

LOT 10 LAKEWOOD BUSINESS PARK

LOT 10 I-470 BUSINESS & TECHNOLOGY CENTER
2601 NE MCBAIN DRIVE
LEE'S SUMMIT, MO 64064

ISSUED FOR: BUILDING PERMIT
CITY COMMENTS #02 - 12/22/2021



GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND OWNER REVIEW AND UNDERSTAND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. DO NOT SCALE DRAWINGS, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORRECTIONS AND REPAIRS REQUIRED DUE TO THEIR FAILURE TO DO SO. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL SUB-CONTRACTORS RECEIVE ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- SOLELY AS A CONVENIENCE TO THE OWNER AND CONTRACTOR, THE ARCHITECT MAY INCLUDE DOCUMENTS PREPARED BY CERTAIN CONSULTANTS (OR INCORPORATE THE RECOMMENDATIONS OF SAID CONSULTANTS INTO DOCUMENTS PREPARED BY THE ARCHITECT) WITHIN THE SET OF DOCUMENTS ISSUED BY THE ARCHITECT. IT IS EXPRESSLY UNDERSTOOD, THAT BY SUCH ISSUANCE, THE ARCHITECT ASSUMES NO LIABILITY FOR THE SERVICES OF SAID CONSULTANTS.
- ALL WORK AND MATERIALS SHALL CONFORM TO THE APPLICABLE CODES LISTED IN THE PROJECT CODE SUMMARY.
- UNLESS OTHERWISE INDICATED ON THESE DRAWINGS AND SPECIFICATIONS AS BEING N.I.C. OR EXISTING, ALL ITEMS, MATERIALS, ETC. AND INSTALLATIONS OF THE SAME ARE A PART OF THE CONTRACT DEFINED BY THESE DRAWINGS AND SPECIFICATIONS AND THEIR INTENT.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS AND COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKERS AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO JOB SITE. WHERE DAMAGE OCCURS, THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND MAY NOT BE LIMITED TO NORMAL WORKING HOURS. PROVIDE SECURITY FENCE AND GATES AS NECESSARY AROUND THE AREA WITHIN THE SCOPE OF WORK.
- IF THERE ARE TRENCHES OR EXCAVATION 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, CONTRACTOR SHALL OBTAIN NECESSARY PERMIT FROM THE APPROPRIATE LOCAL GOVERNING AGENCY.
- PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY CONTRACT DOCUMENTS.
- ANY REVISION OR ADDITIONAL WORK REQUIRED BY FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTING INDICATED ON THE PLANS AND BY SPECIFICATIONS OR REQUIRED BY THE SOILS REPORT AND/OR REQUIRED BY ANY GOVERNMENT AGENCY.
- CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING(S) AS MAY BE INDICATED ON THE PLANS.
- NO ADDITIONAL ROOF OPENING OR ROOF MOUNTED EQUIPMENT IS ALLOWED BEYOND THAT WHICH IS SHOWN ON THESE PLANS WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND STRUCTURAL ENGINEER.
- NO STRUCTURAL MEMBER SHALL BE CUT FOR PIPES, HVAC DUCTS, ETC., UNLESS SPECIFICALLY DETAILED AND/OR APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER.
- ALL SHOP WELDING TO BE DONE IN A CERTIFIED LICENSED SHOP. ALL FIELD WELDING SHALL BE DONE ONLY BY CERTIFIED WELDERS UNDER CONTINUOUS INSPECTION WITH CERTIFICATE ISSUED AS REQUIRED BY BUILDING OFFICIAL.
- WHERE LARGER STUDS OR FURRING IS REQUIRED TO COVER DUCTS, PIPING, CONDUIT, ETC., THE LARGER SIZE STUD OR FURRING SHALL EXTEND THE FULL LENGTH OF THE SURFACE WHERE THE FURRING OCCURS.
- NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USED WITHIN THE BUILDING WHICH EXCEED THE QUANTITIES ALLOWED BY CODE.
- INSTALLATION OF ANY BUILDING INSULATION WHICH CONTAINS OR UTILIZES AN OZONE DEPLETING COMPOUND IS PROHIBITED.
- NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- THE BUILDING AND FACILITIES MUST BE ACCESSIBLE TO AND FUNCTIONAL FOR THE PHYSICALLY DISABLED IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) AND ALL OTHER STATE/FEDERAL GOVERNING AGENCIES.

CONSTRUCTION NOTES

- ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF THE AUTHORITY HAVING JURISDICTION AND THE RULES AND REGULATIONS OF ALL AGENCIES, DEPARTMENTS AND COMMISSIONS HAVING JURISDICTION. WHERE DISCREPANCIES OCCUR AND/OR WHERE THERE ARE CONFLICTS OR OMISSIONS IN THE DRAWINGS AND APPLICATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND REFRAIN FROM STARTING AND COMPLETING SUCH WORK, OR DEPENDENT WORK, UNTIL TOLD BY THE ARCHITECT TO PROCEED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT TO THE ARCHITECT ANY CONDITION OR DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS REQUIRING MODIFICATIONS BEFORE PROCEEDING WITH THE WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- REFERENCING OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREAS. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- NOTES APPEAR ON VARIOUS SHEETS FOR VARIOUS SYSTEMS AND MATERIALS. SHEETS ARE TO BE OWNER REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO RELATED SYSTEMS AND MATERIALS DEPICTED ON OTHER DRAWINGS.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE THAT ARE, WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- GUTTER AND DOWNSPOUT SIZING PER OWNER'S CONTRACTOR.

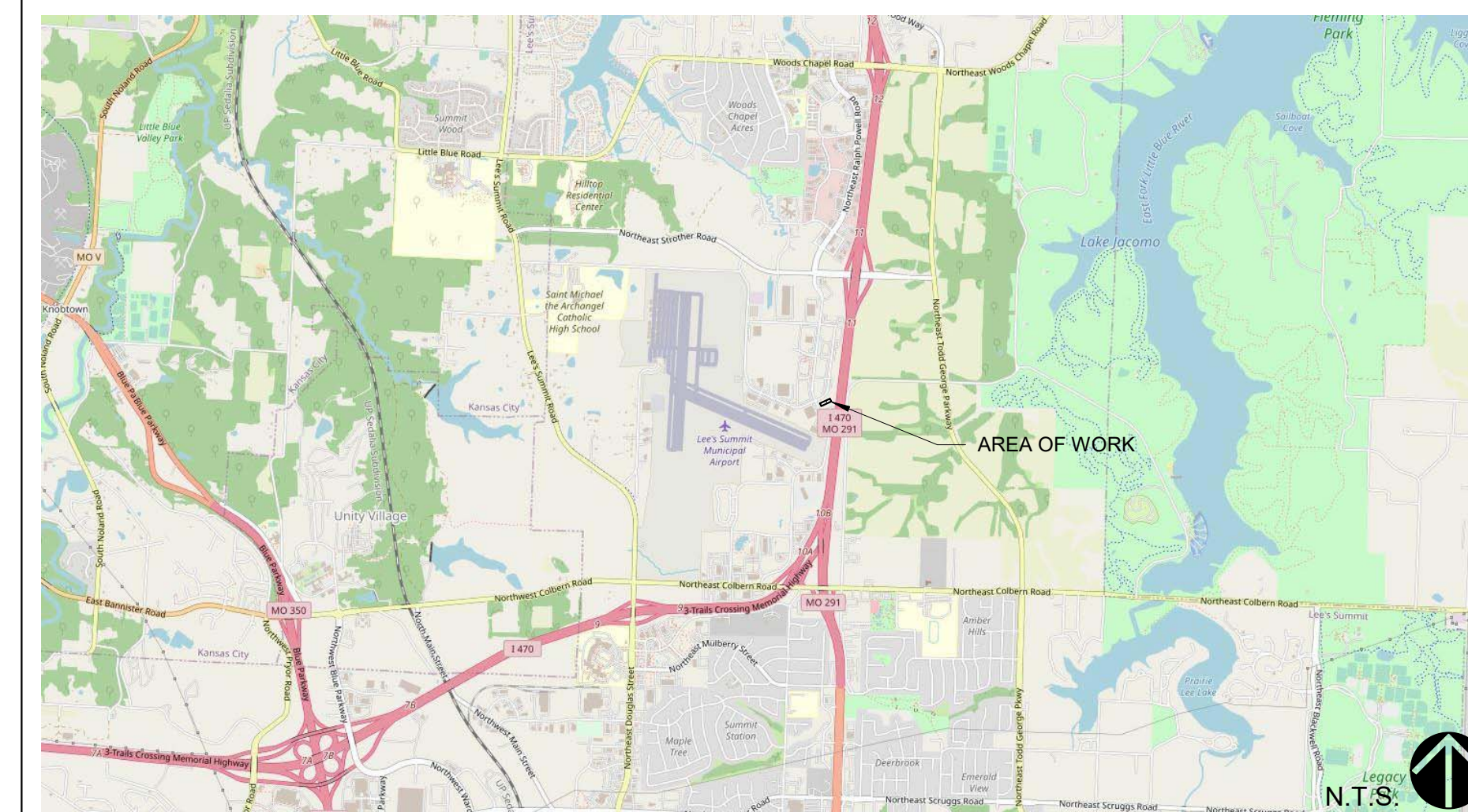
INSTRUCTION TO CONTRACTOR

- THE INTENT OF THE SET OF CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR AS BINDING PERFORMANCE. THE CONTRACTOR SHALL BE REQUIRED ONLY TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS.
- ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS, SECTIONS AND ARTICLES, ARRANGEMENT OF DRAWINGS SHALL NOT CONTROL THE CONTRACTOR, IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.
- UNLESS OTHERWISE STATED IN THE CONTRACT DOCUMENTS, WORDS WHICH HAVE WELL-KNOWN TECHNICAL OR CONSTRUCTION INDUSTRY MEANINGS ARE USED IN THE CONTRACT DOCUMENTS IN ACCORDANCE WITH SUCH RECOGNIZED MEANINGS.
- GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR TO FULLY COORDINATE ALL ELECTRICAL DEVICE BODIES AND COVER PLATES PER THE SPECIFICATIONS. DEVICE BODIES AND COVER PLATES ARE COLOR COORDINATED WITH SPECIALTY FINISHES. PROVIDE DEVICE BODY AND COVER PLATES TO THE ARCHITECT FOR OWNER REVIEW AND APPROVAL.
- GENERAL CONTRACTOR TO FULLY COORDINATE WITH MECHANICAL/PLUMBING SUBCONTRACTORS. ALL FIXTURE/DEVICE COLORS WHERE FIXTURE/DEVICE UNITS ARE PLACED WITHIN WALLS AND CEILING ASSEMBLIES VS ADJACENT MATERIAL FINISH COLOR.

SHEET INDEX

#	SHEET NAME	PERMIT - 2021.09.24	CITY COMMENTS 1 - 2021.11.09	CITY COMMENTS 2 - 2021.12.22
GENERAL				
G-100-FDP	COVER SHEET - FINAL DEV. PLAN			
G-100-BP	COVER SHEET - BUILDING PERMIT	X	X	X
CIVIL				
C-001	COVER SHEET	X	X	X
C-101	DEMOLITION PLAN	X	X	X
C-121	EROSION CONTROL PLAN PHASE 1	X	X	X
C-122	EROSION CONTROL PLAN PHASE 2	X	X	X
C-123	EROSION CONTROL PLAN PHASE 3	X	X	X
C-131	EROSION CONTROL DETAILS	X	X	X
C-132	EROSION CONTROL DETAILS	X	X	X
C-201	DIMENSION PLAN	X	X	X
C-202	ADA RAMP DETAILS			X
C-301	GRADING PLAN	X	X	X
C-302	ADA RAMP GRADING DETAILS			X
C-401	UTILITY PLAN	X	X	X
C-411	STORM PROFILES	X	X	X
C-421	DRAINAGE AREA MAP	X	X	X
C-501	DETAILS	X	X	X
LANDSCAPE				
L-100	LANDSCAPE PLAN	X	X	X
ARCHITECTURAL				
A-001	LIFE SAFETY AND CODE SHEET	X	X	X
A-002	ROOF DRAINAGE PLAN	X	X	X
A-100	OVERALL MAIN LEVEL FLOOR PLAN	X	X	X
A-110	MAIN LEVEL FLOOR PLAN - AREA A	X	X	X
A-111	MAIN LEVEL FLOOR PLAN - AREA B	X	X	X
A-130	ENLARGED PLANS	X	X	X
A-200	ROOF PLAN	X	X	X
A-301	EXTERIOR ELEVATIONS	X	X	X
A-400	WALL SECTIONS & DETAILS	X	X	X
A-401	PERSPECTIVES	X	X	X
STRUCTURAL				
S001	STRUCTURAL GENERAL NOTES	X	X	X
S100	FOUNDATION PLAN	X	X	X
S101	FOUNDATION PLAN	X	X	X
MECHANICAL/PLUMBING				
MP001	MECHANICAL AND PLUMBING SPECIFICATIONS AND SYMBOLS	X	X	X
MP002	MECHANICAL AND PLUMBING SCHEDULES AND DETAILS	X	X	X
MECHANICAL				
M-101	MECHANICAL PLAN WEST	X	X	X
M-102	MECHANICAL PLAN EAST	X	X	X
PLUMBING				
P-101	PLUMBING PLAN WEST	X	X	X
P-102	PLUMBING PLAN EAST	X	X	X
ELECTRICAL				
E-001	ELECTRICAL SPECIFICATIONS AND SYMBOLS	X	X	X
E-002	PHOTOMETRIC PLAN	X	X	X
E-003	PHOTOMETRIC PLAN	X	X	X
E-101	ELECTRICAL PLAN - WEST	X	X	X
E-102	ELECTRICAL PLAN - EAST	X	X	X
E-201	ELECTRICAL EQUIPMENT POWER PLAN - WEST	X	X	X
E-202	ELECTRICAL EQUIPMENT POWER PLAN - EAST	X	X	X
E-301	ELECTRICAL SCHEDULES AND DIAGRAMS	X	X	X

VICINITY MAP



PROJECT DIRECTORY

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Certificates of Authority
Architecture: MO 310 / KS 73
Engineering: MO 4 / KS 241
Land Surveying: MO 123 / KS 36

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LOT 10 LAKEWOOD
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LEE'S SUMMIT, MO 64064



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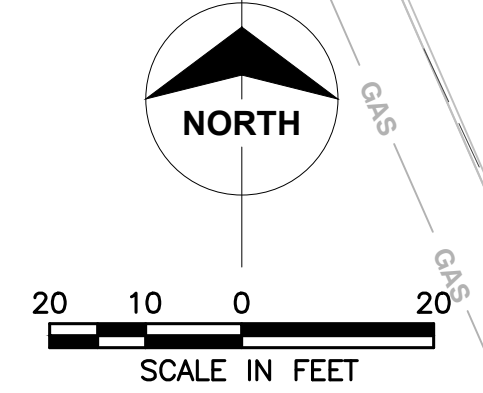
NO.	REVISIONS	DATE
1	DESCRIPTION CHANGES #01	11/11/2021
2	BP CITY COMMENTS #02	12/22/2021

DRAWN BY: NC
CHECKED BY: NC
PROJECT #: 21-1902
ISSUE DATE: 2021.09.24

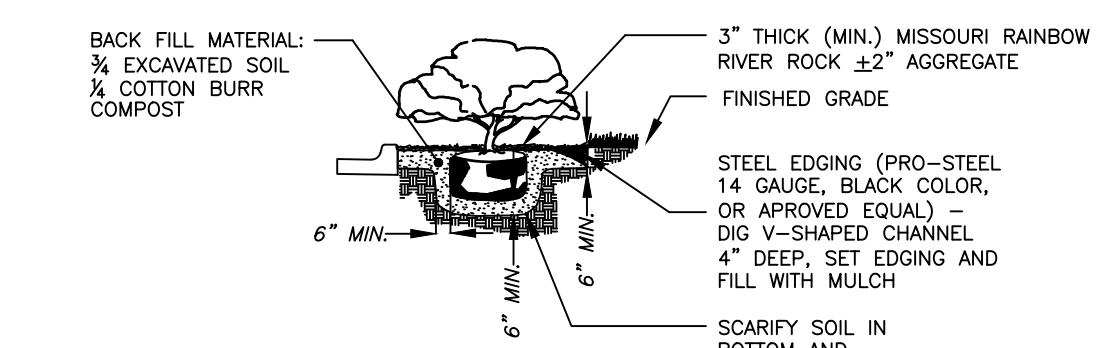
ISSUED FOR:
BUILDING PERMIT

COVER SHEET -
BUILDING PERMIT

G-100-BP



1 PLANTING PLAN
SCALE: 1" = 20'



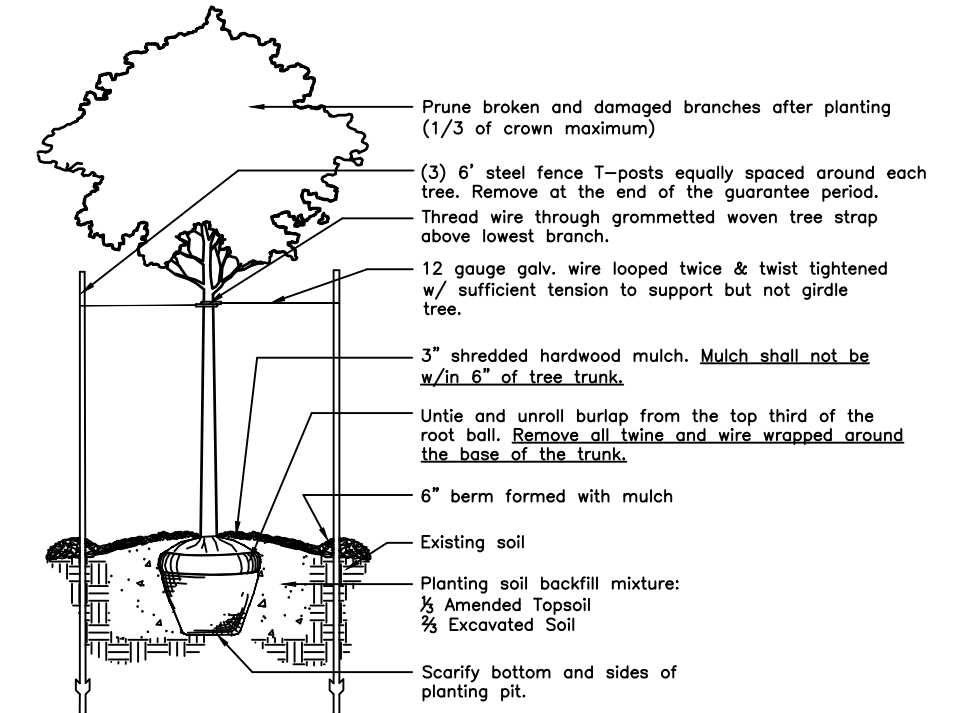
2 SHRUB BED & EDGING DETAIL
NTS

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
ORNAMENTAL TREE	UA	4	Ulmus americana 'Jefferson'	Jefferson Elm	3" Cal.	B&B	
	AT	9	Acer tataricum 'Hot Wings'	Hot Wings Maple Clump	6' Ht.	B&B / Cont.	3-5 Cane - 3" Cal. Cumulative
	MR	8	Malus x 'Royal Raindrops'	Royal Raindrops Crabapple	3" Cal.	B&B	
SHRUBS	CDT	18	Chaenomeles x 'Double Take' TM	Double Take Quince	18" Ht.	Pot	
	JCG	43	Juniperus chinensis 'Gold Lace'	Gold Lace Juniper	18" Ht.	Pot	
	VXR	10	Viburnum x rhytidophylloides	Alleghany Viburnum	24" Ht.	Pot	
ORNAMENTAL GRASS	MSG	21	Miscanthus sinensis 'Gracillimus'	Maiden Grass	1 gal	Pot	
	NSG	40	Panicum virgatum 'Northwind'	Northwind Switch Grass	1 gal		

LANDSCAPE PLAN NOTES:

- Existing underground (u/g), overhead (o.h.) utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the individual contractors to verify existence and location of all utilities before starting any work.
- Prior to commencement of work, the contractor shall give 48 hours advance notice to all those companies/utilities which have facilities in the near vicinity of the construction to be performed.
- Contractor shall verify all landscape material quantities and shall report any discrepancies immediately to the Landscape Architect.
- No substitutions for variety or cultivar shall be accepted without first obtaining written approval from Landscape Architect.
- All plant material shall be of excellent quality, free of disease and infestation, and true to type, variety, size specified, and form per the American Standard for Nursery Stock (ANSI Z60.1 current version), published by the American Nurserymen's Association.
- All shrub beds in lawn areas shall be edged as shown in the planting details.
- All planting areas, as well as a minimum width of 18" from building foundation, shall receive 3" minimum depth of 2" Kansas River Rock as detailed, unless otherwise noted. In landscape beds, rock mulch shall be a consistent 3" depth throughout. Rock mulch shall be placed on top of woven weed fabric (DeWitt Pro-5, or equal), which shall be secured in place with sod pins.
- Trees planted in turf areas shall have a 3" ring of shredded hardwood mulch formed into a saucer in a minimum ring twice the diameter of the rootball from the trunk.
- Contractor shall thoroughly water in each plant immediately following installation.
- No plantings shall be placed closer than 4' from the back of curb to allow for vehicle bumper overhang.
- Contractor shall be responsible for calculating all areas of sod and seed and the amounts of each needed for optimum coverage.
- Contractor shall install sod in all turf areas. Sod shall be turf-type tall Fescue consisting of 90% fescue blend and 10% bluegrass in all areas disturbed during construction not otherwise designated as another material. Sod placed in areas greater than 4:1 slope shall fastened to the slope with sod staples.
- Proposed trees shall not be placed over existing or proposed utility service lines. It is the contractor's responsibility to understand utility locations and have them marked during tree planting operations. If utility is damaged during planting, contractor is responsible for notifying the general contractor and owner of utility and paying for repair of the damaged utility.
- A fully automated irrigation system will be supplied for this project by the Contractor. Design shall be provided and approved by the landscape architect prior to ordering materials or installing any aspect of the irrigation system. General contractor shall supply tap location and water pressure to irrigation designer. Tap for irrigation shall be after the main building tap and shall be thru a deduct meter configuration. Irrigation system shall consist of tap, backflow, smart controller, heads, pipe, valves, wire, flow sensing, weather station, and any other feature to give the most efficient and comprehensive system as deemed necessary by the irrigation designer and landscape architect. System shall cover all areas designated as turf or landscape beds. Turf, trees and shrubs shall all be on separate zones so that they can be watered at different rates. Submit all irrigation plans to the landscape architect for approval. Controller shall be mounted inside a stainless steel, lockable cabinet on exterior of building nearest the mechanical room access door or other utility panels, as agreed by the GC and Landscape Architect.



3 DECIDUOUS TREE PLANTING
NTS

- NOTES:**
- On evergreen trees, attach guying collar at approx. 2/3 height of tree on trees that are 6 ft. height and over.
 - Top of rootball shall match original ground level as grown in the nursery. Overlap from nursery shall be removed to expose root collar.
 - Do not fertilize the first growing season.
 - Use tree stakes only in open areas, do not use in parking lot islands where space is limited.

Certificates of Authority
Architecture: MO 310 / KS 73
Engineering: MO 4 / KS 241
Land Surveying: MO 123 / KS 36

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CHAD D. WEINAND, PLA
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REVISIONS	NO.	DATE / DESCRIPTION
	1	10.21.21 / CITY COMMENTS
	2	10.25.21 / CITY COMMENTS
	3	12.9.21 / CITY COMMENTS

DRAWN BY: CDW
CHECKED BY: CDW
PROJECT #: 21-1902
ISSUE DATE: 8/23/2021
ISSUED FOR: CONSTRUCTION

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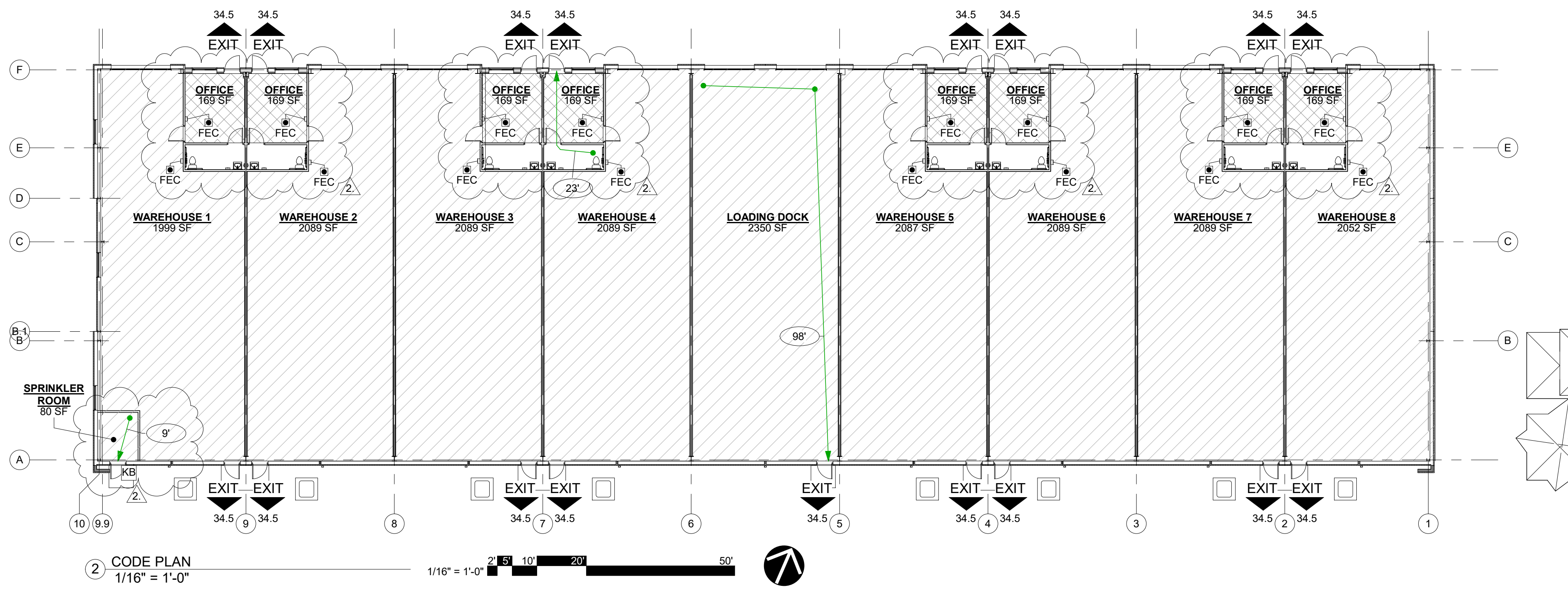
NO.	REVISIONS	DATE
1	DATE	12/22/2021
2	DESCRIPTION	
3	BP CITY COMMENTS #02	

DRAWN BY: NC
 CHECKED BY: NC
 PROJECT #: 21-1902
 ISSUE DATE: 2021.09.24
 ISSUED FOR: BUILDING PERMIT

LIFE SAFETY AND CODE SHEET

LIFE-SAFETY GENERAL NOTES

- ALL EXIT DOORS SHALL BE OPERABLE / OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- BUILDING ADDRESS NUMBER (BUILDING IDENTIFIER) SHALL BE A MINIMUM 6 INCHES HIGH AND PLAINLY VISIBLE FROM ROADWAY FRONTING THE PROPERTY.
- FIRE EXTINGUISHERS SHALL BE DISTRIBUTED THROUGHOUT THE FACILITY (PER NFPA 101) SO THAT NO GREATER THAN 75 FEET TRAVEL DISTANCE IS REQUIRED TO REACH A UNIT (IFC TABLE 906.3), NO MORE THAN 50 FEET IN GARAGE AREA. MINIMUM SIZE (5 LB)#5A40BC EXTINGUISHERS SHALL BE SECURELY MOUNTED WITH THE TOP OF THE CANISTER NO HIGHER THAN 42" ABOVE FINISHED FLOOR, WITH STATE FIRE MARSHAL INSPECTION TAG ATTACHED AND SIGNAGE TO INDICATE LOCATION.
- PROVIDE FIRE EXTINGUISHERS IN LOCATIONS AND QUANTITIES AS SHOWN AND AS DIRECTED BY THE FIRE MARSHAL OF THE JURISDICTION HAVING AUTHORITY. PROVIDE EXTINGUISHERS THAT ARE COMPATIBLE WITH THE CHEMICALS IN THE ROOMS.
- FIRE SPRINKLER AND FIRE ALARM SYSTEMS ARE TO BE DESIGN/BUILD BY THE SUBCONTRACTOR. THE SHOP DRAWINGS WILL BE MADE AVAILABLE TO THE CITY FOR REVIEW PRIOR TO INSTALL.
- PROVIDE HAZARDOUS MATERIALS SIGNAGE AS SPECIFIED BY NFPA STANDARD 704.
- SMOKING SHALL BE PROHIBITED AND "NO SMOKING" SIGNS PROVIDED AT:
 - ROOMS WHERE HAZARDOUS MATERIALS ARE STORED OR DISPENSED OR USED IN OPEN SYSTEMS IN AMOUNTS REQUIRING A PERMIT IN ACCORDANCE WITH SECTION 5001.5
 - WITHIN 25 FT OF OUTDOOR STORAGE, DISPENSING OR OPEN USE AREAS
 - FACILITIES OR AREAS WITHIN FACILITIES THAT HAVE BEEN DESIGNATED AS TOTALLY "NO SMOKING" SHALL HAVE "NO SMOKING" SIGNAGE PLACED AT ALL ENTRANCES TO THESE FACILITY OR AREA. DESIGNATED AREAS WITHIN SUCH FACILITIES WHERE SMOKING IS PERMITTED EITHER PERMANENTLY OR TEMPORARILY SHALL BE INDENTED WITH SIGNS DESIGNATING THAT SMOKING IS PERMITTED IN THESE AREAS ONLY
 - IN ROOMS OR AREAS WHERE FLAMMABLE OR COMBUSTIBLE HAZARDOUS MATERIALS ARE STORED, DISPENSED OR USED.



