION OR DIGGING.
9. CONDUCT PLANTING UNDER FAVORABLE WEATHER CONDITIONS DURING EITHER THE SPRING PLANTING SEASON, MARCH 1 TO JUNE 1, OR THE FALL PLANTING SEASON, SEPTEMBER 30 UNTIL FREEZING OF THE GROUND. DURING THE FALL PLANTING SEASON, CONIFEROUS MATERIAL PLANTING SHALL BE CONDUCTED AUGUST 15 TO OCTOBER 1. DEVIATION FROM THE ABOVE PLANTING DATES WILL ONLY BE PERMITTED WITH APPROVAL IN WRITING BY THE LANDSCAPE ARCHITECT.
10. THE PLANTING SOIL MIXTURE FOR ALL TREE PLANTINGS SHALL INCLUDE SOIL EXCAVATED FROM THE HOLE. RATIO: 50% VIRGIN SOIL + 50% AMENDED TOP SOIL.
11. ROOT STIMULATOR SHALL BE APPLIED TO ALL PLANT MATERIALS WITH THE EXCEPTION OF LAWN AREAS. APPLY AS PER THE MANUFACTURER'S SPECIFICATIONS.
12. THE LANDSCAPE CONTRACTOR SHALL RESTORE FINISH GRADES IN ALL PLANTING AREAS (PER GRADING PLANS) WHICH MAY HAVE BEEN DISTURBED DURING PLANTING OPERATIONS.
13. ALL TREE SAUCERS AND PLANTING BEDS ARE TO BE MULCHED WITH A MINIMUM OF 3" DOUBLE-GROUND HARDWOOD MULCH (COLOR DYED DARK BROWN). LANDSCAPE CONTRACTOR TO PROVIDE MULCH SAMPLE TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION. WHERE PLANTING BEDS ARE ADJACENT TO WALKS AND CURBS THE SOIL LEVEL SHALL BE 3" LOWER TO ALLOW FOR MULCH LAYER. WHERE SOD IS INDICATED, ITS THICKNESS SHALL ALSO BE ACCOUNTED FOR SO THAT THE SOIL SURFACE IN THE SOD IS 1/2" BELOW THE HARDSCAPE SURFACE.
14. ALL SHRUB/PERENNIAL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE SUCH AS TREFLAN OR EQUAL. APPLY PER MANUFACTURER'S SPECIFICATIONS. THE PRE-EMERGENT SHALL NOT BE APPLIED UNTIL AFTER ALL PLANTING WITHIN THESE AREAS IS COMPLETE, BUT BEFORE THESE AREAS ARE MULCHED. DO NOT DISTURB AREAS AFTER APPLICATION. WATER IN AS DIRECTED.
15. MULCH, STAKES, GUY WIRE, PRE-EMERGENT HERBICIDES, ETC. SHALL BE SUBSIDIARY TO INDIVIDUAL PLANTS.
16. ALL SLOPES THAT EXCEED A 3:1 GRADE SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET WITH NORTH AMERICAN GREEN S150. INSTALL PER THE MANUFACTURER'S SPECIFICATIONS.
17. LABEL EACH TREE AND SHRUB WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH BOTANICAL AND COMMON NAME. LABEL EACH ORNAMENTAL GRASS, GROUNDCOVER, PERENNIAL AND ANNUAL WITH THE LABEL PROVIDED BY THE ORIGINAL GROWER OF THE PLANT. LABELS SHALL NOT BE REMOVED UNTIL AFTER PROVISIONAL ACCEPTANCE BY LANDSCAPE ARCHITECT.
18. STAKES AND GUY WIRES SHALL BE REMOVED AT THE END OF ONE FULL GROWING SEASON.
19. LOOSEN SOIL FOR ALL PLANTING ISLANDS AND SHRUB/PERENNIAL BEDS TO A DEPTH OF 12". ALL AREAS DENOTED AS SOD (LAWN AREAS) SHALL HAVE A 6" MINIMUM TOPSOIL LAYER. TOPSOIL SHALL BE LAID IN 3" LIFTS. IN AREAS WHERE CONSTRUCTION GRADING HAS NOT OCCURRED AND THE VIRGIN GRADES YET EXIST, THE TOPSOIL LAYER MAY NOT BE REQUIRED BASED ON THE DECISION OF THE LANDSCAPE ARCHITECT.
20. TOPSOIL SHALL BE FERTILE NATURAL TOPSOIL, TYPICAL OF THE LOCALITY, OBTAINED FROM WELL DRAINED AREAS. STOCKPILED TOPSOIL MAY BE USED. IT SHALL BE WITHOUT ADMIXTURE OF SUBSOIL OR SLAG AND SHALL BE FREE OF STONES, LUMPS, STICKS, PLANTS OR THEIR ROOTS, TOXIC SUBSTANCES OR OTHER EXTRANEOUS MATTER THAT MAY BE HARMFUL TO PLANT GROWTH OR WOULD INTERFERE WITH FUTURE MAINTENANCE. TOPSOIL PH RANGE SHALL BE 5.5 TO 7.0.
21. THERE SHALL BE NO ADDITIONS, DELETIONS OR SUBSTITUTION OF PLANT MATERIAL SPECIES WITHOUT THE WRITTEN APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT. ANY SUBSTITUTION THAT HAS NOT BEEN APPROVED SHALL BE REMOVED AND REPLACED WITH THE CORRECT PLANT AT LANDSCAPE CONTRACTOR'S EXPENSE.
22. IN THE CONDITION WHERE THE PLANT MATERIAL HAS BEEN SUPPLIED BY THE OWNER THROUGH A PLANT PROCUREMENT PROGRAM WITH A MYKE PRO 2-YEAR WARRANTY, THE LANDSCAPE CONTRACTOR'S WARRANTY OF PLANT MATERIAL SHALL BEGIN FROM THE TIME OF HANDLING PLANT MATERIAL AT TIME OF DELIVERY THROUGH INSTALLATION AND END AFTER SUBSTANTIAL COMPLETION AND FINAL PUNCH-LIST APPROVAL BY LANDSCAPE ARCHITECT.
23. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR THE COLLECTION, REMOVAL, AND PROPER DISPOSAL OF ANY AND ALL DEBRIS GENERATED DURING THE INSTALLATION OF THE LANDSCAPE CONSTRUCTION.
24. IRRIGATION SYSTEM SHALL UTILIZE A RAIN SENSOR. DRIP IRRIGATION SHALL BE UTILIZED AT LANDSCAPE BEDS.
25. COORDINATE WITH THE OWNER AND GENERAL CONTRACTOR FOR SLEEVE LOCATIONS AND TIMING OF SLEEVE INSTALLATION. ALL SLEEVING REQUIRED UNDER HARDSCAPE SURFACES FOR THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR.
26. COORDINATE LANDSCAPE PLANTING WITH IRRIGATION CONTRACTOR. THE TREE PLANTINGS SHALL BE IN PLACE BEFORE IRRIGATION LINE ROUTING BEGINS. WATER TREES BY HAND UNTIL IRRIGATION SYSTEM IS FULLY FUNCTIONAL. SHRUBS AND PERENNIALS SHALL NOT BE INSTALLED UNTIL THE IRRIGATION SYSTEM IS FULLY FUNCTIONAL. THE IRRIGATION SYSTEM SHALL BE COMPLETE AND FULLY FUNCTIONAL BEFORE SOD IS PLACED.

DECIDUOUS TREE PLANTING NOTES:

1) DO NOT HEAVILY PRUNE THE TREE AT PRUNING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS & UNBROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGGS & LATERAL BRANCHES MAY BE PRUNED IF REQUIRED. DO NOT REMOVE THE TERMINAL BUDS OF THE BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

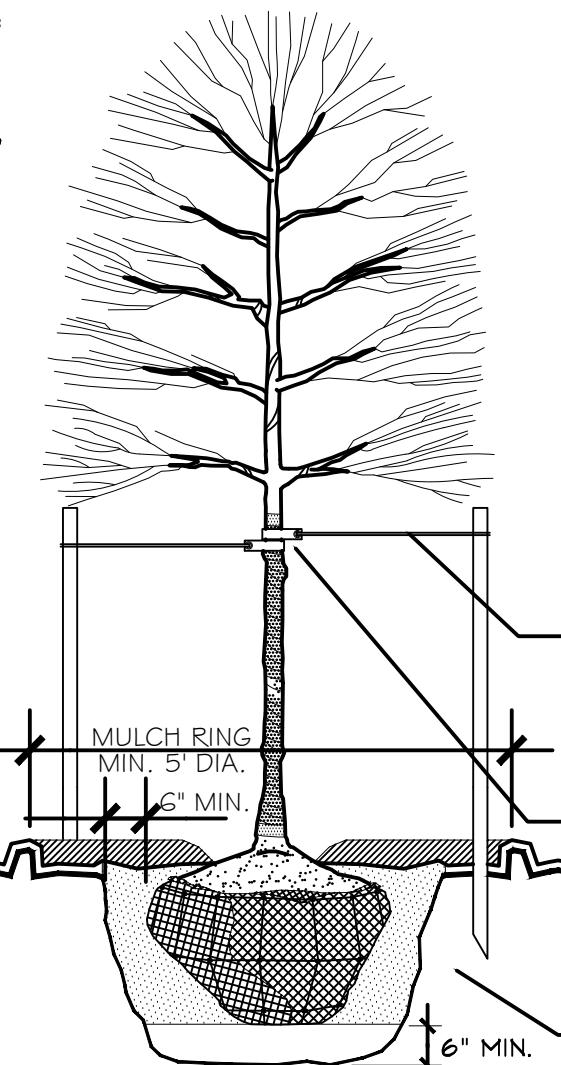
2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.

3) BALL OF PLANT TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING. ADD ROOT STIMULATOR TO SURFACE IMMEDIATELY AFTER PLANTING AS PER MANUFACTURER'S RECOMMENDATIONS.

4) PLANTING DEPTH OF ROOTBALL SHALL BE EQUAL TO ITS ORIGINAL PLANTING DEPTH AT NURSERY. PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL. SCARIFY HOLE & BACKFILL WITH SOIL EXCAVATED FROM HOLE & SPECIFIED AMENDMENTS.

5) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE.

6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF THE ROOTBALL.



7) EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL.

8) SOAK BACKFILL AFTER PLANTING.

9) APPLY 4" TH. MULCH LAYER AROUND TREE, DO NOT PLACE MULCH IN DIRECT CONTACT W/ CROWN OF TREE TRUNK.

10) WHEN NECESSARY APPLY TREE WRAP TO TRUNK FROM BOTTOM UPWARD, SECURE W/ TAPE.

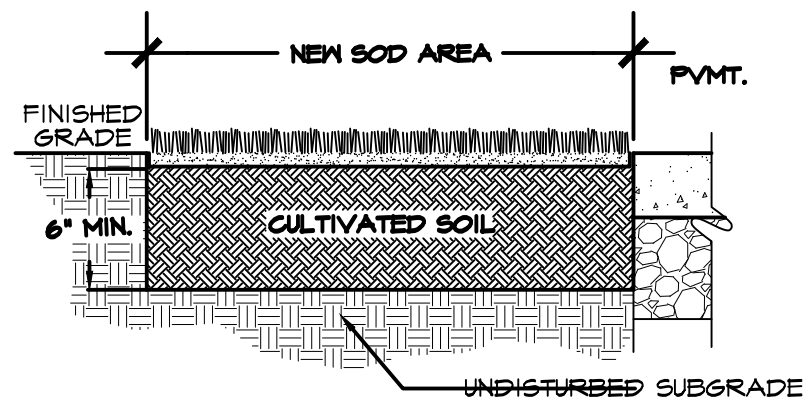
STAKING REQUIREMENTS:
1) STAKING SHALL BE REQUIRED UNLESS OTHERWISE APPROVED BY THE ARCHITECT.

2) GUY WIRES SHALL BE GALV. 12-GAUGE DOUBLE STRAND WIRE 3'-6" ABOVE GRADE. TIGHTEN GUY WIRE ONLY ENOUGH TO KEEP FROM SLIPPING. DO NOT OVERTIGHTEN. ALLOW FOR SOME TRUNK MOVEMENT.

3) USE 1-1/2" WIDE WEBBINGS W/ METAL GROMMETS
4) TREE STAKES SHALL BE 2" DIA. x 8'-0" LODGEPOLE PINE TREE STAKES. KEEP STAKES PLUMB AND EVENLY SPACED.

1 DECIDUOUS TREE PLANTING

SCALE: N.T.S.



SOD INSTALLATION NOTES:

1) FINISHED GRADES SHALL BE ACCURATE.

2) CULTIVATE ENTIRE AREA TO A MINIMUM 6" DEPTH. EXCEPTIONS TO AREAS MAY BE MADE IF TREE ROOTS ARE ENCOUNTERED WITHIN THE DRIPLINE OF EXISTING TREES. HAND RAKE SMOOTH.

3) ADD ADDITIVES (AS PER SOIL TEST RECOMMENDATIONS) AND TILL INTO SOIL.

4) LAY AND ROLL SOD. WATER THOROUGHLY.

3 SOD INSTALLATION

SCALE: N.T.S.

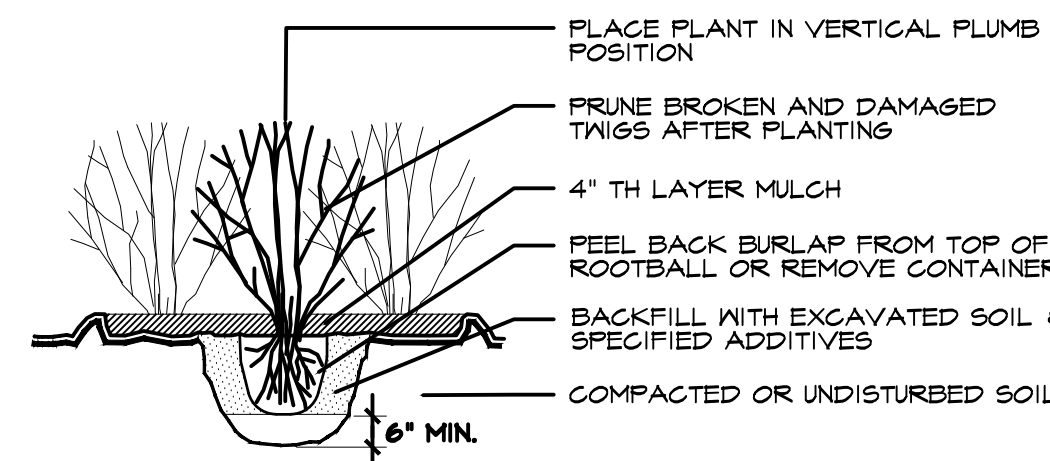
SHRUB PLANTING NOTES:

1) SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER.

2) PRUNE THIN & SHAPE SHRUBS IN ACCORDANCE W/ STANDARD HORTICULTURAL PRACTICE.

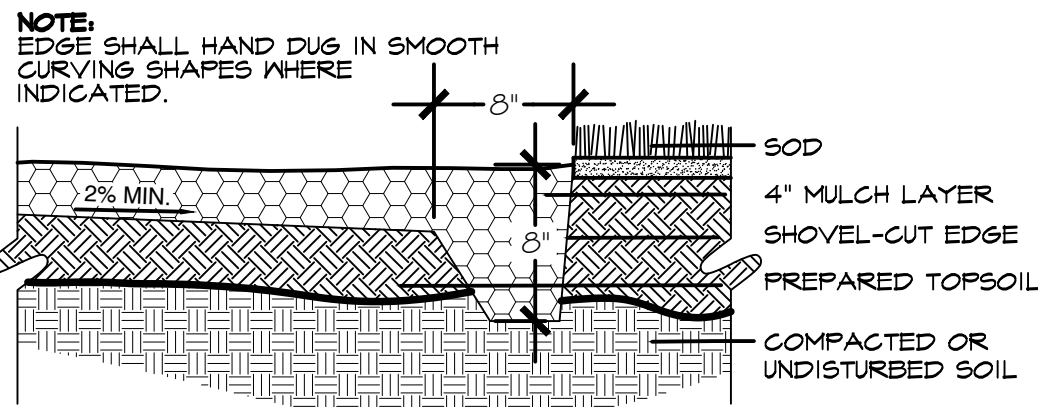
3) BALL OF PLANT TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING. ADD ROOT STIMULATOR TO SURFACE IMMEDIATELY AFTER PLANTING AS PER MANUFACTURER'S RECOMMENDATIONS.

4) WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL NO MORE IS ABSORBED.



