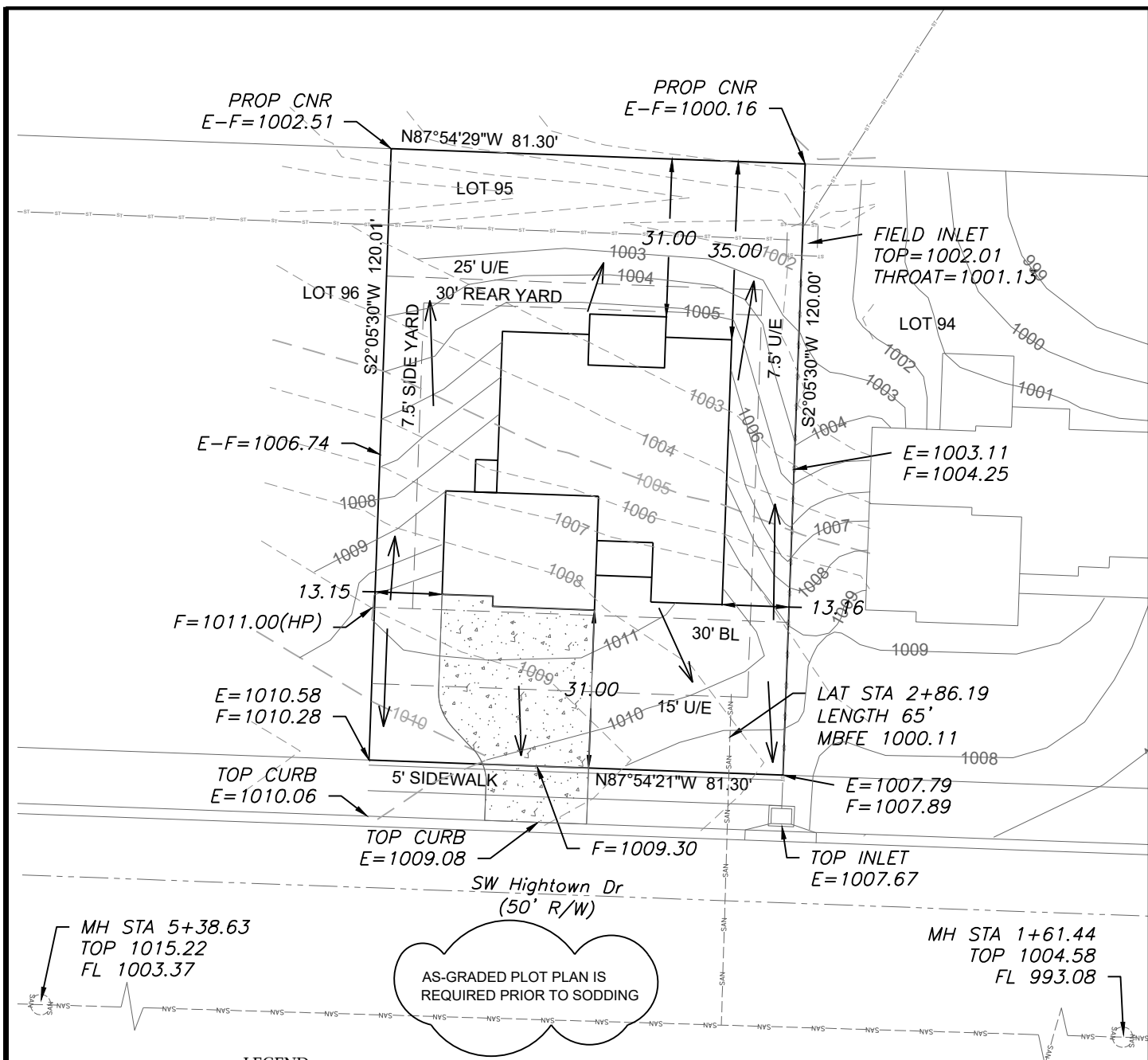




LEGEND



Gas Meter
Telephone or Fiber-Optic Pedestal
Cable TV Pedestal
Electric Pedestal
Light Pole
Mailbox
Fire Hydrant
Water Valve

PROPOSED HOUSE

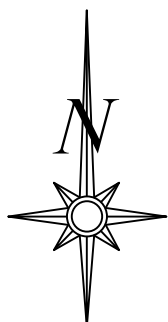
TOP FOUNDATION = 1012.72
GARAGE FLOOR = 1011.72
TOP FOOTING = 1003.72
BASEMENT FLOOR = 1004.05

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. THE EASEMENTS MAY EXIST OR NOT.

EXTENDED LOT AREA = 10,652 SF
DRIVE AREA = 899 SF
APPROACH AREA = 221 SF
SIDEWALK AREA = 307 SF
DRIVE SLOPE = 8.0%



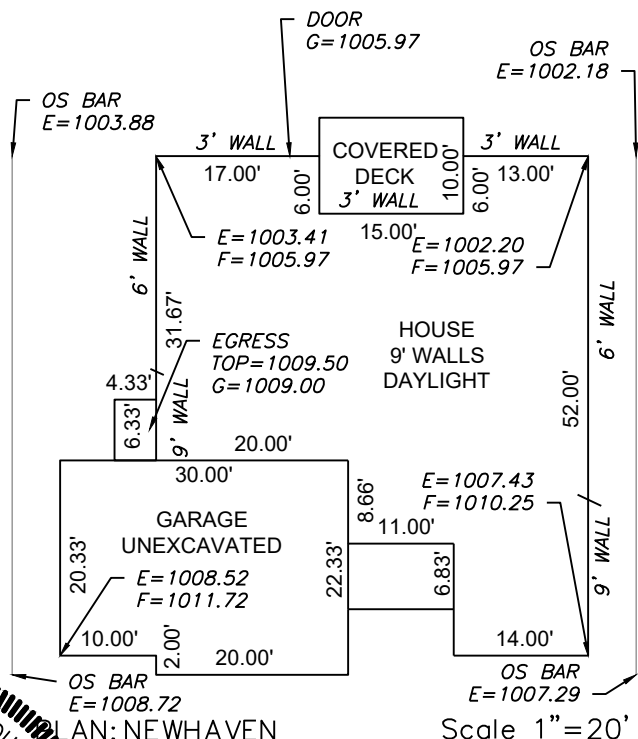
Scale 1"=30'

LOT INFORMATION

9,756.34 SQ. FT.
MBOE (REAR LEFT) = 1005.25
MBOE (REAR RIGHT) = 1003.90
MBFE = 1000.11
ADDRESS
1708 SW HIGHTOWN DR

LEGAL DESCRIPTION

**LOT 95, THE RESERVE AT
STONE CREEK - 3RD PLAT, A
SUBDIVISION AS RECORDED IN
LEE'S SUMMIT, JACKSON
COUNTY, MISSOURI.**



ENGINEERING
—ENGINEERING & SURVEYING—
SOLUTIONS
50 SE 30TH STREET

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THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.

PLOT PLAN - LOT 95

RESERVE AT STONEY CREEK - 3RD PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SUMMIT HOMES
120 SE 30TH STREET
LEE'S SUMMIT, MO 64082

PROJECT NO. 1	FILE NAME LOT 95, RESERVE AT STONEY CREEK	DATE 11/24/21	SHEET 1	OF 1
Rev:				