CODE ANALYSIS

APPLICABLE CODES

THE BUILDING SHALL BE IN COMPLIANCE WITH THE FOLLOWING:
 2018 INTERNATIONAL BUILDING CODE
 2018 INTERNATIONAL PLUMBING CODE
 2018 INTERNATIONAL MECHANICAL CODE
 2018 INTERNATIONAL FUEL GAS CODE
 2018 INTERNATIONAL FIRE CODE
 2017 NATIONAL ELECTRICAL CODE
 ICC/ANSI A117.1-2009, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
 LEE'S SUMMIT, MISSOURI

FIRE RESISTANCE

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS - TABLE 601	FIRE PROTECTION SYSTEMS, SECTION 903.2.10
PRIMARY STRUCTURAL FRAME: 0 HOURS	REQUIRED: YES
BEARING WALLS EXTERIOR: 0 HOURS	PROVIDED: YES
BEARING WALLS INTERIOR: 0 HOURS	
NONBEARING WALLS EXTERIOR: -	
NONBEARING WALLS INTERIOR: 0 HOURS	
FLOOR CONSTRUCTION: 0 HOURS	
ROOF CONSTRUCTION: 0 HOURS	

OCCUPANCY CLASSIFICATION

MAIN OCCUPANCY (S-2):
 S-2: STORAGE
 (LOW-HAZARD STORAGE) SECTION 311.3

ACCESSORY OCCUPANCY (B):
 B: BUSINESS SECTION 508.2.1
 SECTION 304

MEANS OF EGRESS

SUITE TYPE A (WAREHOUSE)		SUITE TYPE B (LOADING DOCK)	
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT - TABLE 1004.1.2			
STORAGE		STORAGE	
WAREHOUSE 1 1999 SF / 300 GROSS = 7 OCCUPANTS		LOADING DOCK 2350 SF / 300 GROSS = 8 OCCUPANTS	
SPRINKLER ROOM 80 SF / 300 GROSS = 1 OCCUPANTS		TOTAL OCCUPANTS = 8 OCCUPANTS	
WAREHOUSE 2 2089 SF / 300 GROSS = 7 OCCUPANTS			
WAREHOUSE 3 2089 SF / 300 GROSS = 7 OCCUPANTS		MINIMUM REQUIRED EGRESS WIDTH - 1005.1	
WAREHOUSE 4 2089 SF / 300 GROSS = 7 OCCUPANTS		REQUIRED: 8 OCC. X 0.2' = 1.6" REQUIRED	
WAREHOUSE 5 2089 SF / 300 GROSS = 7 OCCUPANTS		PROVIDED: 1 DOORS @ 34.5" CLEAR = 34.5" PROVIDED	
WAREHOUSE 6 2089 SF / 300 GROSS = 7 OCCUPANTS		TOTAL WIDTH PER SUITE (1) = 34.5" PROVIDED	
WAREHOUSE 7 2089 SF / 300 GROSS = 7 OCCUPANTS		NUMBER OF EXITS, TABLE 1006.2.1:	
WAREHOUSE 8 2052 SF / 300 GROSS = 7 OCCUPANTS		REQUIRED: 1	
TOTAL = 64 OCCUPANTS		PROVIDED: 1	
BUSINESS		EXIT ACCESS TRAVEL DISTANCE - TABLE 1017.2	
OFFICE 1 168 SF / 150 GROSS = 2 OCCUPANTS		MAIN OCCUPANCY:	
OFFICE 2 168 SF / 150 GROSS = 2 OCCUPANTS		REQUIRED: 300 FT	
OFFICE 3 168 SF / 150 GROSS = 2 OCCUPANTS		PROVIDED: SEE CODE PLAN	
OFFICE 4 168 SF / 150 GROSS = 2 OCCUPANTS			
OFFICE 5 168 SF / 150 GROSS = 2 OCCUPANTS			
OFFICE 6 168 SF / 150 GROSS = 2 OCCUPANTS			
OFFICE 7 168 SF / 150 GROSS = 2 OCCUPANTS			
OFFICE 8 168 SF / 150 GROSS = 2 OCCUPANTS			
TOTAL = 16 OCCUPANTS			
TOTAL OCCUPANTS = 80 OCCUPANTS			

ALLOWABLE HEIGHTS

MAIN OCCUPANCY (S-2):
BUILDING HEIGHT - TABLE 504.3
 ALLOWABLE HEIGHT = 60 FT
 ACTUAL HEIGHT = 22 FT 2 IN

BUILDING # OF STORIES - TABLE 504.4
 ALLOWABLE HEIGHT = 3 STORY
 ACTUAL HEIGHT = 1 STORY

MINIMUM REQUIRED EGRESS WIDTH - 1005.1

MAIN OCCUPANCY (S-2):
 REQUIRED: 7 OCC. X 0.2" = 1.4" REQUIRED
 PROVIDED: 1 DOORS @ 34.5" CLEAR = 34.5" PROVIDED

ALLOWABLE AREAS

ACCESSORY OCCUPANCY (B): SECTION 508.2.2
 SHALL BE IN ACCORDANCE WITH THE MAIN OCCUPANCY OF THE BUILDING

ACCESSORY OCCUPANCY (B):

REQUIRED: 2 OCC. X 0.2" = 0.4" REQUIRED
 PROVIDED: 2 DOORS @ 34.5" CLEAR = 69" PROVIDED
TOTAL WIDTH PER SUITE (8) = 103.5" PROVIDED

COMMON PATH OF EGRESS TRAVEL - TABLE 1006.2.1:

REQUIRED: 100 FT
 PROVIDED: 9 FT 0 IN
PER SUITE

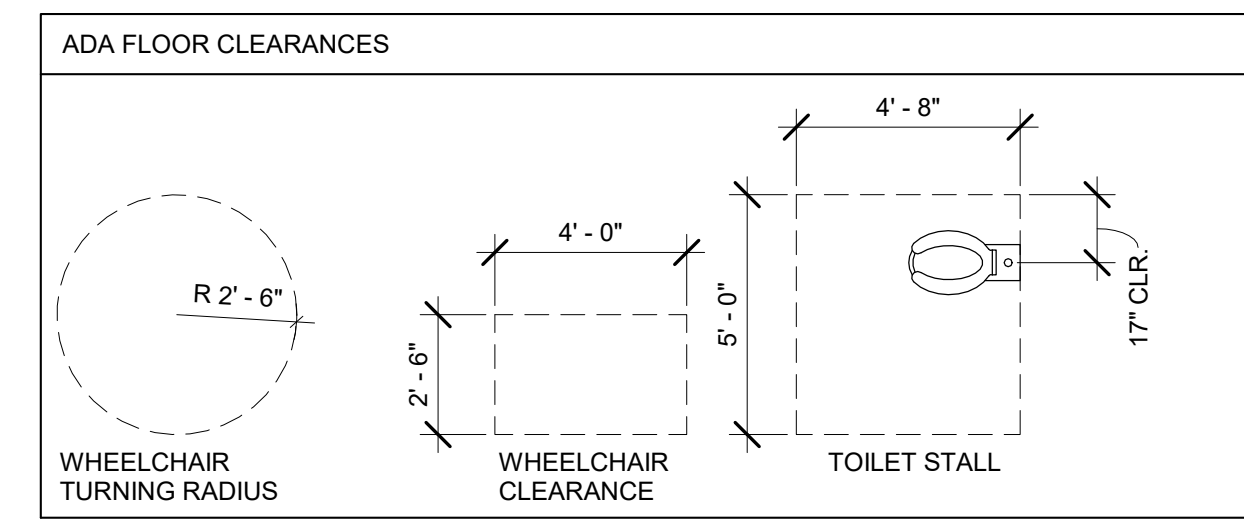
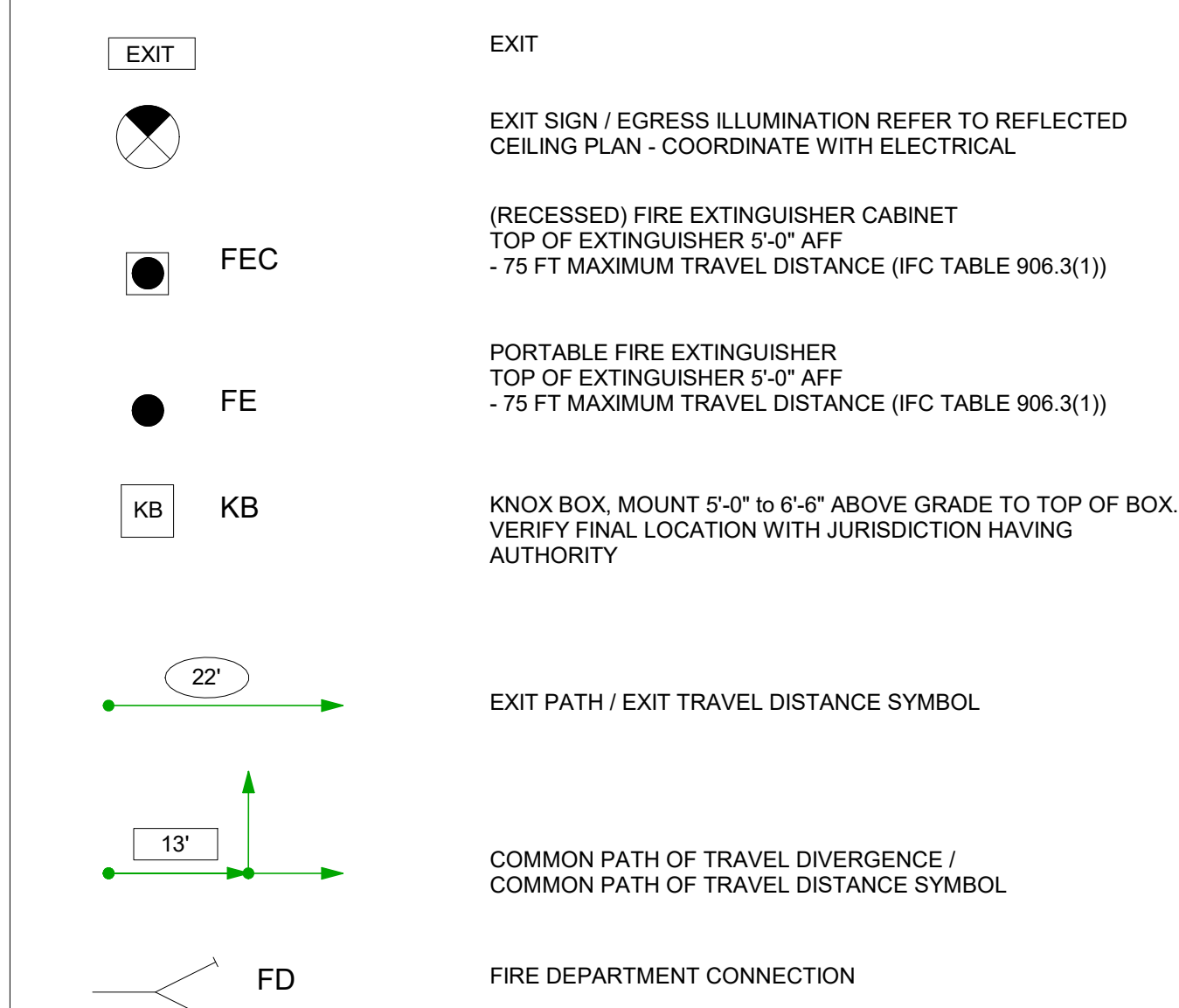
NUMBER OF EXITS, TABLE 1006.2.1:

REQUIRED: 1
 PROVIDED: 3
PER SUITE

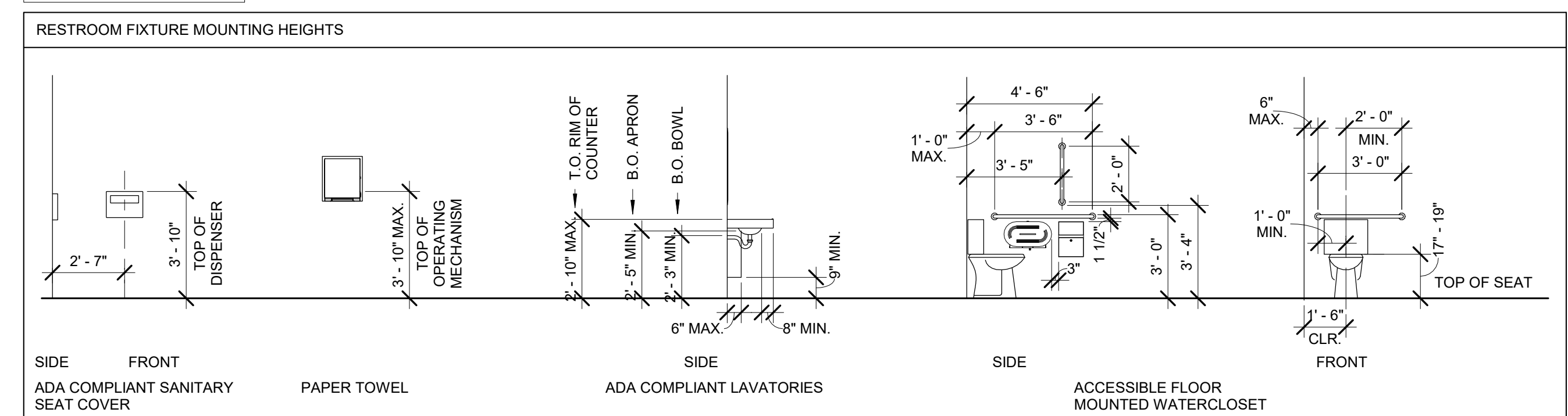
MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

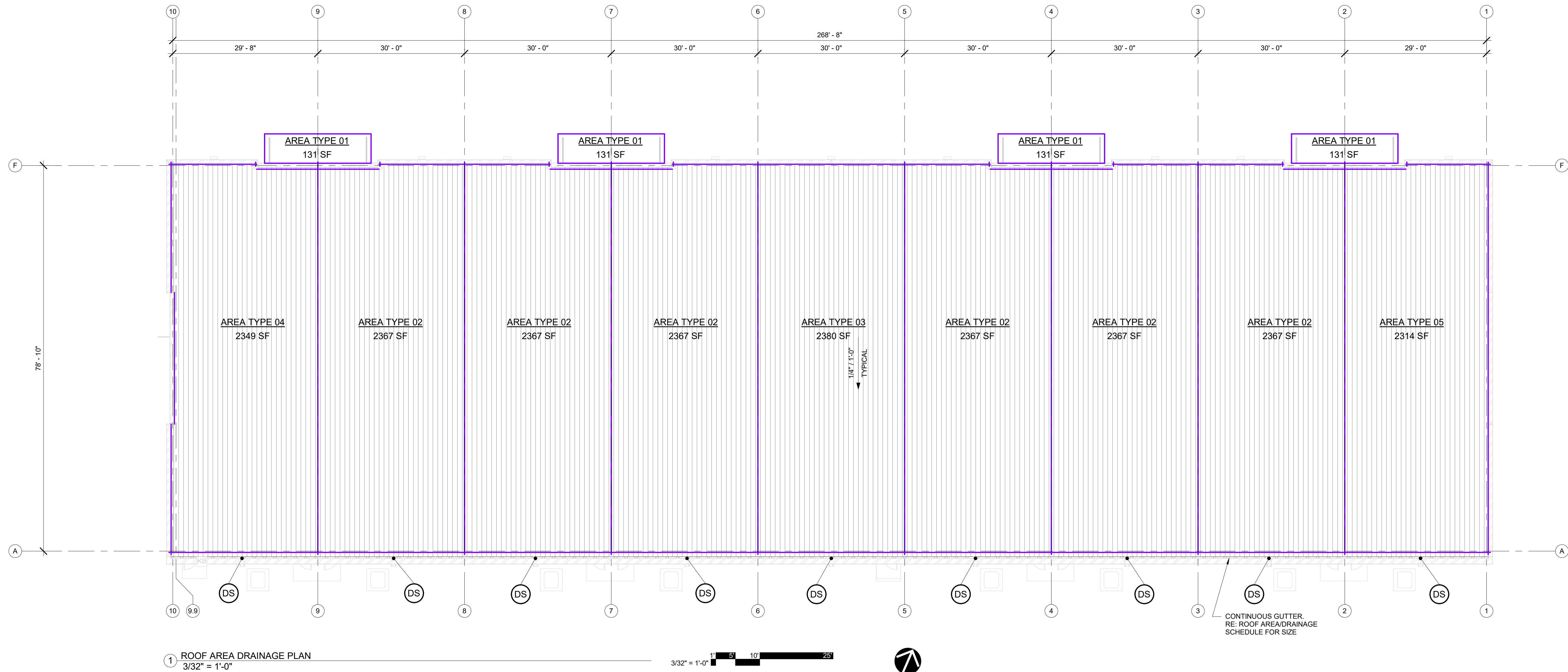
B: BUSINESS 7 OCCUPANTS PER SUITE (8)	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS		OTHER	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
	1	1	1	1	1	X	0	0
TOTAL	1	1	1	1	1	X	0	0

LIFE SAFETY LEGEND

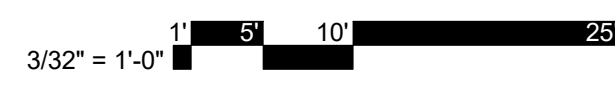


NOTE: ALL BATHROOM FIXTURES TO BE MOUNTED PER ADA REQUIREMENT.





1 ROOF AREA DRAINAGE PLAN
3/32" = 1'-0"



ROOF AREA SCHEDULE												
TYPE	Count	SMANCA Table 1-2 Rainfall Data and Drainage Factors	(A) AREA (SF)	SMACNA Table 1-1 Design Areas for Pitched Roofs	(B) Roof Slope Factor	(C) 100 Years - Calculated roof area drained per downspout area sq ft/sq in	(D) Total area of downspout req'd (sq. in.) (D = A*B/C)	(E) Number of Downspouts	(F) Area per Downspout Required (sq in)	Downspout Size	Gutter Size	Comments
AREA TYPE 01	4	MISSOURI: Kansas City	131 SF	3 to level	1	110	1.2	1	1.19	Per Canopy Manufacturer	Per Canopy Manufacturer	
AREA TYPE 02	6	MISSOURI: Kansas City	2,367 SF	3 to level	1	110	21.5	2	10.76	Rectangular Corrugated, Nominal 5" Downspout (3.75x5" = 18.75") Net Area "A" = 16.63 sq in	5"W x 7.5"D Box	NOTE # 1
AREA TYPE 03	1	MISSOURI: Kansas City	2,380 SF	3 to level	1	110	21.6	2	10.82	Rectangular Corrugated, Nominal 5" Downspout (3.75x5" = 18.75") Net Area "A" = 16.63 sq in	5"W x 7.5"D Box	NOTE # 1
AREA TYPE 04	1	MISSOURI: Kansas City	2,349 SF	3 to level	1	110	21.4	2	10.68	Rectangular Corrugated, Nominal 5" Downspout (3.75x5" = 18.75") Net Area "A" = 16.63 sq in	5"W x 7.5"D Box	NOTE # 1
AREA TYPE 05	1	MISSOURI: Kansas City	2,314 SF	3 to level	1	110	21.0	2	10.52	Rectangular Corrugated, Nominal 5" Downspout (3.75x5" = 18.75") Net Area "A" = 16.63 sq in	5"W x 7.5"D Box	NOTE # 1

NOTES - ROOF AREA SCHEDULE

- BOX GUTTER PROFILE INDICATED BUT ALTERNATE PROFILE MAY BE PROVIDED BY PEMB MFR SO LONG AS THE GUTTER PROFILE:
 - PROVIDES EQUAL OR GREATER THAN REQUIRED FLOW RATES
 - IS AT LEAST AS WIDE AS DOWNSPOUT PROFILE DEPTH
 - IS COORDINATED WITH PARAPET CAVITY DEPTH, SEE DETAIL: 8 / A-400

GENERAL NOTES - ROOF DRAINAGE PLAN

- REFER TO PREENGINEERED METAL BUILDING DRAWINGS FOR ROOF SUPPORT STEEL AND DECKING ELEVATIONS AND INFORMATION.
- ROOF DRAINAGE CALCULATIONS PER 2018 IPC.
- REFER TO BUILDING ELEVATIONS FOR ADDITIONAL DOWNSPOUT INFORMATION.

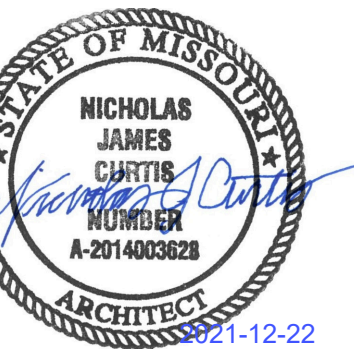
ROOF DRAINAGE LEGEND

- DOWNSPOUT, RE: ROOF AREA/DRAINAGE SCHEDULE FOR STYLE AND SIZE.
- GUTTER
- 1/4" / 1'-0" SURFACE SLOPE ARROW
- AREA BOUNDARY

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david@safetyminstorage.com

**LOT 10 LAKEWOOD
BUSINESS PARK**
LOT 10 I-470 BUSINESS PARK
LEE'S SUMMIT, MO 64064

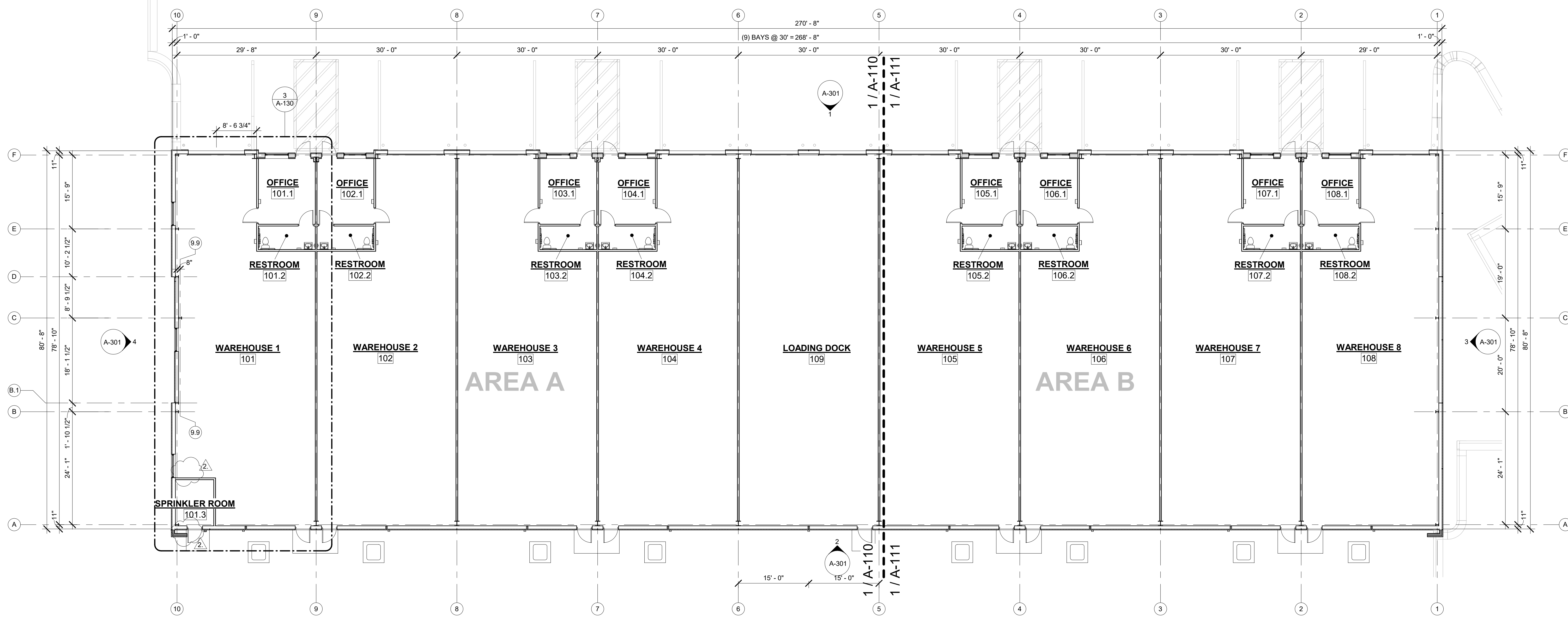


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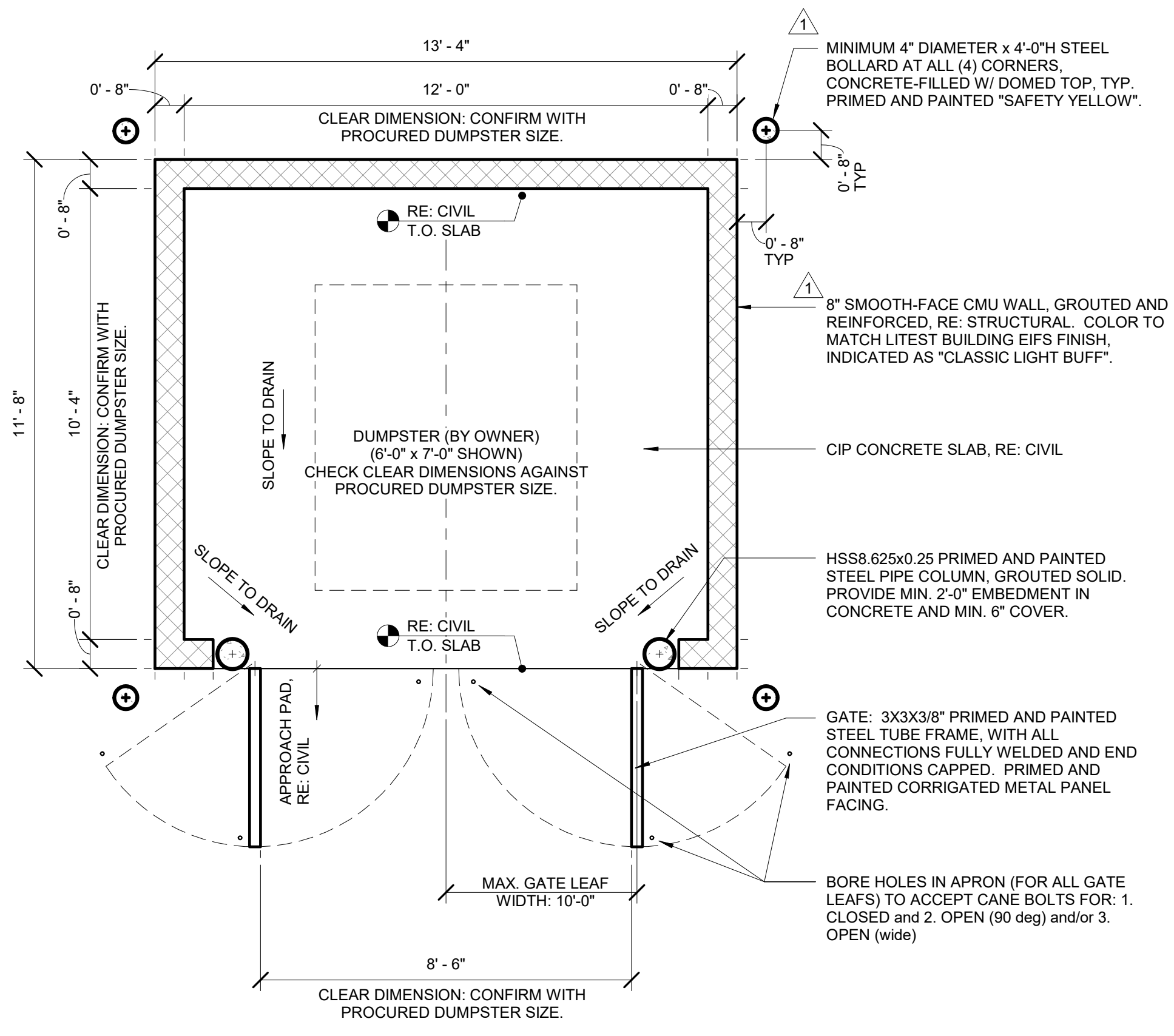
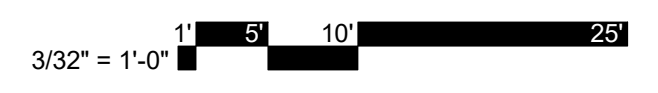
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	1	FDS & BP - CITY COMMENTS #01	11/17/2021

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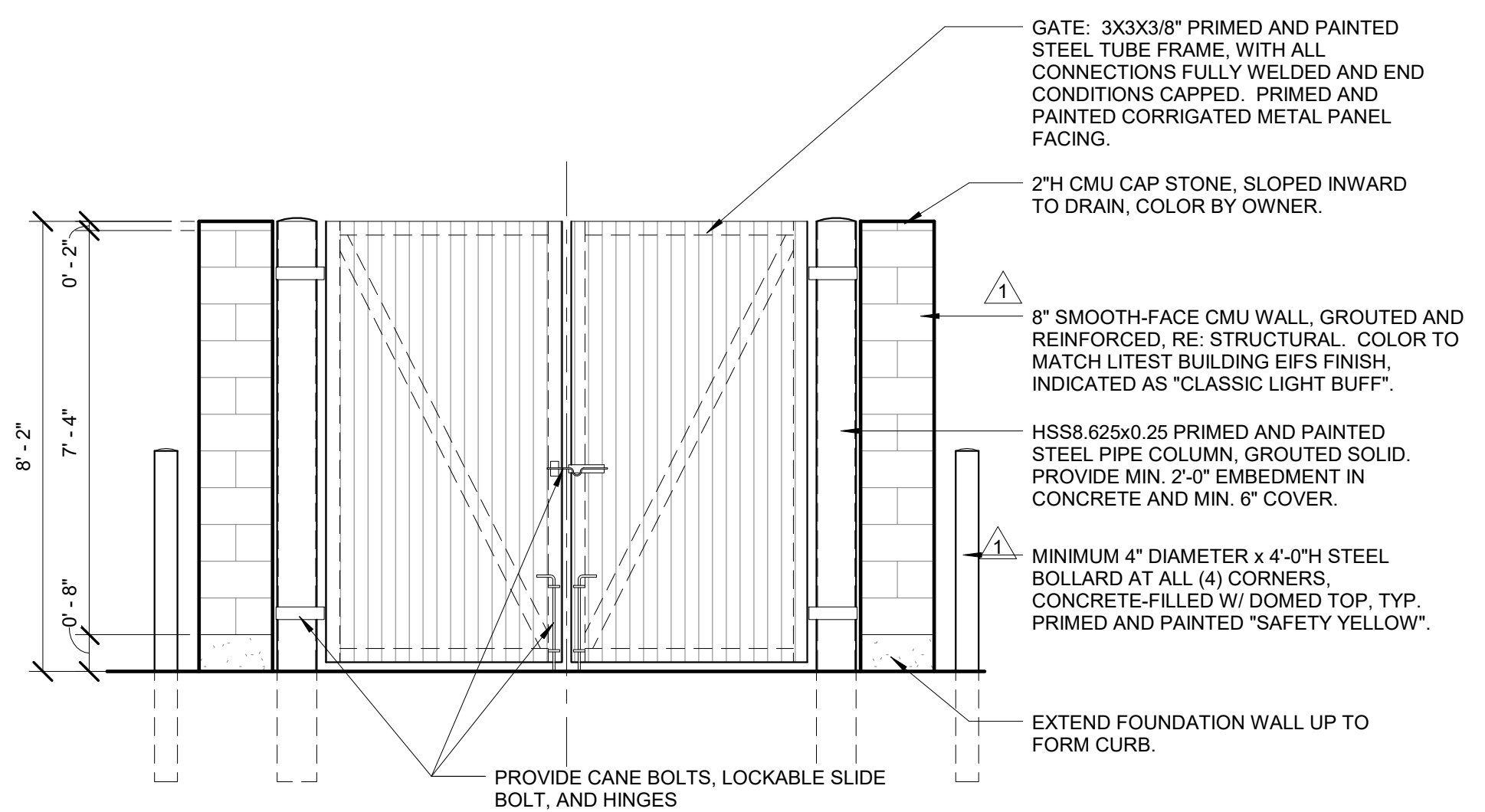
ROOF DRAINAGE
PLAN



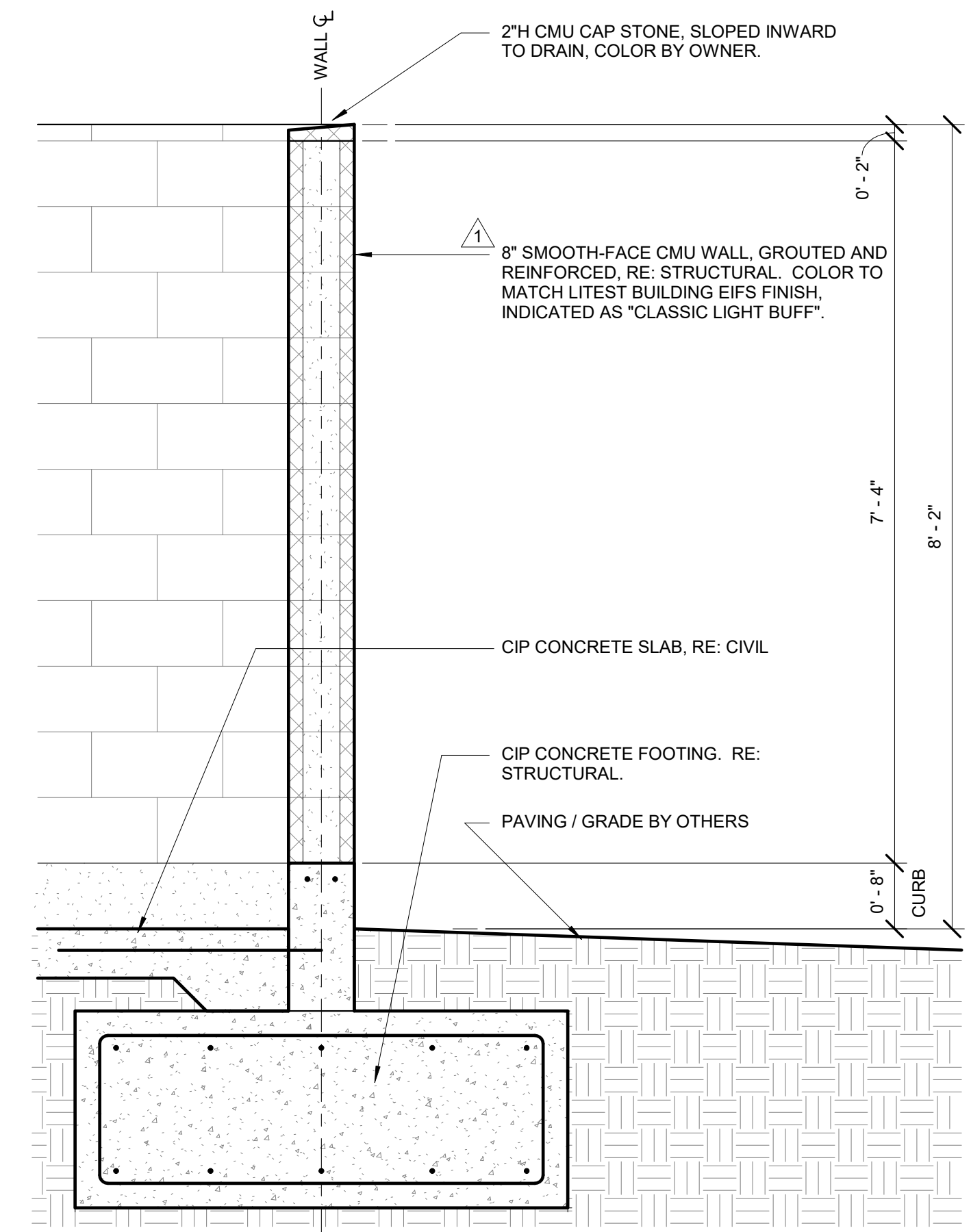
1 MAIN LEVEL FLOOR PLAN
3/32" = 1'-0"



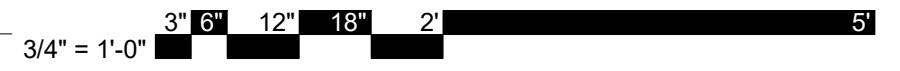
2 ENLARGED PLAN - DUMPSTER ENCLOSURE
3/8" = 1'-0"



3 FRONT ELEVATION - DUMPSTER ENCLOSURE
3/8" = 1'-0"



4 WALL SECTION - DUMPSTER ENCLOSURE
3/4" = 1'-0"

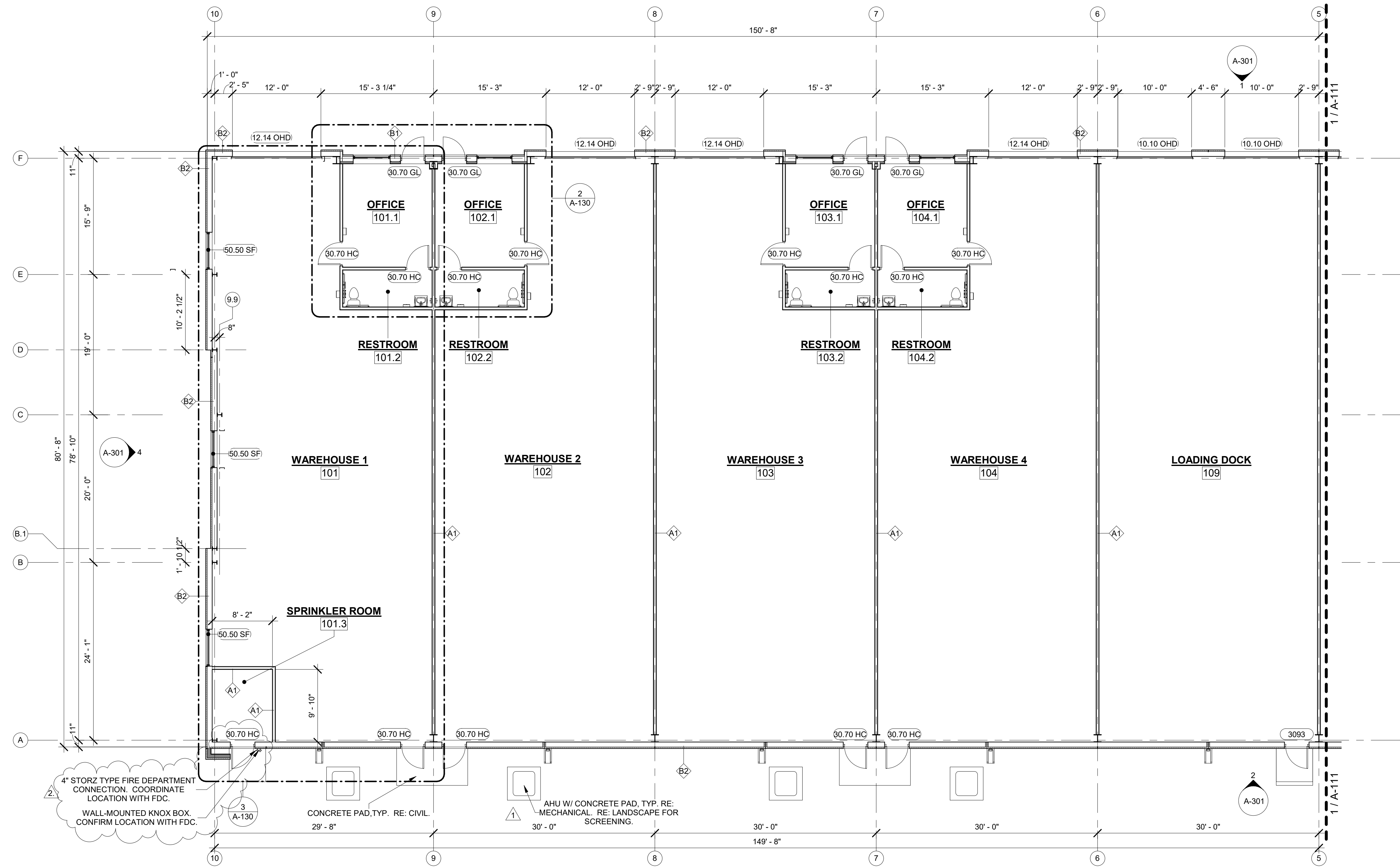


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OVERALL MAIN LEVEL FLOOR PLAN



1 MAIN LEVEL FLOOR PLAN A
1/8" = 1'-0"



- FLOOR PLAN NOTES**
1. ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR OF STEEL/WOOD FRAMING. REFER TO ELEVATIONS AND SECTIONS FOR EXTERIOR FINISH.
 2. ALL LUMBER TO BE #2 GRADE OR BETTER DOUGLAS FIR.
 3. ALL WOOD IN CONTACT W/ CONCRETE TO BE WEATHER TREATED.
 4. 8' - 0" LINER PANEL TO BE PLACED ON ALL WALLS WITHIN THE INTERIOR OF THE BUILDING. COORDINATE TYPE AND FINISH WITH OWNER.
 5. LANDSCAPING OMITTED FOR CLARITY. RE: L-100 FOR PLANTING INFORMATION.