4 SHRUB PLANTING

SCALE: N.T.S.



6 SHOVEL-CUT EDGING

SCALE: N.T.S.

EVERGREEN TREE PLANTING NOTES:

1) DO NOT HEAVILY PRUNE THE TREE AT PRUNING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS & UNBROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGGS & LATERAL BRANCHES MAY BE PRUNED IF REQUIRED. DO NOT REMOVE THE TERMINAL BUDS OF THE BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

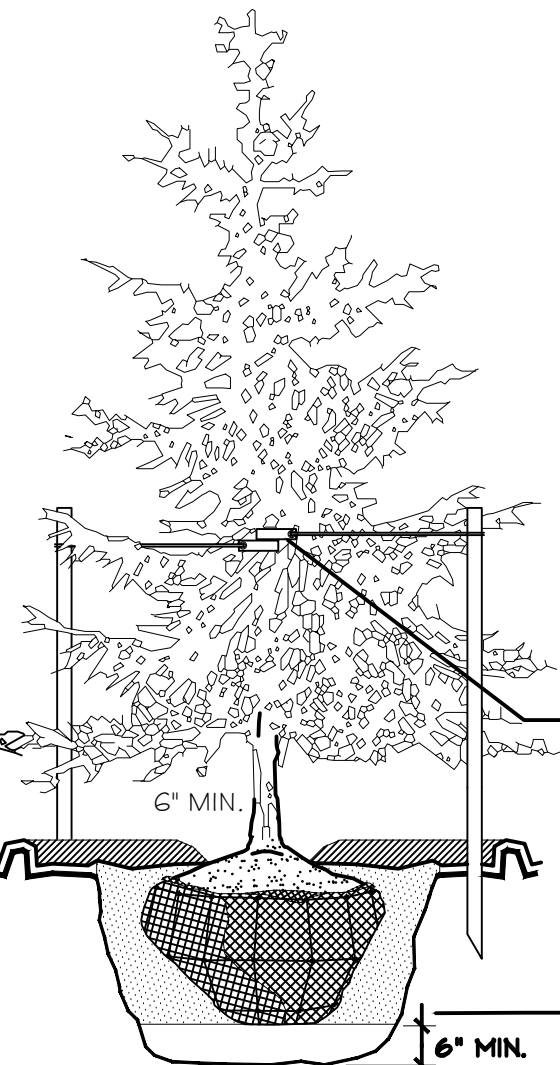
2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.

3) BALL OF PLANT TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING. ADD ROOT STIMULATOR TO SURFACE IMMEDIATELY AFTER PLANTING AS PER MANUFACTURER'S RECOMMENDATIONS.

4) PLANTING DEPTH OF ROOTBALL SHALL BE EQUAL TO ITS ORIGINAL PLANTING DEPTH AT NURSERY. PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL. TYP. SCARIFY HOLE & BACKFILL WITH SOIL EXCAVATED FROM HOLE & SPECIFIED AMENDMENTS.

5) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE.

6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF THE ROOTBALL.



7) EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL.

8) SOAK BACKFILL AFTER PLANTING.

9) APPLY 4" TH. MULCH LAYER AROUND TREE. DO NOT PLACE MULCH IN DIRECT CONTACT W/ CROWN OF TREE TRUNK.

STAKING REQUIREMENTS:
1) STAKING SHALL BE REQUIRED UNLESS OTHERWISE APPROVED BY THE ARCHITECT.

2) GUY WIRES SHALL BE GALV. 12-GAUGE DOUBLE STRAND WIRE 3'-6" ABOVE GRADE. TIGHTEN GUY WIRE ONLY ENOUGH TO KEEP FROM SLIPPING. DO NOT OVERTIGHTEN. ALLOW FOR SOME TRUNK MOVEMENT.

3) USE 1-1/2" WIDE WEBBINGS W/ METAL GROMMETS

4) TREE STAKES SHALL BE 2" DIA. x 8'-0" LODGEPOLE PINE TREE STAKES. KEEP STAKES PLUMB AND EVENLY SPACED.

2 EVERGREEN TREE PLANTING

SCALE: N.T.S.

PERENNIAL PLANTING

1) BREAK UP EXISTING TOPSOIL TO A DEPTH OF 24"

2) PROVIDE NEW TOPSOIL TO A DEPTH OF 18"

3) THOROUGHLY MIX PEAT IN TOP 3'-4" OF SOIL

4) DO NOT ALLOW PERENNIALS TO DRY OUT. KEEP MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING.

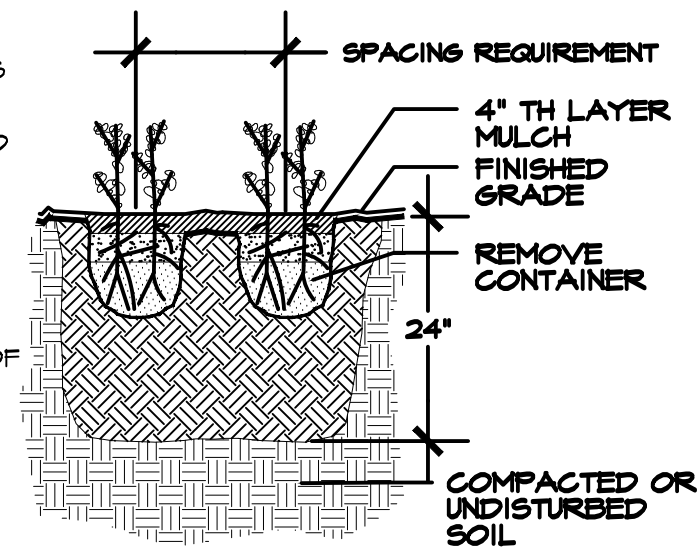
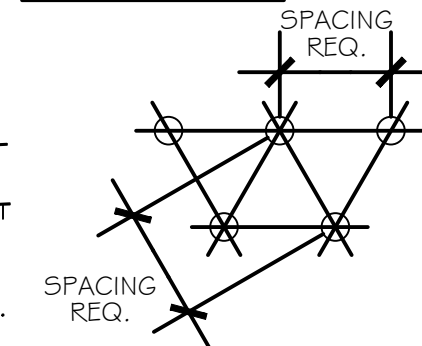
5) PLACE PLANT IN VERTICAL PLUMB POSITION

6) DIG HOLE AS DEEP AS INITIAL ROOT SYSTEM

7) BACKFILL W/ SOIL AND PACK FIRMLY BY HAND. ADD ROOT STIMULATOR PER MANUFACTURER'S RECOMMENDATIONS. WATER THOROUGHLY TO FINISH PACKING SOIL AROUND ROOTS.

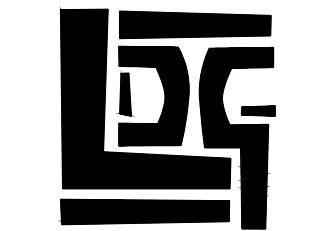
8) APPLY 4" TH LAYER OF MULCH ON PERENNIAL PLANT BED. DO NOT COVER PLANTS

SPACING DIAGRAM



5 PERENNIAL PLANTING

SCALE: N.T.S.



**LORAX
DESIGN GROUP**

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OVERLAND PARK, KS 66204
WWW.LORAXDESIGNGROUP.COM



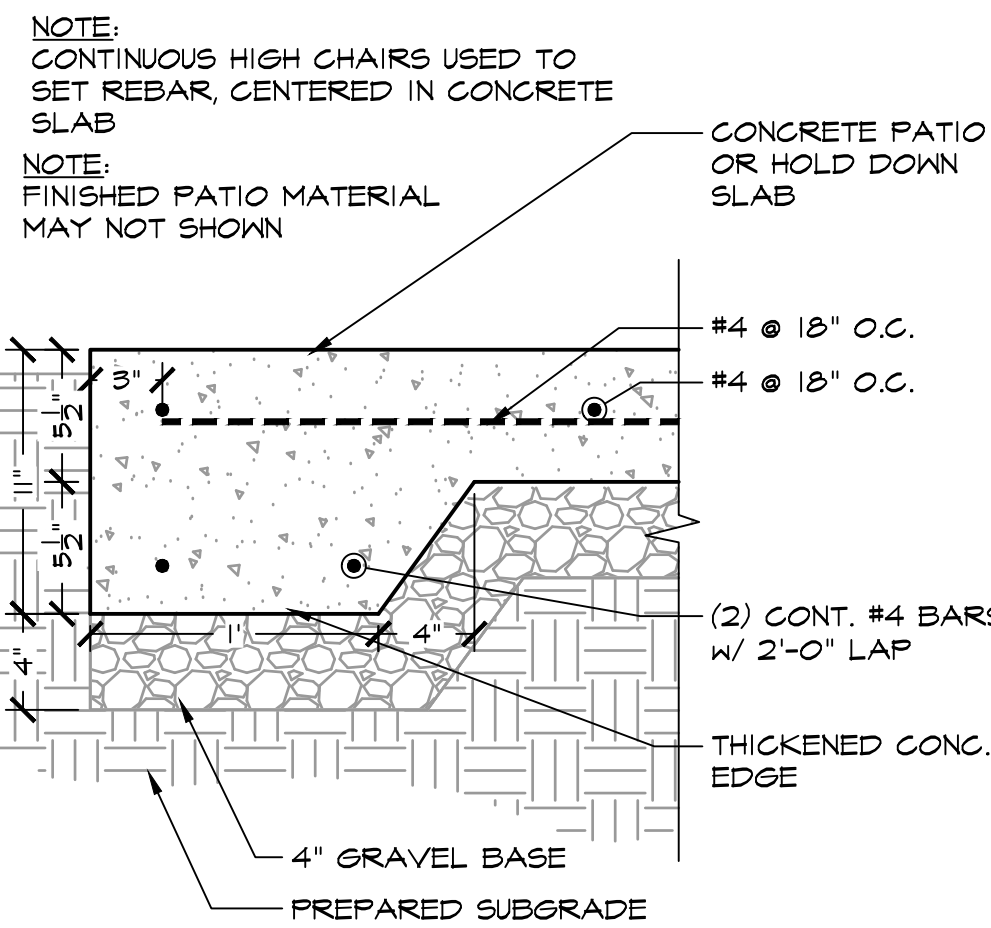
12-2-2021

SUMMIT VIEW FARMS
POOL CONSTRUCTION DOCUMENTS
LEE'S SUMMIT, MISSOURI

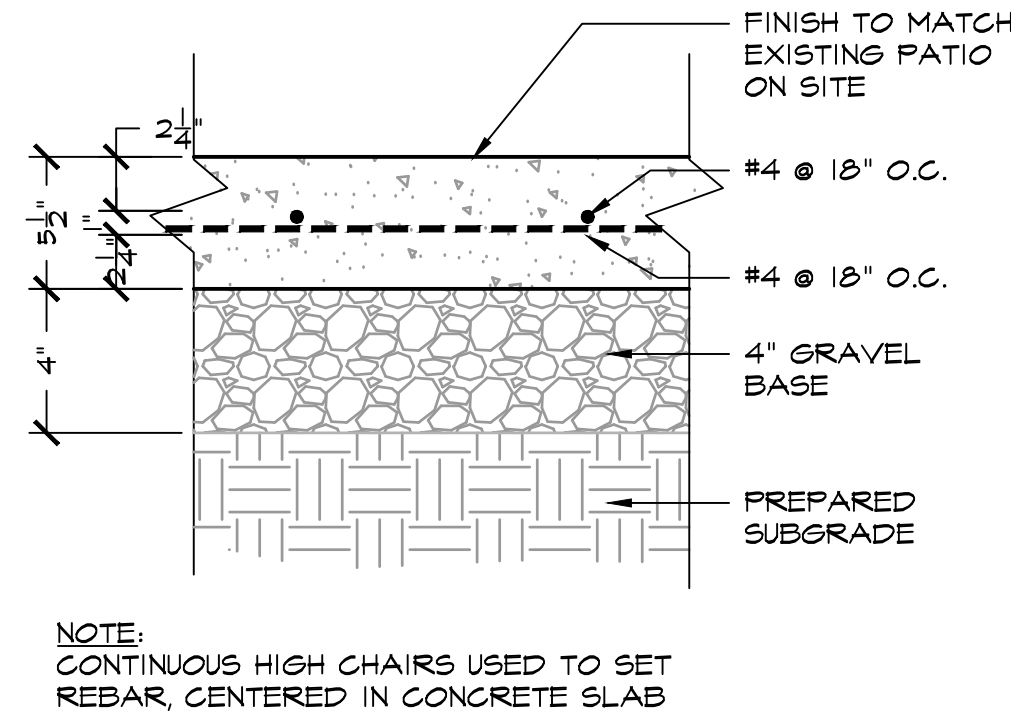
REVISION:

DECEMBER 2, 2021
LANDSCAPE NOTES
& DETAILS

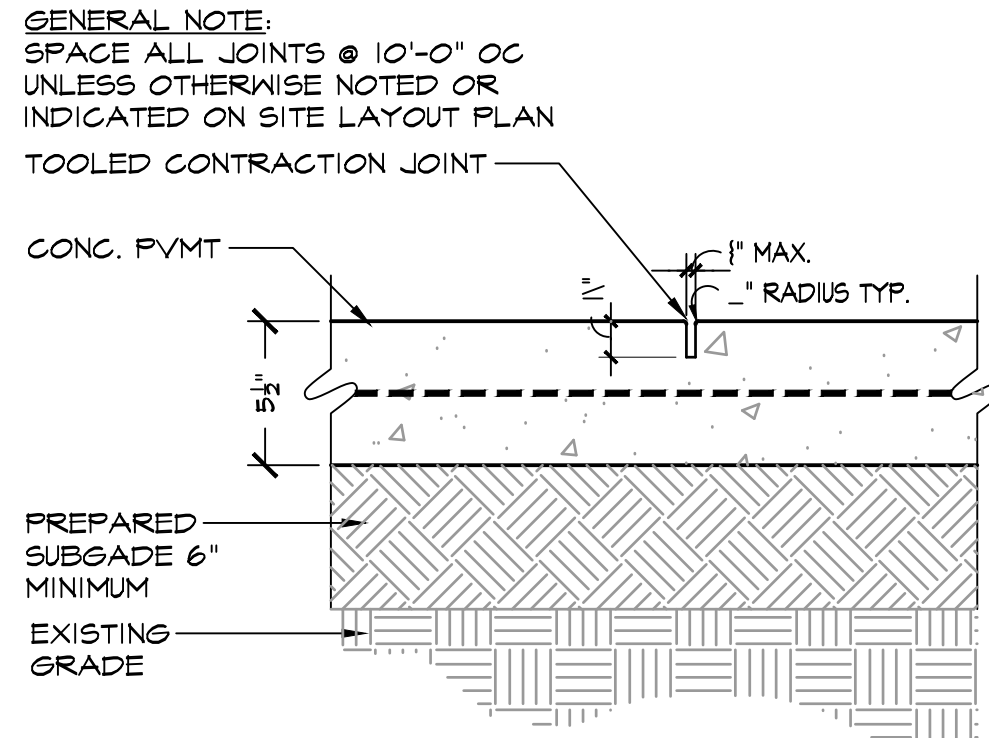
L102



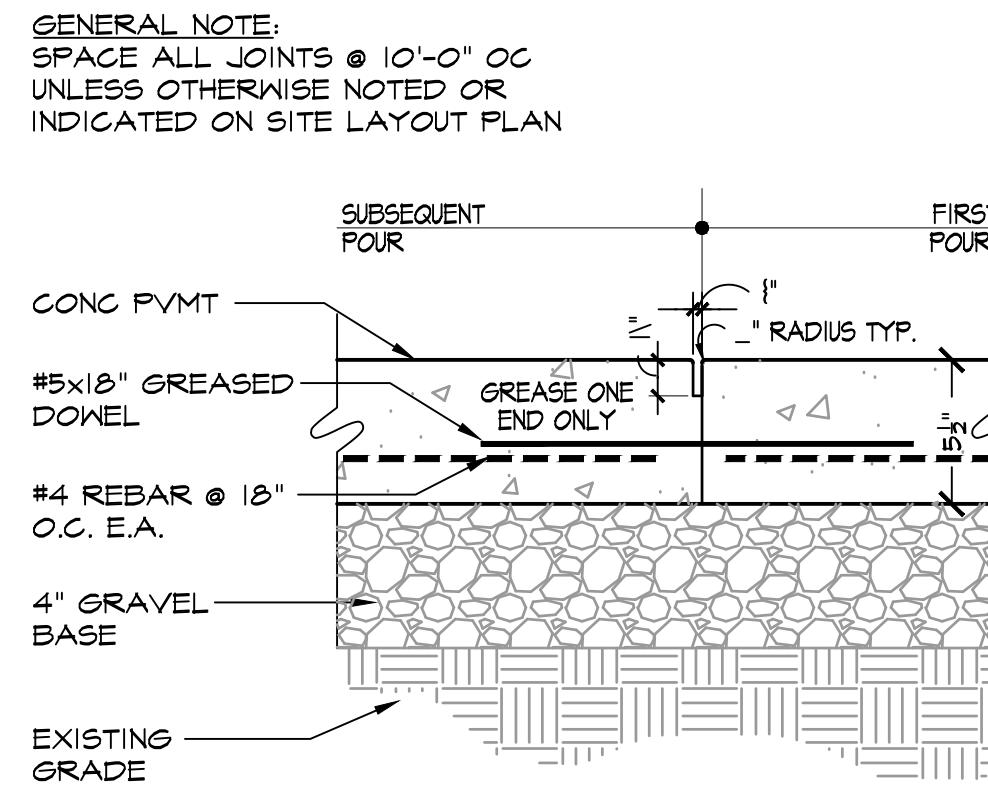
1 CONCRETE THICKENED EDGE
SCALE: 1-1/2" = 1'-0" SECTION