- LEGEND**
- WALL TYPE**
- DOOR TAG**
- MID = METAL INSULATED DOOR
 - OHD = OVERHEAD DOOR
 - PD = POCKET DOOR
 - SC = SOLID CORE
 - HC = HOLLOW CORE
 - OP = FRAMED OPENING
 - WIDTH (7'-0")
 - HEIGHT (3'-0")
- WINDOW TAG**
- SF = STOREFRONT
 - WIDTH (7'-0")
 - HEIGHT (3'-0")

- Room Name**
- ROOM TAG**
- SECTION**
- ELEVATION**
- CEILING ELEVATION**

- WALL TYPES**
- A: 5/8" GYP. BD., 2x4 WOOD FRAMING, RE: STRCT INSULATION
 - A1: 5/8" GYP. BD., 2x4 WOOD FRAMING, RE: STRCT INSULATION, 5/8" GYP. BD.
 - B1: 2" EIFS, VAPOR BARRIER, SHEATHING, METAL FRAMING PER PEMB PACKAGE, INSULATION, 2x4 WOOD FRAMING, RE: STRCT, 5/8" GYP. BD.
 - B2: 2" EIFS, VAPOR BARRIER, SHEATHING, METAL FRAMING PER PEMB PACKAGE

POWELL C W M
ARCHITECTURE/ENGINEERING/SURVEYING

Certificates of Authority
Architecture: MO 310 / KS 73
Engineering: MO 31 / KS 241
Land Surveying: MO 123 / KS 36

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LOT 10 LAKEWOOD BUSINESS PARK
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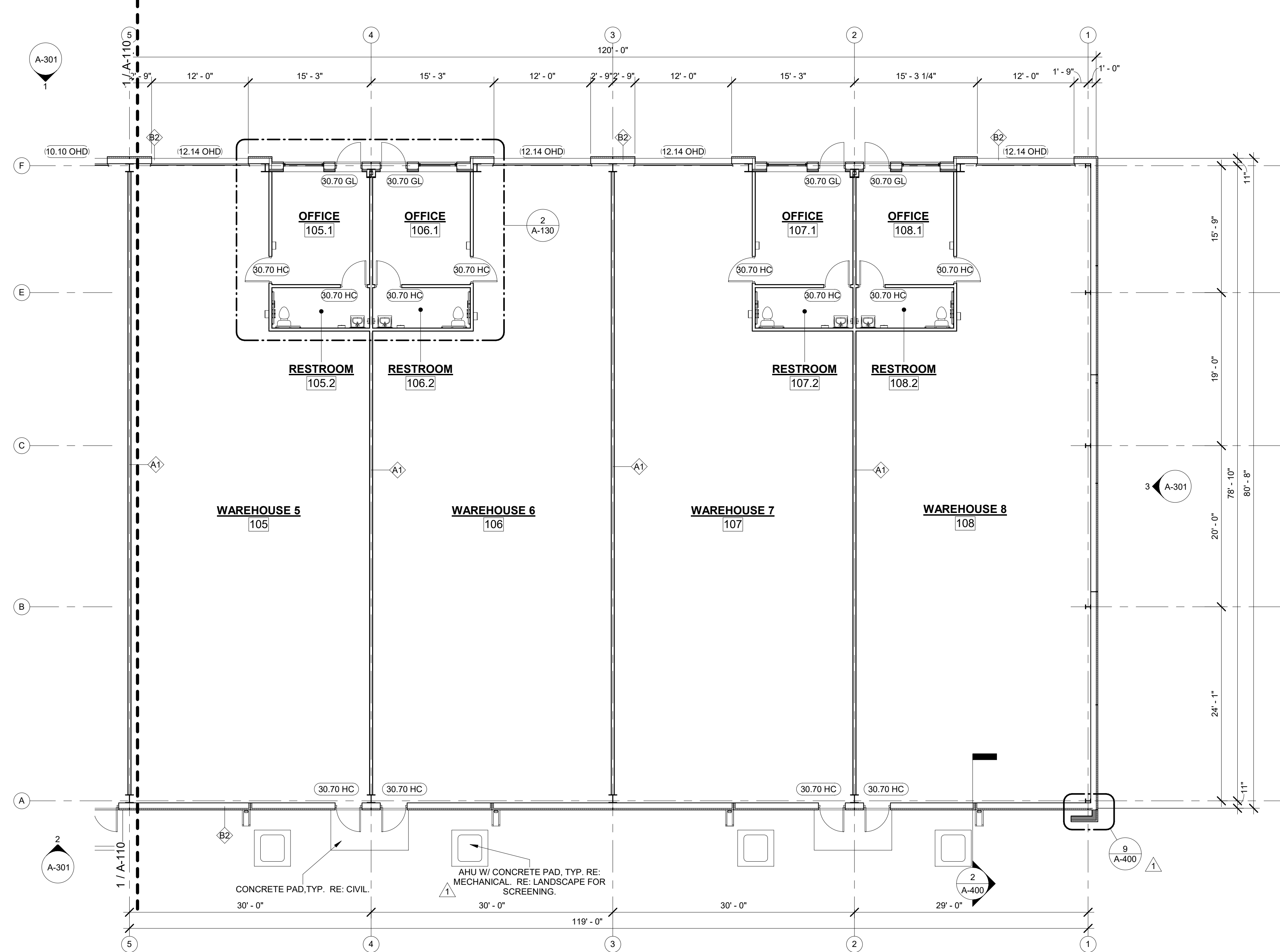


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MAIN LEVEL FLOOR PLAN - AREA A
A-110



1 MAIN LEVEL FLOOR PLAN B
1/8" = 1'-0"

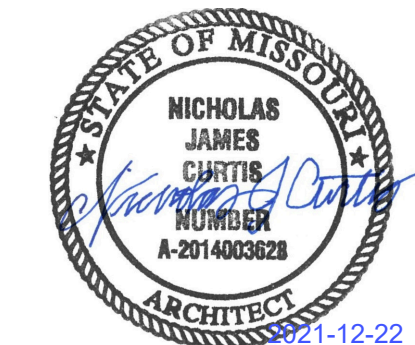


- FLOOR PLAN NOTES**
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 5. LANDSCAPING OMITTED FOR CLARITY. RE: L-100 FOR PLANTING INFORMATION.

- LEGEND**
- WALL TYPE**
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 - OHD = OVERHEAD DOOR
 - PD = POCKET DOOR
 - SC = SOLID CORE
 - HC = HOLLOW CORE
 - OP = FRAMED OPENING
 - WIDTH (7'-0")
 - HEIGHT (3'-0")
- WINDOW TAG**
- SF = STOREFRONT
 - WIDTH (7'-0")
 - HEIGHT (3'-0")

- Room Name**
- ROOM TAG**
- SECTION**
- ELEVATION**
- CEILING ELEVATION**

- WALL TYPES**
- 5/8" GYP. BD.
 - 2x4 WOOD FRAMING, RE: STRCT
 - INSULATION
 - 5/8" GYP. BD.
 - 2x4 WOOD FRAMING, RE: STRCT
 - INSULATION
 - 5/8" GYP. BD.
 - 2" EIFS
 - VAPOR BARRIER
 - SHEATHING
 - METAL FRAMING PER PEMB PACKAGE
 - INSULATION
 - 2x4 WOOD FRAMING, RE: STRCT
 - 5/8" GYP. BD.
 - 2" EIFS
 - VAPOR BARRIER
 - SHEATHING
 - METAL FRAMING PER PEMB PACKAGE

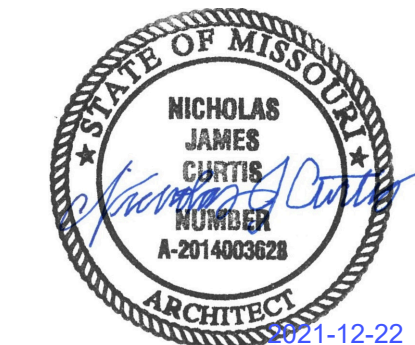


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MAIN LEVEL FLOOR
PLAN - AREA B



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2			
3			

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ENLARGED PLANS

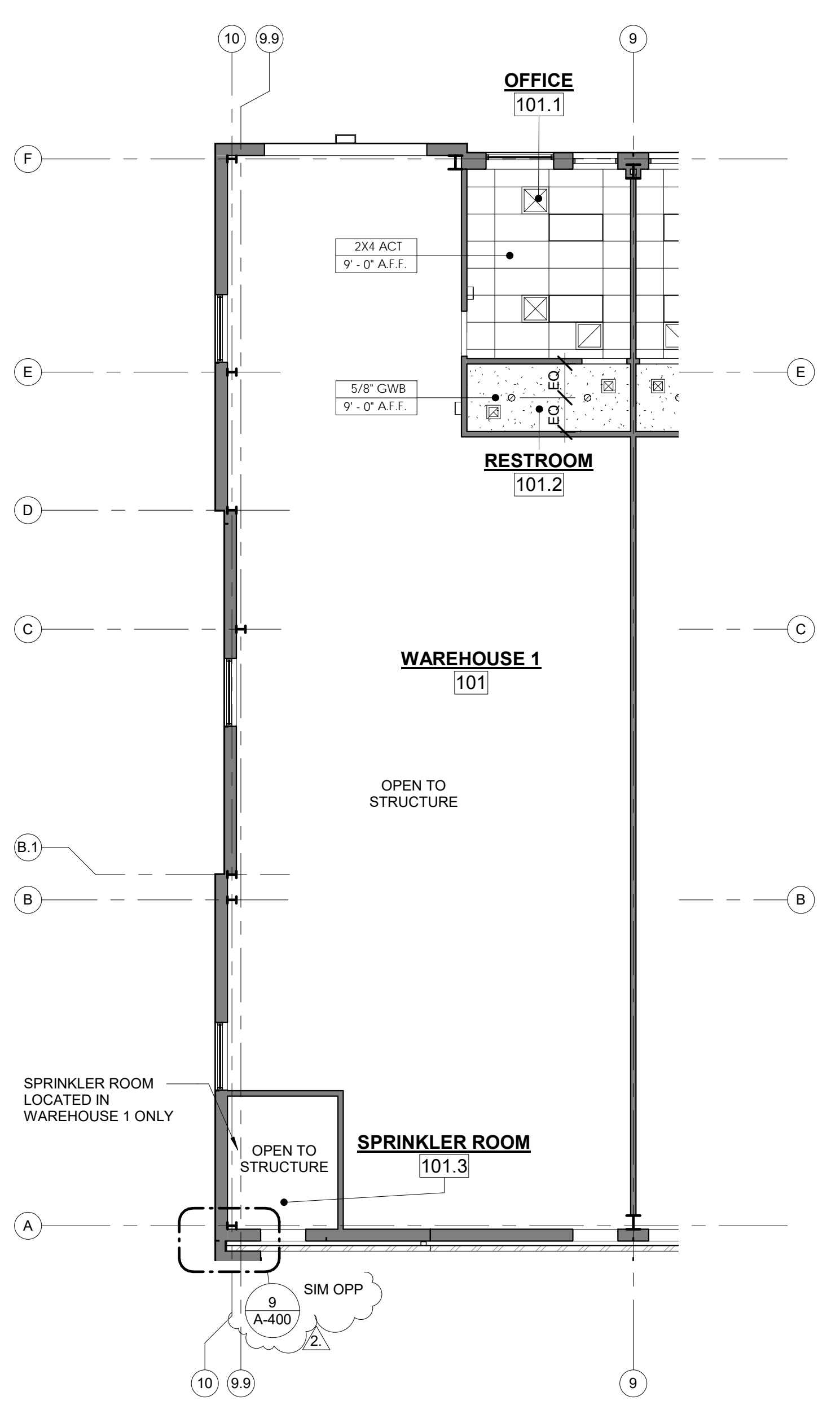
RESTROOM ACCESSORY SCHEDULE		
Type Mark	Description	Count
18" VERTICAL GRAB BAR		8
36" HORIZONTAL GRAB BAR		8
42" HORIZONTAL GRAB BAR		8
LAVATORY	'LUCERNE' Basin with Sealed Overflow, center hole only, 20-1/2" x 18-1/4" x 8-1/8" (521mm x 464mm x 206mm) deep, wall hung, vitreous china, integral back splash, self-draining deck area with contoured back and side splash shields, 'D' shaped bowl, contoured back and side splash shields for concealed arm carrier.	8
MIRROR	Bobrick B-290 2448 Welded Frame Mirror	8
NAPKIN DISPOSAL	Bobrick B-254 Surface Mounted Sanitary Napkin Disposal	8
PAPER TOWEL DISPENSER	Bobrick B-262 Classic Series Surface Mounted Paper Towel Dispenser	8
SEAT COVER DISPENSER	Bobrick B-221 Classic Series Surface Mounted Seat Cover Dispenser	8
SOAP DISPENSER	Bobrick B-2112 Classic Series Surface Mounted Soap Dispenser	8
TOILET PAPER DISPENSER	Bobrick B-2740 Surface Mounted Double Toilet Tissue Dispenser	8
WATER CLOSET	PER PLUMBING	8

GENERAL NOTES - CEILING PLAN

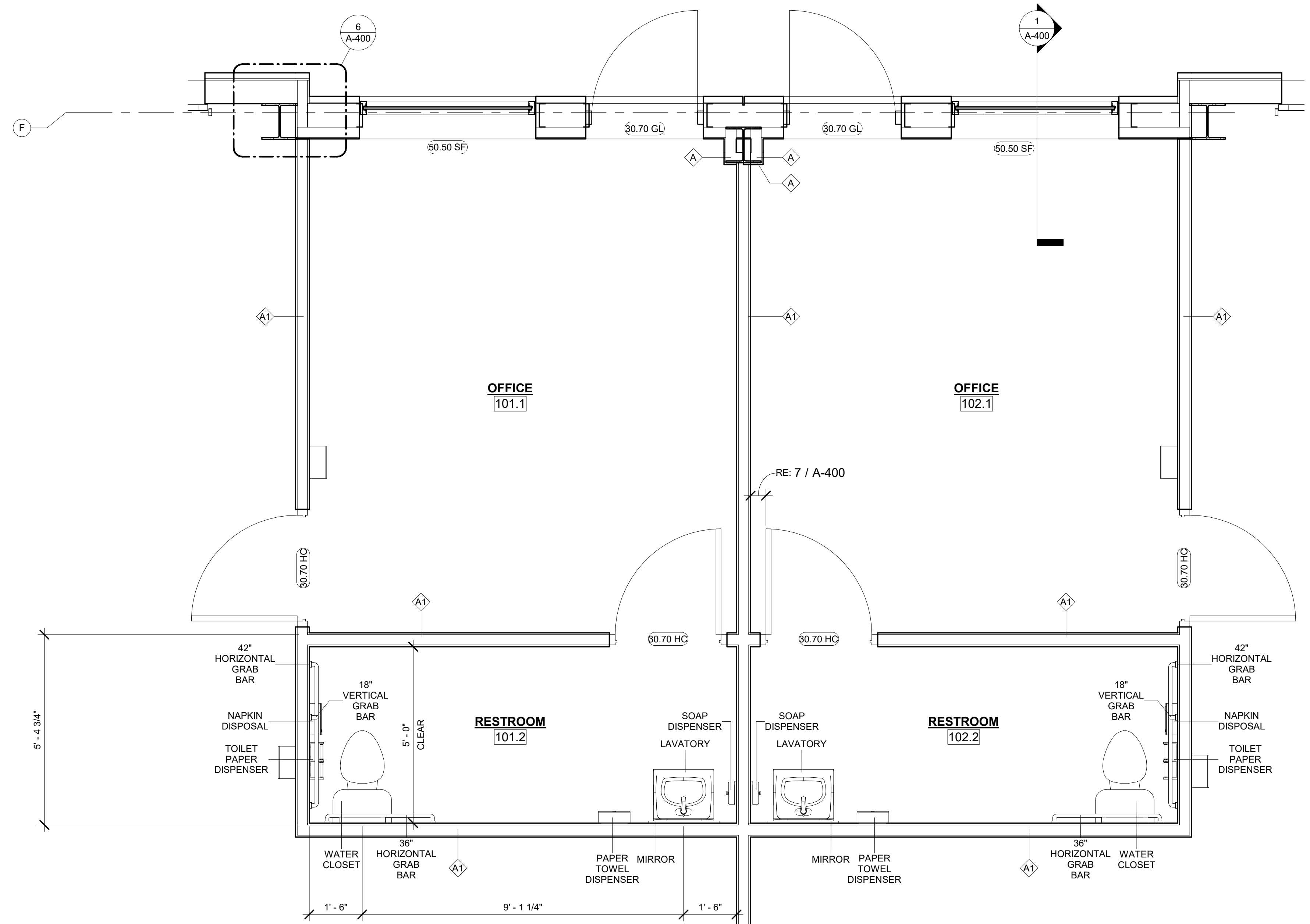
- REFER TO MEP DRAWINGS FOR ALL ADDITIONAL CEILING MOUNTED DEVICES NOT SHOWN ON THIS DRAWING INCLUDING, BUT NOT LIMITED TO, LIGHTING, MECHANICAL REGISTERS, SMOKE DETECTORS, MOTION DETECTORS, EXIT SIGNAGE, HEAT DETECTORS, CAMERAS, COMMUNICATION EQUIPMENT, FIRE SPRINKLER HEADS, ETC.
- ALL EXPOSED STRUCTURAL STEEL SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR. THIS INCLUDES, BUT IS NOT LIMITED TO STEEL BEAMS, LADDERS, GUARD RAILS, MISC. BRACING, ETC. SEE PEMB PACKAGE.
- CEILING R-VALUES SHALL MAINTAIN R-38. EXTERIOR WALL INSULATION SHALL MAINTAIN R-13 OR BETTER. WALL R-VALUES SHALL BE OF CONSTRUCTION TO EQUAL R-19 TOTAL.

LEGEND - CEILING PLAN

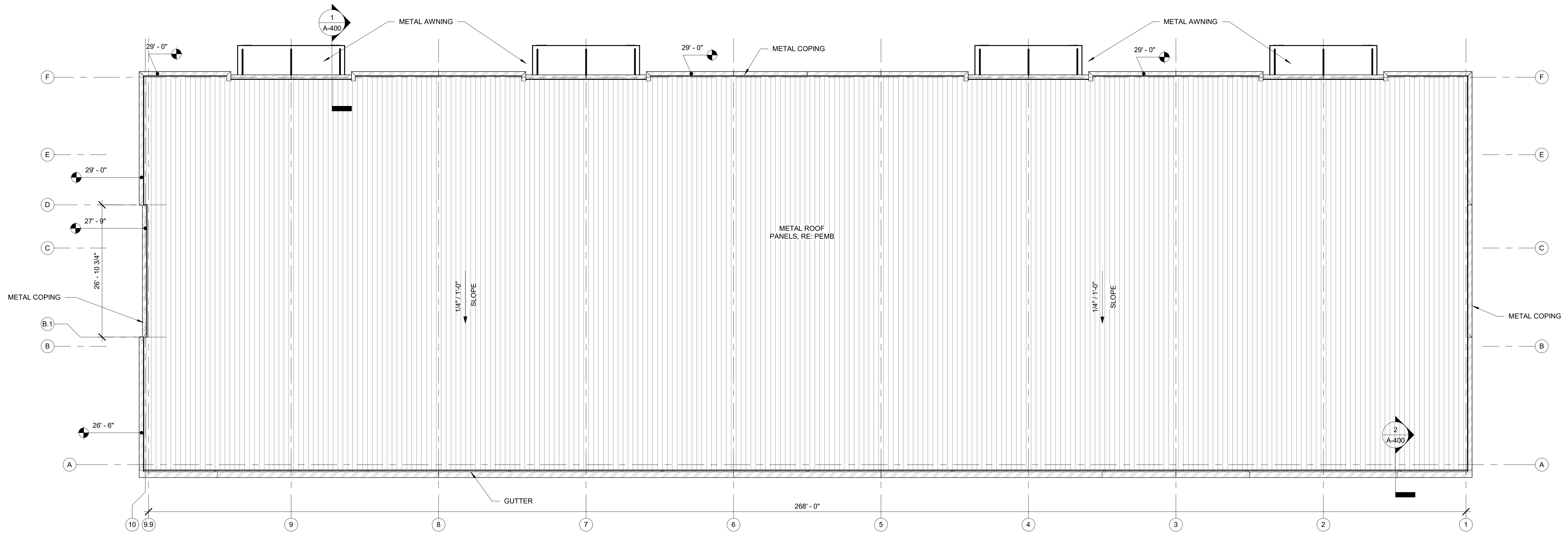
- SMOKE DETECTOR
- SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
- MECHANICAL RETURN DIFFUSER
- MECHANICAL SUPPLY DIFFUSER
- MECHANICAL EXHAUST DIFFUSER
- LIGHTING FIXTURE - BOX DOWNLIGHT
- LIGHTING FIXTURE - RECESSED CAN



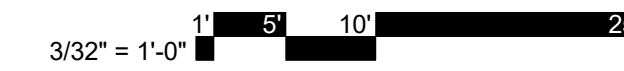
3 ENTRY LEVEL RCP
 1/8" = 1'-0"



2 RESTROOM PLAN - TYPICAL
 1/2" = 1'-0"



1 ROOF PLAN
3/32" = 1'-0"



ROOF GENERAL NOTES

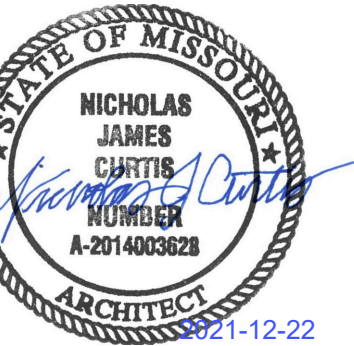
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Certificates of Authority
Architecture: MO 310 / KS 73
Engineering: MO 31 / KS 241
Land Surveying: MO 123 / KS 36

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**LOT 10 LAKEWOOD
BUSINESS PARK
LOT 10 I-470 BUSINESS PARK
LEE'S SUMMIT, MO 64064**



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ROOF PLAN

A-200

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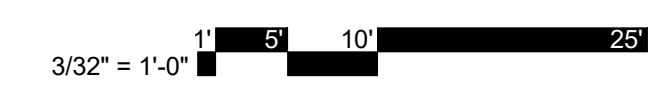
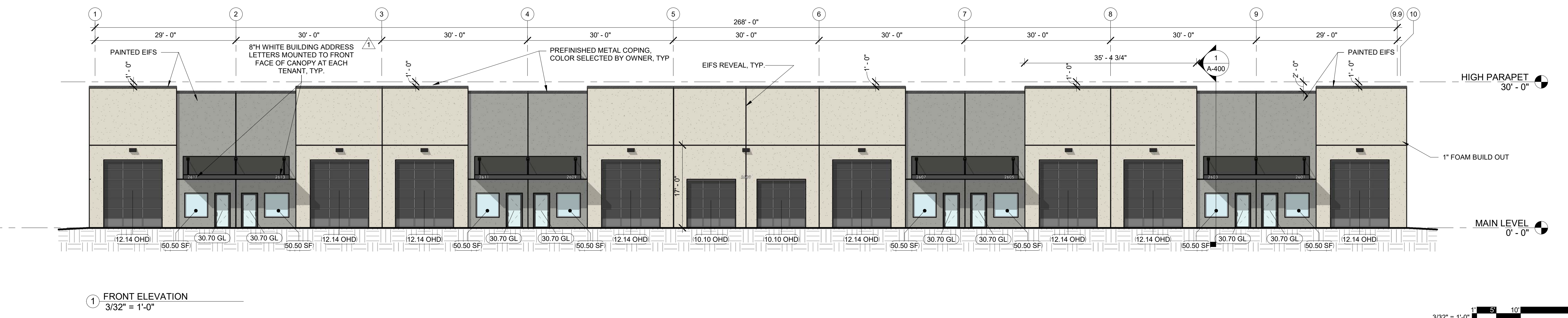
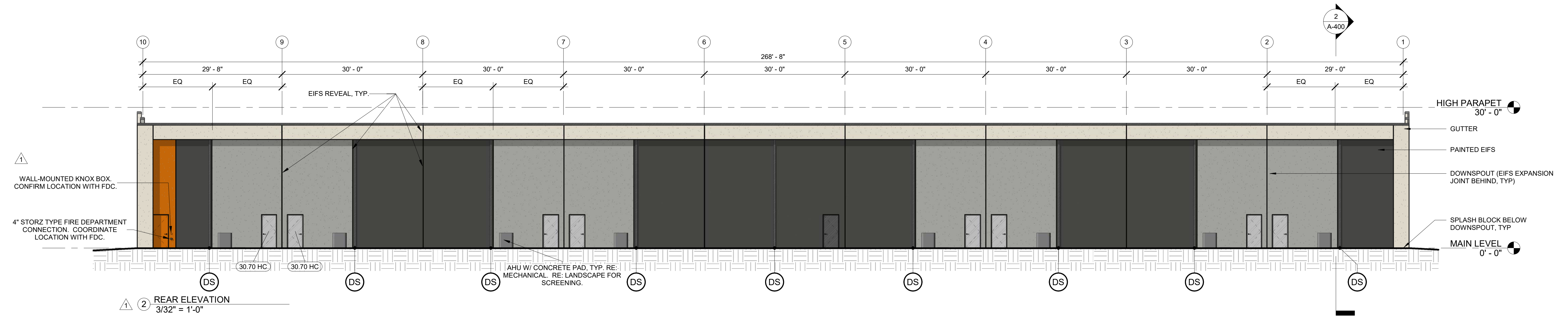
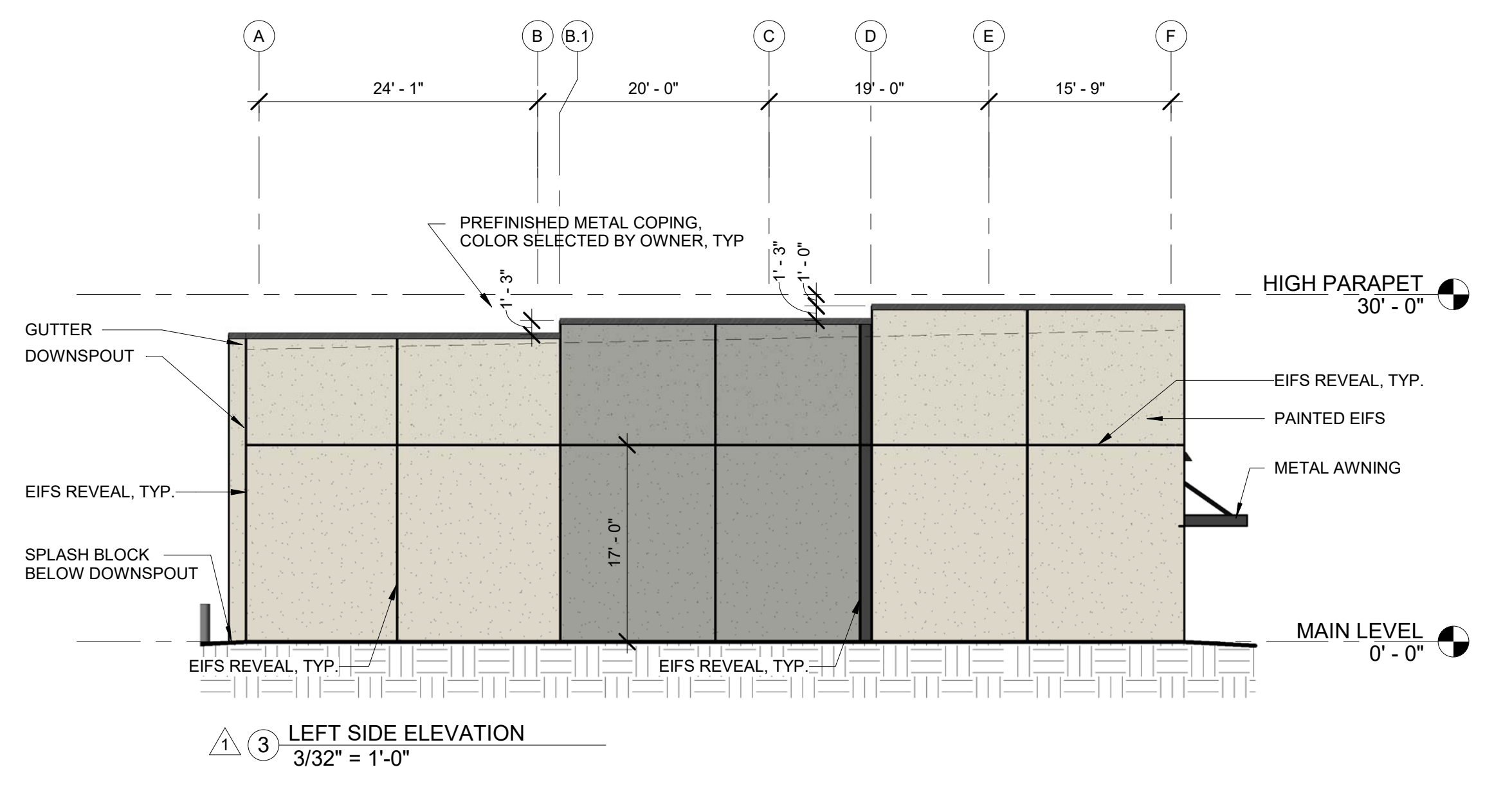
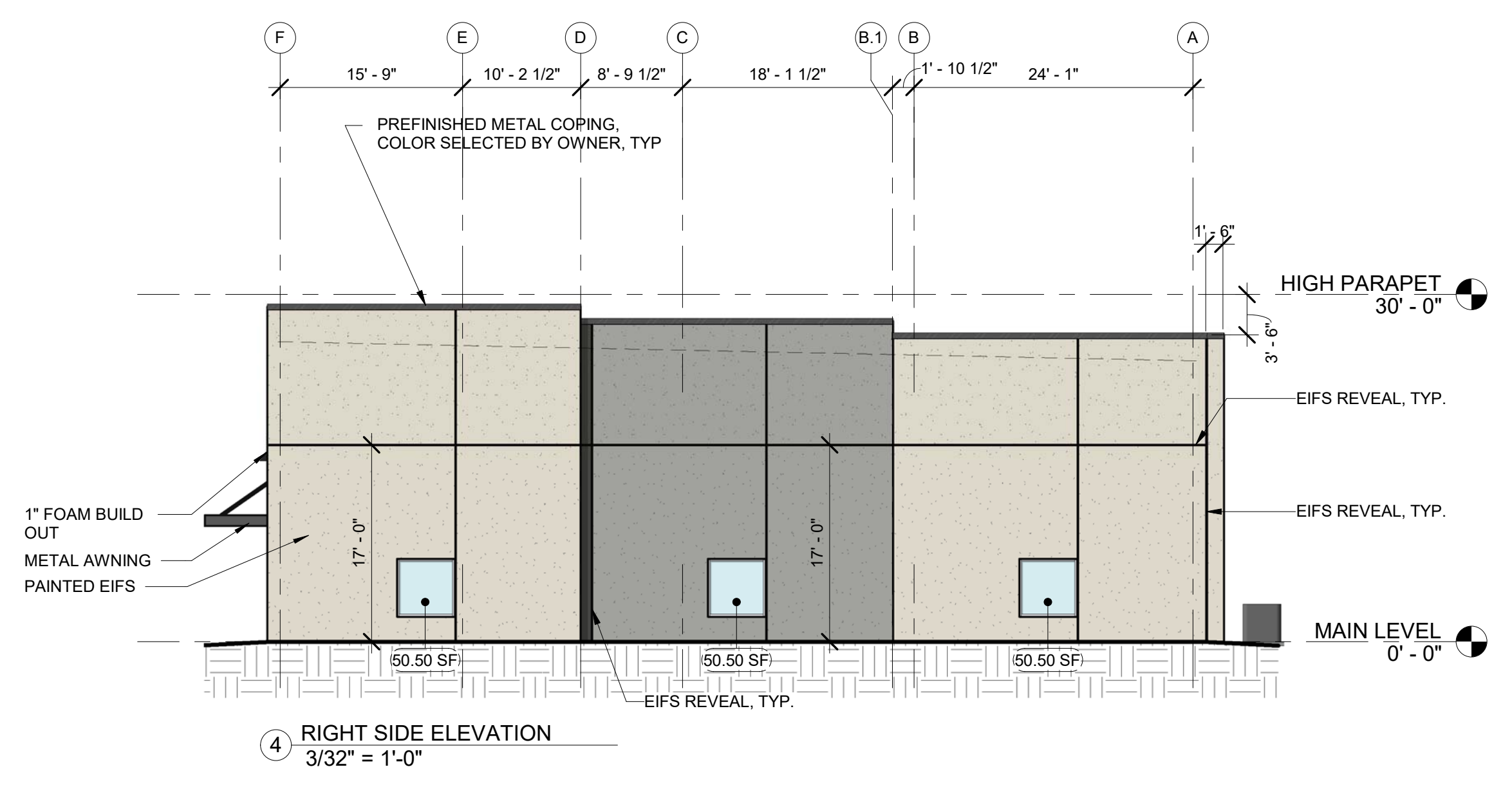
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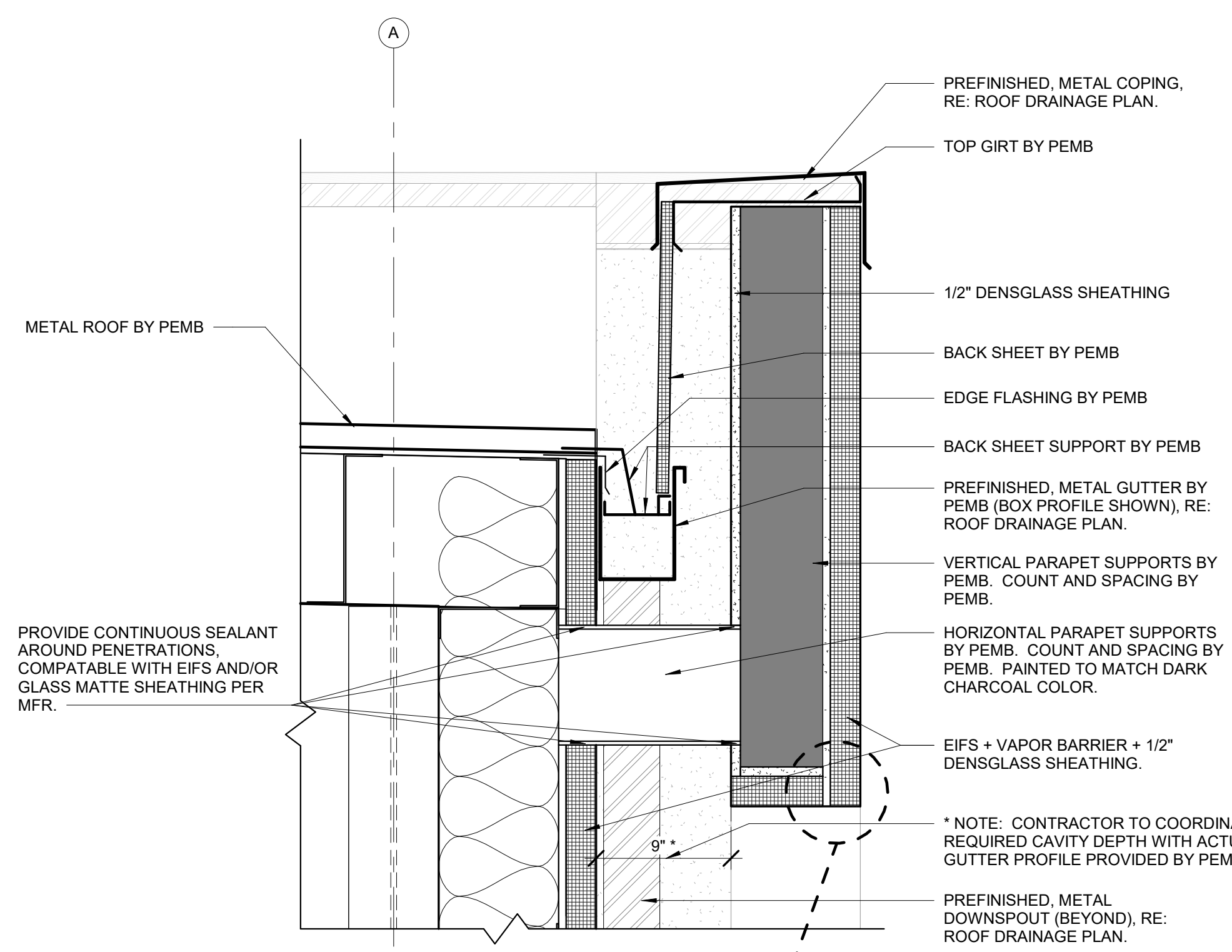
EXTERIOR ELEVATION GENERAL NOTES