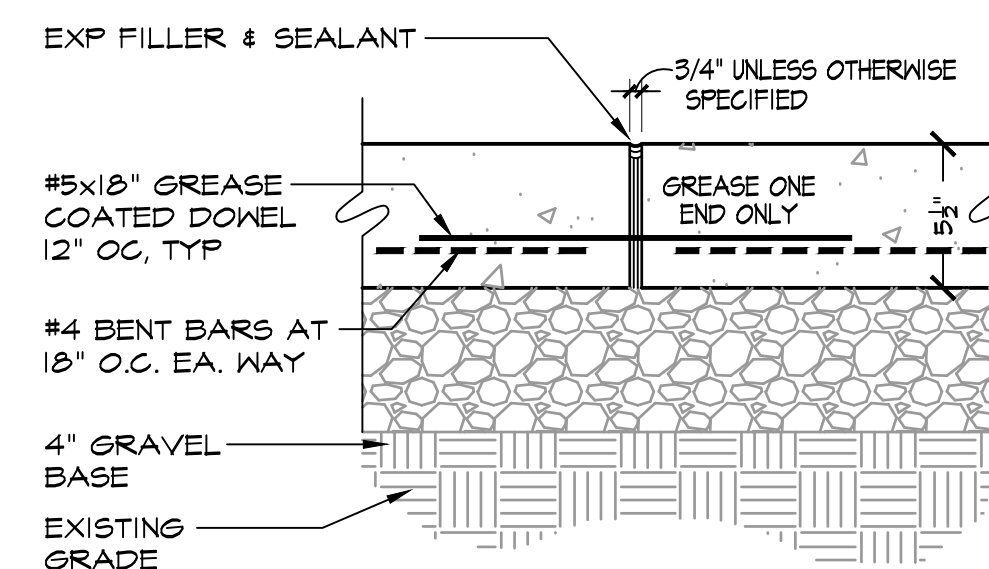
2 CONCRETE PAVEMENT
SCALE: 1-1/2" = 1'-0" SECTION



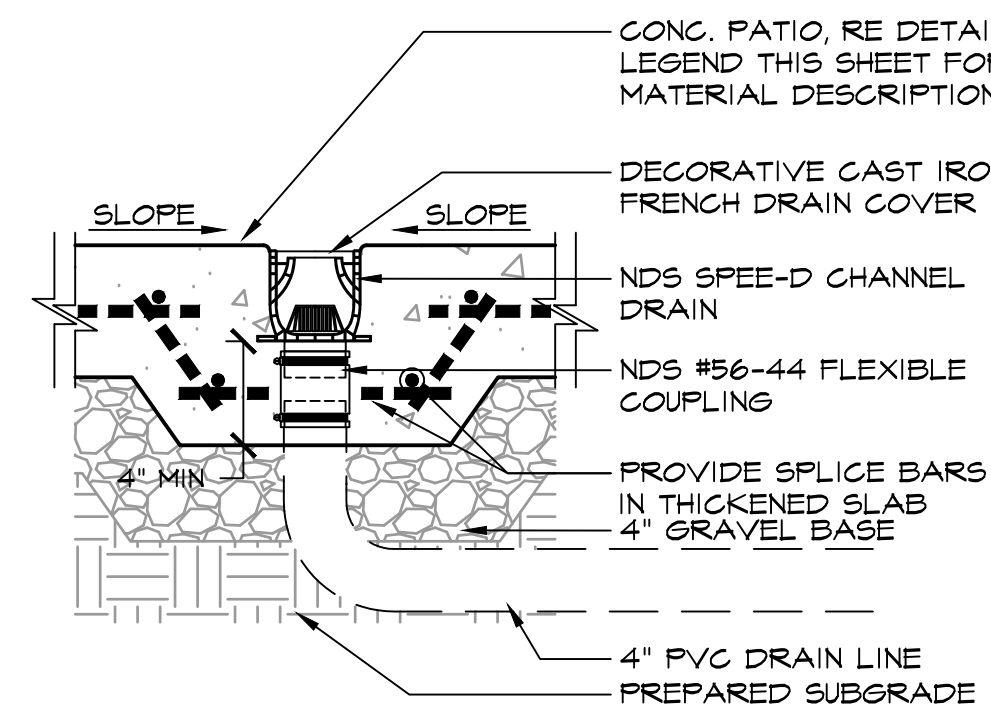
3 CONCRETE CONTRACTION JOINT
SCALE: 1-1/2" = 1'-0" SECTION



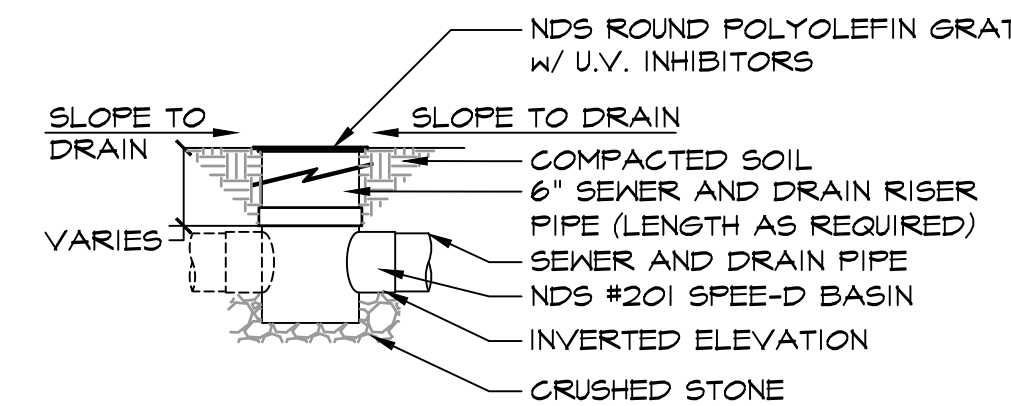
4 CONCRETE CONSTRUCTION JOINT
SCALE: 1-1/2" = 1'-0" SECTION



5 GREASE DOWEL @ EXP JOINT
SCALE: 1-1/2" = 1'-0" SECTION



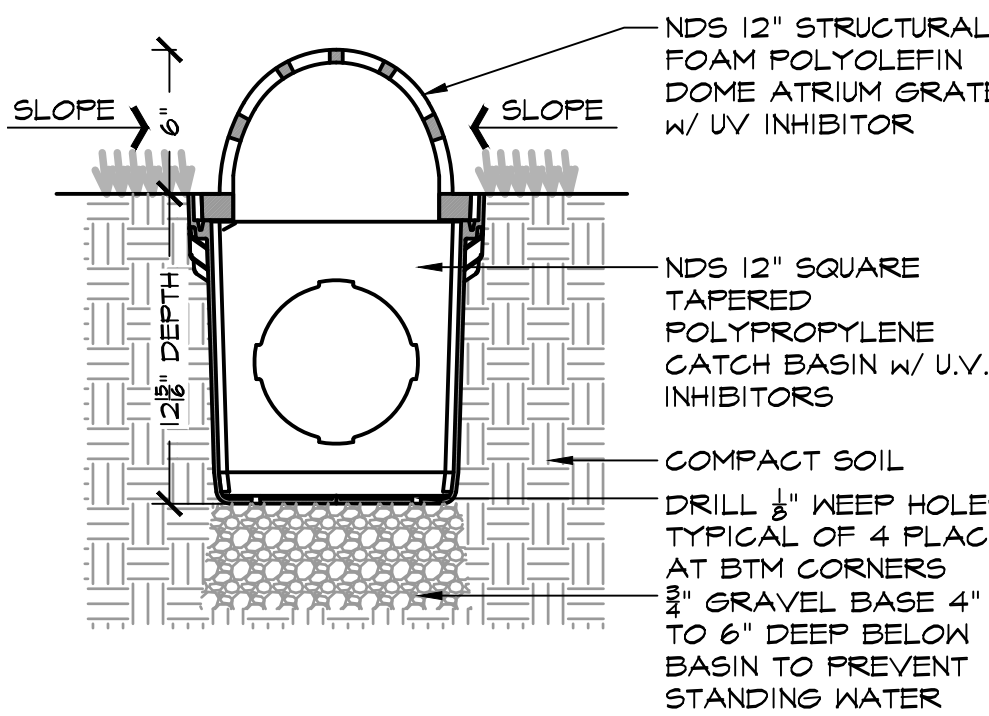
6 TRENCH DRAIN
SCALE: 1-1/2" = 1'-0" SECTION



NOTES:

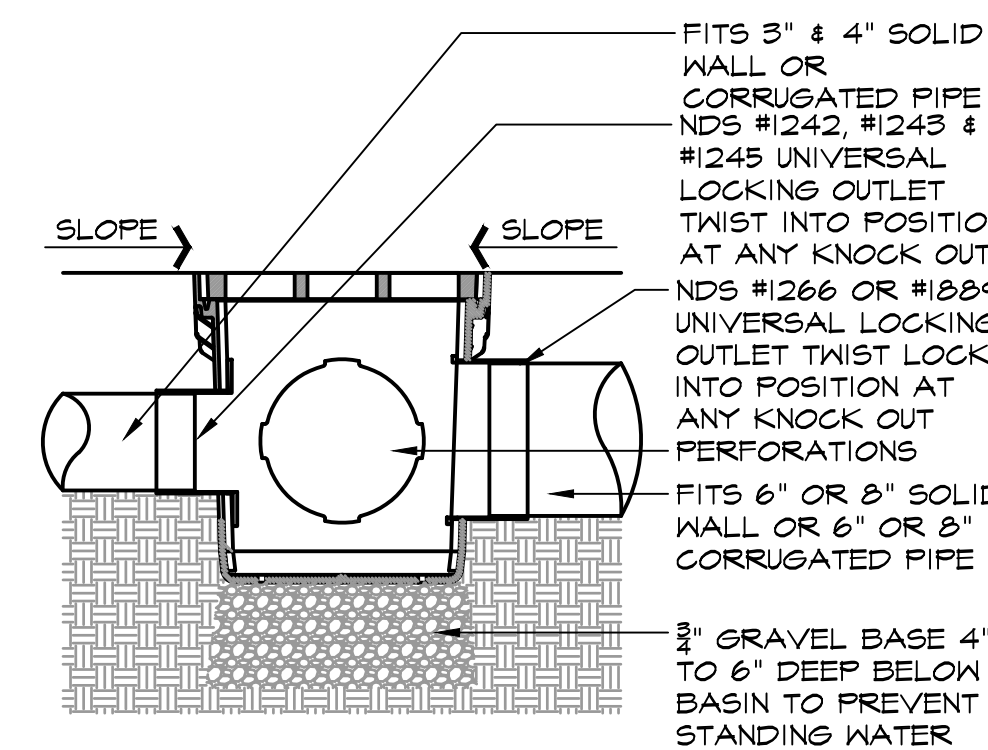
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

7 NDS ROUND SPEED-D BASIN
SCALE: 1-1/2" = 1'-0" SECTION



NOTE: GRATE TO BE ATTACHED TO CATCH BASIN W/ SCREW PROVIDED AT TIME OF INSTALLATION

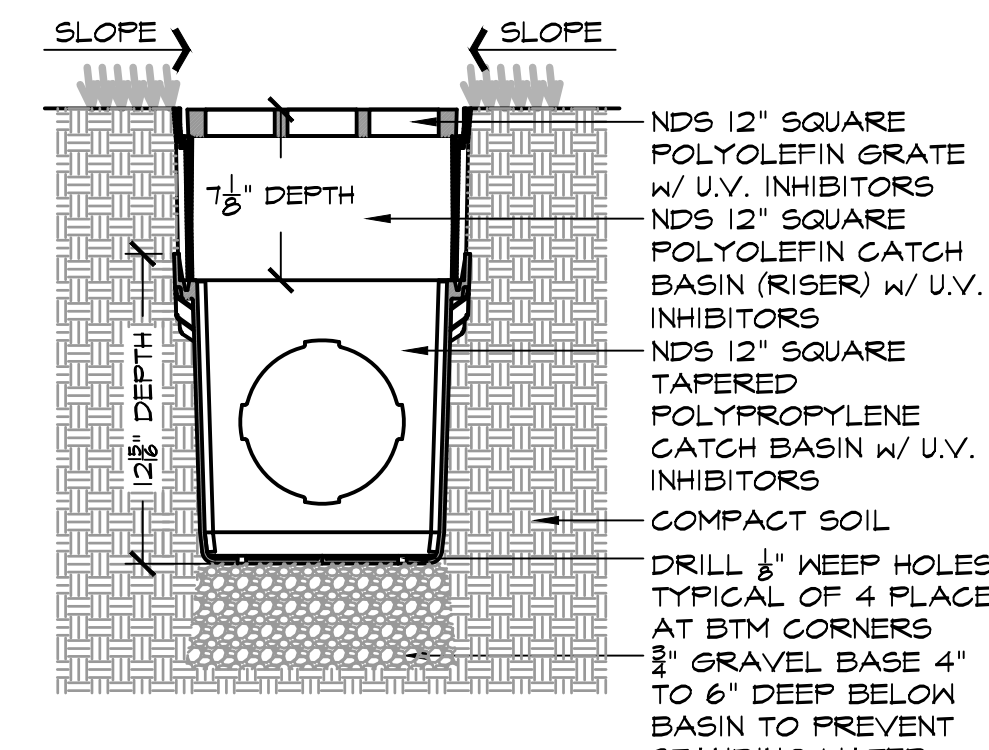
8 CATCH BASIN @ LANDSCAPE AREAS
SCALE: 1-1/2" = 1'-0" SECTION



NOTE:

- NDS ADAPTERS THAT FIT THIS BASIN AREA AS FOLLOWS. #1242, #1243, #1245, #1266 & #1889 USE #1206 IF PLUGGING AN OUTLET
- PERFORATIONS ON NON OPEN SIDES AND BTM. TO BE CUT OUT WHEN ADDING EXTRA OUTLETS

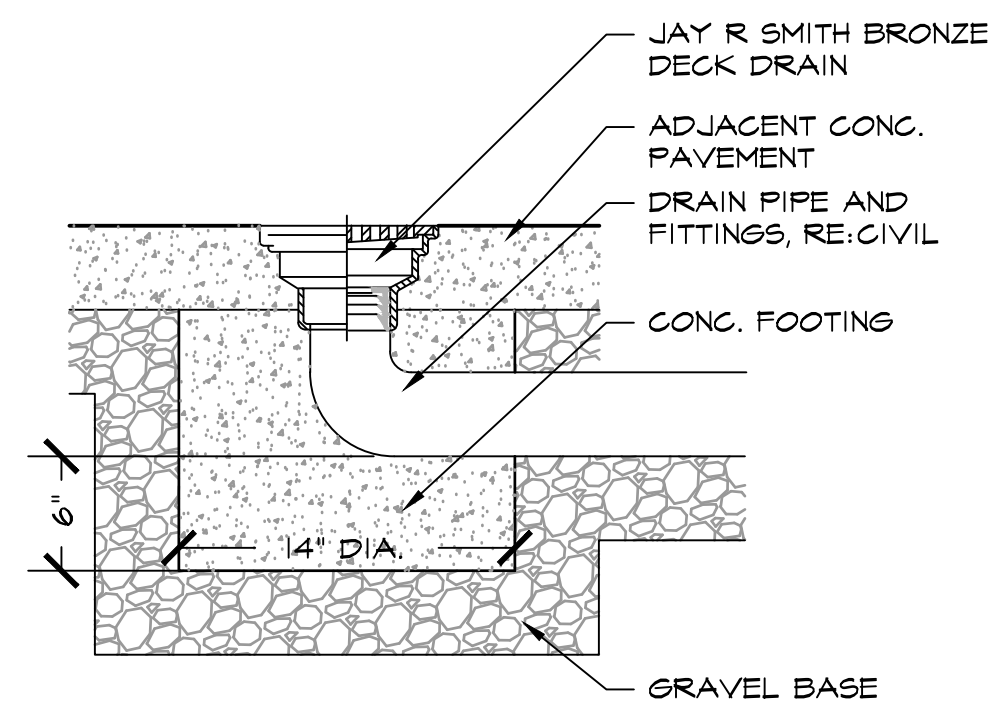
9 CATCH BASIN w/ PLUMBING
SCALE: 1-1/2" = 1'-0" SECTION