- DIMENSIONS ARE FROM PEMB PACKAGE AND ARE SHOWN FOR REFERENCE ONLY. PEMB DRAWINGS WILL OVER-RIDE INFO SHOWN IN ARCH PLANS.
- PLANTINGS OMITTED FROM ELEVATIONS FOR CLARITY. REFER TO LANDSCAPE DRAWINGS FOR PLANTING DATA. REFER TO PERSPECTIVES FOR APPROXIMATE APPEARANCE.
- REFER TO SHEET A-002 FOR ADDITIONAL GUTTER AND DOWNSPOUT INFORMATION.
- PAINT USED ON EIFS SHALL BE 100% ACRYLIC EXTERIOR GRADE PAINT OR AS APPROVED BY SELECTED EIFS MANUFACTURER.

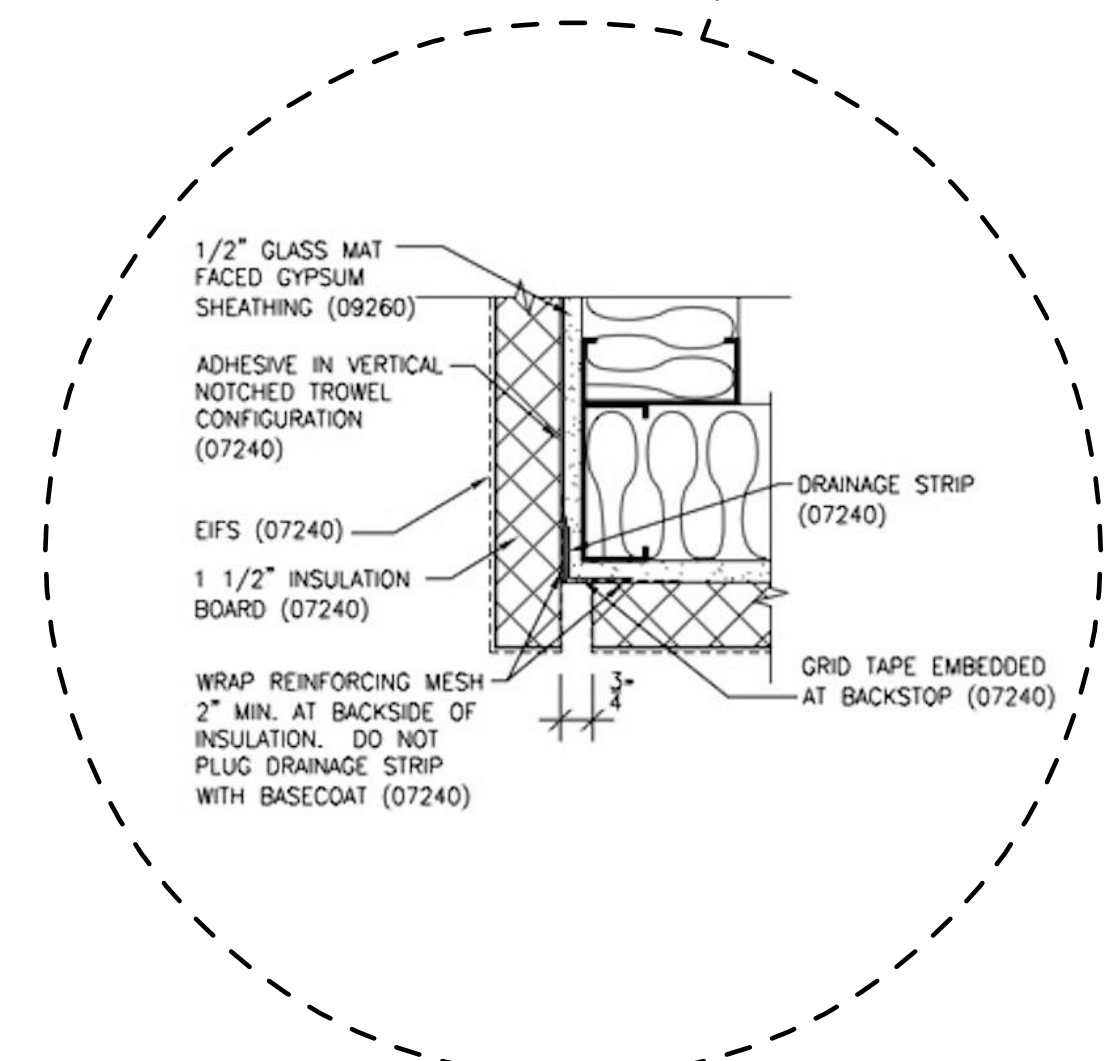
EXTERIOR MATERIALS LEGEND

- EIFS, PAINTED, COLOR BY OWNER. SHERWIN WILLIAMS COLOR 50 "CLASSIC LIGHT BUFF" SHOWN.
- EIFS, PAINTED, COLOR BY OWNER. SHERWIN WILLIAMS COLOR 7066 "GRAY MATTERS" SHOWN.
- EIFS, PAINTED, COLOR BY OWNER. SHERWIN WILLIAMS COLOR 7069 "IRON ORE" SHOWN.
- EIFS, PAINTED, COLOR BY OWNER. SHERWIN WILLIAMS COLOR 6886 "INVIGORATE" SHOWN.
- GLASS - STOREFRONT
- GLASS - OH DOOR
- SHEET METAL, PREFINISHED, COLOR BY OWNER. CHARCOAL GREY SHOWN.

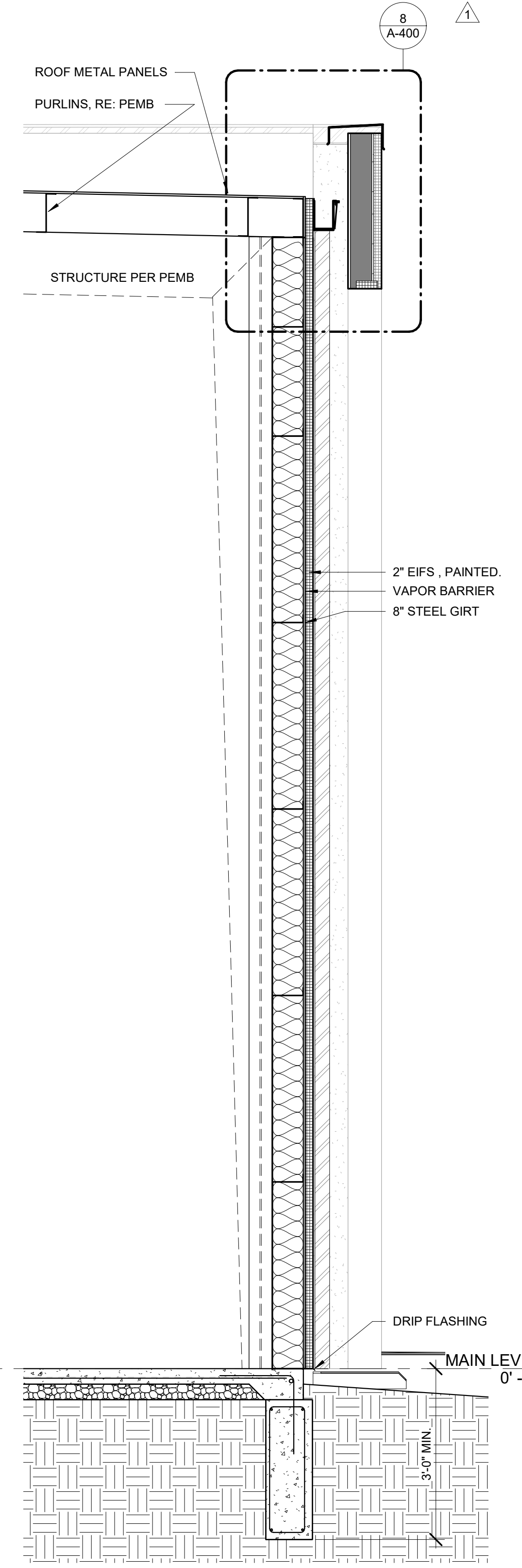
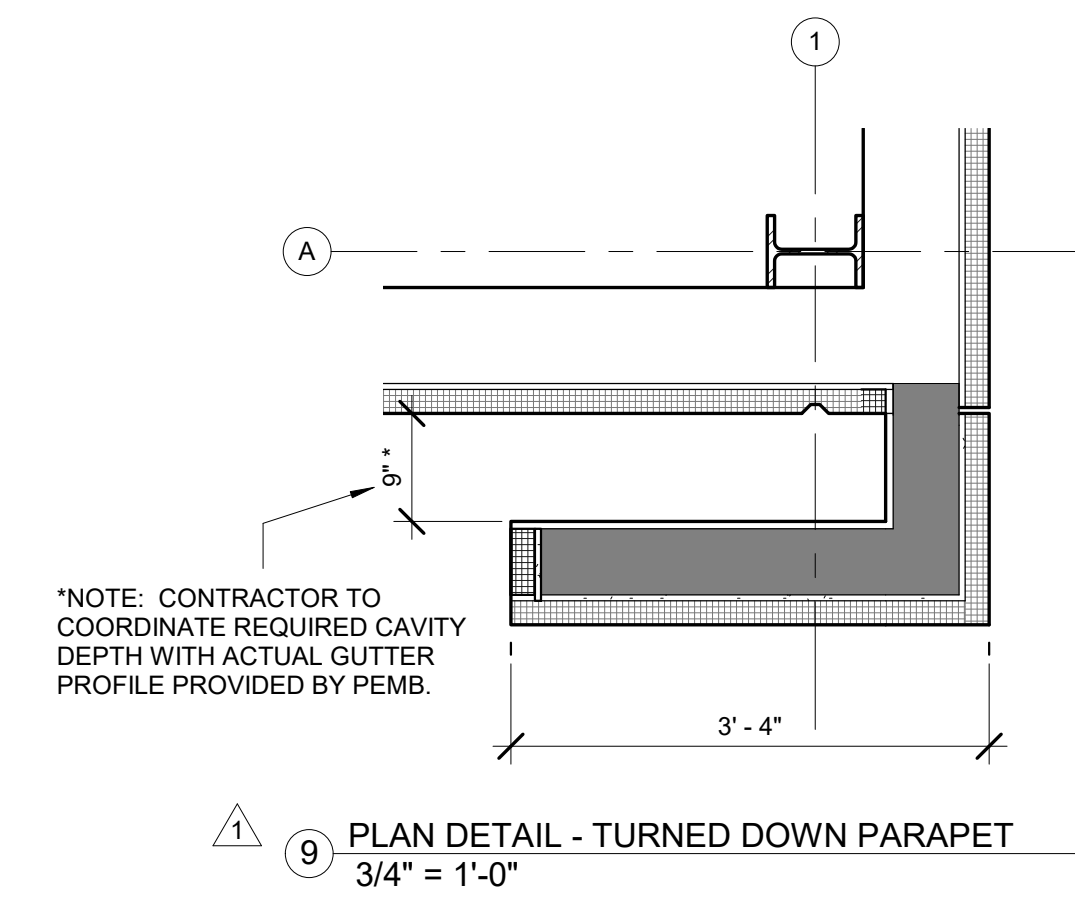
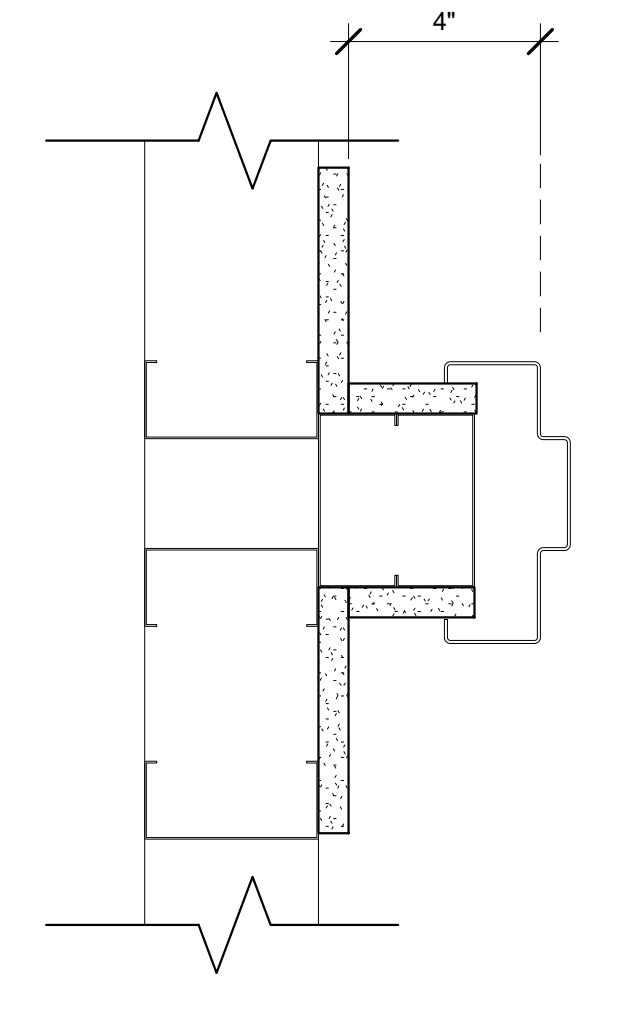




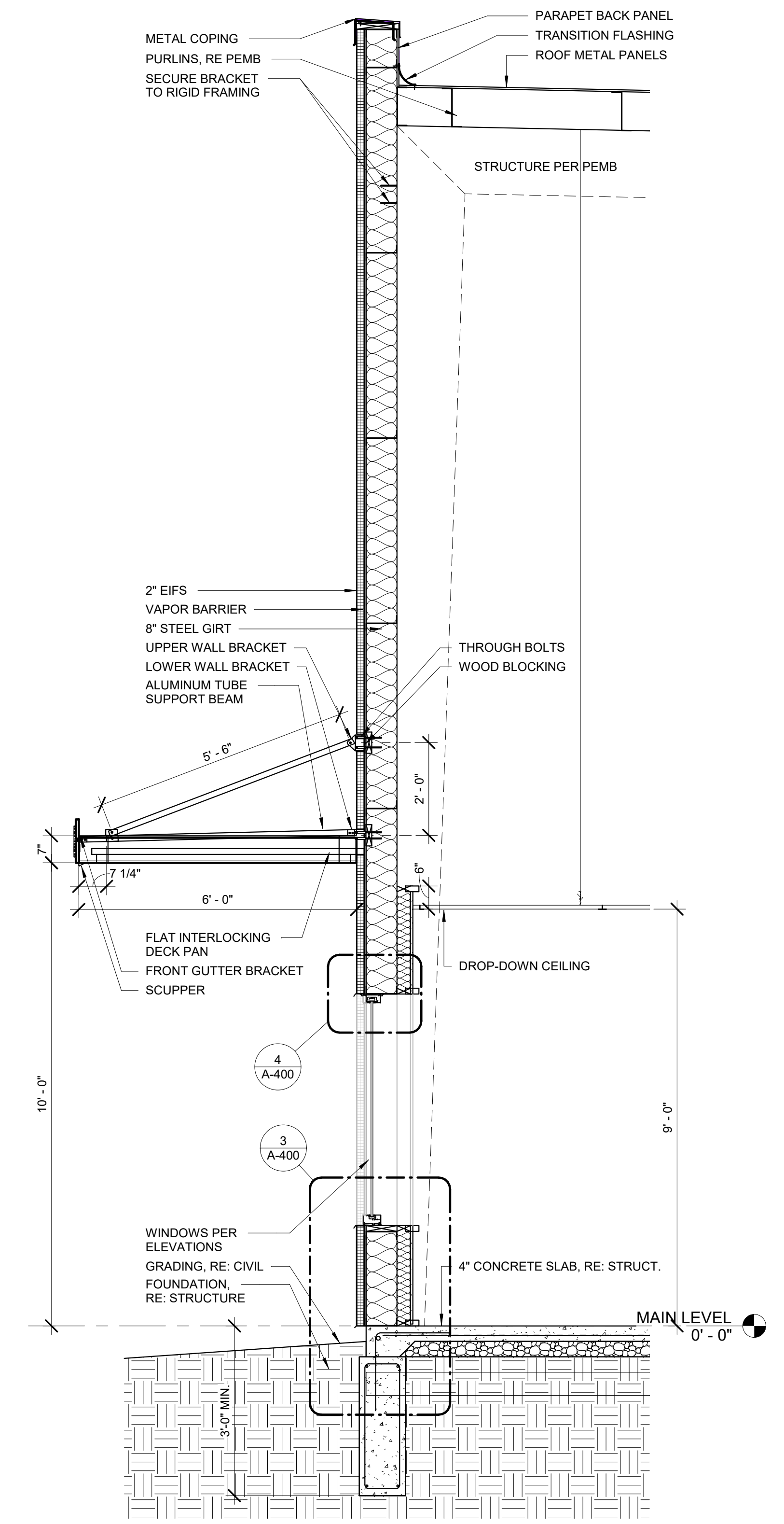
8 ROOF PARAPET AT GUTTER
1 1/2" = 1'-0"



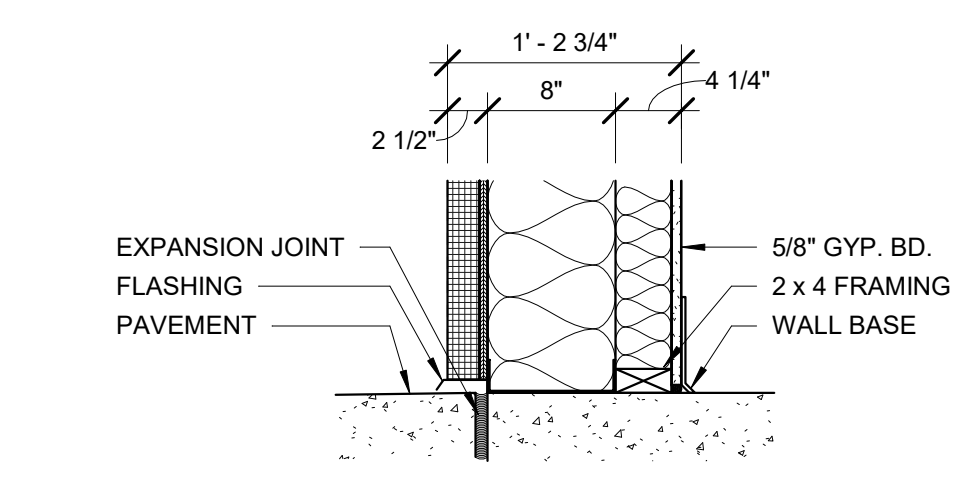
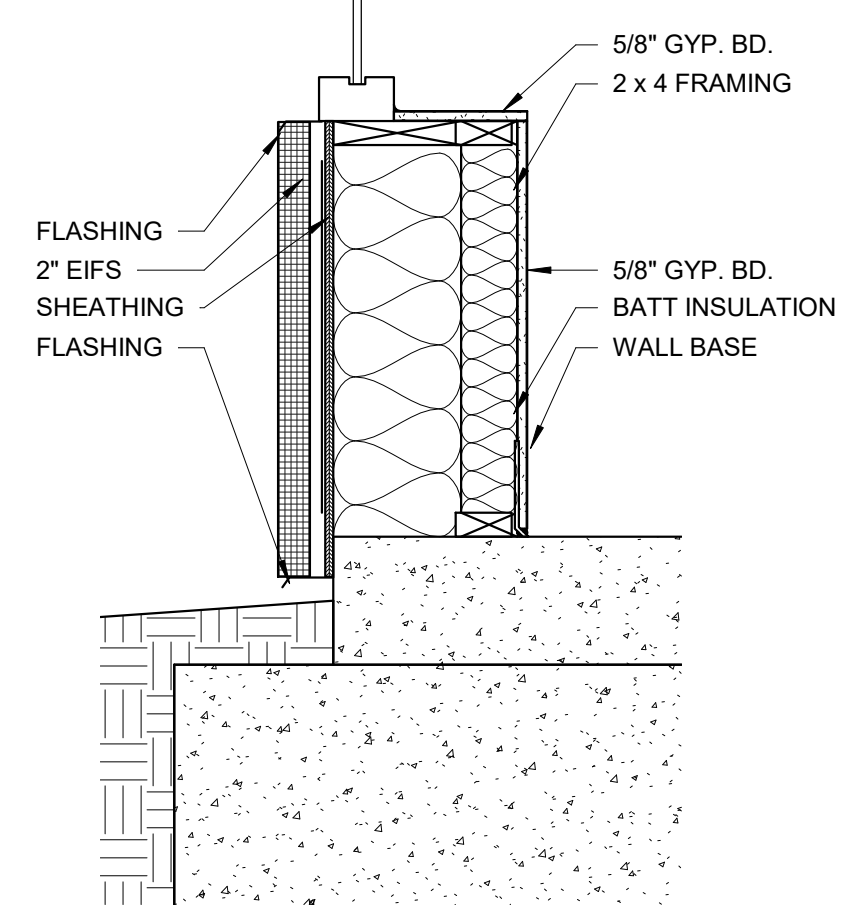
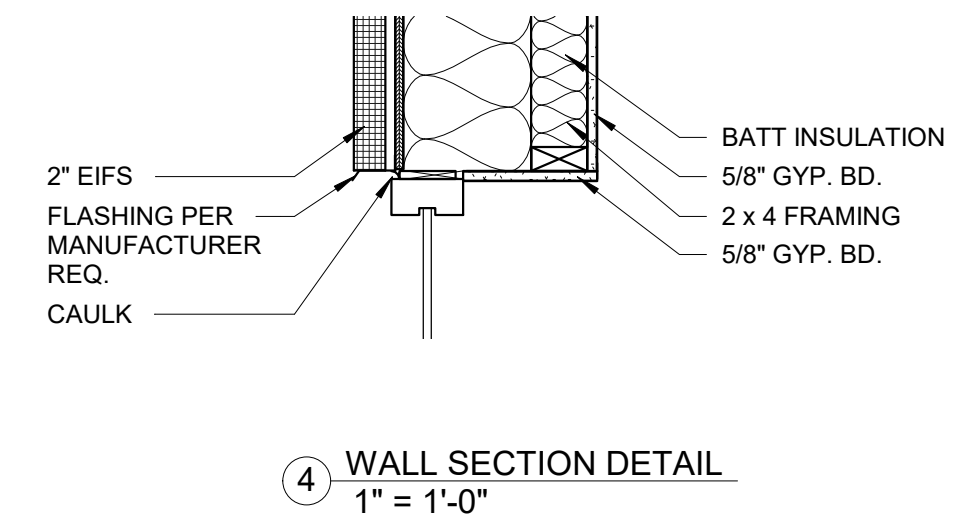
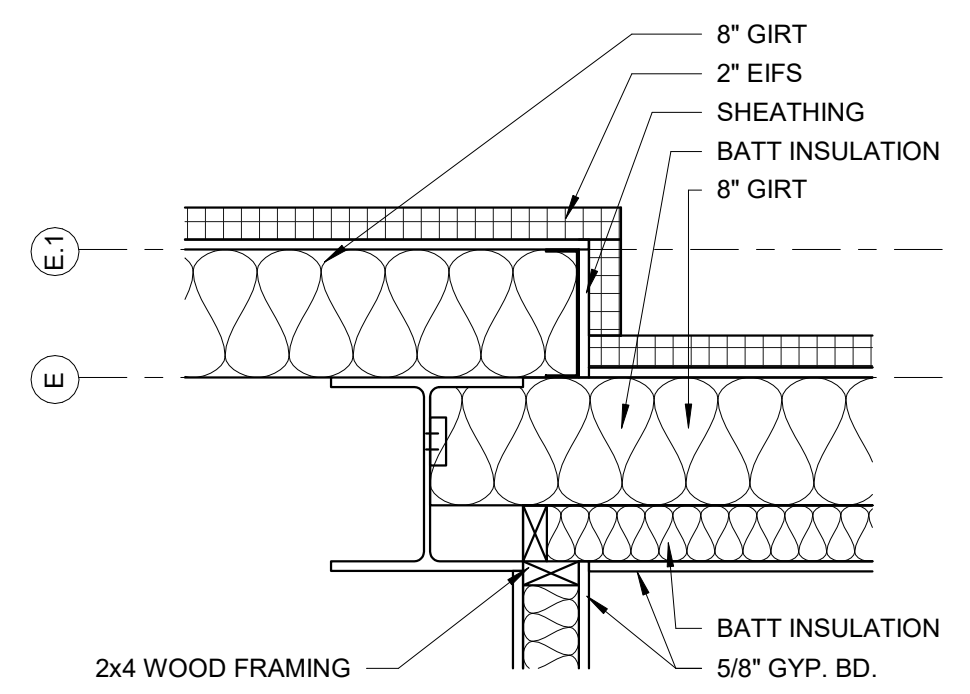
MINIMUM AND STANDARD DIMENSION OF DOOR THRESHOLD TO WALL:
 1. UNLESS NOTED OTHERWISE
 2. UNLESS OTHERWISE COORDINATED BETWEEN GENERAL CONTRACTOR, METAL STUD CONTRACTOR AND DOOR CONTRACTOR.



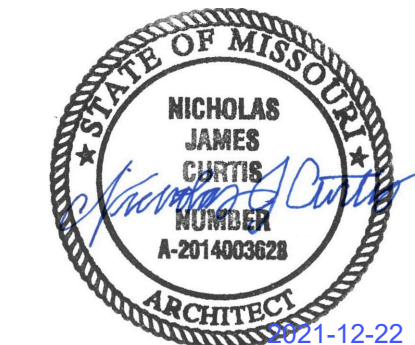
2 WALL SECTION DETAIL
1/2" = 1'-0"



1 WALL SECTION DETAIL
1/2" = 1'-0"



LOT 10 LAKEWOOD BUSINESS PARK
LOT 10 I-470 BUSINESS PARK
 LEE'S SUMMIT, MO 64064



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NO.	REVISIONS	DESCRIPTION	DATE
1	FDS & BP - CITY COMMENTS #01		11/17/2021

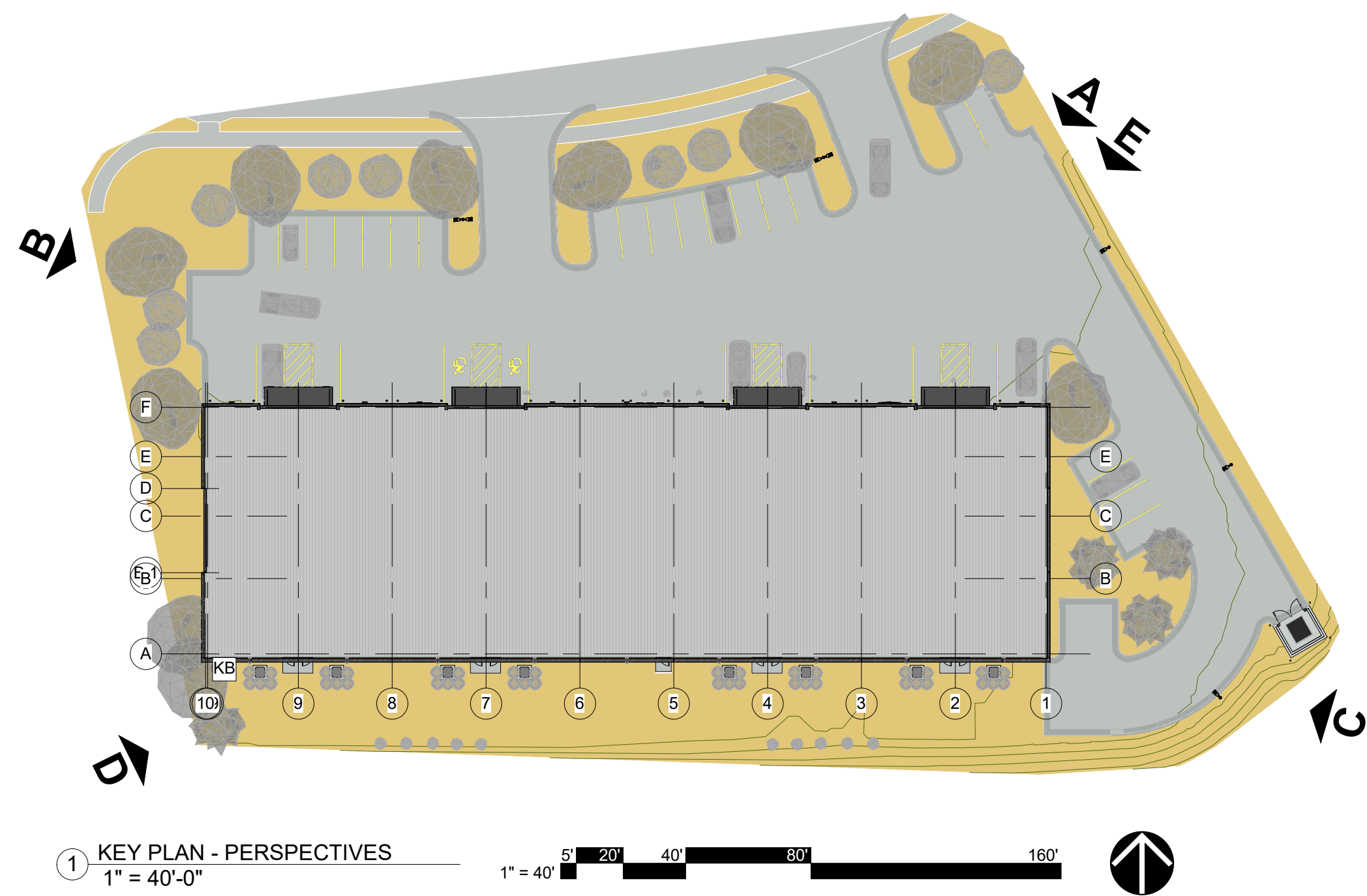
DRAWN BY: NC
 CHECKED BY: NC
 PROJECT #: 21-1902
 ISSUE DATE: 2021.09.24
 ISSUED FOR: BUILDING PERMIT



D
SOUTHWEST



C
SOUTHEAST



1 KEY PLAN - PERSPECTIVES
1" = 40'-0"



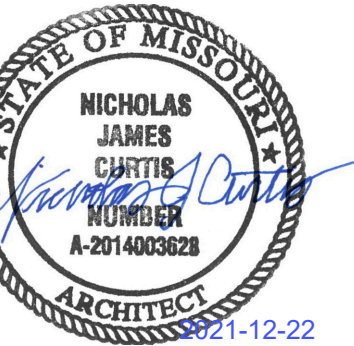
B
NORTHWEST



E
NORTHEAST DUSK



A
NORTHEAST

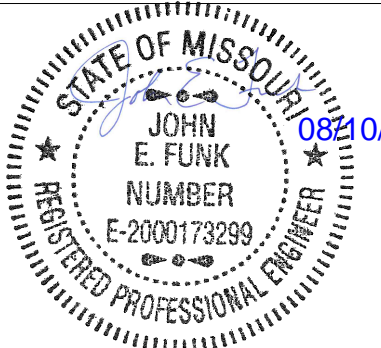


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NO.	REVISIONS	DESCRIPTION	DATE
1	FDS & BP - CITY COMMENTS #01		11/17/2021

DRAWN BY: NC
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ISSUE DATE: 2021.09.24
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BUILDING PERMIT

PERSPECTIVES



REVISIONS

NO.	DATE	DESCRIPTION

DRAWN BY: TJS
 CHECKED BY: JF
 PROJECT #: 21094
 ISSUE DATE: 08/09/2021
 ISSUED FOR: PERMIT

FOUNDATION PLAN

S100

SHEET NOTES:

- A. REFERENCE SHEET S00x FOR STRUCTURAL GENERAL NOTES, REVIEW NOTES & DETAILS FOR APPLICABILITY.
- B. SEE ARCHITECTURAL DRAWING FOR DETAILS & DIMENSIONS NOT SHOWN.
- C. REFER TO S0xx FOR TYPICAL DETAILS.
- D. TOP OF SLAB ELEVATION = 100'-0" UNO.
- E. TOP OF TRENCH FOOTING ELEVATION = 99'-4" UNO. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 3'-0" MIN BELOW GRADE. DEEPEN FOOTINGS AS REQUIRED. GRADE IS GENERALLY 6" BELOW FINISH FLOOR ELEVATION (COORDINATE WITH CIVIL).
- F. SPREAD FOOTINGS DENOTED ON PLAN BY "Fxx". REFER TO SCHEDULE ON THIS SHEET FOR SIZE AND REINFORCING.

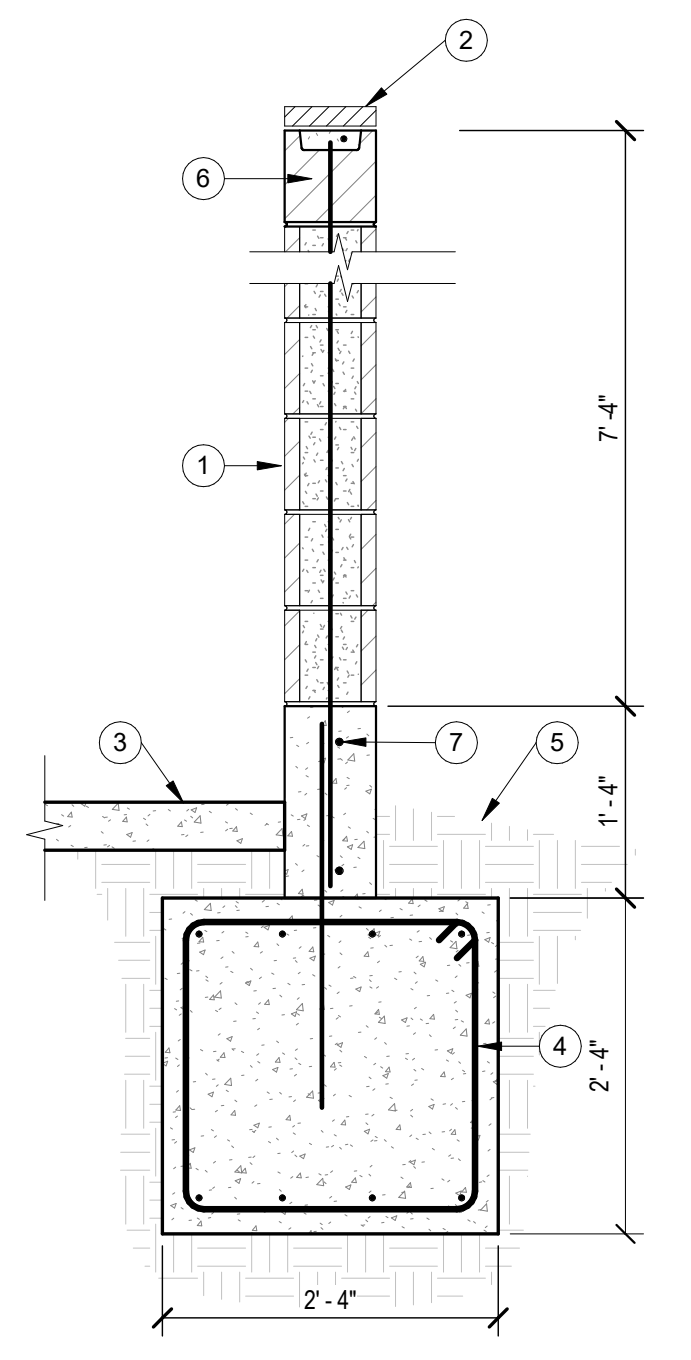
PLAN NOTES:

- ① 4" CONCRETE SLAB ON GRADE, RE: GENERAL NOTES FOR REINFORCING, GRANULAR FILL, VAPOR BARRIER AND JOINTING REQUIREMENTS
- ② PROVIDE #5 HAIR-PIN BARS @ ALL PEMB COLUMNS RE: 5/S001

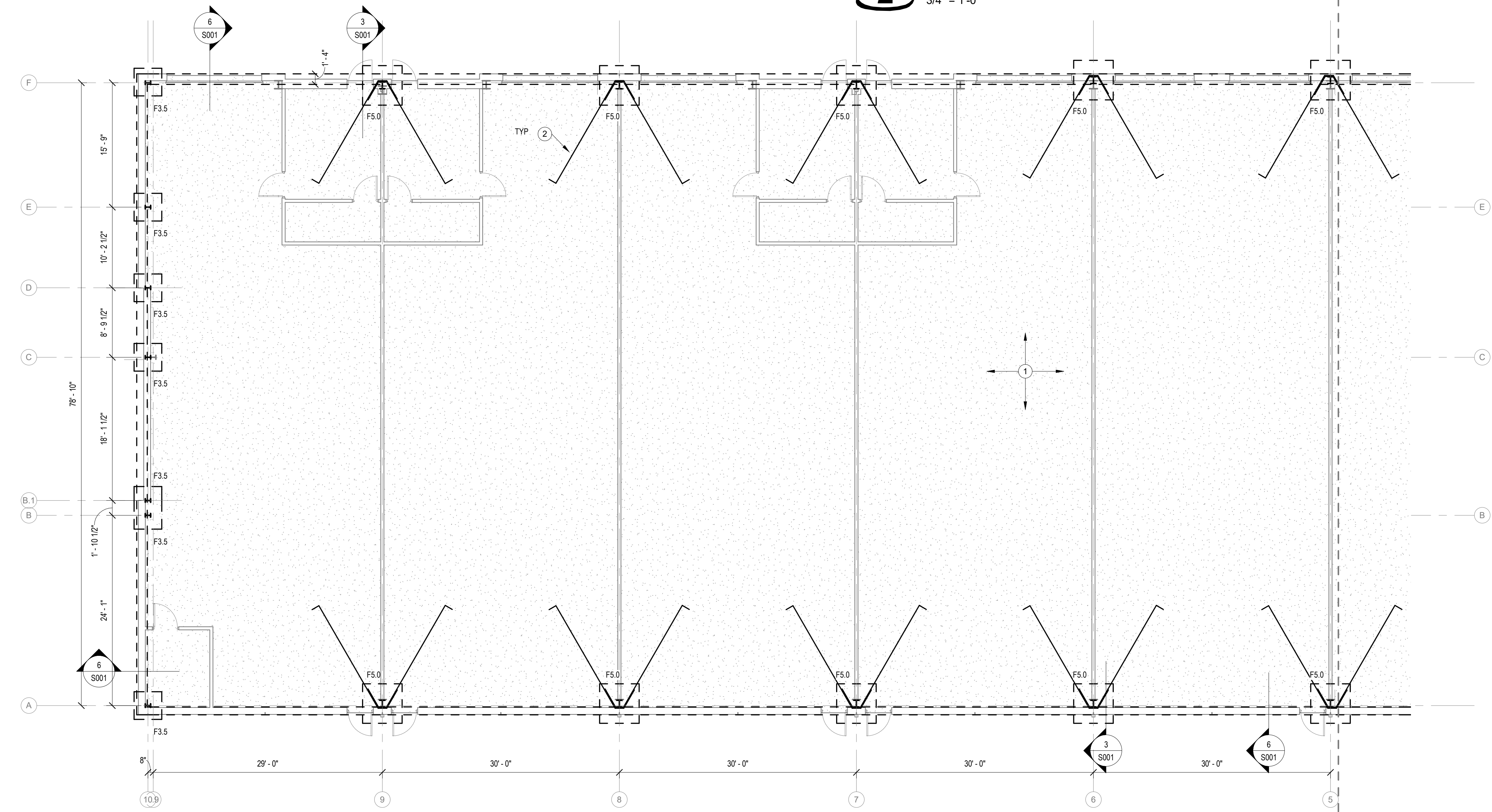
SCHEDULE - SPREAD FOOTING				
TYPE MARK	LENGTH	WIDTH	THICKNESS	REINF
F3.5	3'-6"	3'-6"	3'-0"	(5) #4 EW TOP & BOT
F5.0	5'-0"	5'-0"	3'-0"	(8) #4 EW TOP & BOT

DETAIL NOTES:

- ① 8" CMU WALL, FULLY GROUTED, REINF W/ #4 VERT @ 24" O.C.
- ② CAP STONE, RE: ARCH
- ③ CONC SLAB RE: CIVIL
- ④ CONC FTG W/ (4) #6 TOP & BOT & #3 TIES @ 24" OC
- ⑤ GRADE RE: CIVIL
- ⑥ 8" CMU BOND BM W/ (1) #4 CONT
- ⑦ (2) #4 CONT HOR & #4 @ 24" OC VERT



2 TRASH ENCLOSURE SECTION
 3/4" = 1'-0"

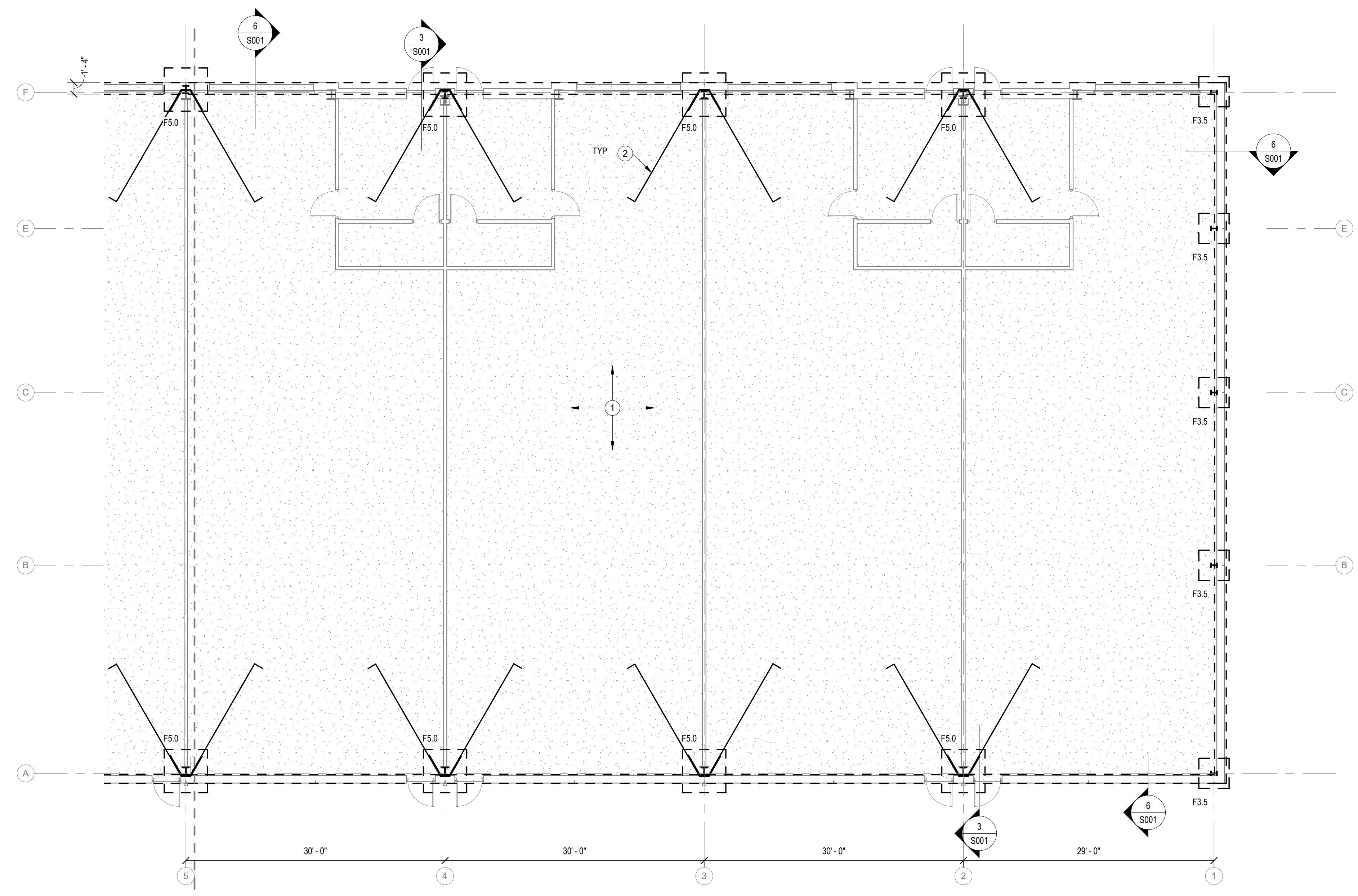


1 FOUNDATION PLAN
 1/8" = 1'-0"

SHEET NOTES:
 A. REFERENCE SHEET S00x FOR STRUCTURAL GENERAL NOTES. REVIEW NOTES & DETAILS FOR APPLICABILITY.
 B. SEE ARCHITECTURAL DRAWING FOR DETAILS & DIMENSIONS NOT SHOWN.
 C. REFER TO S0xx FOR TYPICAL DETAILS.
 D. TOP OF SLAB ELEVATION = 100'-0" UNO.
 E. TOP OF TRENCH FOOTING ELEVATION = 99'-4" UNO. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 3'-0" MIN BELOW GRADE. DEEPEN FOOTINGS AS REQUIRED. GRADE IS GENERALLY 6" BELOW FINISH FLOOR ELEVATION (COORDINATE WITH CIVIL).
 F. SPREAD FOOTINGS DENOTED ON PLAN BY "Fxx". REFER TO SCHEDULE ON THIS SHEET FOR SIZE AND REINFORCING.

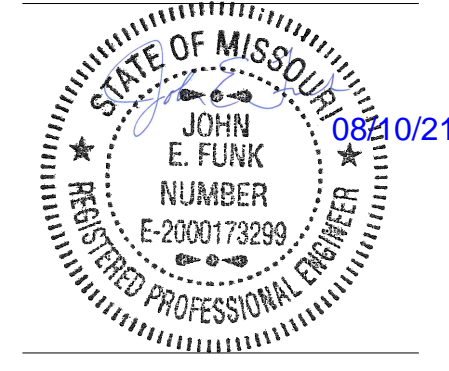
- PLAN NOTES:**
- 4" CONCRETE SLAB ON GRADE. RE-GENERAL NOTES FOR REINFORCING, GRANULAR FILL, VAPOR BARRIER AND JOINTING REQUIREMENTS
 - PROVIDE #5 HAIR-PIN BARS @ ALL PEMB COLUMNS RE: S/S001

SCHEDULE - SPREAD FOOTING					
TYPE MARK	LENGTH	WIDTH	THICKNESS	REINF	
F3.5	3'-6"	3'-6"	3'-0"	(5) #4 EW TOP & BOT	
F5.0	5'-0"	5'-0"	3'-0"	(8) #4 EW TOP & BOT	



1 FOUNDATION PLAN
 1/8" = 1'-0"

LOT 10 LAKEWOOD BUSINESS PARK
 LOT 10 I-470 BUSINESS PARK
 LEE'S SUMMIT, MO 64064



REVISIONS NO.	DATE	DESCRIPTION

DRAWN BY: TJS
 CHECKED BY: JF
 PROJECT #: 21094
 ISSUE DATE: 08/09/2021
 ISSUED FOR: PERMIT

FOUNDATION PLAN

PLUMBING FIXTURE SCHEDULE	
FD	FLOOR DRAIN: SQUIX CHIEF 842-4PNR, ROUND FLOOR DRAIN, PVC BODY AND CLAMPING COLLAR, ADJUSTABLE 6-1/2" ROUND NICKEL BRONZE STRAINER. PROVIDE WITH PROSET SYSTEMS "TRAP GUARD" INSERT FOR ACTUAL FLOOR DRAIN MODEL AND SIZE PROVIDED.
LAV	WALL-MOUNT LAVATORY: KOHLER K-1997-1-0, SINGLE-HOLE, 14.375"X12.3125" ELLIPTICAL BOWL, MOUNT AT ADA HEIGHT, VITREOUS CHINA, WITH SINGLE LEVER LAVATORY FAUCET (KOHLER K-10215-4). PROVIDE FLEXIBLE SS RISERS WITH CHROME PLATED STOP VALVES, P-TRAP WITH CLEANOUT AND ESCUTCHEONS. INSULATE WITH "HANDI-LAV-GUARD" MODEL 102, OR EQUAL.
WC	FLOOR-MOUNTED ADA WATER CLOSET: KOHLER K-3519-TR, HANDICAP ACCESSIBLE, VITREOUS CHINA, 1.28 GPF, ELONGATED BOWL, FLOOR MOUNTED W/ 17.125" SEAT HEIGHT, WHITE, VITREOUS CHINA TANK AND COVER CONTAINING FLUSHOMETER/TANK WITH BUILT-IN PRESSURE REGULATOR AND BACKFLOW PREVENTER, WHITE OPEN-FRONT SEAT, CHROME STOPS, C.P. FLEXIBLE RISER TUBE, BOLT CAPS, AND ESCUTCHEON.
WH	10 GAL WATER HEATER: AO SMITH EJC-10, 8 GPH RECOVERY AT 90 DEG F RISE, SINGLE ELEMENT, 120V, 1650W
RPZ	REDUCED PRESSURE ZONE BACKFLOW PREVENTER: WATTS LF009, 1-1/2", MEETING ASSE 1013, LEAD FREE CAST BRONZE BODY, QUARTER TURN TESTING COCKS, QUARTER TURN BALL VALVES, AND AIR GAP FITTING.

GAS FURNACE SCHEDULE																			
GENERAL DATA					HEATING				FAN DATA				ELECTRICAL						
TAG	BASIS OF DESIGN MFR/MODEL	FLOW DIRECTION	WEIGHT (LBS)	DIMENSIONS (WxDxH)	OUTSIDE AIR (CFM)	INPUT (BTUH)	OUTPUT (BTUH)	AFUE	VENT	TYPE	HP	CFM	ESP (IN WG)	VOLT	PHASE	HZ	MOC	MCA	NOTES
F-1	LENNOX / EL296UH070XV36B	HORIZONTAL	136	29.25x33x17.5	0	66,000	62,000	96	CONCENTRIC	VARIABLE	1/2	840	0.5	120	1	60	15	7.7	A,B,C,D,E

NOTES:
A. EXTERNAL STATIC PRESSURE LISTED REPRESENTS STATIC PRESSURE REQUIRED FOR DUCTWORK AND DIFFUSERS OUTSIDE THE HVAC UNIT COMPLETELY INDEPENDENT OF ANY PRESSURE DROP THROUGH THE HVAC EQUIPMENT INCLUDING FILTER AND COIL.
B. PROVIDE UNIT WITH 7-DAY PROGRAMMABLE HEAT/COOL/AUTO CHANGEOVER MULTISTAGE THERMOSTAT W/HUMIDITY SENSOR.
C. PROVIDE MANUFACTURER'S CONCENTRIC VENT KIT. SIZE AND INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS WHILE ADHERING TO LENGTH AND FITTING LIMITATIONS.
D. PROVIDE END RETURN FILTER KIT.
E. ADJUST FACTORY DEFAULT SETTINGS TO LIMIT BLOWER SPEED TO 840 CFM.

EXHAUST FAN SCHEDULE													
MARK	AREA SERVED	MANUFACTURER	MODEL	MOUNTING / TYPE	CFM	ESP (IN)	DRIVE	POWER	ELECTRICAL			WEIGHT	NOTES
									VOLTS	PHASE	FLA		
EF-1	RESTROOM	PANASONIC	FV-0511VK2	CEILING / CABINET	110	0.375	DIRECT	9.9 W	120	1	0.1	12	A, B

NOTES:
A. PROVIDE INTERNAL CABINET BACKDRAFT DAMPER, CEILING GRILLE, ALL THREAD RODS AND VIBRATION ISOLATORS.
B. INTERLOCK WITH RESTROOM LIGHTSWITCH.

CONDENSING UNIT SCHEDULE													
GENERAL DATA					ELECTRICAL				COOLING COIL & MISC.				NOTES
TAG	BASIS OF DESIGN MFR/MODEL	LOCATION	WEIGHT (LBS)	DIMENSIONS (WxDxH) (IN.)	NOMINAL CAP. (MBH)	VOLT	PHASE	HZ	MOC	MCA	REFR.	EVAP COIL MODEL #	
CU-1	LENNOX / XC20-024-230	GROUND	243	35.5x39.5x39	24	208	1	60	30	19.1	R410A	CH35-30B-2F	A, B, C

NOTES:
A. PROVIDE TIME DELAY ON COMPRESSOR RE-START KIT, CRANKCASE HEATER, AND COMPRESSOR LOCK-OUT WITH AMBIENT BELOW 35F.
B. MECHANICAL CONTRACTOR SHALL COORDINATE ALL UNIT MOC'S OF ACTUAL INSTALLED EQUIPMENT WITH ELECTRICAL CONTRACTOR.
C. PROVIDE MIN. 4" TALL PRE-MANUFACTURED POLYOLEFIN PAD.

GAS UNIT HEATER SCHEDULE												
MARK	LOCATION	MFR.	MODEL	INPUT (MBH)	OUTPUT (MBH)	EFF (%)	CFM	WEIGHT (LBS)	ELECTRICAL			NOTES
									VOLTS	PH	FLA	
UH-1	WAREHOUSE	LENNOX	LF25-125A	125	103.75	83.5	1950	167.00	115	1	5	A-E

NOTES:
A. PROVIDE WALL MOUNTED THERMOSTAT.
B. PROVIDE 4" TYPE 'B' VENT.
C. DISCONNECT BY ELECTRICAL.
E. PROVIDE NECESSARY MOUNTING BRACKET AND ACCESSORIES FOR VERTICAL MOUNTING.

DIFFUSER, REGISTER AND GRILLE SCHEDULE							
MARK	MANUFACTURER	MODEL	FACE TYPE	MOUNTING TYPE	FACE SIZE (IN.)	MAX NC	NOTES
SUPPLY							
CSD-1	TITUS	OMNI	PLAQUE FACE	LAY-IN	24x24	25	A,B,C
CSD-2	TITUS	TDC	LOUVERED	SURFACE	12.5x12.5	25	A,B,C
RETURN							
CRG-1	TITUS	50F	EGGCRATE	LAY-IN	24x24	25	A,B,C,D

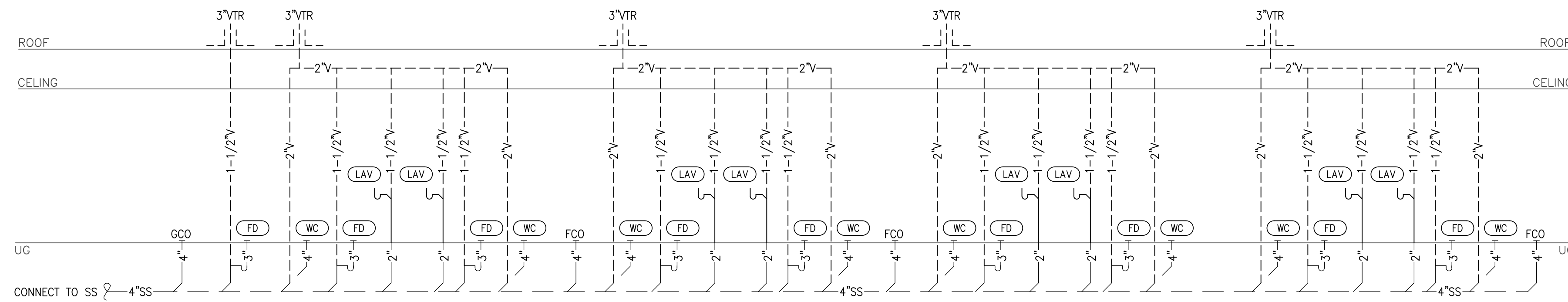
NOTES:
A. NECK SIZE SHOWN ON DRAWINGS.
B. BAKED ENAMEL FINISH, WHITE
C. FRAME TYPE TO MATCH CEILING CONSTRUCTION, COORDINATE WITH ARCHITECTURAL REFLECTED CEILING PLAN.
D. PAINT THE INSIDE OF CANS FLAT BLACK.

FIXTURE BRANCH CONNECTION SCHEDULE				
FIXTURE	COLD WATER	HOT WATER	WASTE	VENT
FLOOR DRAIN	-	-	3"	1 1/2"
LAVATORY / SINK	1/2"	1/2"	1 1/2"	1 1/2"
WATER CLOSET (FLUSH TANK)	1/2"	-	4"	2"

NOTE: PIPE SIZES SHOWN ARE MINIMUM. 2" MIN. UNDERGROUND.

ELECTRIC UNIT HEATER SCHEDULE						
MARK	MANUFACTURER	MODEL	WEIGHT (LBS)	KW	VOLTAGE/PH	REMARKS
EW-1	QMARK	LFK204F	22	3	208/1	1,2

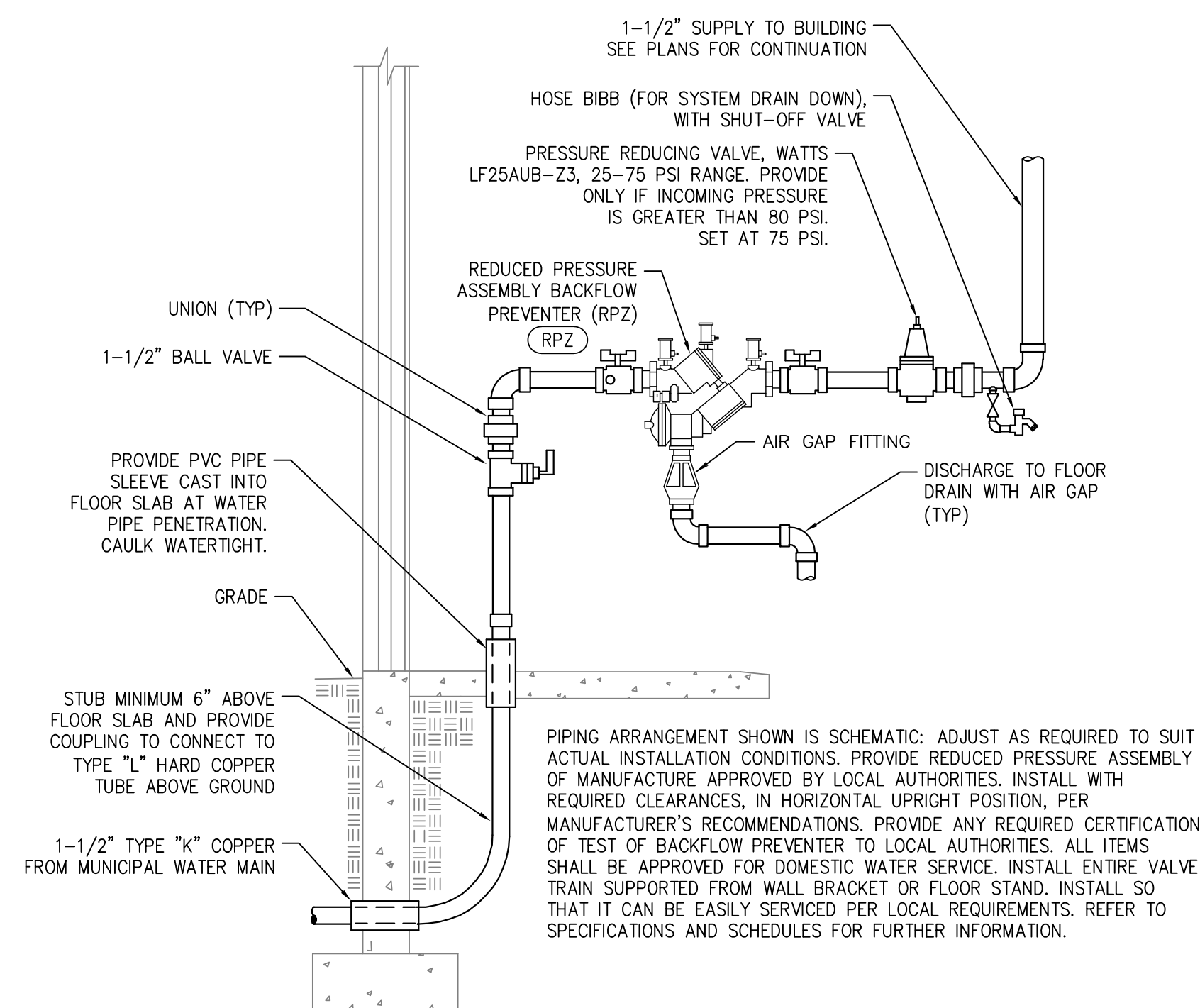
REMARKS:
1. PROVIDE SURFACE MOUNT FRAME.
2. PROVIDE WITH INTEGRAL THERMOSTAT AND DISCONNECT.