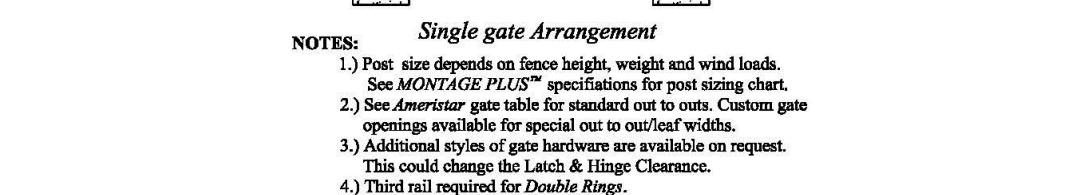
NOTE:

- GRATE TO BE ATTACHED TO BASIN W/ SCREW PROVIDED AT TIME OF INSTALLATION
- RISER CAN BE CUT TO ACHIEVE EXACT ELEVATION
- DO NOT USE OVER 5 RISERS W/ CATCH BASIN

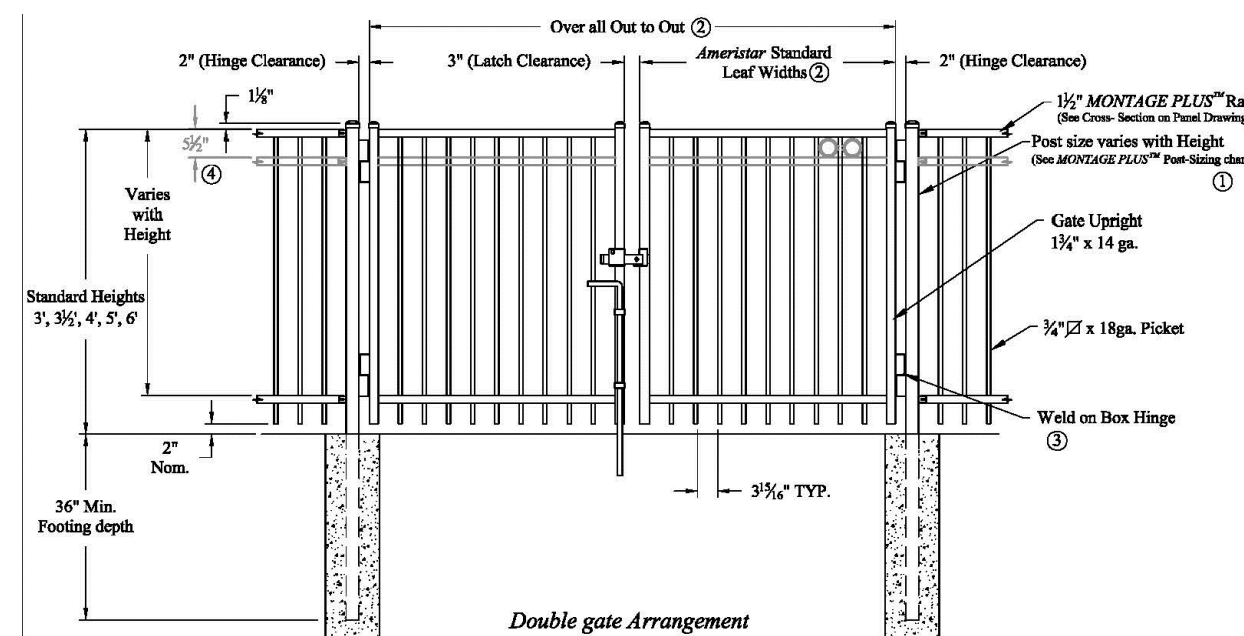
10 CATCH BASIN w/ RISER
SCALE: 1-1/2" = 1'-0" SECTION



11 POOL DECK AREA DRAIN
SCALE: NTS



12 POOL GATE
SCALE: NTS



COMMERCIAL STRENGTH WELDED STEEL GATES

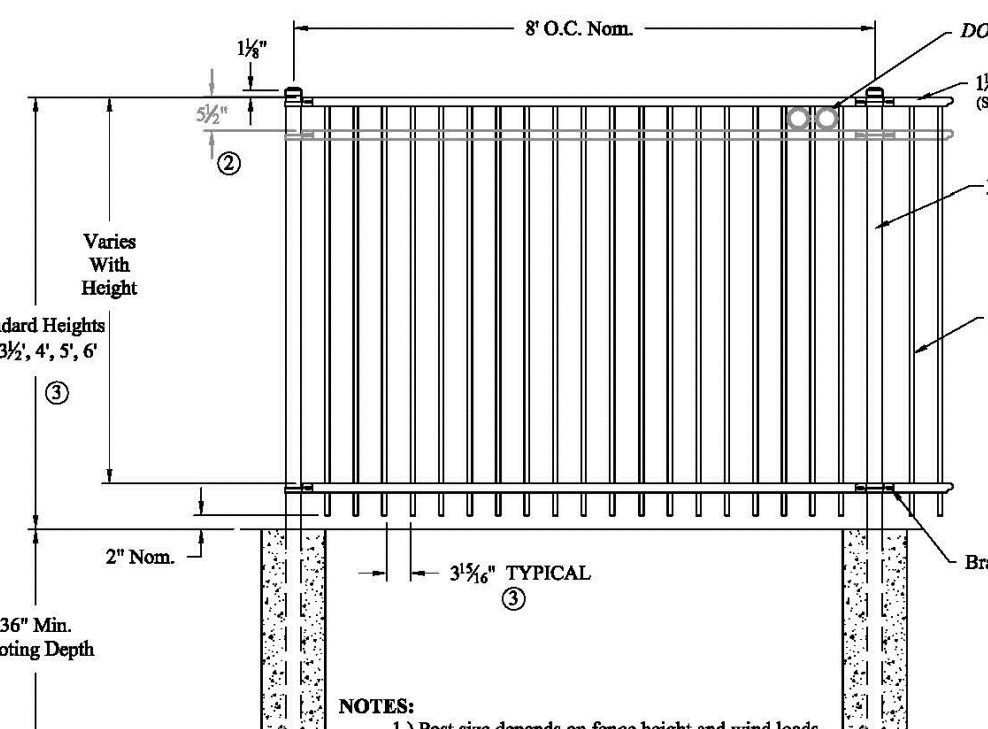
MONTAGE PLUS MAJESTIC 2/3-RAIL SCL & DBL GATE

DR: CL SH: 1of1 SCALE: DO NOT SCALE

CK: ME Date: 6/28/16 REV: e

1555 N. Mingo Tulsa, OK 74116 1-888-333-3422 www.ameristarfence.com

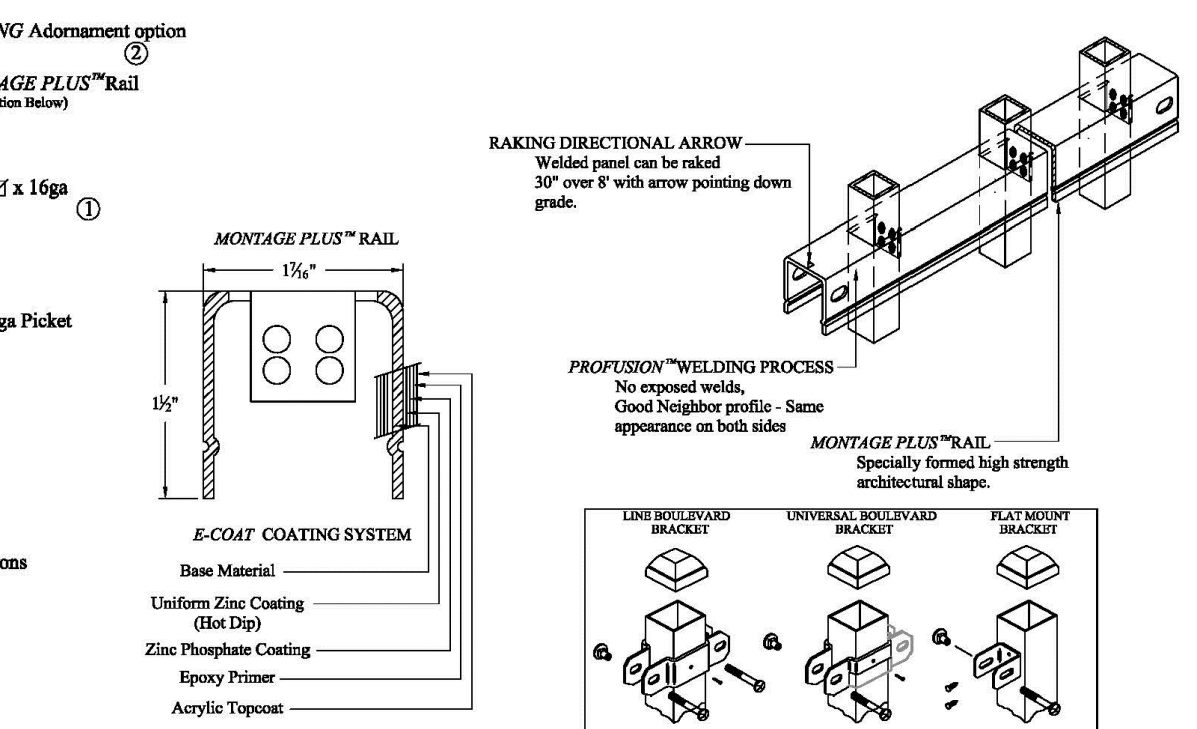
OUTWARD OPENINGS AWAY FROM POOL. SELF-CLOSING, SELF-LATCHING, DOUBLE GATE SHALL BE INSTALLED, 5' HT.



NOTES:

- 1.) Post size depends on fence height and wind loads. See MONTAGE PLUS specifications for post sizing chart.
- 2.) Third rail required for Double Rings.
- 3.) Available in 3" air space and/or Flush Bottom on most heights.

13 POOL FENCING
SCALE: NTS



COMMERCIAL STRENGTH WELDED STEEL PANEL

PRE-ASSEMBLED

MONTAGE PLUS MAJESTIC 2/3-RAIL

DR: CL SH: 1of1 SCALE: DO NOT SCALE

CK: ME Date: 6/28/16 REV: e

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5' HT. BLACK FENCE SUITABLE FOR POOL ENCLOSURE SHALL BE USED AT POOL DECK

SUMMIT VIEW FARMS
POOL CONSTRUCTION DOCUMENTS
LEE'S SUMMIT, MISSOURI

REVISION:

FEBRUARY 23, 2021

SITE DETAILS

L201

RELEASED FOR CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
01/10/2022

LORAX DESIGN GROUP
8021 SANTA FE DRIVE
OVERLAND PARK, KS 66204
WWW.LORAXDESIGNGROUP.COM

STATE OF MISSOURI
JAMES M. GRANCH
NUMBER
PE-2014023909
PROFESSIONAL ENGINEER

2/22/2021
Missouri COA #001268

RELEASED FOR
CONSTRUCTION
As Noted on Plans Review

elswood
smith
carlson
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7133 west 95th street
suite 200
overland park, ks 66212
ph: 913-649-7557
www.escarchitects.com

elswood smith carlson architects, pa.

Kansas state certificate of authority #A-142
Missouri state certificate of authority # 680305

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STATE OF MISSOURI
REGISTERED PROFESSIONAL ENGINEER
11/22/2021

SUMMIT VIEW FARMS
POOL HOUSE
LEE'S SUMMIT, MISSOURI

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CITY REVIEW

11-22-21

Weston E. Coble
Architect
KSA 8788
MO# A-2516011206

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project no. 20091
date 01/14/2021
revised
design by RRB
drawn by CAD
struct. by APEX

Site Photometric Plan

sheet no.
NEW SHEET
E-1

The site photometric plan illustrates the proposed pool house and its immediate surroundings. The pool house is centrally located, featuring a covered entry, men's and women's restrooms, a changing area, and a storage room. The plan is overlaid with a grid of spot heights, with many areas marked as 0.0. Elevation contours are shown as dashed lines, indicating a relatively flat terrain. Several spot heights are labeled, such as 16.4, 14.5, 11.3, and 9.2. The plan also shows a curved driveway or path on the left side and a road labeled '30 B/L' on the right. A north arrow is located at the bottom center of the plan.

1 SITE PHOTOMETRIC PLAN

1"=10'-0"

NORTH

LS&A

Latimer Sommers
& Associates, P.A.
CONSULTING ENGINEERS
3630 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3874
8605 College Boulevard, Suite 102
Overland Park, Kansas 66210
Telephone: (785) 233-3232
Email: lsapa@lsapa.com
LSA PROJECT NO. 2009036

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Kansas state certificate of authority # A-142
Missouri state certificate of authority # 00003

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The undersigned hereby certifies that the cooperation
among the owner, his contractor, and the designer,
design and construction are complete. Although the
engineer and the contractor may perform their various
duties and obligations, they cannot perform
contingency cannot be anticipated. Any ambiguity or
discrepancy discovered by the use of these plans shall be
the responsibility of the contractor. It is hereby agreed
by a simple notice to the designer that release the designer
from responsibility for the completion of the design and
construction, and shall release the engineer of responsibility
for the completion of the design and construction.
Contractor shall check and verify all dimensions.



01/14/2021

SUMMIT VIEW FARMS
POOL HOUSE
LEE'S SUMMIT, MISSOURI

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Weston E. Coble
Architect
KS# 67106
MOW A-2016011206

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submitted by the undersigned are the property of the
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and all responsibility for such plans, drawings or documents
is hereby disclaimed.

project no. 20091

date 01/14/2021

revised

design by RRB

drawn by CAD

struct. by APEX

Mech/Elec
Specifications

sheet no.

ME-0

MECHANICAL SPECIFICATIONS			
GENERAL PROVISIONS	PIPE HANGERS SHALL BE CAPABLE OF SUPPORTING PIPING IN ALL CONDITIONS OF OPERATION. THEY SHALL ALLOW FREE EXPANSION AND CONTRACTION OF PIPING, AND PREVENT EXCESSIVE STRESS RESULTING FROM TRANSFERRED WEIGHT BEING INDUCED INTO PIPE OR CONNECTED EQUIPMENT. SUPPORT HORIZONTAL OR VERTICAL PIPES AT LOCATIONS OF LEAST VERTICAL MOVEMENT.		
CONTRACT DOCUMENTS	A. ALL CONTRACT DOCUMENTS INCLUDING DRAWINGS, ALTERNATES, ADDENDA AND MODIFICATIONS PRECEDING THIS SPECIFICATION DIVISION ARE APPLICABLE TO MECHANICAL CONTRACTOR AND HIS SUB-CONTRACTORS, AND MATERIAL SUPPLIERS.		
SPECIFICATION FORM AND DEFINITIONS	A. THESE SPECIFICATIONS ARE ABBREVIATED FORM AND CONTAIN INCOMPLETE SENTENCES. OMISSIONS OF WORDS OR PHRASES SUCH AS "THE CONTRACTOR SHALL," "SHALL BE," "AS NOTED ON THE DRAWINGS," "ACCORDING TO THE DRAWINGS", "A", "AN", "THE" AND "ALL" ARE INTENTIONAL. OMITTED WORDS AND PHRASES SHALL BE SUPPLIED BY INFERENCE.		
	B. ENGINEER WHEREVER USED IN THESE SPECIFICATIONS, SHALL MEAN LATIMER, SOMMERS & ASSOCIATES, P.A., 3639 SW SUMMERFIELD DRIVE, SUITE A, TOPEKA, KANSAS 66614, PHONE 785-233-3232.		
	C. CONTRACTOR, WHEREVER USED IN THESE SPECIFICATIONS, SHALL MEAN ANY TRADE CONTRACTOR THAT ENTERS INTO CONTRACT WITH THE OWNER TO PERFORM THIS SECTION OF WORK.		
	D. WHEN A WORD, SUCH AS "PROPER", "SATISFACTORY", "EQUIVALENT", AND "AS DIRECTED", IS USED, IT REQUIRES ENGINEER'S REVIEW. "PROVIDE" MEANS FURNISH AND INSTALL.		
QUALIFICATIONS	A. THE CONTRACTOR(S) RESPONSIBLE FOR WORK UNDER THIS SECTION SHALL HAVE COMPLETED A JOB OF SIMILAR SCOPE AND MAGNITUDE WITHIN THE LAST 3 YEARS AND BE ABLE TO DOCUMENT SUCH WORK UPON REQUEST. THE CONTRACTOR(S) SHALL EMPLOY AN EXPERIENCED, COMPETENT AND ADEQUATE WORK FORCE LICENSED IN THEIR SPECIFIC TRADE AND PROPERLY SUPERVISED AT ALL TIMES. MECHANICAL CONTRACTING SHALL BE THE COMPANY'S PRIMARY NATURE OF BUSINESS. UNLICENSED WORKERS AND GENERAL LABORERS SHALL BE ADEQUATELY SUPERVISED TO INSURE COMPETENT AND QUALITY WORK AND WORKMANSHIP REQUIRED BY THIS CONTRACT AND ALL OTHER REGULATIONS, CODES AND PRACTICES. AT ALL TIMES THE CONTRACTOR(S) SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES, PRACTICES AND REGULATIONS. CONTRACTOR MAY BE REQUIRED TO SUBMIT A STATEMENT OF QUALIFICATIONS, PERTAINING TO THE TYPE OF WORK TO BE PERFORMED, UPON REQUEST BEFORE ANY FINAL APPROVAL AND SELECTION. FAILURE TO BE ABLE TO COMPLY WITH THESE REQUIREMENTS IS SUITABLE REASON FOR REJECTION OF A BID WHETHER ACTING AS A PRIME OR SUBCONTRACTOR.		
LOCAL CONDITIONS	A. VISIT SITE AND DETERMINE EXISTING LOCAL CONDITIONS AFFECTING WORK IN CONTRACT. FAILURE TO DETERMINE SITE CONDITIONS OR NATURE OF EXISTING OR NEW CONSTRUCTION WILL NOT BE CONSIDERED A BASIS FOR GRANTING ADDITIONAL COMPENSATION.		
CONTRACT CHANGES	A. CHANGES OR DEVIATIONS FROM CONTRACT, INCLUDING THOSE FOR EXTRA OR ADDITIONAL WORK MUST BE SUBMITTED IN WRITING FOR REVIEW OF ARCHITECT-ENGINEER. NO VERBAL ORDERS WILL BE RECOGNIZED.		
LOCATIONS AND INTERFERENCES	A. LOCATIONS OF EQUIPMENT, PIPING AND OTHER MECHANICAL WORK IS INDICATED DIAGRAMMATICALLY BY MECHANICAL DRAWINGS. DETERMINE EXACT LOCATIONS ON JOB, SUBJECT TO STRUCTURAL CONDITIONS, WORK OF OTHER CONTRACTORS, ACCESS REQUIREMENTS FOR INSTALLATION AND MAINTENANCE TO APPROVAL OF ARCHITECT-ENGINEER.		
EXTENT OF CONTRACT WORK AND CODES - MECHANICAL	A. PROVIDE MECHANICAL SYSTEMS INDICATED ON DRAWINGS, SPECIFIED OR REASONABLY IMPLIED. PROVIDE EVERY DEVICE AND ACCESSORY NECESSARY FOR PROPER OPERATION AND COMPLETION OF MECHANICAL SYSTEMS. IN NO CASE WILL CLAIMS FOR "EXTRA WORK" BE ALLOWED FOR WORK ABOUT WHICH CONTRACTOR COULD HAVE BEEN INFORMED BEFORE BIDS WERE TAKEN.		
	B. DRAWINGS AND SPECIFICATIONS INDICATE MINIMUM CONSTRUCTION STANDARD. SHOULD ANY WORK INDICATED BE SUB-STANDARD TO ANY ORDINANCES, LAWS, CODES, RULES OR REGULATIONS BEARING ON WORK, CONTRACTOR SHALL PROMPTLY NOTIFY ARCHITECT-ENGINEER IN WRITING BEFORE PROCEEDING WITH WORK SO THAT NECESSARY CHANGES CAN BE MADE. HOWEVER, IF CONTRACTOR PROCEEDS WITH WORK KNOWING IT TO BE CONTRARY TO ANY ORDINANCES, LAWS, RULES, AND REGULATIONS, CONTRACTOR SHALL THEREBY HAVE ASSUMED FULL RESPONSIBILITY FOR AND SHALL BEAR ALL COSTS REQUIRED TO CORRECT NON-COMPLYING WORK.		
PIPE HANGERS AND SUPPORTS	PROVIDE AND BE RESPONSIBLE FOR LOCATIONS OF PIPING HANGERS, SUPPORTS AND INSERTS, ETC., REQUIRED FOR INSTALLATION OF PIPING DESIGN OF HANGERS AND SUPPORTS SHALL CONFORM TO CURRENT ISSUE OF MANUFACTURERS STANDARDIZATION SOCIETY SPECIFICATION (MSS) SP-58.		
	METHODS FOR DUCTWORK SYSTEMS SHALL BE AS FOLLOWS:		
	INSULATION		
	DUCTWORK SYSTEM		
	THICKNESS		
	ROUND/RECTANGULAR SUPPLY		
	1-1/2"		
	EXHAUST -		
	NONE		
	DUCTWORK		
	A. CONSTRUCT DUCTWORK AS DETAILED ON DRAWINGS AND AS DETAILED IN THE LATEST EDITION OF THE SHEET METAL AND AIR CONDITIONING CONTRACTOR'S ASSOCIATION (SMACNA) DUCT MANUAL.		
	B. CONSTRUCT AND INSTALL DUCTWORK TO BE COMPLETELY FREE FROM VIBRATION UNDER ALL CONDITIONS OF OPERATION. SUPPORT AND SECURELY ANCHOR DUCTWORK AND EQUIPMENT FROM STRUCTURAL FRAMING OF BUILDING. PROVIDE SUITABLE INTERMEDIATE METAL FRAMING WHERE REQUIRED BETWEEN BUILDING STRUCTURAL FRAMING.		
	C. SEALING OF DUCTWORK SHALL BE WITH CLASS 'C' CAULK.		
	GRILLES, REGISTERS AND DIFFUSERS		
	A. PROVIDE GRILLES, REGISTERS AND DIFFUSERS AS SHOWN ON THE DRAWINGS AND HEREINAFTER SPECIFIED. SET ALL UNITS WITH RUBBER GASKETS FOR AIR TIGHT CONNECTION WITH MOUNTING SURFACE. SEE DRAWINGS FOR TYPES, SIZES, AIR FLOW AND QUANTITY.		
	B. INSTALL ALL REGISTERS WITH CURVE OF LOUVER AWAY FROM LINE OF SIGHT. UNLESS NOTED OTHERWISE, PROVIDE DUCT MOUNTED DIFFUSERS AND REGISTERS WITH STANDARD MARGINS. FINISH SHALL BE OFF WHITE WHEN MOUNTED IN CEILING, PRIME COAT WHEN MOUNTED ON WALL FINISH.		
	SPLIT SYSTEMS - AIR HANDLERS		
	A. AIR HANDLING UNITS SHALL BE COMPLETELY FACTORY ASSEMBLED INCLUDING COIL, CONDENSATE DRAIN PAN, FAN MOTOR(S), FILTERS AND CONTROLS IN AN INSULATED CASING THAT CAN BE APPLIED IN EITHER VERTICAL OR HORIZONTAL CONFIGURATION. UNITS SHALL BE RATED AND TESTED IN ACCORDANCE WITH ARI STANDARD 210/240, 340/360. UNITS SHALL BE UL LISTED AND LABELED IN ACCORDANCE WITH UL 465/1995 FOR INDOOR BLOWER COIL UNITS.		
	B. UNIT CASING SHALL BE CONSTRUCTED OF ZINC COATED, HEAVY GAUGE, GALVANIZED STEEL. CASING SHALL BE COMPLETELY INSULATED WITH CLEANABLE, FOIL-FACED, FIRE-RETARDANT, PERMANENT, ODORLESS GLASS FIBER MATERIAL. ALL INSULATION EDGES SHALL BE EITHER CAPTURED OR SEALED. KNOCKOUTS SHALL BE PROVIDED FOR UNIT ELECTRICAL POWER AND REFRIGERANT PIPING CONNECTIONS. CAPTIVE SCREWS SHALL BE STANDARD ON ALL ACCESS PANELS.		
	C. EVAPORATOR COIL TO HAVE CONFIGURED ALUMINUM FIN SURFACE, MECHANICALLY BONDED TO 3/8" INTERNALLY ENHANCED COPPER TUBING AND FACTORY PRESSURE AND LEAK TESTED AT 365 PSIG. COIL IS ARRANGED FOR DRAIN-THROUGH AIRFLOW AND SHALL PROVIDE A DOUBLE SLOPED CONDENSATE DRAIN PAN CONSTRUCTED OF PVC PLASTIC.		
	D. EVAPORATOR FAN SHALL BE DOUBLE INLET, DOUBLE WIDTH, FORWARD CURVED, DIRECT DRIVE CENTRIFUGAL-TYPE FAN(S). THERMAL OVERLOAD PROTECTION SHALL BE STANDARD ON MOTOR. FAN AND MOTOR BEARINGS SHALL BE PERMANENTLY LUBRICATED.		
	E. MAGNETIC EVAPORATOR FAN CONTACTOR, LOW VOLTAGE TERMINAL STRIP, CHECK VALVE(S), AND SINGLE POINT POWER ENTRY AND DISCONNECT SHALL BE INCLUDED. ALL CONTROLS SHALL BE FACTORY-INSTALLED AND WIRED. EVAPORATOR DEFROST CONTROL SHALL BE INCLUDED TO PREVENT COMPRESSOR SLUGGING BY TEMPORARILY INTERRUPTING COMPRESSOR OPERATION WHEN LOW EVAPORATOR COIL TEMPERATURES ARE ENCOUNTERED.		
	F. FILTERS SHALL BE ONE INCH MERV-8 THROWAWAY. FILTERS SHALL BE ACCESSIBLE FROM THE FRONT OF THE UNIT.		
	G. PROVIDE MANUAL CHANGEOVER 7-DAY (NOT 5/2) PROGRAMMABLE HEATING/COOLING THERMOSTAT.		
	SPLIT SYSTEMS - OUTDOOR UNITS		
	A. CASING SHALL BE GALVANIZED STEEL WITH WEATHER RESISTANT POWDER PAINT.		
	B. REFRIGERANT CONTROLS TO INCLUDE CONDENSER FAN AND COMPRESSOR CONTACTOR AND CONTROL SYSTEM. COMPRESSOR OVERLOAD PROTECTION, AND SERVICE VALVES ARE TO BE PROVIDED.		
	C. HERMETIC COMPRESSOR TO HAVE OVER TEMPERATURE/PRESSURE PROTECTION, EPOXY-DIPPED WINDINGS. A 5 YEAR LIMITED COMPRESSOR WARRANTY TO BE INCLUDED.		
	D. CONDENSER COIL TO BE COPPER TUBES, ALUMINUM FINS WITH BRAZED JOINTS PROTECTED BY LOUVERED PANELS.		
	E. PROVIDE ALL ACCESSORIES FOR PROPER SYSTEM OPERATION TAKING INTO CONSIDERATION REFRIGERANT PIPE LENGTH, EXPOSURE AND POSITION FROM AHU TO ACCOUNT FOR EACH SPECIFIC UNIT INSTALLATION. REVIEW DRAWINGS WITH SUPPLIER.		
	F. AIR HANDLERS TO BE PIPED TO APPROPRIATE DRAIN, MOUNTED WITH ACCESS FOR SERVICE, WITH FLEXIBLE DUCT CONNECTIONS. OUTDOOR UNITS SHALL BE MOUNTED ON MONOLITHIC CONCRETE PADS. STRAP DOWN CONDUITS AND SECURE DX PIPING TO WALL OR SLAB WHERE OVER 3 FEET IN LENGTH. INSTALL WITH CLEARANCES PER MANUFACTURER'S RECOMMENDATIONS.		
	SCHEDULE		
	1)REFRIGERANT - "K" ARMAFLEX		
	DUCTWORK INSULATION		
	A. PROVIDE NECESSARY MATERIALS AND ACCESSORIES FOR INSTALLATION OF INTERIOR AND EXTERIOR DUCTWORK.		
	INSULATION AS SPECIFIED AND/OR DETAILED ON DRAWINGS. PROVIDE INSULATION MATERIALS MANUFACTURED BY SCHULLER, KNAUF FIBERGLASS, CERTAIN/TEED, OR OWENS-CORNING FIBERGLASS.		
	C. PROVIDE ROUND SHEET METAL DUCTWORK WITH EXTERIOR THERMAL INSULATION OF TYPE AND THICKNESS LISTED IN INSULATION SCHEDULE. APPLY INSULATION WITH JOINTS TIGHTLY BUTTED TOGETHER WITH LONGITUDINAL AND END JOINT STRIPS SEALED WITH VAPOR BARRIER ADHESIVE. INSULATE FITTINGS WITH INSULATION THICKNESS EQUAL TO ADJOINING INSULATION WITH COVER OVERLAPPING 2" ONTO ADJACENT COVERING.		
	D. DUCT INSULATION MATERIALS BY TYPE SHALL BE AS FOLLOWS:		
	1. TYPE 2-DEW: EXTERNAL THERMAL INSULATION SHALL BE 1.0 LB. DENSITY STANDARD DUCT INSULATION TYPE IV WITH FOIL-SCRM-CRAFT FACING AND .27 BTU/H THERMAL CONDUCTIVITY AT 75 DEGREES MEAN TEMPERATURE.		
	E. SPECIFIC INSULATION MATERIALS AND INSTALLATION		