WASTE & VENT RISER DIAGRAM

SCALE : NO SCALE

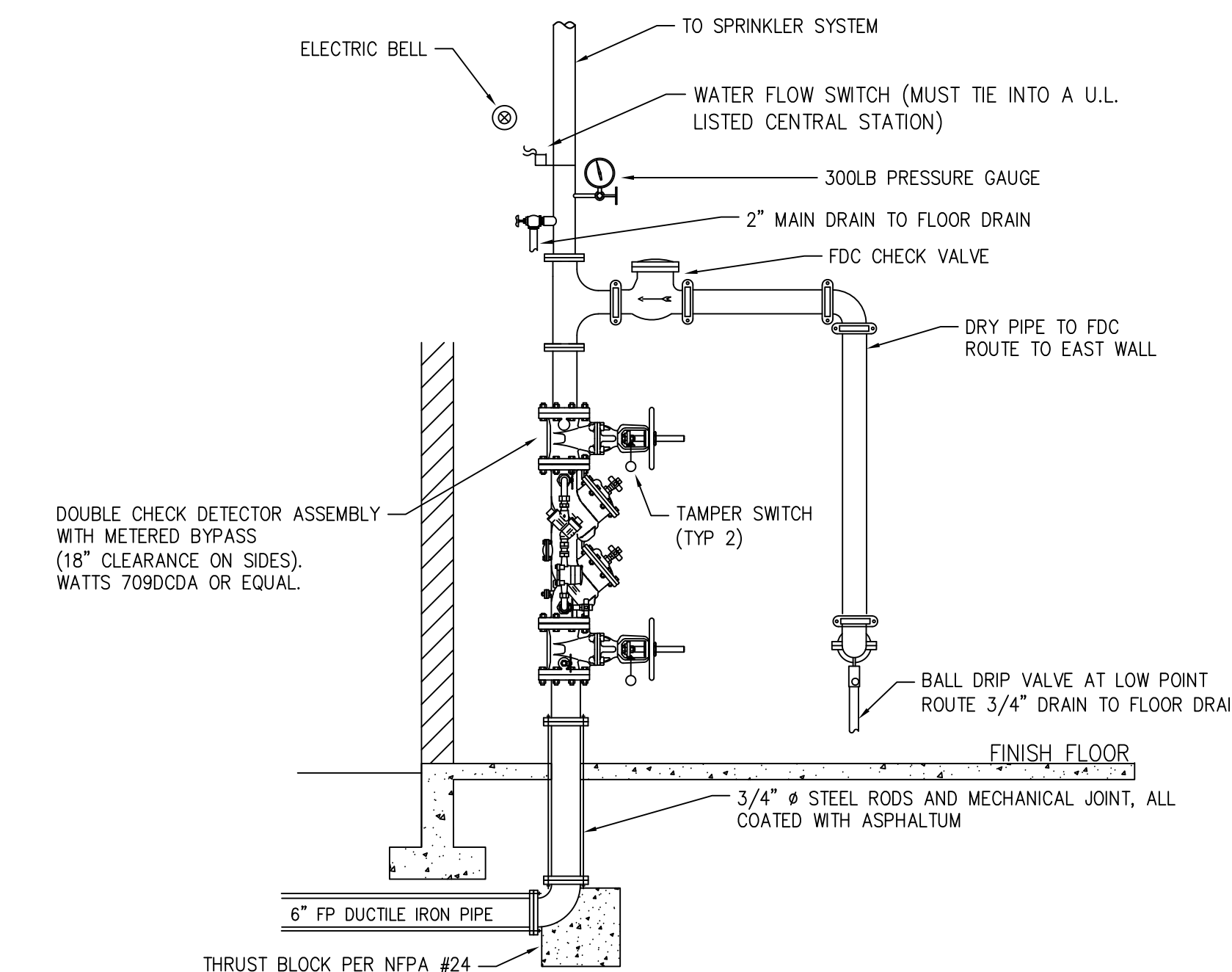
4



DOMESTIC WATER SERVICE ENTRY

SCALE : NO SCALE

3

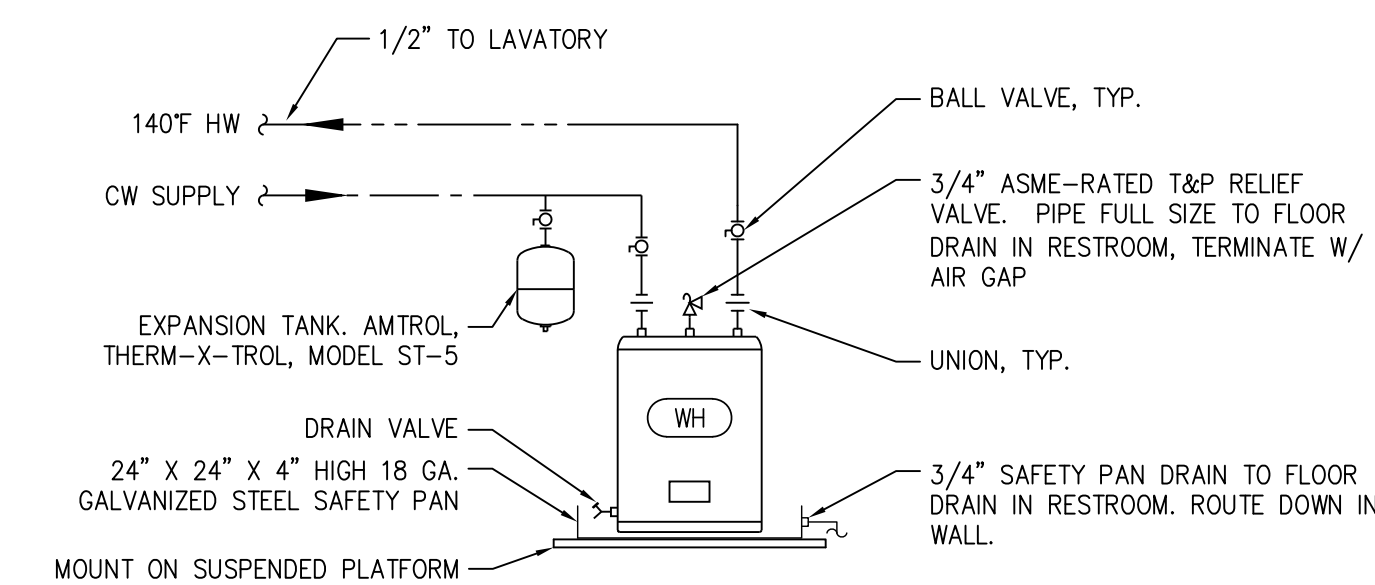


- NOTES:
1) SEE NFPA 13 FOR CONNECTIONS PASSING THROUGH OR UNDER FOUNDATION WALLS.
2) ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE-OF-PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK WALL, 18" ON EACH SIDE, AND 36" CLEAR IN FRONT. ALL VALVES NO MORE THAN 7'-0" AFF.
3) TAMPER SWITCH OR CHAIN & LOCK REQUIRED FOR CONTROL VALVES.
4) MONITORING SYSTEM: PROVIDE A SYSTEM FOR DETECTION OF FLOW AND SUPERVISION OF VALVES, CAPABLE WITH COMMUNICATING WITH OWNER'S MONITORING COMPANY. PROVIDE ALL WIRING. ROUTE COMMUNICATION CABLE TO TELEPHONE EQUIPMENT FOR CONNECTIONS BY OWNER.
5) DRAWING IS SCHEMATIC. ORIENT VALVE SO THAT 36" CLEAR IS IN FRONT OF HANDWHEEL.
6) HORIZONTAL INSTALLATION ALSO ALLOWED.

FIRE SPINKLER RISER - WET PIPE

SCALE : NO SCALE

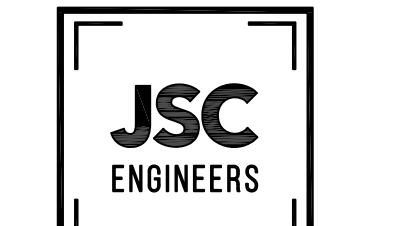
2



ELECTRIC WATER HEATER

SCALE : NO SCALE

1



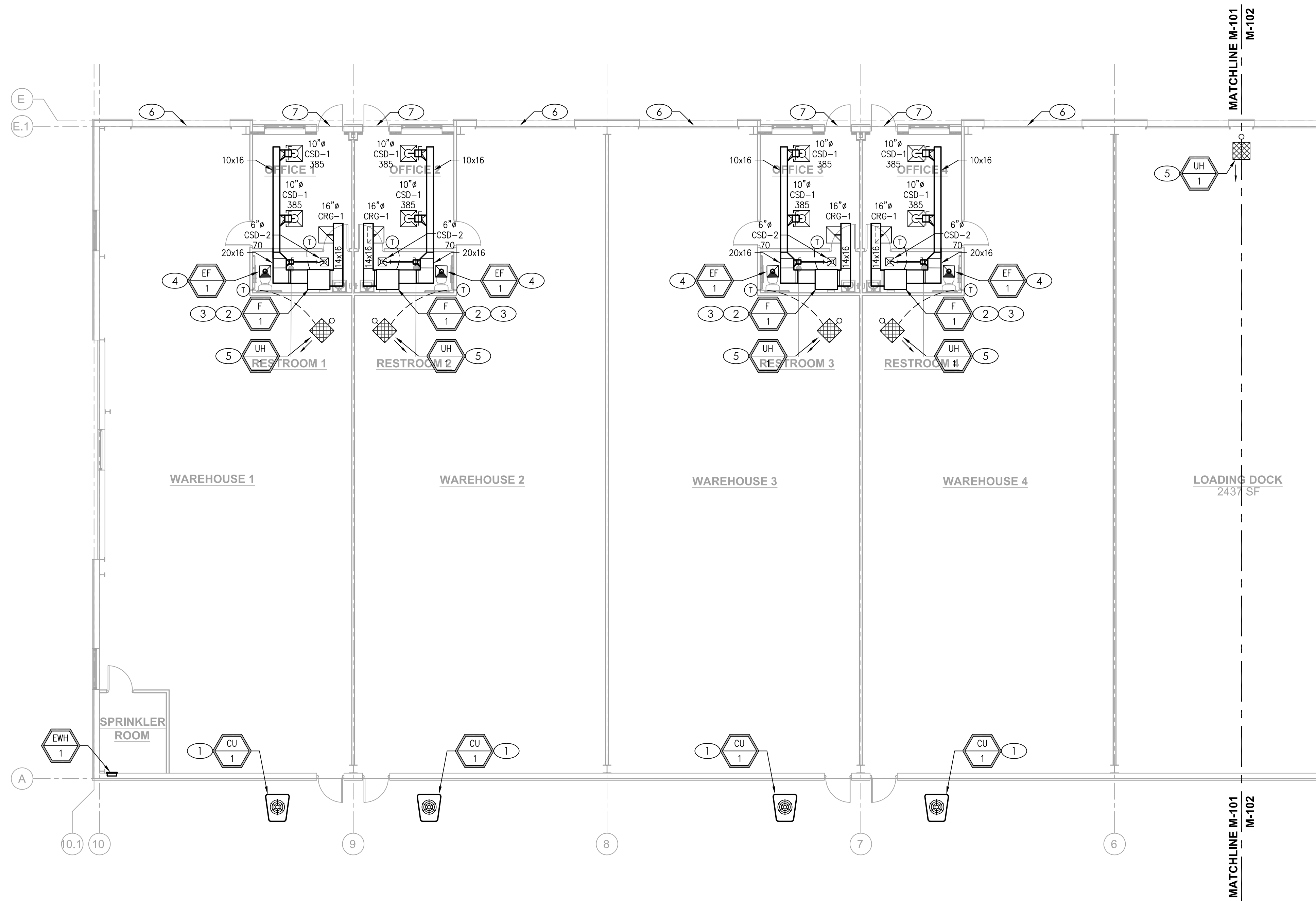
REVISIONS	NO.	DATE / DESCRIPTION

GENERAL NOTES

- A. DRAWINGS ARE DIAGRAMMATIC ONLY AND REPRESENT THE GENERAL SCOPE OF WORK. REVIEW THE GENERAL NOTES, SPECIFICATIONS AND PLANS FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS. NOTIFY ARCHITECT, ENGINEER AND/OR OWNER OF CONFLICTS OR DISCREPANCIES PRIOR TO SUBMISSION OF BID.
- B. COORDINATE INSTALLATION OF MECHANICAL SYSTEMS WITH OTHER TRADES TO ENSURE A NEAT AND ORDERLY INSTALLATION AND AVOID CONFLICTS. INSTALL DUCTWORK AND PIPING AS TIGHT TO STRUCTURE AS POSSIBLE. COORDINATE INSTALLATION OF DUCTWORK AND PIPING TO AVOID CONFLICTS WITH ELECTRICAL PANELS, LIGHTING FIXTURES, ETC. VERIFY DUCT SPACE AVAILABLE ABOVE ALL CEILINGS PRIOR TO ANY FABRICATION OF INSTALLATION.
- C. NEW MECHANICAL EQUIPMENT, DUCTWORK AND PIPING ARE SHOWN AT APPROXIMATE LOCATIONS. FIELD MEASURE FINAL DUCTWORK AND PIPING LOCATIONS PRIOR TO FABRICATION AND MAKE ADJUSTMENTS AS REQUIRED TO FIT THE DUCTWORK AND PIPING WITHIN THE AVAILABLE SPACE. VERIFY THAT FINAL EQUIPMENT LOCATIONS MEET MANUFACTURER'S RECOMMENDATIONS REGARDING SERVICE CLEARANCE AROUND EQUIPMENT.
- D. INSTALL DUCTWORK AND PIPING PARALLEL TO BUILDING COLUMN LINES UNLESS OTHERWISE SHOWN OR NOTED.
- E. OVERHEAD HANGERS AND SUPPORTS FOR EQUIPMENT, DUCTWORK AND PIPING SHALL BE FASTENED TO BUILDING JOISTS OR BEAMS. DO NOT ATTACH HANGERS AND SUPPORTS TO THE ABOVE ROOF.
- F. ALL ROOF AND WALL PENETRATIONS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. PROVIDE ALL REQUIRED SLEEVES, FLASHINGS, CURBS, REINFORCED ANGLES, SUPPORTING FRAMES, ETC. UNLESS THEY ARE SPECIFICALLY CALLED OUT TO BE FURNISHED BY OTHERS.

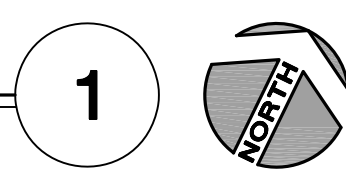
KEYED PLAN NOTES

- 1. CONDENSING UNIT LEVEL AT GRADE ON PREMANUFACTURED PAD. INSTALL PER MANUFACTURER'S INSTRUCTIONS MAINTAINING RECOMMENDED SERVICE CLEARANCES. ROUTE REFRIGERANT LINES THROUGH WALL 18" AFG. WEATHER SEAL REFRIGERANT LINE PENETRATIONS OF BUILDING. PROVIDE ALL NECESSARY VALVES, FILTERS, FITTINGS, ETC. AND MAKE ALL NECESSARY CONNECTIONS TO COOLING COIL.
- 2. MOUNT HORIZONTAL FURNACE AND COIL ABOVE RESTROOM CEILING. TRANSITION DUCTWORK TO UNIT AS REQUIRED. AT RETURN PROVIDE MANUFACTURER'S END RETURN FILTER KIT AND FILTER. ROUTE CONDENSATE DRAINS FROM FURNACE AND COIL TO FLOOR DRAIN BELOW.
- 3. PROVIDE CONCENTRIC VENT FOR FURNACE. INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS. ADHERE TO SIZE AND LENGTH LIMITATIONS. LOCATE VENT A MINIMUM OF 5'-0" FROM OUTSIDE AIR INTAKE. ROUTE TO ROOF OR WALL. COORDINATE LOCATION WITH GC PRIOR TO INSTALLATION.
- 4. CEILING MOUNT EXHAUST FAN. ROUTE 6" EXHAUST DUCT UP THROUGH ROOF TO ROOF CAP. LOCATE A MINIMUM OF 10'-0" FROM ANY OUTSIDE AIR INTAKE. SEAL ROOF PENETRATION WEATHER TIGHT.
- 5. HANG UNIT HEATER 14' AFF FROM OVERHEAD STRUCTURAL STEEL. PROVIDE TYPE 'B' VENT THROUGH ROOF. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 6. VENTILATION AIR FOR WAREHOUSE IS BY OPERABLE WAREHOUSE DOOR. 12'X14' DOOR PROVIDES 168 SQFT OF OPEN AREA. BY THE 4% RULE PER IMC SECTION 402, MIN REQUIRED VENTILATION AREA IS 0.04*2431 SQFT =97.24 SQFT.
- 7. VENTILATION AIR FOR OFFICE IS BY OPERABLE DOOR. 3'X7' DOOR PROVIDES 21 SQFT OF OPEN AREA. BY THE 4% RULE PER IMC SECTION 402, MIN REQUIRED VENTILATION AREA IS 0.04*171 SQFT=6.8 SQFT.



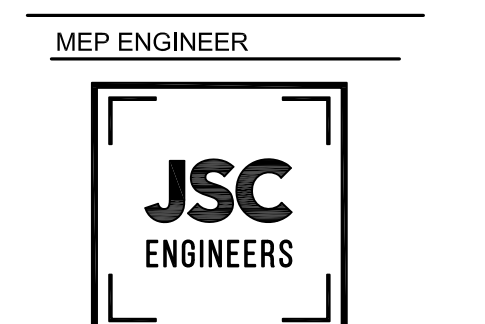
MECHANICAL PLAN - WEST

SCALE : 1/8" = 1'-0"



Certificates of Authority
 Architecture: MO 119 / KS 73
 Engineering: MO 4 / KS 241
 Land Surveying: MO 123 / KS 36

CLIENT
 DAVID WARD
 WARD DEVELOPMENT
 1120 EAGLE RIDGE BLVD
 GRAIN VALLEY, MO 64029
 david@seaflyministorage.com



MEP ENGINEER
 JUSTIN R. SMOTHERS
 PROFESSIONAL ENGINEER
 NUMBER PE-2012003568
 06-11-2021

LOT 10 LAKEWOOD BUSINESS PARK
 LOT 10 I-470 BUSINESS PARK
 LEE'S SUMMIT, MO 64064

REVISIONS	NO.	DATE	DESCRIPTION

PROJECT #: 21-049
 ISSUE DATE: 06/11/2021
 ISSUED FOR: PERMIT

MECHANICAL PLAN WEST

M-101

REVISIONS NO.	DATE / DESCRIPTION

PROJECT #: 21-049
 ISSUE DATE: 06/11/2021
 ISSUED FOR: PERMIT

MECHANICAL PLAN
 EAST

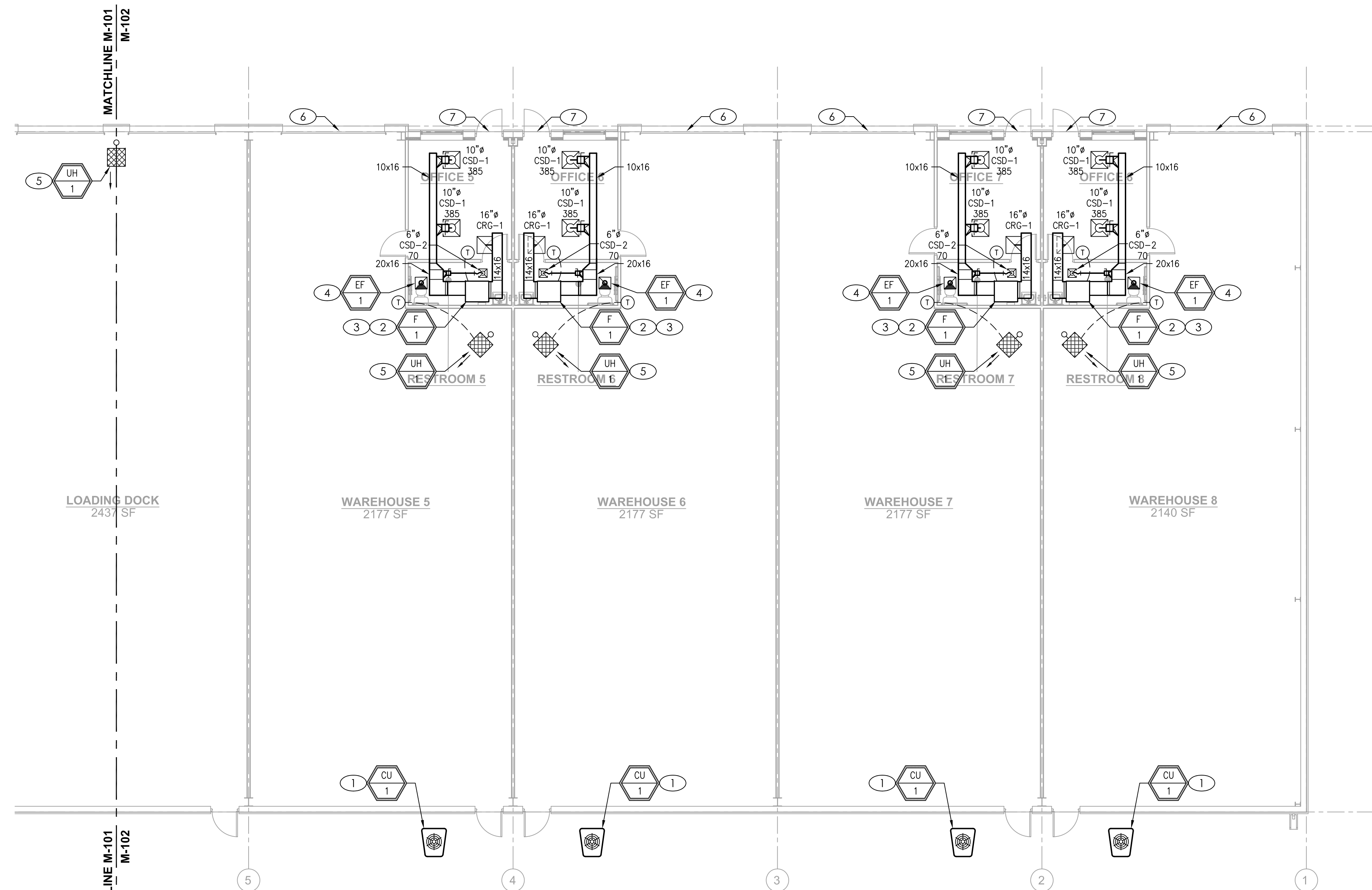
M-102

GENERAL NOTES

- A. DRAWINGS ARE DIAGRAMMATIC ONLY AND REPRESENT THE GENERAL SCOPE OF WORK. REVIEW THE GENERAL NOTES, SPECIFICATIONS AND PLANS FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS. NOTIFY ARCHITECT, ENGINEER AND/OR OWNER OF CONFLICTS OR DISCREPANCIES PRIOR TO SUBMISSION OF BID.
- B. COORDINATE INSTALLATION OF MECHANICAL SYSTEMS WITH OTHER TRADES TO ENSURE A NEAT AND ORDERLY INSTALLATION AND AVOID CONFLICTS. INSTALL DUCTWORK AND PIPING AS TIGHT TO STRUCTURE AS POSSIBLE. COORDINATE INSTALLATION OF DUCTWORK AND PIPING TO AVOID CONFLICTS WITH ELECTRICAL PANELS, LIGHTING FIXTURES, ETC. VERIFY DUCT SPACE AVAILABLE ABOVE ALL CEILINGS PRIOR TO ANY FABRICATION OF INSTALLATION.
- C. NEW MECHANICAL EQUIPMENT, DUCTWORK AND PIPING ARE SHOWN AT APPROXIMATE LOCATIONS. FIELD MEASURE FINAL DUCTWORK AND PIPING LOCATIONS PRIOR TO FABRICATION AND MAKE ADJUSTMENTS AS REQUIRED TO FIT THE DUCTWORK AND PIPING WITHIN THE AVAILABLE SPACE. VERIFY THAT FINAL EQUIPMENT LOCATIONS MEET MANUFACTURER'S RECOMMENDATIONS REGARDING SERVICE CLEARANCE AROUND EQUIPMENT.
- D. INSTALL DUCTWORK AND PIPING PARALLEL TO BUILDING COLUMN LINES UNLESS OTHERWISE SHOWN OR NOTED.
- E. OVERHEAD HANGERS AND SUPPORTS FOR EQUIPMENT, DUCTWORK AND PIPING SHALL BE FASTENED TO BUILDING JOISTS OR BEAMS. DO NOT ATTACH HANGERS AND SUPPORTS TO THE ABOVE ROOF.
- F. ALL ROOF AND WALL PENETRATIONS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. PROVIDE ALL REQUIRED SLEEVES, FLASHINGS, CURBS, REINFORCED ANGLES, SUPPORTING FRAMES, ETC. UNLESS THEY ARE SPECIFICALLY CALLED OUT TO BE FURNISHED BY OTHERS.

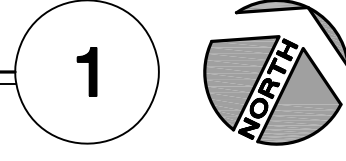
KEYED PLAN NOTES

- 1. CONDENSING UNIT LEVEL AT GRADE ON PREMANUFACTURED PAD. INSTALL PER MANUFACTURER'S INSTRUCTIONS MAINTAINING RECOMMENDED SERVICE CLEARANCES. ROUTE REFRIGERANT LINES THROUGH WALL 18" AFG. WEATHER SEAL REFRIGERANT LINE PENETRATIONS OF BUILDING. PROVIDE ALL RECOMMENDED VALVES, FILTERS, FITTINGS, ETC. AND MAKE ALL NECESSARY CONNECTIONS TO COOLING COIL.
- 2. MOUNT HORIZONTAL FURNACE AND COIL ABOVE RESTROOM CEILING. TRANSITION DUCTWORK TO UNIT AS REQUIRED. AT RETURN PROVIDE MANUFACTURER'S END RETURN FILTER KIT AND FILTER. ROUTE CONDENSATE DRAINS FROM FURNACE AND COIL TO FLOOR DRAIN BELOW.
- 3. PROVIDE CONCENTRIC VENT FOR FURNACE. INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS. ADHERE TO SIZE AND LENGTH LIMITATIONS. LOCATE VENT A MINIMUM OF 5'-0" FROM OUTSIDE AIR INTAKE. ROUTE TO ROOF OR WALL. COORDINATE LOCATION WITH GC PRIOR TO INSTALLATION.
- 4. CEILING MOUNT EXHAUST FAN. ROUTE 6" EXHAUST DUCT UP THROUGH ROOF TO ROOF CAP. LOCATE A MINIMUM OF 10'-0" FROM ANY OUTSIDE AIR INTAKE. SEAL ROOF PENETRATION WEATHER TIGHT.
- 5. HANG UNIT HEATER 14' AFF FROM OVERHEAD STRUCTURAL STEEL. PROVIDE TYPE 'B' VENT THROUGH ROOF. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 6. VENTILATION AIR FOR WAREHOUSE IS BY OPERABLE WAREHOUSE DOOR. 12'X14' DOOR PROVIDES 168 SQFT OF OPEN AREA. BY THE 4% RULE PER IMC SECTION 402, MIN REQUIRED VENTILATION AREA IS 0.04*2431 SQFT =97.24 SQFT.
- 7. VENTILATION AIR FOR OFFICE IS BY OPERABLE DOOR. 3'X7' DOOR PROVIDES 21 SQFT OF OPEN AREA. BY THE 4% RULE PER IMC SECTION 402, MIN REQUIRED VENTILATION AREA IS 0.04*171 SQFT=6.8 SQFT.



MECHANICAL PLAN - EAST

SCALE : 1/8" = 1'-0"



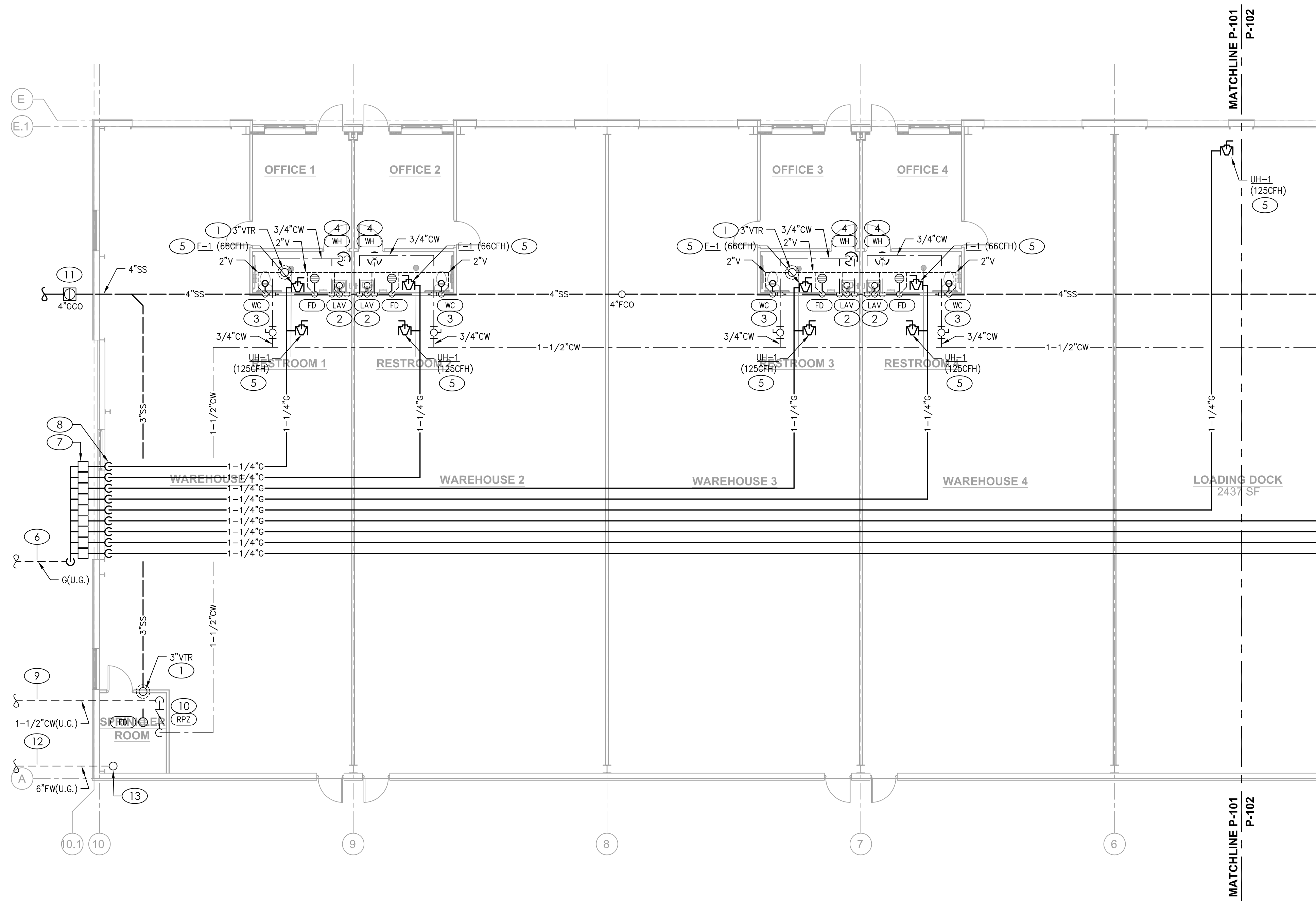
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- B. PROVIDE THE ARCHITECT AND OWNER WITH A COPY OF THE INSPECTION REPORTS AND APPROVAL CERTIFICATES FROM LOCAL AND STATE INSPECTIONS.
- C. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND MOUNTING HEIGHTS OF PLUMBING FIXTURES.
- D. EXACT LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE VERIFIED PRIOR TO ANY INSTALLATION OR CONNECTIONS THEREOF.
- E. COORDINATE PIPE ROUTING AWAY FROM ELECTRICAL PANELS. DO NOT INSTALL PIPING OVER ELECTRICAL PANELS.
- F. COORDINATE THE ROOF PENETRATIONS WITH OTHER TRADES. MAINTAIN 10' MINIMUM CLEARANCE FROM ALL AIR INTAKES. MAINTAIN 3' FROM ALL OTHER EQUIPMENT.
- G. PROVIDE SHIELDED ADAPTOR COUPLINGS FOR CONNECTIONS OF PVC DWV TO CAST IRON SANITARY, WASTE AND VENT PIPE.
- H. REFER TO PLUMBING FIXTURE SCHEDULE FOR MINIMUM BRANCH WASTE AND VENT PIPE SIZING.