ELECTRICAL SPECIFICATIONS		
ELECTRICAL	C. PROVIDE LOW VOLTAGE DISTRIBUTION SYSTEM WITH A SEPARATE GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR FOR EACH SINGLE-PHASE FEEDER. SINGLE PHASE 120 VOLT BRANCH CIRCUITS FOR LIGHTING AND POWER SHALL CONSIST OF PHASE AND NEUTRAL CONDUCTORS AND A GREEN GROUND CONDUCTOR INSTALLED IN COMMON METALLIC CONDUIT WHICH SHALL SERVE AS GROUNDING CONDUCTOR. PROVIDE FLEXIBLE METALLIC CONDUIT UTILIZED IN CONJUNCTION WITH ABOVE SINGLE PHASE BRANCH CIRCUITS WITH SUITABLE GREEN INSULATED GROUNDING CONDUCTORS CONNECTED TO APPROVED GROUNDING TERMINALS AT EACH END OF FLEXIBLE CONDUIT. SINGLE PHASE BRANCH CIRCUIT INSTALLED IN NONMETALLIC CONDUITS SHALL BE PROVIDED WITH SEPARATE GROUNDING CONDUCTOR. INSTALL GROUNDING CONDUCTOR IN COMMON CONDUIT WITH RELATED PHASE AND/OR NEUTRAL CONDUCTORS. WHERE PARALLEL FEEDERS ARE INSTALLED IN MORE THAN ONE RACEWAY, EACH RACEWAY SHALL HAVE A GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR.	
EXTENT OF CONTRACT WORK AND CODES	D. GROUNDING CONDUCTORS SHALL BE AS SHOWN ON PLANS OR IF NOT SPECIFICALLY SHOWN SHALL BE NO SMALLER THAN THAT REQUIRED BY THE NEC.	
BASIC MATERIALS AND METHODS	CONDUITS	
	CONDUIT	
IDENTIFICATION OF WIRING	A. CONDUIT OR GALVANIZED RIGID STEEL TUBING (EMT) CONDUIT SHALL BE GALVANIZED STEEL ELECTRICAL METALLIC TUBING AND BEAR AND UNDERWRITERS' LABORATORY LABEL. CONDUIT SHALL CONFORM TO FEDERAL SPECIFICATION WWC-563 AND ANSI SPECIFICATION C80.3.	
	B. MC CABLE AND FLEXIBLE METAL CONDUIT: WHERE (FMC) WITH CONDUCTORS AND GROUND MAY BE USED ONLY IN THE FORM OF 8' WHIPS (OR LESS) FOR BRANCH CIRCUIT DROPS FROM JOBS TO INDIVIDUAL LIGHTING FIXTURES, HWY BOXES, SMALL EXHAUST FANS, AND OTHER FRACTIONAL HP EQUIPMENT. IN ALL CASES, THE FLEXIBLE CONDUIT AND/OR MC CABLE SHALL CONTAIN A DEDICATED EQUIPMENT GROUNDING CONDUCTOR.	
	C. RIGID SCH. 40 PVC MAY BE USED BELOW SLAB/GRADE.	
	CONDUIT FITTINGS	
	A. EMT CONDUIT: COUPLINGS AND BOX CONNECTORS SHALL BE DIE CAST SET SCREW TYPE. UNLETS SHALL BE MALLEABLE IRON WITH BLANK COVER.	
	B. FLEXIBLE CONDUIT: CONNECTORS SHALL BE THREADED TYPE IRON WITH INSULATED THROAT.	
	C. PROVIDE GROUNDING BUSHINGS WHERE FEEDER CONDUIT ATTACHES TO PANELBOARD BACKBOX. BOND GROUNDING BUSHING TO GROUND BUS.	
	CONDUIT INSTALLATION	
	A. ALIGN CONDUIT TERMINATIONS AT PANELBOARDS, SWITCHBOARDS, MOTOR CONTROL EQUIPMENT, JUNCTION BOXES, ETC. AND INSTALL TRUE AND PLUMB. PROVIDE SUPPORTS OR TEMPLATES TO HOLD CONDUIT ALIGNMENT DURING ROUGH-IN STAGE OF WORK.	
	B. INSTALL CONDUIT CONTINUOUS BETWEEN OUTLET BOXES, CABINETS AND EQUIPMENT. MAKE BENDS SMOOTH AND EVEN WITHOUT FLATTENING OR FLAKING CONDUIT. RADIUS OF BENDS SHALL NOT BE SHORTER THAN RADIUS LISTED IN THE NEC. LONG RADIUS ELBOWS MAY BE USED WHERE NECESSARY.	
	C. INSTALL NO CONDUITS OR OTHER RACEWAYS SIZED SMALLER THAN PERMITTED IN APPLICABLE NEC TABLES. WHERE CONDUIT SIZES SHOWN ON DRAWINGS ARE SMALLER THAN PERMITTED BY CODE, CONTRACTOR SHALL INCLUDE COST FOR PROPER SIZE CONDUIT IN HIS BASE BID. IN NO CASE REDUCE CONDUIT SIZES INDICATED ON DRAWINGS OR SPECIFIED WITHOUT WRITTEN APPROVAL OF ENGINEER.	
	OUTLET BOXES	
	A. PROVIDE ELECTRICAL SERVICE OUTLETS, INCLUDING PLUG RECEPTACLES, LAMP RECEPTACLES, LIGHTING FIXTURES AND SWITCHES WITH STEEL CITY, RACO, OR EQUIVALENT FOUR INCH CODE GAUGE STEEL KNOCKOUT BOXES GALVANIZED OR SHERADIZED OF REQUIRED DEPTH FOR SERVICE OR DEVICE.	
	B. PVC BOXES MAY BE USED WHERE NOT EXPOSED.	
	SWITCHES, RECEPTACLES AND COVER PLATES	
	A. PROVIDE WHERE SHOWN ON PLANS WIRING DEVICES. PART NUMBERS SHALL BE AS LISTED FOR EACH DEVICE SPECIFIED. EQUIVALENT DEVICES BY HUBBELL, PASS & SEYMOUR.	
	INDUSTRY REFERENCES	
	A. UNDERWRITER'S LABORATORIES (UL)	
	SWITCHES (UL 20)	
	RECEPTACLES, PLUGS & CONNECTORS (UL 498)	
	PIN & SLEEVE CONNECTORS (UL 1286)	
	DEVICE PLATES (UL 514)	
	GFCI'S (UL 943)	
	B. REQUIRED EQUIPMENT GROUNDING CONDUCTORS AND STRAPS SHALL BE SIZED IN COMPLIANCE WITH N.E.C. TABLE 250-95. EQUIPMENT GROUNDING CONDUCTORS SHALL BE PROVIDED WITH GREEN TYPE TW 600 VOLT INSULATION. RELATED FEEDER AND BRANCH CIRCUIT GROUNDING CONDUCTORS SHALL BE CONNECTED TO GROUND BUS WITH APPROVED PRESSURE CONNECTORS.	

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Notice of these plans constitutes notice of cooperation
among the owner, his contractor, and the designer.
Design and construction are complete. Although the
designer and his consultants have performed their services
with due care and diligence, they cannot guarantee
accuracy. Consequently, the proper and entire
contingency cannot be anticipated. Any ambiguity or
discrepancy discovered by the user of these plans shall be
the responsibility of the user. It shall be the responsibility
of the user to obtain clarification from the designer
prior to the plans without the consent of the designer and
architect, and shall release the designer of responsibility
for all consequences arising out of such changes.
Contractor shall check and verify all dimensions.



01/14/2021

SUMMIT VIEW FARMS

POOL HOUSE

LEE'S SUMMIT, MISSOURI

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Architect
KS# 6705
MO# A-201601206

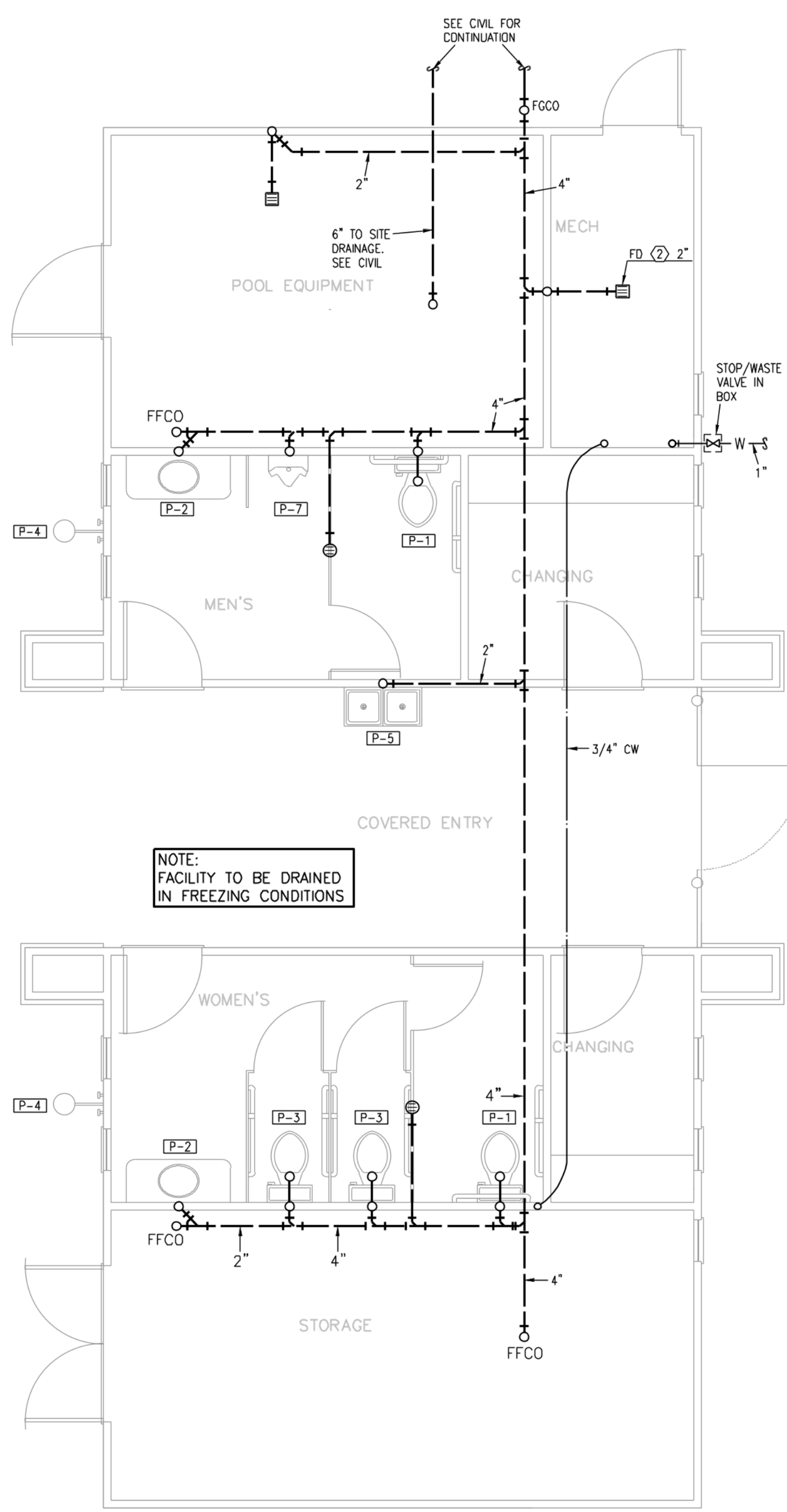
The Professional Architects used herein are the sole
designers and the architect and owner are the client.
All drawings, instruments, or other documents not
submitted with this set shall not be considered part of
this contract, and this architect expressly declines any
and all responsibility for such plans, drawings or documents.

project no.	20091
date	01/14/2021
revised	
design by	RRB
drawn by	CAD
struct. by	APEX

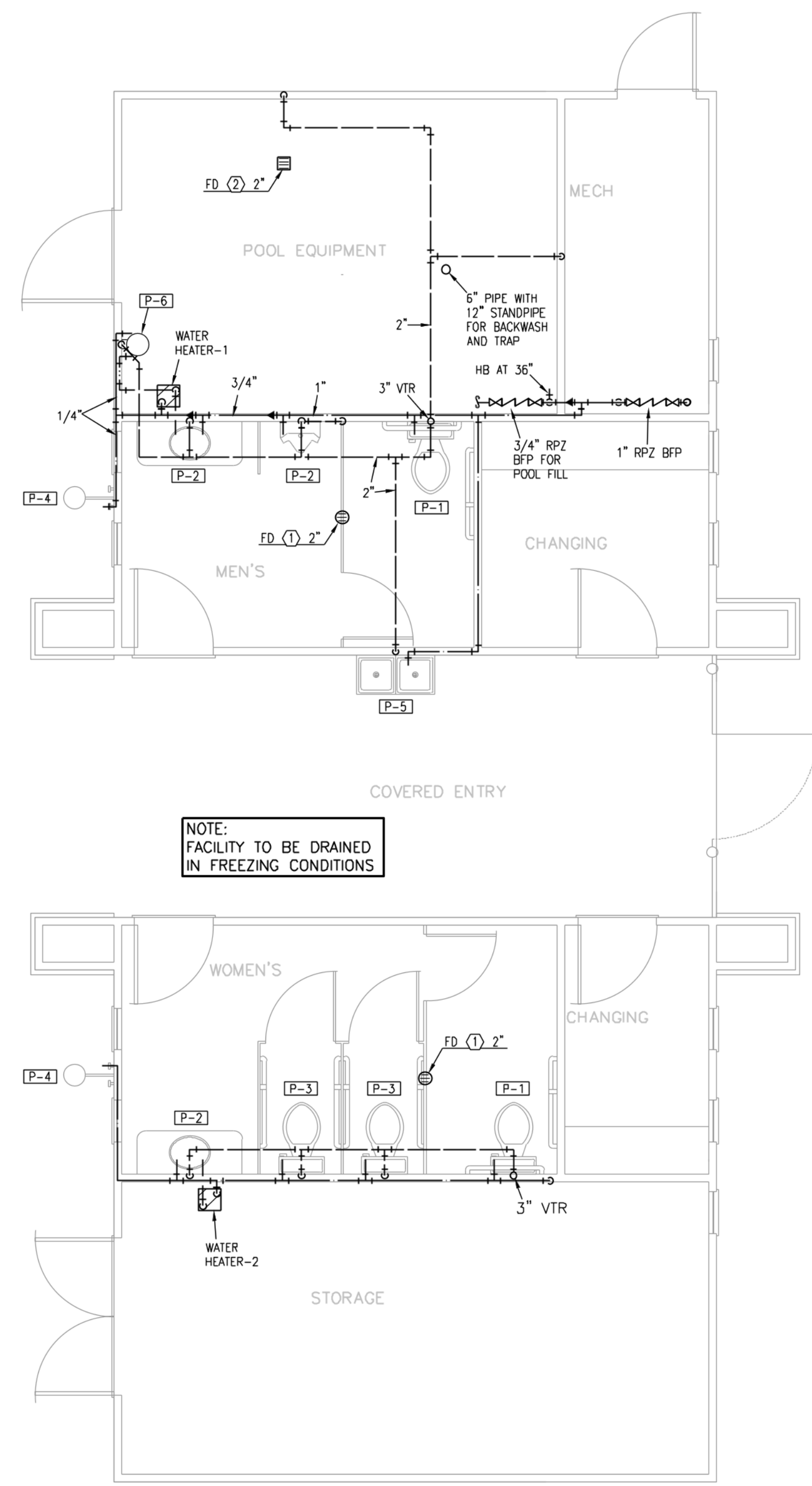
**First Floor Plan
- Mech/Elec**

**sheet no.
ME-2**

- NOTES: PLUMBING
- COORDINATE WITH OTHER SUB-CONTRACTORS FOR PLACEMENT OF WORK PRIOR TO INSTALLATION BEGINNING.
 - ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE. ALL 2" AND 3" WASTE SLOPE AT 1/4" PER FT. PIPING 4" AND GREATER MAY BE AT 1/8" PER FT UNLESS NOTED OTHERWISE.
 - ANY BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS.
 - ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE OR REQUIRED BY THE PLUMBING CODE.
 - CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS.
 - ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKES.
 - ALL FIXTURES SHALL HAVE AIR CHAMBERS OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
 - SEE THE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
 - REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT. ALL FLOOR DRAINS ARE 2" TYPE 1 UNLESS NOTED OTHERWISE.
 - ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
 - ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.