KEYED PLAN NOTES

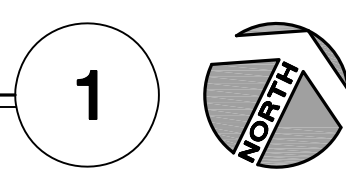
(NOT ALL NOTES NECESSARILY USED ON THIS SHEET)

- 1. NEW VENT THROUGH ROOF (VTR). LOCATE VTR A MINIMUM OF 3'-0" FROM EDGE OF ROOF AND MINIMUM 10'-0" FROM ANY OUTSIDE AIR INTAKE. SEAL PENETRATION WEATHER TIGHT. COORDINATE WITH MECHANICAL CONTRACTOR.
- 2. PROVIDE 1-1/2" V, 2" SS, 1/2" CW AND 1/4" HW IN WALL TO LAV. PROVIDE THERMOSTATIC MIXING VALVE FOR FIXTURE EQUAL TO LEONARD MODEL 170. SET HW SUPPLY WATER TEMPERATURE TO 110°F.
- 3. PROVIDE 2" V, 4" SS, AND 1/2" CW IN WALL TO WATER CLOSET.
- 4. INSTALL WATER HEATER ABOVE CEILING. ROUTE 1/2" CW TO WATER HEATER THEN 1/2" HW FROM WH TO LAVATORY. ROUTE 3/4" T&P RELIEF FROM WATER HEATER TO FLOOR DRAIN WITH AIR GAP. COORDINATE LOCATION WITH MECHANICAL CONTRACTOR PRIOR TO INSTALLATION.
- 5. PROVIDE SHUT-OFF VALVE AND DIRT LEG PRIOR TO EQUIPMENT CONNECTION. COORDINATE EXACT EQUIPMENT LOCATION WITH MECHANICAL CONTRACTOR.
- 6. GAS PIPING TO UTILITY MAIN. TOTAL ESTIMATED GAS LOAD FOR BUILDING IS 1,653 CFH. REFER TO CIVIL PLANS FOR CONTINUATION. CONTRACTOR TO COORDINATE WITH GAS UTILITY FOR INSTALLATION.
- 7. COORDINATE WITH GAS COMPANY FOR INSTALLATION OF METER BANK WITH 9 TENANT METERS. DEMAND FOR EACH METER IS 191 CFH @ 12" W.C.
- 8. ROUTE GAS PIPING THROUGH EXTERIOR WALL THEN UP ON INTERIOR OF WALL. ROUTE TIGHT TO WALL. CONTINUE ROUTING AS SHOWN AT BOTTOM OF JOIST ELEVATION. SEAL WALL PENETRATION WEATHERTIGHT.
- 9. 1-1/2" DOMESTIC COLD WATER TO UTILITY SERVICE. CONTRACTOR SHALL WORK WITH THE WATER COMPANY AND FOR THE INSTALLATION OF A NEW WATER MAIN ENTRANCE, INCLUDING TAP, METER, METER PIT, PIPING, ETC. FOR A COMPLETE INSTALLATION. SEE CIVIL PLANS FOR CONTINUATION. MAINTAIN MINIMUM 48" BURY FOR FREEZE PROTECTION.
- 10. 1-1/2" SHUT-OFF VALVE AND 1-1/2" RPZ BACKFLOW PREVENTER APPROVED FOR DOMESTIC WATER SERVICE. PROVIDE PRESSURE REDUCING VALVE IF SERVICE PRESSURE AT DOMESTIC WATER ENTRY EXCEEDS 75 P.S.I. DOWNSTREAM OF REDUCED PRESSURE BACKFLOW PREVENTER. SEE INSTALLATION DETAIL.
- 11. 4" SANITARY TO UTILITY SERVICE. REFER TO CIVIL PLANS FOR CONTINUATION. PROVIDE 4" GCO AT EXTERIOR OF BUILDING.
- 12. 6" FIRE SERVICE TO MAIN. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
- 13. FIRE RISER. SEE DETAIL ON MP001 FOR GENERAL REQUIREMENTS. COORDINATE WITH FIRE SPRINKLER CONTRACTOR FOR INSTALLATION, SIZING, AND ROUTING OF FIRE DEPARTMENT CONNECTION.



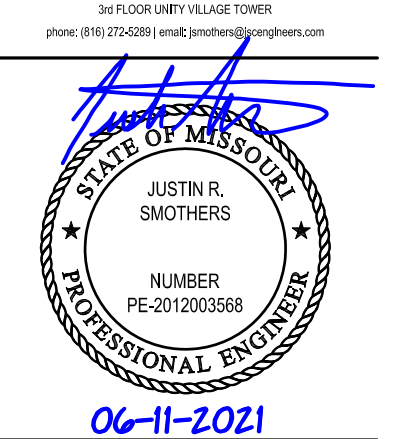
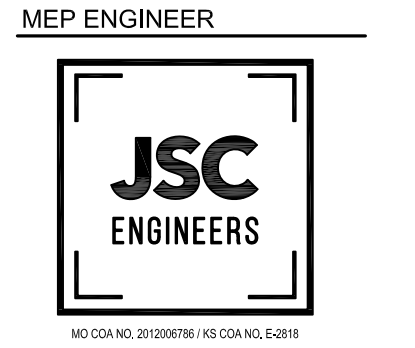
PLUMBING PLAN - WEST

SCALE : 1/8" = 1'-0"



Certificates of Authority
Architecture: MO 119 / KS 73
Engineering: MO 4 / KS 241
Land Surveying: MO 123 / KS 36

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david@seaflyministorage.com



**LOT 10 LAKEWOOD
BUSINESS PARK
LOT 10 1-470 BUSINESS PARK
LEE'S SUMMIT, MO 64064**

REVISIONS NO.	DATE	DESCRIPTION

PROJECT #: 21-049
ISSUE DATE: 06/11/2021
ISSUED FOR:
PERMIT

PLUMBING PLAN
WEST

P-101

REVISIONS NO.	DATE	DESCRIPTION

PROJECT #: 21-049
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 ISSUED FOR:
 PERMIT

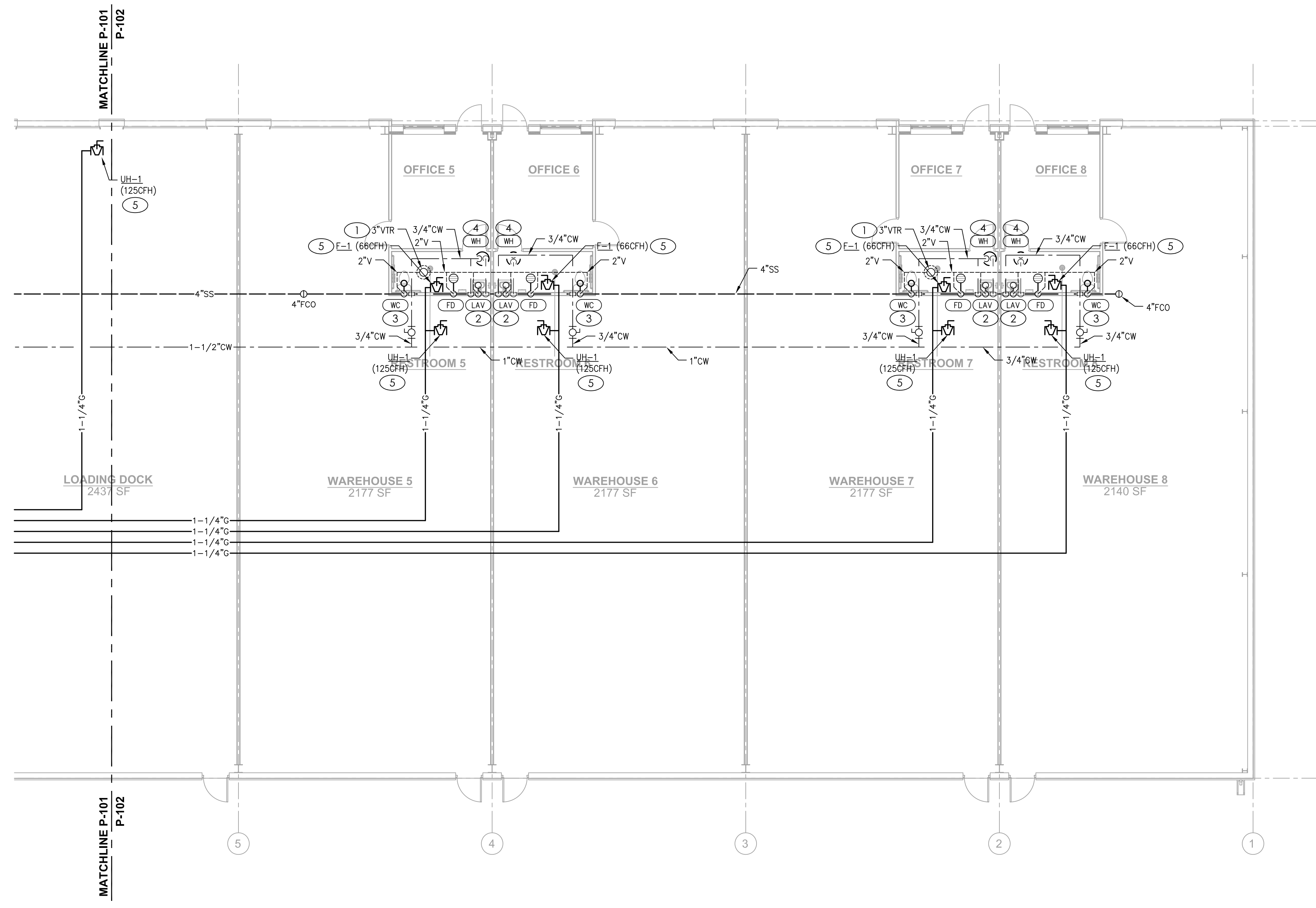
PLUMBING PLAN
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PLUMBING PLAN - EAST

SCALE : 1/8" = 1'-0"



ELECTRICAL SPECIFICATIONS

PART I – GENERAL

A. CONDITIONS

- FURNISH AND INSTALL A COMPLETELY WIRED AND OPERATIONAL ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING BUT NOT LIMITED TO, THESE MAJOR ITEMS:
A. LIGHTING FIXTURES AS INDICATED AND SPECIFIED ON THE PLANS.
B. ELECTRICAL PANELS, SERVICE CONDUIT, WIRING, ETC., FOR ALL OUTLETS AND EQUIPMENT.
C. TELEPHONE, TELEVISION, AND FIRE ALARM, OUTLETS AND CONDUIT AS INDICATED.
- OBTAIN AND REVIEW ALL OTHER DRAWINGS INCLUDING REFLECTED CEILING PLAN, INTERIOR AND EXTERIOR ELEVATIONS, FURNITURE PLANS AND ALL MILL WORK DRAWINGS. COORDINATE INSTALLATION OF ALL ELECTRICAL DEVICES AND EQUIPMENT PRIOR TO ROUGH-IN.
- OBTAIN SUBMITTAL AND SHOP DRAWINGS FROM OTHER TRADES AND EQUIPMENT TO COORDINATE INSTALLATION ACCORDINGLY.
- INSTALLATION SHALL COMPLY WITH ALL CURRENT APPLICABLE CODES AND GOVERNING AGENCIES HAVING JURISDICTION.
- FIRE ALARM SYSTEM, IF REQUIRED PER IBC, SHALL BE DESIGN-BUILD BY OWNER'S/GC'S FIRE ALARM CONTRACTOR. DESIGN SHALL BE IN ACCORDANCE WITH NFPA 72. FIRE ALARM CONTRACTOR SHALL SUBMIT STAMPED DRAWINGS TO AHJ FOR REVIEW AND APPROVAL. FIRE ALARM CONTRACTOR IS RESPONSIBLE FOR TESTING AND VERIFYING THAT THE AUDIBILITY OF THE FIRE ALARM SYSTEM MEETS A MINIMUM OF 15 DBA ABOVE AMBIENT NOISE LEVELS. ADD HORNS WHERE REQUIRED TO MAINTAIN MINIMUM LEVELS.
- PROVIDE FIRE STOP ON ALL PIPING THAT PENETRATES RATED WALLS. METHOD OF FIRE STOP SHALL MEET WALL RATING. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF FIRE RATED WALLS. THIS CONTRACTOR SHALL PROVIDE FIRE RATED ENCLOSURES AROUND ALL ROUGH-IN BOXES, PANELS, ETC. THAT ARE LOCATED IN FIRE RATED WALLS AND SHALL FIRE CAULK ALL OPENINGS IN RATED ASSEMBLIES.

B. RELATED WORK BY OTHERS

- THE ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, TRENCH, AND BACKFILL FOR ELECTRICAL SERVICE ENTRANCE FROM THE MAIN SERVICE TO UTILITY POINT OF ELECTRICAL SERVICE. ELECTRICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE ELECTRICAL SERVICE ENTRANCE WITH SERVING UTILITY COMPANY.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, TRENCH, AND BACKFILL FOR PRIMARY PHONE AND CATV SERVICE FROM THE TELEPHONE TERMINAL BOARD OR CABINET TO THE PHONE COMPANY AND CATV COMPANY POINT OF SERVICE COORDINATE WITH LOCAL UTILITY COMPANIES.

C. CODES, REGULATIONS, AND STANDARDS

- THE INSTALLATION SHALL COMPLY WITH APPLICABLE LOCAL AND STATE CODES AND ORDINANCES, WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND WITH THE REQUIREMENTS OF THE POWER, TELEPHONE, AND CATV COMPANIES FURNISHING SERVICES TO THIS INSTALLATION.
- THE LATEST EDITIONS OF THE FOLLOWING INDUSTRY STANDARDS, SPECIFICATIONS, AND CODES ARE MINIMUM REQUIREMENTS:
A. THE NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION STANDARDS.
B. THE NATIONAL ELECTRICAL CODE, INCLUDING LOCAL AMENDMENTS.
C. UNDERWRITER LABORATORIES INCORPORATED STANDARDS.
D. AMERICAN NATIONAL STANDARDS INSTITUTE.
E. INTERNATIONAL BUILDING CODE.

D. INSPECTION OF SITE

- PRIOR TO SUBMITTING A BID FOR ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED CONSTRUCTION AND SHALL THOROUGHLY ACQUAINT HIMSELF WITH EXISTING UTILITIES, AND WORKING CONDITIONS TO BE ENCOUNTERED, ETC. ALLOWANCE WILL NOT BE MADE FOR NONCOMPLIANCE WITH THIS CONDITION AFTER BIDDING.
- ELECTRICAL INSTALLATION SHALL MEET THE EXISTING CONDITIONS.

E. STORAGE AND HANDLING OF MATERIAL

- DELIVER MATERIALS AND EQUIPMENT TO THE PROJECT IN THE MANUFACTURER'S ORIGINAL, UNOPENED, LABELED CONTAINERS. PROTECT AGAINST MOISTURE, TAMPERING, OR DAMAGE FROM IMPROPER HANDLING OR STORAGE. CONTRACTOR SHALL PROTECT AND BE RESPONSIBLE FOR ANY DAMAGE TO WORK OR MATERIALS UNTIL FINAL ACCEPTANCE BY THE OWNER, AND SHALL MAKE GOOD WITHOUT COST TO THE OWNER, ANY DAMAGE OR LOSS THAT MAY OCCUR DURING THIS PERIOD.
- ARRANGE FOR TIMELY DELIVERY OF MATERIALS AND EQUIPMENT TO THE JOB SITE IN ORDER TO MINIMIZE THE LENGTH OF TIME BETWEEN DELIVERY AND INSTALLATION.
- COVER AND PROTECT ANY MATERIAL WHICH MAY BE AFFECTED BY THE WEATHER WHILE IN TRANSIT OR STORED AT THE PROJECT SITE. ANY MATERIAL FOUND DEFECTIVE OR NOT INSTALLED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS MAY BE REJECTED BY THE ENGINEER.

F. CLEANUP

- KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS, OR RUBBISH CAUSED BY EMPLOYEES OR WORK UNDER THIS DIVISION OF THE SPECIFICATIONS. AT THE COMPLETION OF THE WORK REMOVE ALL SURPLUS MATERIALS, TOOLS, ETC., AND LEAVE THE PREMISES BROOM-CLEAN.

G. EXCAVATION, CUTTING, AND FITTING

- PERFORM ALL EXCAVATION AND BACK FILLING REQUIRED FOR WORK PERFORMED UNDER THIS DIVISION OF THE SPECIFICATIONS. USE EXCAVATED MATERIALS FOR BACKFILL UNLESS OFF-SITE MATERIALS ARE DEEMED NECESSARY.
- PERFORM THE EXCAVATION, CUTTING, FITTING, REPAIRING, AND FINISHING OF THE WORK NECESSARY FOR THE INSTALLATION OF THE EQUIPMENT OF THIS SECTION. HOWEVER, NO CUTTING OF THE WORK OF OTHER TRADES OR OF ANY STRUCTURAL MEMBERS SHALL BE DONE WITHOUT THE CONSENT OF THE ARCHITECT.

H. DRAWINGS

- THE DRAWINGS INDICATE THE GENERAL ARRANGEMENT AND LOCATIONS OF THE ELECTRICAL WORK DATA PRESENTED ON THESE DRAWINGS ARE AS ACCURATE AS PLANNING CAN DETERMINE, BUT FIELD VERIFICATION OF ALL DIMENSIONS, LOCATIONS, LEVELS, ETC., TO SUIT FIELD CONDITIONS IS REQUIRED. REVIEW ALL ARCHITECTURAL, STRUCTURAL, AND MECHANICAL DRAWINGS AND ADJUST ALL WORK TO MEET THE REQUIREMENTS OF CONDITIONS SHOWN. THE ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER ALL OTHER DRAWINGS. DISCREPANCIES BETWEEN DIFFERENT PLANS, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR REGULATIONS AND CODES GOVERNING THE INSTALLATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING BEFORE THE DATE OF BID OPENING. IF DISCREPANCIES ARE NOT REPORTED, THE CONTRACTOR SHALL BID THE GREATER QUANTITY OR BETTER QUALITY, AND APPROPRIATE ADJUSTMENTS WILL BE MADE AFTER CONTRACT AWARD. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD MEASURE AND CONFIRM MOUNTING HEIGHTS AND LOCATION OF ELECTRICAL EQUIPMENT WITH RESPECT TO COUNTERS, RADIATION, ETC. DO NOT SCALE DISTANCES OFF THE ELECTRICAL DRAWINGS; USE ACTUAL BUILDING DIMENSIONS.

I. COOPERATION WITH OTHER CONTRACTORS

- COOPERATE WITH THE OTHER TRADES SO THAT THE INSTALLATION OF THE ELECTRICAL OUTLETS AND EQUIPMENT WILL BE PROPERLY COORDINATED. CONDUIT, LIGHTING FIXTURES, AND OTHER EQUIPMENT LOCATIONS SHALL BE VERIFIED WITH OTHER TRADES TO AVOID CONFLICT WITH THE PIPING, DUCTWORK, STEEL, BEAMS, OR OTHER OBSTRUCTIONS.
- CAREFULLY VERIFY THE LOCATIONS OF THE OUTLET BOXES AND DETERMINE THAT THEY HAVE NOT BEEN DISTURBED DURING THE INSTALLATION OF MATERIALS OF OTHER TRADES.
- COORDINATE THE LOCATION OF THE TRENCHES AND CONDUITS FOR ELECTRICAL AND TELEPHONE UTILITY SERVICES WITH THE GENERAL CONTRACTOR.
- COORDINATE HVAC AND PLUMBING EQUIPMENT CONNECTION REQUIREMENTS WITH HVAC AND PLUMBING CONTRACTORS.

J. RECORD DRAWINGS

- THE ELECTRICAL CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE JOB SITE FOR THE EXCLUSIVE PURPOSE OF MAINTAINING A RECORD OF ALL WORK INSTALLED AND TO SHOW ANY DEVIATIONS FROM THE WORK INDICATED ON THE DRAWINGS.
- AT THE COMPLETION OF THE PROJECT, ONE SET OF REPRODUCIBLE DRAWINGS, SHOWING ALL RECORD CONDITIONS, SHALL BE DELIVERED TO THE OWNER FOR ACCEPTANCE PRIOR TO FINAL PAYMENT.

PART II – PRODUCTS AND EXECUTION

A. MATERIALS

- ALL MATERIALS SHALL BE NEW AND OF QUALITY AS SPECIFIED ON THE PLANS OR SPECIFICATIONS AND MUST CARRY THE UNDERWRITER'S LABORATORIES APPROVAL COVERING THE PURPOSE FOR WHICH THEY ARE USED, IN ADDITION TO MEETING ALL REQUIREMENTS OF THE CURRENT APPLICABLE CODES AND REGULATIONS.

B. SHOP DRAWINGS AND APPROVALS

- THE ITEMS SPECIFIED HEREIN AND ON DRAWINGS ARE USED AS A STANDARD OF QUALITY. ANY MATERIALS OF EQUAL QUALITY AND AESTHETIC VALUE WILL BE GIVEN CONSIDERATION AS A SUBSTITUTE FOR THE MATERIALS SPECIFIED. NO APPROVAL WILL BE GIVEN TO A SPECIFIC CATALOG NUMBER, MODEL, OR TYPE OF EQUIPMENT, PRIOR TO BIDDING. AFTER BIDDING, THE DECISION OF THE ARCHITECT AND/OR ENGINEER DETERMINING EQUAL MATERIALS WILL BE FINAL.

- THE CONTRACTOR SHALL SUBMIT SEVEN (7) IDENTICAL BOUND SETS OF SHOP DRAWINGS ON THE FOLLOWING ITEMS:
A. LIGHTING FIXTURE CUTS AND PERFORMANCE DATA.
B. OUTLINE DRAWINGS AND DATA SHEETS OF EACH PANELBOARD, LOAD CENTERS, AND DISTRIBUTION PANELS.
C. OUTLINE DRAWINGS OF ALL SWITCH GEAR COMPONENTS.
D. WIRING DEVICES AND COVER PLATES.
E. ALL CIRCUIT BREAKERS INSTALLED IN PANELBOARDS, LOAD CENTERS, AND DISTRIBUTION PANELS.
SUBMIT ITEMS AT ONE TIME IN A NEAT AND ORDERLY MANNER WITHIN 15 DAYS OF AWARD OF CONTRACT. PARTIAL SUBMITTALS WILL NOT BE ACCEPTABLE.

C. SYSTEM GROUNDING

- GROUNDING SHALL COMPLY WITH REQUIREMENTS OF ARTICLE 250. ALL EXPOSED NONCURRENT CARRYING METALLIC PARTS OF ELECTRICAL EQUIPMENT, METALLIC RACEWAY SYSTEMS, METALLIC CABLE ARMOR, GROUNDING CONDUCTOR OF NONMETALLIC SHEATHED CABLES, GROUNDING CONDUCTOR IN NONMETALLIC RACEWAYS, AND GROUNDED CONDUCTORS OF THE WIRING SYSTEM SHALL BE GROUNDED.
- GROUNDING CONDUCTOR (NEUTRAL) OF THE WIRING SYSTEM SHALL BE CONNECTED TO THE SYSTEM GROUNDING CONDUCTOR AT A SINGLE PLACE IN EACH SYSTEM BY REMOVABLE BONDING JUMPERS, SIZED ACCORDING TO THE APPLICABLE PROVISIONS OF THE NATIONAL ELECTRICAL CODE. THE GROUNDED CONDUCTOR (NEUTRAL) TO THE GROUNDING CONDUCTOR CONNECTION SHALL BE LOCATED IN THE ENCLOSURE FOR THE SYSTEM'S OVERCURRENT PROTECTION OR WHERE OTHERWISE INDICATED ON THE PLANS OR SPECIFICATIONS.
- A GROUND BUS SEPARATE FROM THE NEUTRAL BUS SHALL BE PROVIDED IN ALL DISTRIBUTION PANELS AND PANELBOARDS. PROPER TORQUE ON GROUND BUS SHALL BE VERIFIED, PER MANUFACTURER'S RECOMMENDATIONS, PRIOR TO ENERGIZING EQUIPMENT.
- GROUND BUSES AND NEUTRAL BUSES IN ALL DISTRIBUTION PANELS, LOAD CENTERS, PANELBOARDS, AND THOSE PROVIDED IN ANY EQUIPMENT SHALL BE ISOLATED EXCEPT WHERE REQUIRED TO BE CONNECTED AS SPECIFIED ABOVE FOR THE SERVICE ENTRANCE.
- WHEN INDICATED ON THE DRAWINGS, EQUIPMENT GROUNDING CONDUCTORS SHALL BE EXTENDED FROM THE GROUND BUS IN THE DISTRIBUTION EQUIPMENT TO THE RECEPTACLE, FIXTURE OR DEVICE LUGS WHERE THEY ARE PROVIDED. WHERE LUGS ARE NOT PROVIDED, EQUIPMENT GROUNDING CONDUCTORS SHALL BE CONNECTED TO EQUIPMENT ENCLOSURES. THE CONNECTIONS SHALL BE ARRANGED SUCH THAT THE REMOVAL OF THE RECEPTACLE, EQUIPMENT GROUND CONDUCTORS, OR GROUND JUMPERS FROM GROUND BUSING SHALL NOT AFFECT THE GROUND SYSTEM.
- RACEWAYS MAY NOT BE USED AS A GROUNDING CONDUCTOR FOR POWER AND LIGHTING CIRCUITS. ALL CONDUIT SHALL HAVE SEPARATE CODE SIZED GREEN GROUND WIRE INSTALLED IN THE CONDUIT TO INSURE A CONTINUOUS GROUNDING PATH.
- IN INACCESSIBLE LOCATIONS, MAKE CONNECTIONS BY EXOTHERMIC WELD PROCESS.
- IN ACCESSIBLE LOCATIONS, CONNECTIONS SHALL BE MADE WITH BOLTED THROUGH, APPROVED SOLDERLESS BRONZE GROUNDING DEVICES.

D. WIRE

- CONDUCTOR SIZES SHOWN ON THE DRAWINGS ARE BASED ON COPPER WIRE. UNLESS OTHERWISE SPECIFIED, ALL WIRE SHALL BE TYPE XHHW OR SE FOR FEEDERS OR BRANCH CIRCUITS LARGER THAN 4 AWG, TYPE THHN/THWN INSULATION FOR FEEDERS AND BRANCH CIRCUITS 4 AWG AND SMALLER. ALL BRANCH CIRCUIT WIRING SHALL BE COPPER.
- ALUMINUM CONDUCTORS MAY BE UTILIZED FOR SERVICE ENTRANCE AND PANEL FEEDERS. CONDUCTORS SHALL BE ALUMINUM ALLOW AA-8000 SERIES.
- THE WIRES SHALL BE MARKED WITH COLOR TO SIMPLIFY CIRCUIT IDENTIFICATION. UNLESS OTHERWISE REQUIRED BY LOCAL ORDINANCES GROUND WIRES SHALL BE GREEN, NEUTRAL WIRES SHALL BE 120V-WHITE, AND LIVE WIRES 208Y/120V AND 120/240 SHALL BE BLACK (PHASE A), RED (PHASE B), AND BLUE (PHASE C). CIRCUIT SHALL BE LABELED IN EACH J-BOX.
- ALL CONDUCTORS SHALL BE RATED 600 VOLT.
- SPLICES IN EXTERIOR PULL BOXES AND MANHOLES SHALL BE WEATHERPROOF USING "SCOTCHCAST" SPURCE KIT OR APPROVED EQUAL. SEAL ENDS OF CONDUITS AND DUCTS WITH "DUCTISEAL" OR APPROVED EQUAL.
- PROVIDE SOLID CONDUCTOR FOR 12 AWG AND SMALLER.
- NO WIRE SHALL BE INSTALLED IN THE CONDUIT SYSTEM UNTIL THE CONDUIT SYSTEM IS COMPLETE. USE MINERALAC NO. 100 OR EQUIVALENT AS A LUBRICANT TO FACILITATE THE INSTALLATION OF THE CONDUCTORS IN THE CONDUIT SYSTEM.
- MC CABLE WITH COPPER CONDUCTORS AND GROUND WIRE MAY BE USED WHERE PERMITTED.

E. CONDUIT

- ALL WIRING SHALL BE INSTALLED IN LISTED METALLIC CONDUIT EXCEPT AS PERMITTED IN OTHER SECTIONS. RGS, WITH A 20 MIL PVC COATING WILL BE USED WHEN IN CONTACT WITH EARTH. IMC MAY BE USED IN INDOOR LOCATIONS NOT IN CONTACT WITH THE EARTH. EMT MAY BE USED IN INDOOR LOCATIONS NOT IN CONTACT WITH EARTH, NOT IN CONCRETE SLABS OR WALLS AND NOT SUBJECT TO DAMAGE. PVC MAY BE USED IN OR BELOW CONCRETE AND DIRECT BURIED IN EARTH. FLEXIBLE STEEL CONDUIT SHALL BE USED FOR INDOOR FINAL CONNECTIONS TO EQUIPMENT IN LENGTHS NOT TO EXCEED 72". LIQUID-TIGHT FLEXIBLE STEEL CONDUIT SHALL BE FOR OUTDOOR FINAL CONNECTIONS TO EQUIPMENT NOT TO EXCEED 48".
- WHERE CONDUIT ENTERS OUTLET BOXES, FIXTURES OR CABINETS, FIRMLY FASTEN WITH STEEL SET SCREW, COMPRESSION CONNEXORS, OR DOUBLE LOCKWALTS FOR GRC. ALL CONNECTIONS SHALL HAVE BUSHINGS OR INSULATED THROAT CONNEXORS. FIRMLY FASTEN CONDUIT TO THE BUILDING CONSTRUCTION. RUN EXPOSED CONDUIT PARALLEL TO THE BUILDING LINES, SUPPORTED BY APPROPRIATE HANGERS (UNISTRUT, T & B OR APPLETON, OR EQUAL).
- COVER METALLIC CONDUIT IN CONTACT WITH EARTH WITH POLYETHYLENE TAPED SPIRAL WRAPPED, 1/2 LAPPED TO PROVIDE 20 MIL THICKNESS. TAPE SHALL BE SCOTCH NO. 50 TAPE. CONDUIT AND DUCTS NOT UNDER BUILDINGS AND FEEDER DUCTS SHALL BE INSTALLED PER N.E.C. 300-5. MAKE JOINTS WITH COMPOUND TO BE WATERTIGHT.
- SCHEDULE 40 PVC CONDUIT SHALL BE PERMITTED UNDERGROUND WITH PROPER FITTINGS. ALL UL APPROVED AND CEMENTED JOINTS. PENETRATIONS THROUGH FLOOR SLABS AND BENDS GREATER THAN 22" SHALL BE WRAPPED RIGID GALVANIZED STEEL ELBOWS.
- FITTINGS AND CONDUIT BODIES SHALL BE STEEL. DIECAST FITTINGS ARE NOT ACCEPTABLE.
- CONDUIT SIZES SHALL BE AS REQUIRED BY CODE AND AS INDICATED OR SPECIFIED.
- ALL EMPTY CONDUIT SYSTEMS SHALL HAVE A 200 LB. TEST NYLON PULL STRING TO FACILITATE INSTALLATION OF FUTURE WIRING.
- WIRING, CONDUITS, AND OUTLETS SHALL BE CONCEALED WITH THE BUILDING STRUCTURE, EXCEPT THAT CERTAIN MOTOR AND LIGHTING FEEDER CONDUITS MAY BE RUN EXPOSED IN CERTAIN AREAS AS INDICATED ON THE DRAWINGS.
- CONDUIT PENETRATION THROUGH ROOF SHALL HAVE ROOF FLASHING WITH CAULK TYPE COUNTER FLASHING SLEEVE. INSTALLATION SHALL BE WATERTIGHT.
- CONDUITS SHALL BE ROUTED PARALLEL AND PERPENDICULAR TO THE STRUCTURE.

F. OUTLET, PULL, AND JUNCTION BOXES

- ALL JUNCTION AND OUTLET BOXES CONCEALED IN WALLS SHALL BE STEEL.
- BOXES INSTALLED IN POURED CEMENT FLOORS SHALL BE FLUSH TYPE CAST IRON OR STEEL WITH WATERTIGHT GASKETED COVERS. WHERE BOXES ARE INSTALLED IN FLOORS WITH TILE OR CARPET FLOOR COVERING, COVERS SHALL BE OF THE RECESSIVE TYPE TO ACCOMMODATE THE FLOOR COVERING.
- BOXES INSTALLED FOR THE ALARM, COMPUTER, AND SECURITY SYSTEM SHALL BE PROVIDED WITH APPROPRIATE COVER PLATES.
- BOXES FOR TELEPHONE, COMPUTER, T.V., FIRE ALARM, SECURITY, AND SIMILAR SYSTEMS SHALL BE MINIMUM 2-1/8" DEEP.

G. WIRING DEVICES (COMMERCIAL)

- WALL SWITCHES SHALL BE SPECIFICATION GRADE AC SILENT TYPE SWITCHES, 20A 120/277 VOLT.
- RECEPTACLES SHALL BE SPECIFICATION GRADE, DUPLEX TYPE, NEMAS-20R, 20 AMPERE, 120VOLT, GROUNDED TYPE. SPECIAL APPLICATION RECEPTACLES SHALL BE INDICATED ON PLANS. MOUNT WITH THE GROUND DOWN.
- DEVICE PLATES SHALL BE EQUAL TO SIERRA SMOOTH-LINE PLASTIC WALL PLATES. COLOR SHALL BE WHITE, UNLESS OTHERWISE NOTED.
- RECEPTACLES IN OUTDOOR AND HET LOCATIONS SHALL BE INSTALLED WITH A HINGED OUTLET COVER/ENCLOSURE CLEARLY MARKED AND U.L. LISTED SUITABLE FOR MET LOCATIONS WHILE IN USE, EQUAL TO TAYMAC SPECIFICATION GRADE.