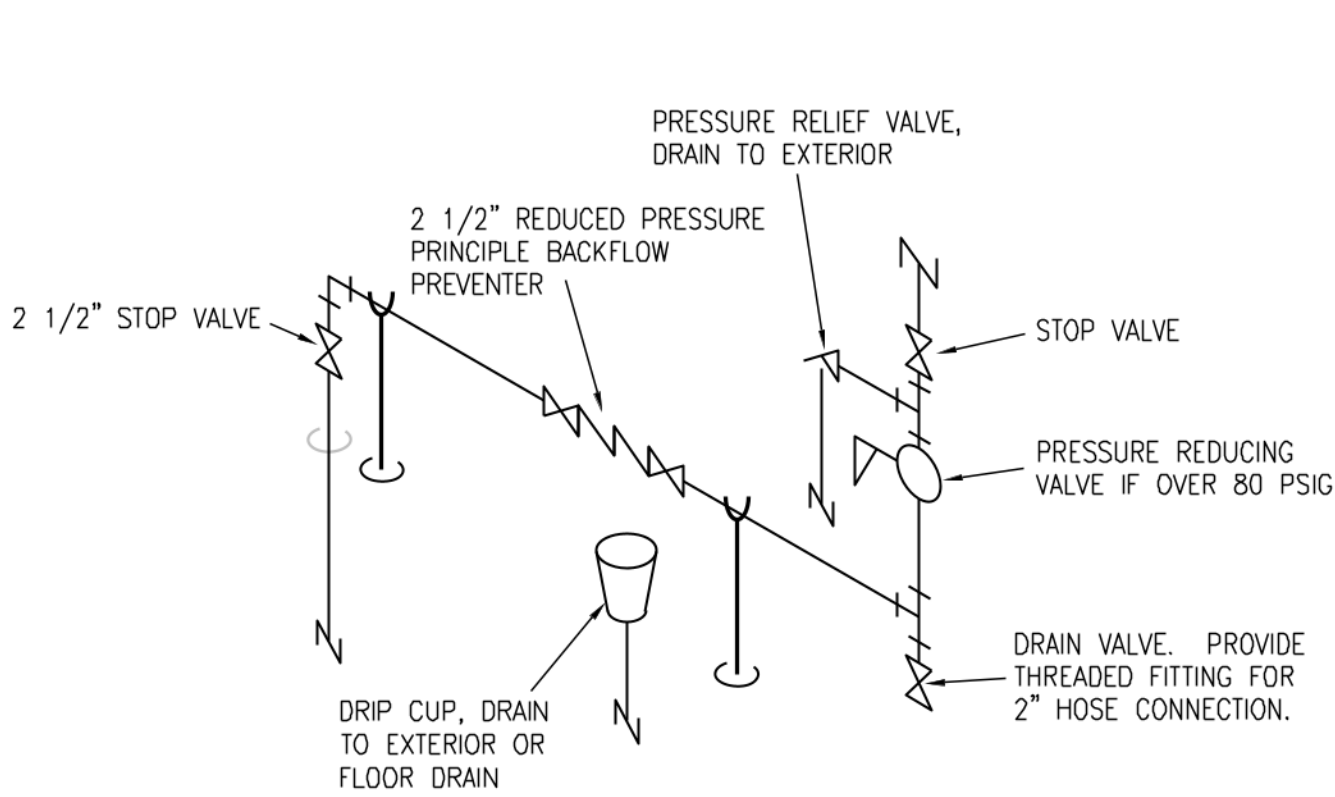
1 FIRST FLOOR PLAN
1/4"=1'-0" BELOW-GRADE PLUMBING



2 FIRST FLOOR PLAN
1/4"=1'-0" PLUMBING



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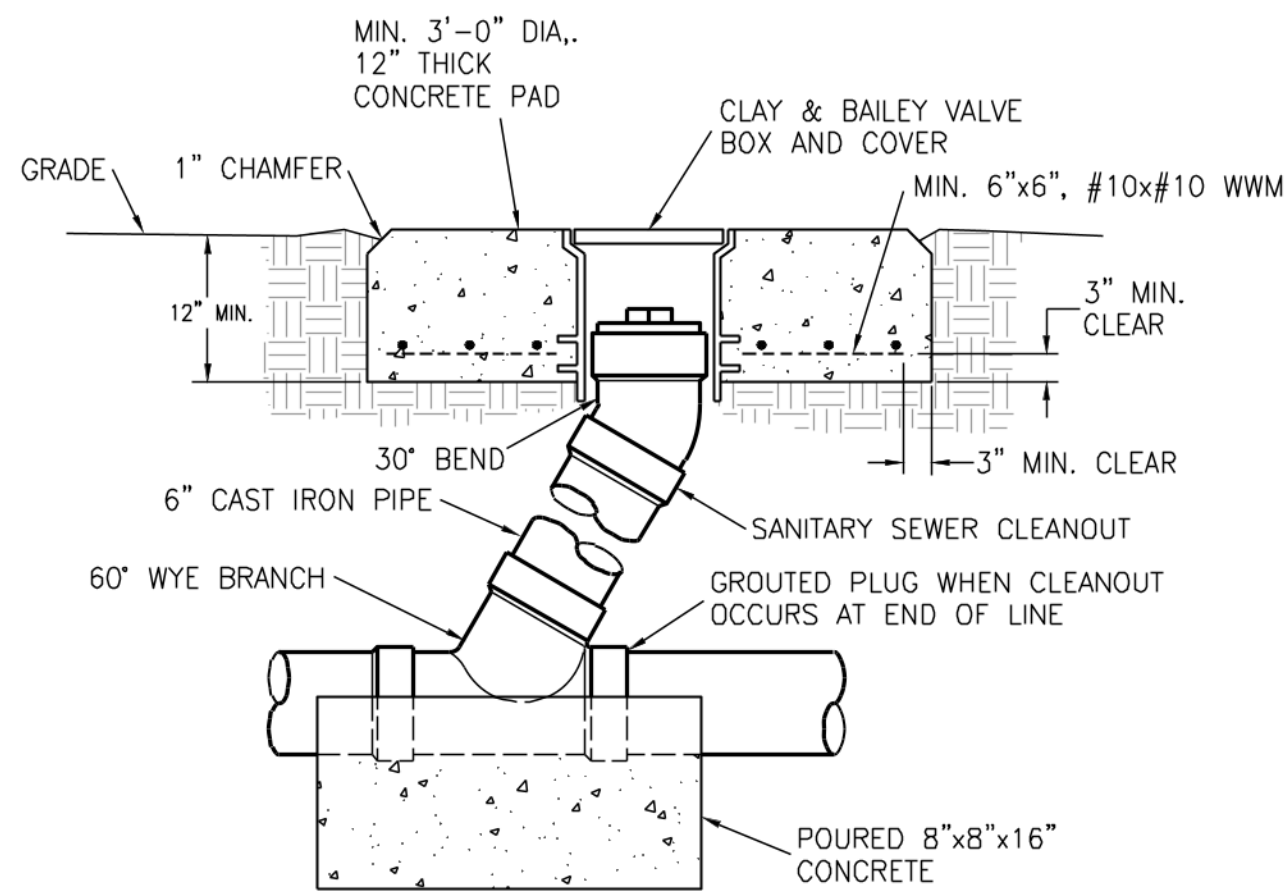


1 DOMESTIC WATER ENTRANCE RISER

NO SCALE

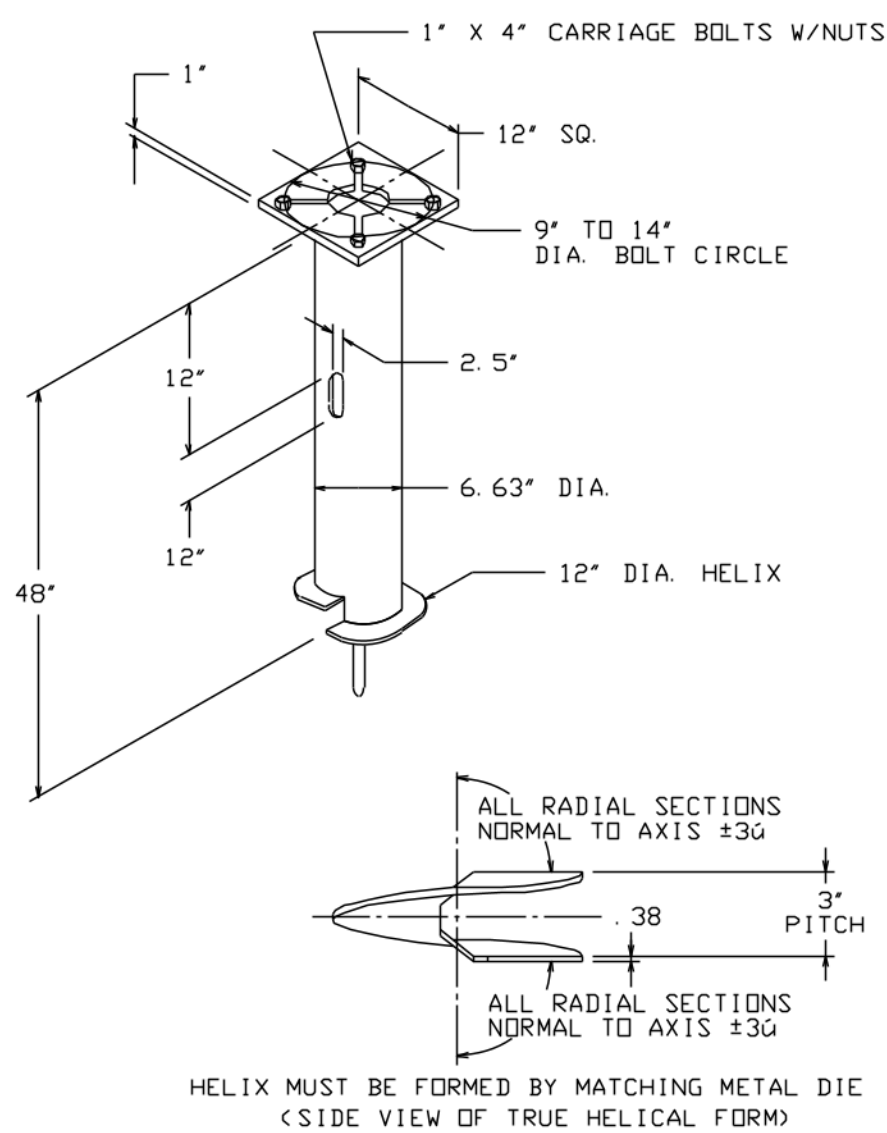
NOTES:

- ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.



3 FLUSH GRADE CLEANOUT DETAIL

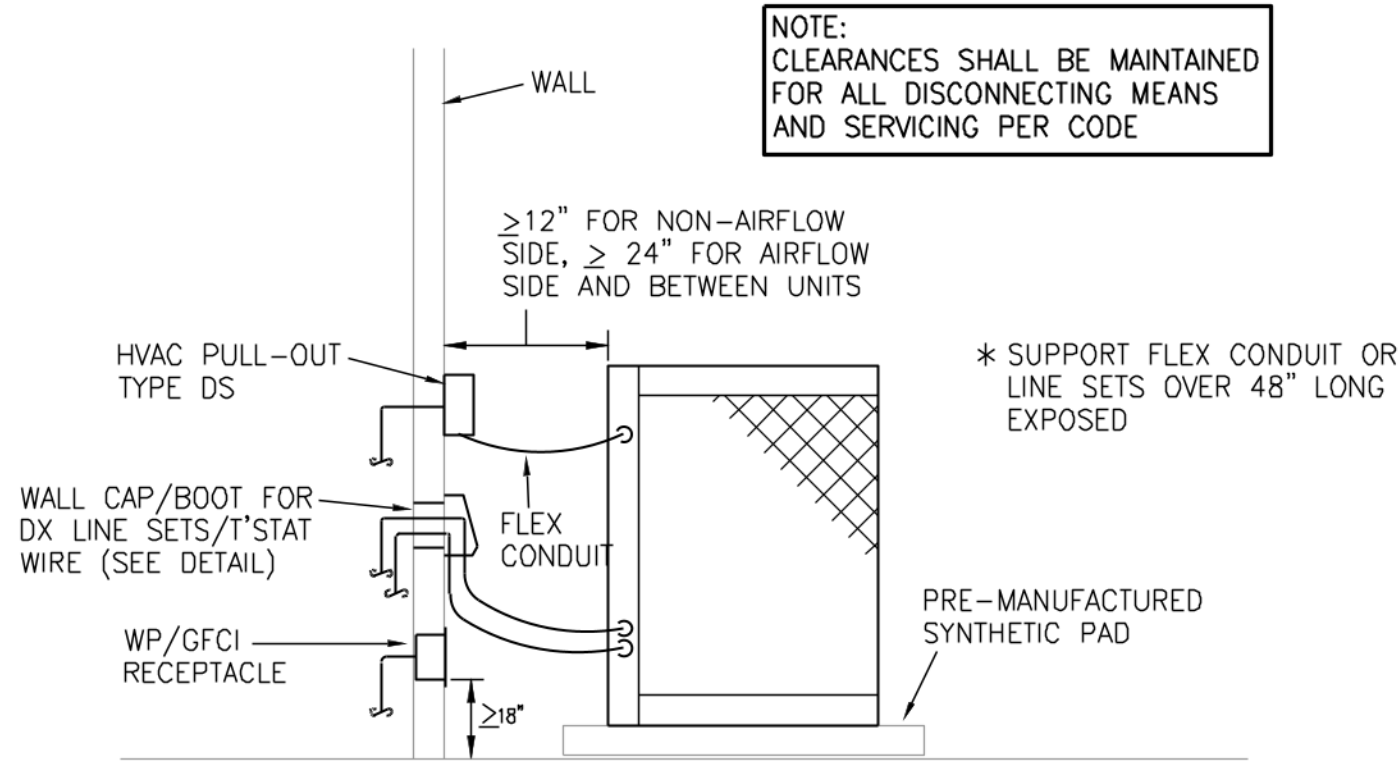
NO SCALE



5 LIGHT POLE FOUNDATION

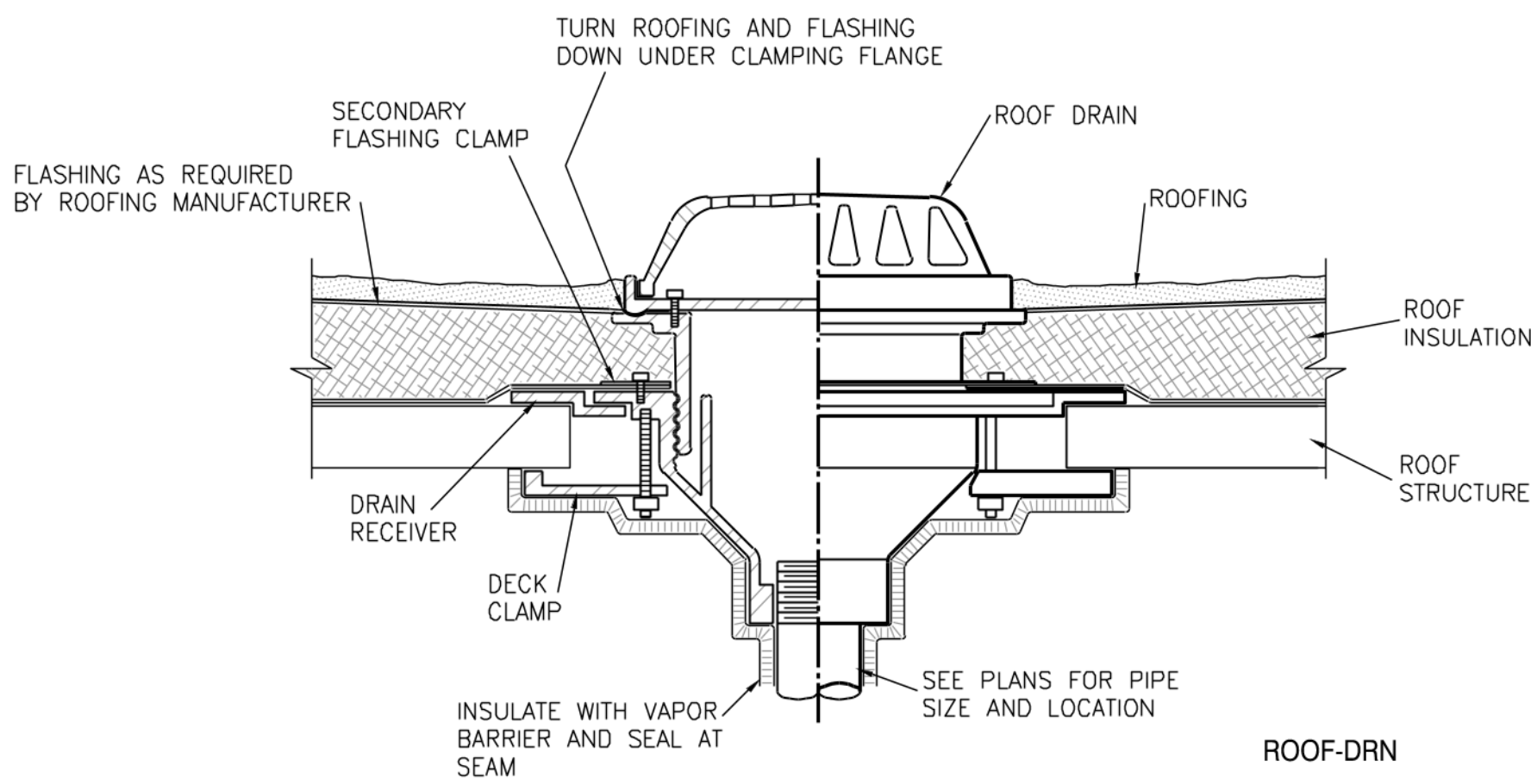
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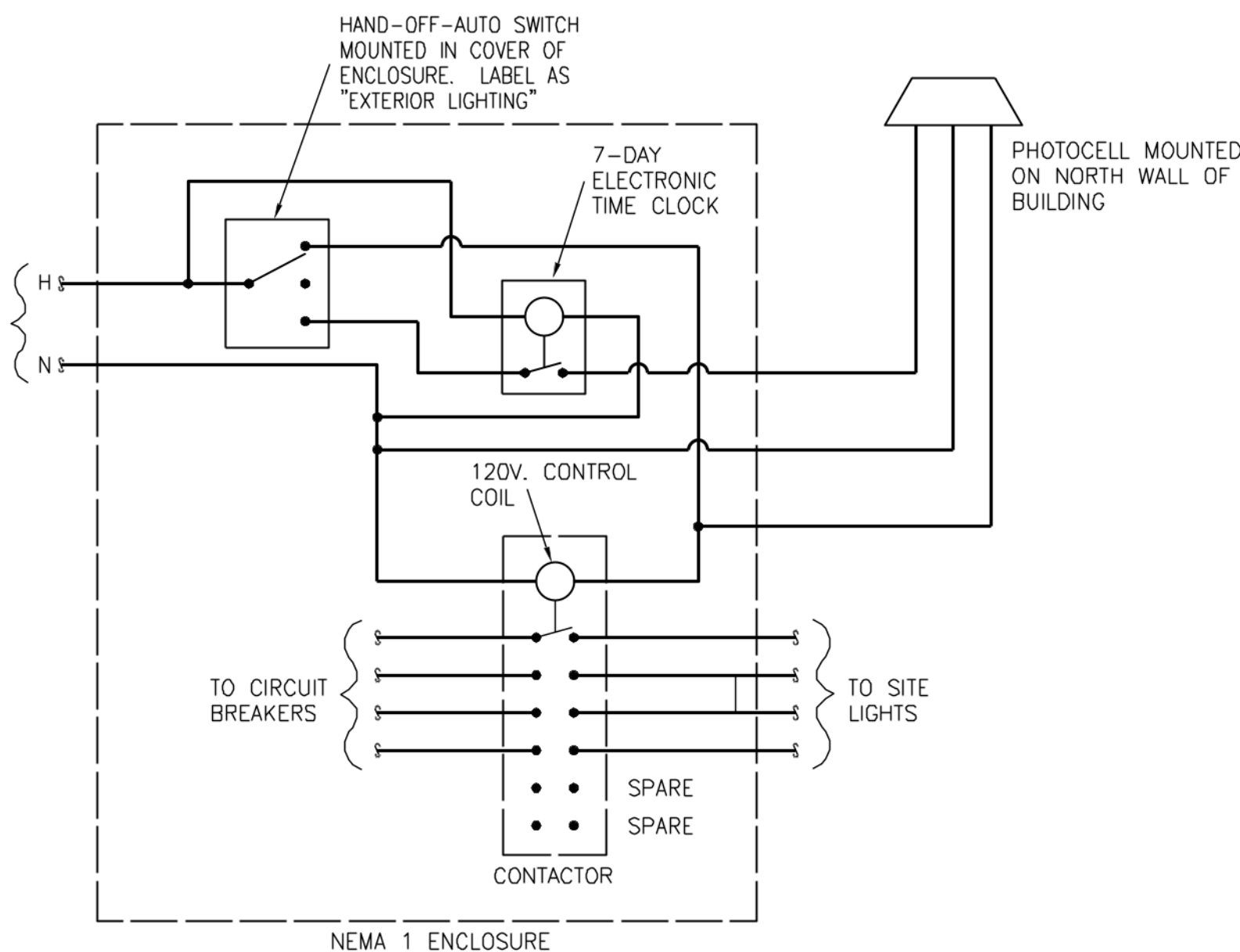
2 GROUND-MOUNTED CONDENSING UNIT DETAIL

NO SCALE



4 ROOF DRAIN DETAIL

NO SCALE



EXTERIOR LIGHTING CONTROL PANEL SCHEMATIC

NO SCALE

6

ELECTRICAL SYMBOLS LEGEND			
	CONDUIT CONCEALED IN CEILING OR WALL		SWITCH - SINGLE POLE
	CONDUIT CONCEALED IN FLOOR SLAB		3-WAY, 4-WAY
	EXPOSED CONDUIT		LIGHT FIXTURE AND TYPE
	HOMERUN - ARROW INDICATES CKT., LINES INDICATE WIRES		EXIT LIGHT (CEILING OR WALL MOUNTED)
	GROUND WIRE		FLUSH PANELBOARD
	GROUNDING ROD		SURFACE PANELBOARD
	SINGLE RECEPTACLE		DISTRIBUTION PANEL OR SWITCH-BOARD
	DUPLEX RECEPTACLE (20 AMP UNLESS NOTED)		DEVICE LOCATED ABOVE COUNTER
	FOURPLEX RECEPTACLE		ABOVE FINISHED FLOOR
	208 OR 240 VOLT RECEPTACLE (20 AMP UNLESS NOTED)		DIMMER
	PUSHBUTTON		ELECTRIC DRINKING FOUNTAIN
	MOTOR		GROUND FAULT INTERRUPTER
	FUSIBLE SWITCH (BUSSMAN SSU)		NIGHTLIGHT FIXTURE, WIRED HOT
	DISCONNECT SWITCH (D.S.)		WEATHERPROOF
	COMBINATION MOTOR STARTER (CMS)		LOCKABLE GUARD
	RELAY		CEILING MOTION SENSOR
	JUNCTION BOX		WALL MOTION SENSOR
	THERMOSTAT		

NOTES: ALL SYMBOLS SHOWN ABOVE MAY NOT APPEAR ON PLANS. REFER TO MECHANICAL SYMBOLS LEGEND FOR MECHANICAL SYMBOLS THAT MAY BE SHOWN ON ELECTRICAL PLANS.

MECHANICAL SYMBOLS LEGEND			
	WATER CLOSET & TYPE (TYP. FOR ALL PLUMBING FIXTURES)		MANUAL DAMPER
	WASTE LINE ABOVE EARTH (W.)		BACKDRAFT DAMPER
	WASTE LINE IN EARTH (W.)		AUTOMATIC DAMPER
	CLEAN OUT		GRILLE, REGISTER OR DIFFUSER, SIZE, TYPE & CFM
	FFCO		VOLUME EXTRACTOR AND TURNING VANES
	FGCO		RETURN, EXHAUST OR FRESH AIR DUCT SECTION UP & DOWN
	FLOOR DRAIN AND TYPE		SUPPLY AIR DUCT SECTION UP AND DOWN
	VENT LINE (V.)		ROUND OR RECTANGULAR RIGID DUCT
	DOMESTIC COLD WATER SUPPLY (DCW)		FLEXIBLE DUCT
	DOMESTIC HOT WATER SUPPLY (DHW)		THERMOSTAT
	HOSE BIBB AND MOUNTING HEIGHT		REFRIGERANT LIQUID
	WALL HYDRANT		REFRIGERANT SUCTION
	DRAIN LINE		ACCESS DOOR
	NATURAL GAS LINE		ABOVE FINISHED FLOOR
	RISE & DROP IN PIPE WITH CUT-OFF VALVE		EXHAUST AIR
	REDUCER		OUTSIDE AIR
	CHECK VALVE		RETURN AIR
	STOP VALVE		SUPPLY AIR
	PLUG VALVE		VENT BELOW SLAB
	PRESSURE REDUCING VALVE		VENT THRU ROOF
	STRAINER		LOCKABLE GUARD
	UNION		
	FLEXIBLE PIPE CONNECTION		

NOTES: ALL SYMBOLS SHOWN ABOVE MAY NOT APPEAR ON PLANS. REFER TO ELECTRICAL SYMBOLS LEGEND FOR ELECTRICAL SYMBOLS THAT MAY BE SHOWN ON MECHANICAL PLANS.

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LSA PROJECT NO. 2004036

RELEASED FOR CONSTRUCTION
As Noted on Plans Review

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Contractor shall check and verify all dimensions.

STATE OF MISSOURI
RICHARD R. BEARMORE
Professional Engineer
01/14/2021

SUMMIT VIEW FARMS
POOL HOUSE
LEE'S SUMMIT, MISSOURI

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Weston E. Coble
Architect
KS# 6709
MO# A-201601206

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project no. 20091
date 01/14/2021
revised
design by RRB
drawn by CAD
struct. by APEX

MECH./ELEC. DETAILS

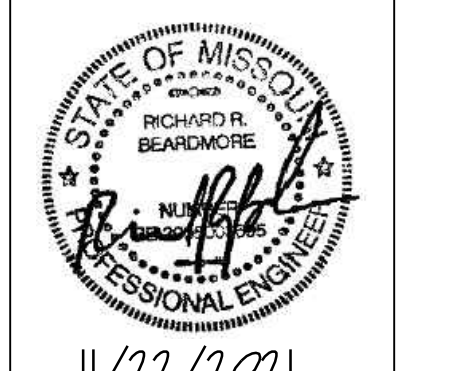
sheet no.
ME-4

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11/22/2021

SUMMIT VIEW FARMS
POOL HOUSE
LEE'S SUMMIT, MISSOURI

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2 CITY REVIEW 11-22-21

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[illegible]

Weston E. Coble
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date	01/14/2021
revised	

design by	RRB
drawn by	CAD
checked by	AFM

drawn by	CAD
struct. by	APEX

**MECH./ELEC.
SCHEDULES**

ME-6

PLUMBING FIXTURE SCHEDULE													
Mark	Item	Model	Description	Individual Connections				Accessories					
				W	V	GW	HW	Supplies	Stops	Carrier	P-Trap	Drain	Other
P-1	Accessible Water Closet, Tank Type	Profo #1203WH with PFTS2000wh	Floor-mounted ADA height white vitreous china elongated bowl 1.6 gpf gravity type with Fluidmaster 400A flush mechanism and bolt covers. Provide solid plastic open front elongated white heavy duty seat with integral bumpers, external check hinges with stainless steel posts.	3" or 4"	2"	1/2"		2	1				3
P-2	Accessible Lavatory, Countertop	Profo #PF20174BS with Peerless #PFLL1011MBN	20" x 17" oval vitreous china countertop lavatory with overflow. Faucet is 4" o.c. single lever ADA handle, copper waterways, chrome finish.	2"	1 1/2" or 2"	1/2"	1/2"	2, 4	1		1	1	1
P-3	Water Closet, Tank Type	Profo #1201WH with PFTS2000wh	Floor-mounted standard height white vitreous china elongated bowl 1.6 gpf gravity type with Fluidmaster 400A flush mechanism and bolt covers. Provide solid plastic open front elongated white heavy duty seat with integral bumpers, external check hinges with stainless steel posts.	3" or 4"	2"	1/2"		2	1				3
P-4	Outdoor Shower	Symmons SYM-3C325	Self-closing single temperature metering valve with fixed head			1/2"							
P-5	Accessible Dual Height Water Cooler with Bottle Filler	Halsey Taylor #HAC6BLFSQ	ADA compliant dual bowl cooler providing 8 gph of 50 deg water at 90 deg ambient. Provide front and side push bars, lead free, mounted with 27" knee clearance and spout no more than 36" AFF. Provide bottle filler in backsplash.	2"	1 1/2" or 2"	1/2"	1/2"	2	1		1		1
P-6	Eye Wash	Guardian G18148C	Wall-mounted stainless steel bowl with cover, paddle valve, thermostatic mixing valve.	2"	2"	1/2"	1/2"						
P-7	Urinal	American Standard #6561.017	White vitreous china wall hung with 3/4" top spud, 1.0 gallon siphon jet flushing action. Mount rim per Architectural elevation.	2"	2"	3/4"		3		1			
Supplies	1 - Flexible braided stainless steel 2 - Flexible braided compression hose. 3 - Sloan Royal 186 1.0 gpf diaphragm type. 4 - Provide tempering valve below sink set at 110 deg												
Stops	1 - Angle handle compression												
Carrier	1 - Steel tube floor-mounted in-wall carrier with arms 2 - Cast iron floor mount adjustable carrier for water closet												
P-Trap	1 - PVC with deep escutcheon 2 - PVC 3 - deep seal PVC trap and 30" standpipe.												
Drain	1 - Metal pop-up with tailpiece 2 - Basket strainers in finish to match faucet, tailpiece. 3 - Chrome drain cover.												
Other	1 - Provide trap and supply guard if exposed. 2 - Hose and bracket, mop hanger and hose rack. 3 - Open front seat in public restrooms												

HVAC SYSTEM SCHEDULE																				
AHU														OUTDOOR UNIT						
MARK	MFGR	NOM TON	MODEL	CFM	OA CFM	E.S.P.	HP	SMBH	TMBH	HEAT CAP	ELEC	FLA	OCF	MFGR	MODEL	ELEC	FLA	OCF	SEER	NOTES
AHU/CU	GOODMAN	2	ARUF25B14	750	130	0.4	0.33	16.9	23.0	6 KW	240/1	27	40	GOODMAN	GSX14-0241	240/1	8.4	15	14.0	

COOLING EAT = 80/67/9

WATER HEATER SCHEDULE												
MARK	MFGR	MODEL	FUEL	VOLTAGE/PH/ AMPS	INPUT	EFFICIENCY /PF	GALLONS STORAGE	GPH RECOVERY @ 80° RISE	FLUE TYPE	EXPANSION	CIRCULATOR GPM/HD	NOTES
WH - L1, L2	EEMAX	EMT-1	ELEC	120/1/12	1.4 KW	0.95	1.5	5	N/A			

DRAIN SCHEDULE								
MARK	APPLICATION	MFGR	MODEL	BODY MATL	DEPTH	GRATE MATL	GRATE SHAPE	ACCESSORIES
FD-1	FLOOR	ZURN	ZN-41SS	COATED CAST IRON	3"	NICKEL BRONZE	6" ROUND	1, 2
FD-2	FLOOR	ZURN	Z-611-S	COATED CAST IRON	6"	COATED CAST IRON	9" SQUARE	1, 2, 3

1 - DEEP TRAP, ADJUSTABLE GRATE
2 - USE WIDE FLANGE MODEL WHERE IN WOOD CONSTRUCTION
3 - INTERNAL STRAINER

AIR TERMINAL DEVICE SCHEDULE						
MARK	MANUFACTURER	MODEL	FINISH	DAMPER	FRAME TYPE	NOTES
A	AIR MATE	A140, A190	WHITE	YES	GYP BD	
B	AIR MATE	170	WHITE	NO	GYP BD	
C	AIR MATE	240 VO	WHITE	YES	GYP BD	

FAN SCHEDULE											
					ELECTRICAL						
MARK	MFR	MODEL	CFM	ESP	FAN HP	VOLT S	PH	A	OCF	WIRING	CONFIGURATION N: NOTES
EF-1, 2, 3	GREENHECK	SP-A390	210-280	0.25	Fr	120/1	3	15	(3) #12		ceiling, 1, 2
NOTES:	1-CEILING GRILLE, DS 2-BD DAMPER, DS, SPEED CONTROLLER, WALL/ROOF CAP										

Luminaire Schedule - Units and Buildings							
MARK	DESCRIPTION	MFGR	MODEL	MOUNTING	FINISH	LAMPS	NOTES
D	Exterior Sconce	Progress	P5674-31-30K	wall	black	1600 lumen 15W 3000K LED	
E	Trellis	Progress	P5641-20/30K	ceiling	bronze	1355 Lumen 29W 3000K LED	
SL1	Exterior Pole	McGraw Edison	GLEON-AF-02 LED E1 T4FT	pole	bronze	113W 12252 Lumen 4000K led	provide with 15 ft pole
SL2	Exterior Pole	McGraw Edison	GLEON-AF-01-LED-E1-SL4	pole	bronze	(2) 59W 5922 Lumen 4000K led	provide with 15 ft pole
SL3	Exterior Pole	McGraw Edison	GLEON-AF-01-LED-E1-T3	pole	bronze	59W 6235 Lumen 4000K led	provide with 15 ft pole
SL4	Bollard	McGraw Edison	BRT8-A2-740-U-T3	bollard	bronze	11W 1075 Lumen 4000K led	3 FT w/ WP-GFI receptacle

ELECTRICAL PANEL SCHEDULE											
PANEL: P		LOCATION		MOUNTING				SURFACE			
BUS: 200 A		VOLTAGE		120/240		PHASE/WIRE		1 Ph 3 Wire		KAIC: 42	
MAINS:		MLO		POLE		WATTS		KAIC: 42			
WATTS											
A		B		BK/R		WIRE		WIRE		BK/R	
DESCRIPTION											
POOL PUMP		2200		30		10		1		2	
5 HP - VERIFY		2200		2P		10		3		4	
POOL PUMP		1300		20		12		5		6	
3 HP - VERIFY		1300		2P		12		7		8	
AHU		3200		40		8		9		10	
		3200		2P		8		11		12	
GU		1000		20		12		13		14	
		1000		2P		12		15		16	
COOKING STATION		600		20		12		17		18	
LIGHTING		700		20		10		19		20	
SPARE				20		21		22			
SPARE				2P		23		24			
SPARE				20		25		26			
SPARE				20		27		28			
SPARE				20		29		30			
CONNECTED LOAD/WATTS		12600		11500				FEEDER LOAD/WATTS			
CONNECTED LOAD/AMPS		105		96				FEEDER LOAD/AMPS			
CONTINUOUS LOAD RECEPTACLES								FEEDER WIRE			
NON-CONTINUOUS LOAD								FEEDER OCP		200 A	

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