H. SERVICE ENTRANCE SECTION

- THE SERVICE ENTRANCE EQUIPMENT SHALL BE AS INDICATED ON THE DRAWINGS. EQUIPMENT SHALL CARRY THE U.L. LABEL AND SHALL CONFORM TO THE POWER COMPANY REGULATIONS.
- SERVICE ENTRANCE EQUIPMENT SHALL BE PROVIDED WITH A FULLY RATED COPPER OR ALUMINUM BUS. HORIZONTALLY-TAPERED BUSSING SHALL NOT BE ALLOWED.

I. DISTRIBUTION PANELS

- DISTRIBUTION PANELS SHALL BE PROVIDED WITH FULLY RATED COPPER OR ALUMINUM BUS. HORIZONTAL TAPERED BUSSING SHALL NOT BE ALLOWED

- ACCEPTABLE MANUFACTURERS – CUTLER HAMMER, SEIMENS, SQUARE D OR GENERAL ELECTRIC
- FACTORY ASSEMBLED DEAD FRONT, METAL ENCLOSED, AND SELF-SUPPORTING SWITCH BOARD ASSEMBLY CONFORMING T NEMA PB 2 AND UL 891, AND COMPLETE FROM INCOMING LINE TERMINALS TO LOAD SIDE TERMINATIONS.
- LINE AND LOAD TERMINATIONS: ACCESSIBLE FROM FRONT ONLY OF THE SWITCH BOARD. SUITABLE FOR CONDUCTOR MATERIALS AND NUMBER OF CONDUCTORS USED.
- BUS CONNECTIONS: BOLTED, ACCESSIBLE FROM FRONT FOR MAINTENANCE. PROVIDE BELLEVILLE WASHERS FOR PROPERLY TORQUE ALL CONNECTIONS
- PROVIDE FULLY-RATED NEUTRAL BUS AND FULLY RATED GROUND BUS MATCHING MATERIAL USED FOR MAIN BUS.
- FUTURE PROVISIONS: FULLY EQUIP SPACES FOR FUTURE DEVICES WITH BUSSING AND BUS CONNECTIONS SUITABLY INSULATED AND BRACED FOR SHORT CIRCUIT CURRENTS. CONTINUOUS CURRENT RATING AS INDICATED ON DRAWINGS OR BIDDING.
- ALL CIRCUIT BREAKERS SHALL BE BOLT-ON TYPE.

J. PANEL BOARDS

- CIRCUIT BREAKER TYPE AS INDICATED ON DRAWINGS. UNLESS INDICATED OTHERWISE, ALL PANELS SHALL HAVE PANEL BOARD TYPE CONSTRUCTION WITH BOLT-ON CIRCUIT BREAKERS FOR 3Ø PANELS.
- MANUFACTURERS SHALL BE GENERAL ELECTRIC, SQUARE D, SEIMENS, CUTLER-HAMMER WITH VOLTAGE, SIZES, AND RATINGS AS INDICATED ON DRAWINGS.
- THE CIRCUIT BREAKERS SHALL BE OPERABLE IN ANY POSITION AND BE REMOVABLE FROM THE FRONT OF THE PANEL BOARD WITHOUT DISTURBING THE ADJACENT UNITS. BRANCH BREAKERS SHALL BE OF SUCH DESIGN THAT COMBINATION OF SINGLE-POLE, DOUBLE-POLE, AND THREE-POLE BREAKERS CAN BE ASSEMBLED ON THE SAME PANEL. EACH BRANCH CIRCUIT SHALL BE CLEARLY NUMBERED. BRANCH AND MAIN TERMINALS SHALL BE OF THE SOLDERLESS TYPE. HANDLE TIES TO FORM MULTI-POLE BREAKERS NOT ACCEPTABLE.

K. LOAD CENTER

- CIRCUIT BREAKER TYPE AS INDICATED ON DRAWINGS. MANUFACTURERS SHALL BE GENERAL ELECTRIC, SQUARE D, SEIMENS, CUTLER-HAMMER/EATON WITH VOLTAGE, SIZES, AND RATINGS AS INDICATED ON DRAWINGS.
- THE CIRCUIT BREAKERS SHALL BE OPERABLE IN ANY POSITION AND BE REMOVABLE FROM THE FRONT OF THE PANEL BOARD WITHOUT DISTURBING THE ADJACENT UNITS. BRANCH BREAKERS SHALL BE OF SUCH DESIGN THAT COMBINATION OF SINGLE-POLE AND DOUBLE-POLE BREAKERS CAN BE ASSEMBLED ON THE SAME PANEL. EACH BRANCH CIRCUIT SHALL BE CLEARLY NUMBERED. BRANCH AND MAIN TERMINALS SHALL BE OF THE SOLDERLESS TYPE. HANDLE TIES TO FORM MULTI-POLE BREAKERS NOT ACCEPTABLE.
- A CIRCUIT BREAKERS SHALL BE PLUG-IN TYPE.
- WIRE TERMINATION FOR PANEL BOARDS AND CIRCUIT BREAKERS SHALL BE LISTED AS SUITABLE FOR 75 DEGREES C.
- PROVIDE A TYPEWRITTEN CIRCUIT INDEX BEHIND CLEAR PLASTIC COVER ON INSIDE OF DOOR. INFORMATION SHALL INCLUDE ROOM AND TYPE LOAD SERVED. ALL CIRCUIT BREAKERS SHALL BE IDENTIFIED, INCLUDING SPARES. INDEX CARD FRAME SHALL BE METAL, SECURED TO DOOR.
- PANEL BOARDS/LOAD CENTERS TO BE PROVIDED WITH COPPER BUSSING ONLY.

L. LIGHTING FIXTURES

- PROVIDE ALL LIGHTING FIXTURES, WIRED AND CONNECTED. THE DRAWINGS INDICATE THE FIXTURES FOR EACH LOCATION. PROVIDE LAMPS FOR ALL FIXTURES. THE LAMPS SHALL BE BY THE SAME MANUFACTURER. VERIFY CEILING CONSTRUCTION BEFORE ORDERING RECESSED UNITS. PROVIDE PLASTER FRAMES AND HANGERS AS REQUIRED. CEILING CONSTRUCTION, ARCHITECTURAL ACCESSORIES, VOLTAGE, AND BALLASTS TO MEET THE EXISTING CEILING CONDITION.

M. LIGHTING CONTROL

- FURNISH AND INSTALL TIME SWITCHES, PHOTOCELLS, CONTRACTORS AND FULL LIGHTING CONTROL SYSTEMS AS REQUIRED FOR LIGHTING CONTROLS INDICATED ON THE DRAWINGS.
- TIME SWITCHES SHALL BE EQUAL TO PARAGON, GENERAL ELECTRIC, TORK, OR INTERMATIC AND SHALL HAVE SIZE AND NUMBER OF POLES AS REQUIRED.
- PHOTOCELLS SHALL BE EQUAL TO TORK OR INTERMATIC WITH VOLTAGE AS INDICATED.

N. TELEPHONE AND CABLE TELEVISION SYSTEMS

- TELEPHONE WALL OUTLETS SHALL CONSIST OF STANDARD BOXES MOUNTED 18" ABOVE THE FLOOR UNLESS OTHERWISE INDICATED. PROVIDE A TERMINAL MOUNTING BOARD FOR THE INCOMING SERVICE CABLE.
- CABLE TELEVISION OUTLETS SHALL CONSIST OF STANDARD BOXES MOUNTED 18" ABOVE THE FLOOR UNLESS OTHERWISE INDICATED. PROVIDE A TERMINAL MOUNTING BOARD FOR THE INCOMING SERVICE CABLE.

O. GUARANTEE

- GUARANTEE ALL MATERIAL FURNISHED AND ALL WORKMANSHIP PERFORMED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF WORK. ANY DEFECTS DEVELOPING WITHIN THIS PERIOD, TRACEABLE TO MATERIAL FURNISHED AS A PART OF THIS SECTION OR WORKMANSHIP PERFORMED HEREUNDER, SHALL BE MADE GOOD AT NO EXPENSE TO THE OWNER.

SYMBOLS LEGEND

NOTE: THIS IS A MASTER LEGEND AND NOT ALL SYMBOLS, ETC, ARE NECESSARILY USED ON THE DRAWINGS.

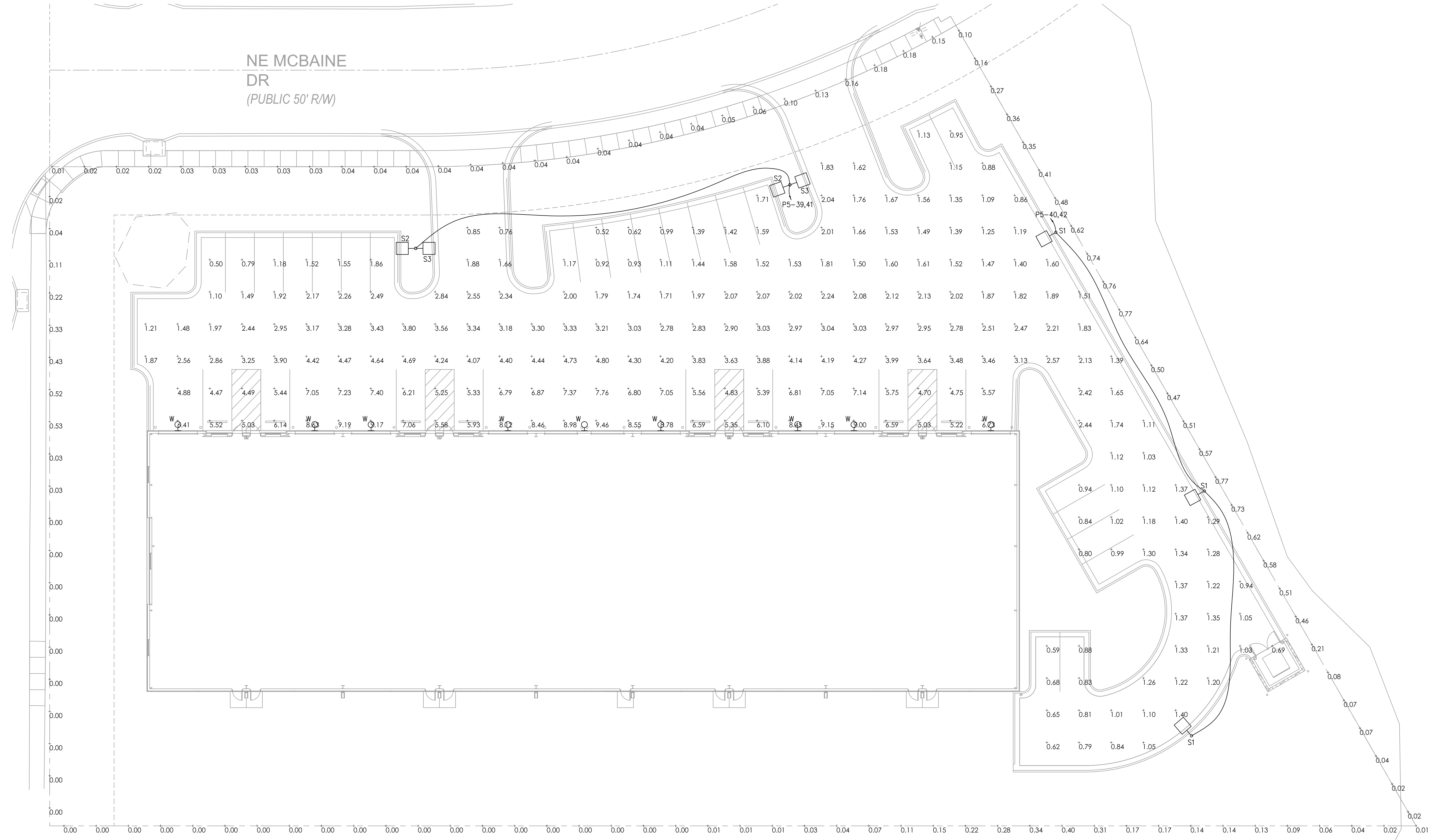
	FLUORESCENT OR LED FIXTURE (SEE SCHEDULE)
	FIXTURE WITH EMERGENCY BATTERY BALLAST UNIT
	SITE POLE MOUNT LIGHT FIXTURE
	WALL MOUNTED FIXTURE WITH EMERGENCY BATTERY BALLAST UNIT
	DOWNLIGHT FIXTURE
	WALL MOUNTED FIXTURE
	PENDANT MOUNTED FIXTURE
	WALL WASHER
	SINGLE FACE EXIT SIGN - UNIVERSAL MOUNTED
	SINGLE FACE EXIT SIGN W/ DIRECTIONAL ARROWS - UNIVERSAL MTD
	DOUBLE FACE EXIT SIGN W/ DIRECTIONAL ARROWS - UNIVERSAL MTD
	DUAL HEADED EMERGENCY UNIT
	COMBO DUAL HEADED EMERGENCY AND EXIT SIGN UNIT
	LETTER INDICATES LIGHT FIXTURE AS INDICATED ON FIXTURE SCHED
	S SINGLE POLE SWITCH @ +48" UNLESS NOTED
	S _{abc} SWITCH BANK @ +48" UNLESS NOTED. LOWER CASE LETTER INDICATES FIXTURE CONTROLLED.
	S ₂ 2 POLE SWITCH @ +48" UNLESS NOTED
	S ₃ 3-WAY SWITCH @ +48" UNLESS NOTED
	S ₄ 4-WAY SWITCH @ +48" UNLESS NOTED
	S _d DIMMER SWITCH - SIZE AS REQUIRED @ +48" UNLESS NOTED
	S _{3d} 3-WAY DIMMER SWITCH - SIZE AS REQUIRED @ +48" UNLESS NOTED
	S _{3d_{abc}} 3-WAY DIMMER SWITCH BANK @ +48" UNLESS NOTED. LOWER CASE LETTER INDICATES FIXTURE CONTROLLED.
	S _{ss} SWITCH SENSOR @ +48" UNLESS NOTED
	S _m MANUAL MOTOR STARTER
	S _o OCCUPANCY SENSOR
	S _{os} WALL SWITCH WITH OCCUPANCY SENSOR. TWO BUTTON DIGITAL LOW VOLTAGE WALL SWITCH. PROVIDES ON/OFF/0-10V DIMMING. SWITCH @ +48" UNLESS NOTED.
	S _{od} TWO BUTTON DIGITAL LOW VOLTAGE WALL SWITCH. PROVIDES ON/OFF/0-10V DIMMING. SWITCH @ +48" UNLESS NOTED.
	RT DUCT DETECTOR REMOTE TEST STATION - MOUNT AT 60" AFF
	Lighting Controls Power Pack
	Lighting Controls Photocell
	FS FIRE SUPPRESSION FLOW SWITCH
	TS FIRE SUPPRESSION TAMPER SWITCH
	H SPRINKLER ALARM NOTIFICATION HORN
	CAMERA
	SPEAKER
	TELEPHONE OUTLET @ +18" UNLESS NOTED
	DATA OUTLET @ +18" UNLESS NOTED
	COMBINATION TELEPHONE/DATA OUTLET @ +18" UNLESS NOTED
	TELEVISION OUTLET @ +18" UNLESS NOTED
	DUCT DETECTOR
	HEAT DETECTOR
	120 VOLT SMOKE DETECTOR WITH SOUNDER BASE AND BATTERY BACKUP
	AUXILIARY SYSTEM TERMINAL CABINET
	SWITCHBOARD, MOTOR CONTROL CENTER OR DISTRIBUTION BOARD
	120/208V., 3 PHASE, 4 WIRE PANELBOARD, UNO
	CARD READER. PROVIDE 2-GANG OUTLET BOX WITH SINGLE GANG RING AND 3/4" CONDUIT STUBBED UP IN WALL TO ABOVE ACCESSIBLE CEILING WITH BUSHING ON END OF CONDUIT @ 48" UNLESS NOTED OTHERWISE.
	GENERATOR
	TRANSFORMER
	MOTOR OUTLET
	DISCONNECT SWITCH - SIZE AND TYPE NOTED
	COMBINATION FUSED STARTER DISCONNECT SWITCH FUSE SIZE AS INDICATED, STARTER SIZE '1'
	MECHANICAL EQUIP. CONNECTION, SEE SCHED. ON MECH. PLAN
	JUNCTION BOX
	CONDUIT RUN CONCEALED IN WALL OR ABOVE CEILING
	CONDUIT RUN BELOW FLOOR OR GRADE
	SPECIAL HEAVY DUTY RECEPTACLE - SIZE AS NOTED. @ +18" UNLESS NOTED
	1/2 SWITCHED RECEPTACLE @ +18" UNLESS NOTED
	FIRE RATED POKE THRU WITH TYPE INDICATED
	FLUSH FLOOR BOX WITH TYPE INDICATED
	SINGLE RECEPTACLE @ +18" UNLESS NOTED
	DUPLEX RECEPTACLE @ +18" UNLESS NOTED
	DOUBLE DUPLEX RECEPTACLE @ +18" UNLESS NOTED
	GFI DUPLEX RECEPTACLE
	FULL SWITCHED RECEPTACLE
	DUPLEX RECEPTACLE INSTALLED ABOVE COUNTERTOP
	DUPLEX RECEPTACLE WITH WEATHERPROOF COVERPLATE @ 18" UNLESS NOTED
	P1-3,5,7 HOMERUN TO PANELBOARD, INFORMATION AT ARROWS ARE CIRCUIT NUMBERS AND PANELBOARD FOR TERMINATION. REFER TO ASSOCIATED NOTE FOR BRANCH CIRCUIT CONDUCTOR SIZES.
	INDICATES 1/2" CONDUIT CONCEALED IN CEILING OR WALL WITH (3) CONDUCTORS. (1) PHASE, (1) NEUTRAL AND (1) GROUND WIRE. ALL ARE #12 AWG UNLESS NOTED OTHERWISE.
	WHIP COUNT INDICATES NUMBER OF HOT CONDUCTORS

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE SECTION 2800 OF THE STREET LIGHTING OF KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION, CONSTRUCTION & MATERIAL SPECIFICATION, THE SECTION 5800 - STREET LIGHTING OF THE CITY OF LEE'S SUMMIT, MO DESIGN CRITERIA, AND ALL APPLICABLE LEE'S SUMMIT, MO SUPPLEMENTS.
- ALL ELECTRICAL/CONDUIT STREET CROSSINGS NEED TO BE BACKFILLED WITH AB-3 OR FLOWABLE FILL IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.

Tag	Description	LLF	Luminaire Lumens	Luminaire Watts
S1	DSX1 LED P2 40K T3M MVOLT HS (MH: 30'-0") - PROVIDE WITH PHOTOCELL	0.800	7002	70
S2	DSX1 LED P2 40K RCCO MVOLT (MH: 30'-0") - PROVIDE WITH PHOTOCELL	0.800	5429	70
S3	DSX1 LED P2 40K LCCO MVOLT (MH: 30'-0") - PROVIDE WITH PHOTOCELL	0.800	5429	70
W	WDGE3 LED P2 70CRI R4 40K (MH: 16'-0")	0.800	8779	59.2761

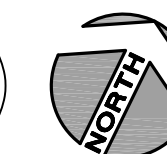
Label	Units	Avg	Max	Min	Max/Min
Parking_Lot	Fc	3.04	9.46	0.50	18.92
Property_Line	Fc	0.16	0.77	0.00	N.A.



PHOTOMETRIC PLAN

SCALE: 1/16" = 1'-0"

1



ENTIRE SHEET ADDED

Licenses of Authority
 Architecture: MO 319 / KS 73
 Engineering: MO 4 / KS 241
 Land Surveying: MO 123 / KS 36

CLIENT
 DAVID WARD
 WARD DEVELOPMENT
 1120 EAGLE RIDGE BLVD
 GRAIN VALLEY, MO 64029
 david@saftyminstorage.com



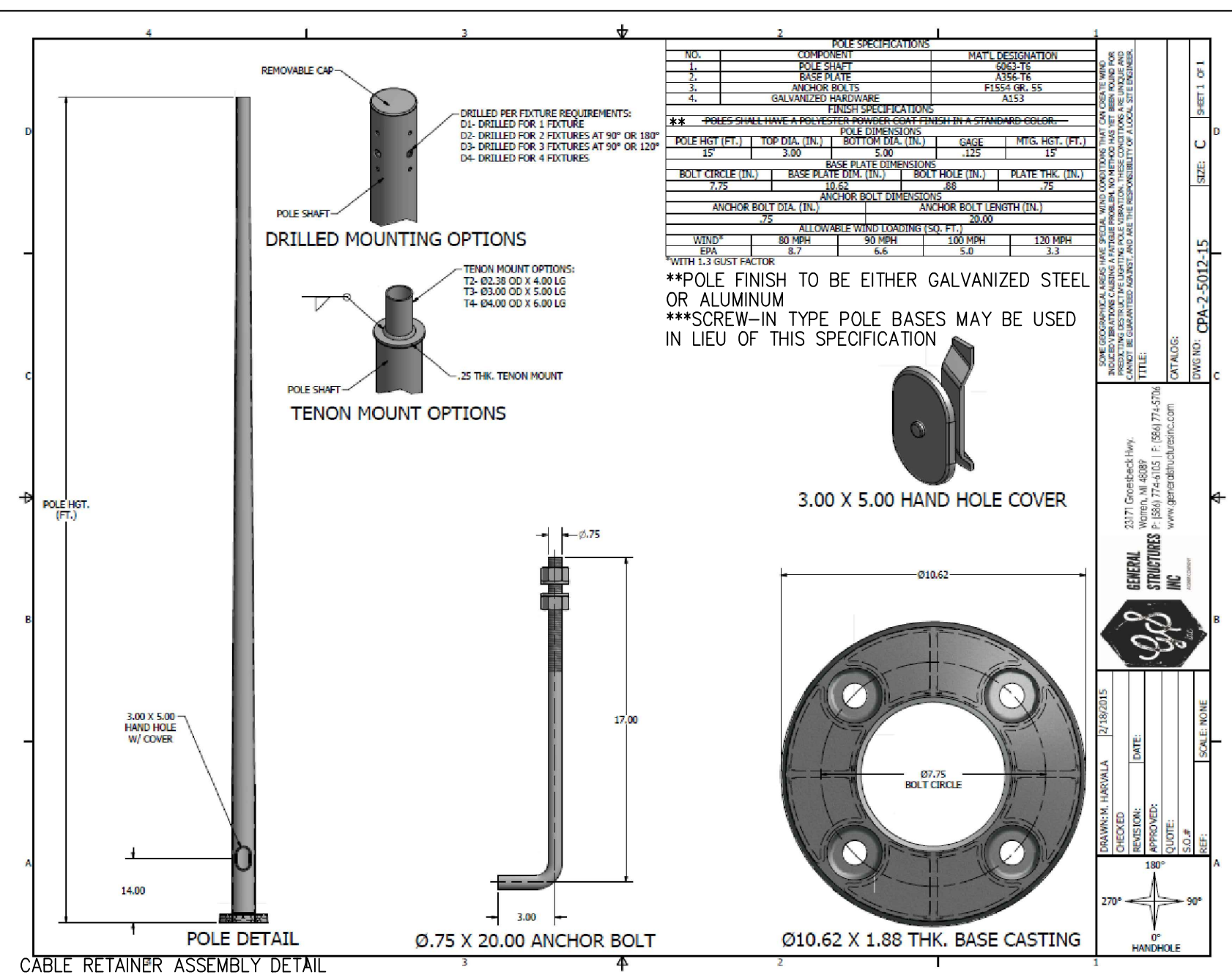
**LOT 10 LAKEWOOD
 BUSINESS PARK**
 LOT 10 I-470 BUSINESS PARK
 LEE'S SUMMIT, MO 64064

REVISIONS

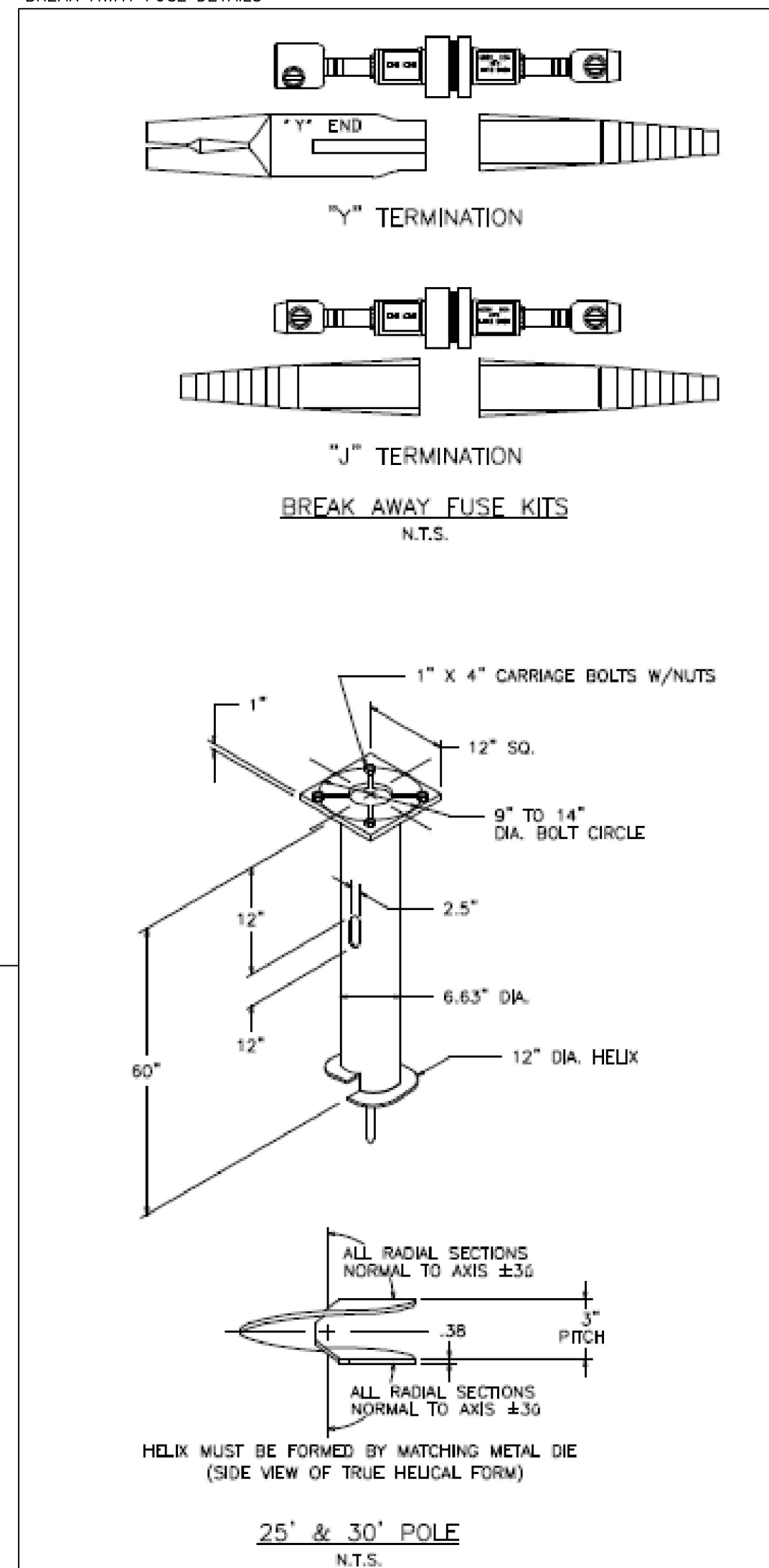
NO.	DATE / DESCRIPTION
1.	09.24.2021 (PHOTOMETRIC PLAN)

PROJECT #: 21-049
 ISSUE DATE: 06/11/2021
 ISSUED FOR: PERMIT

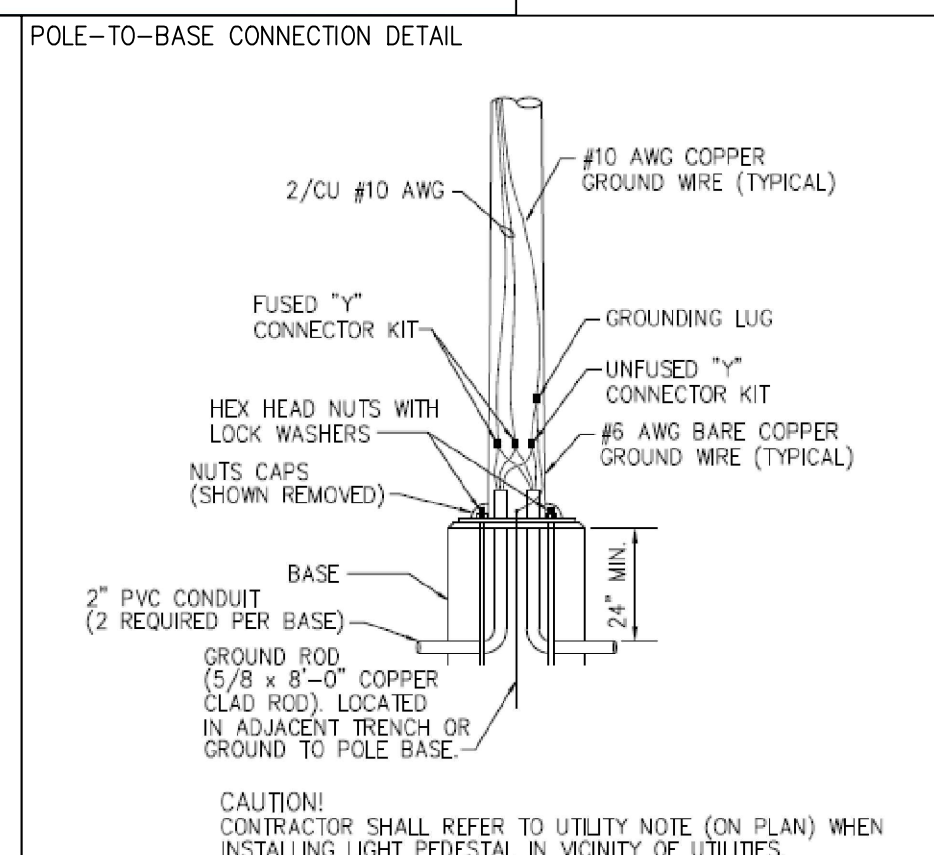
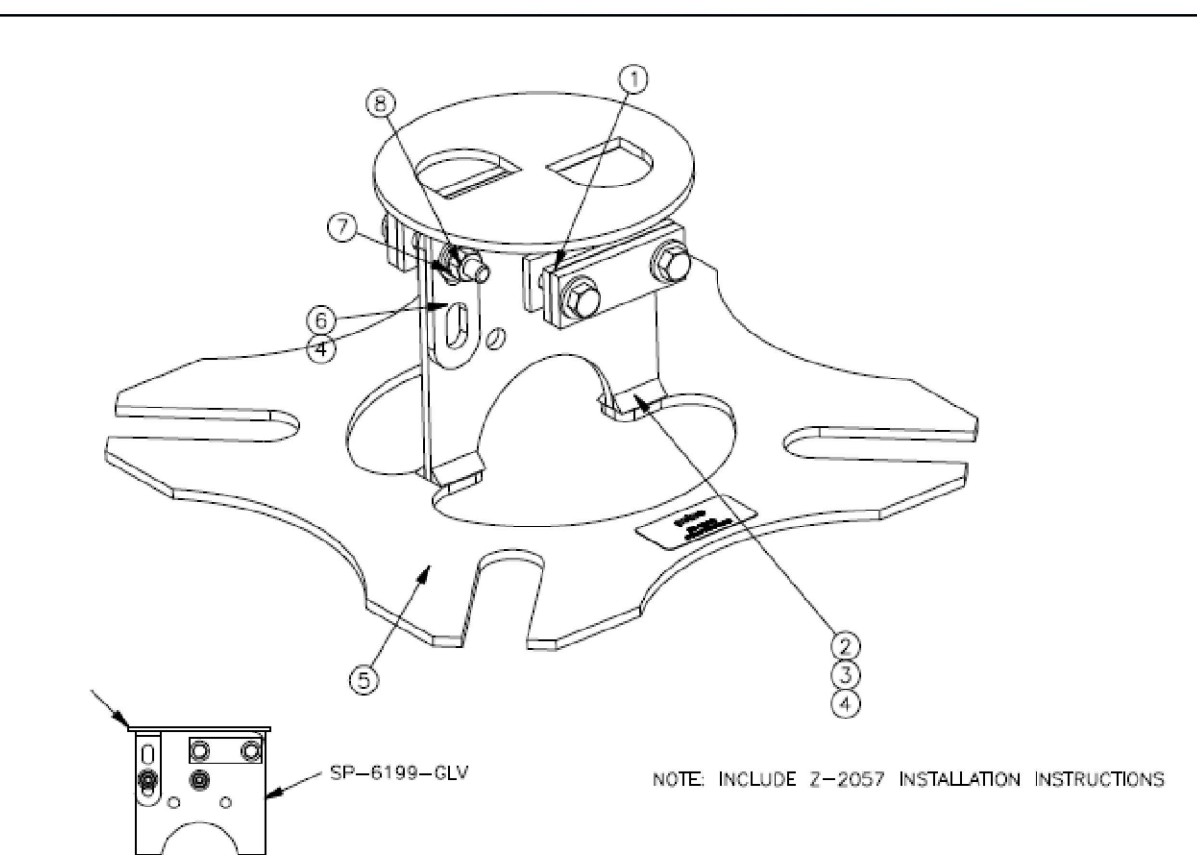
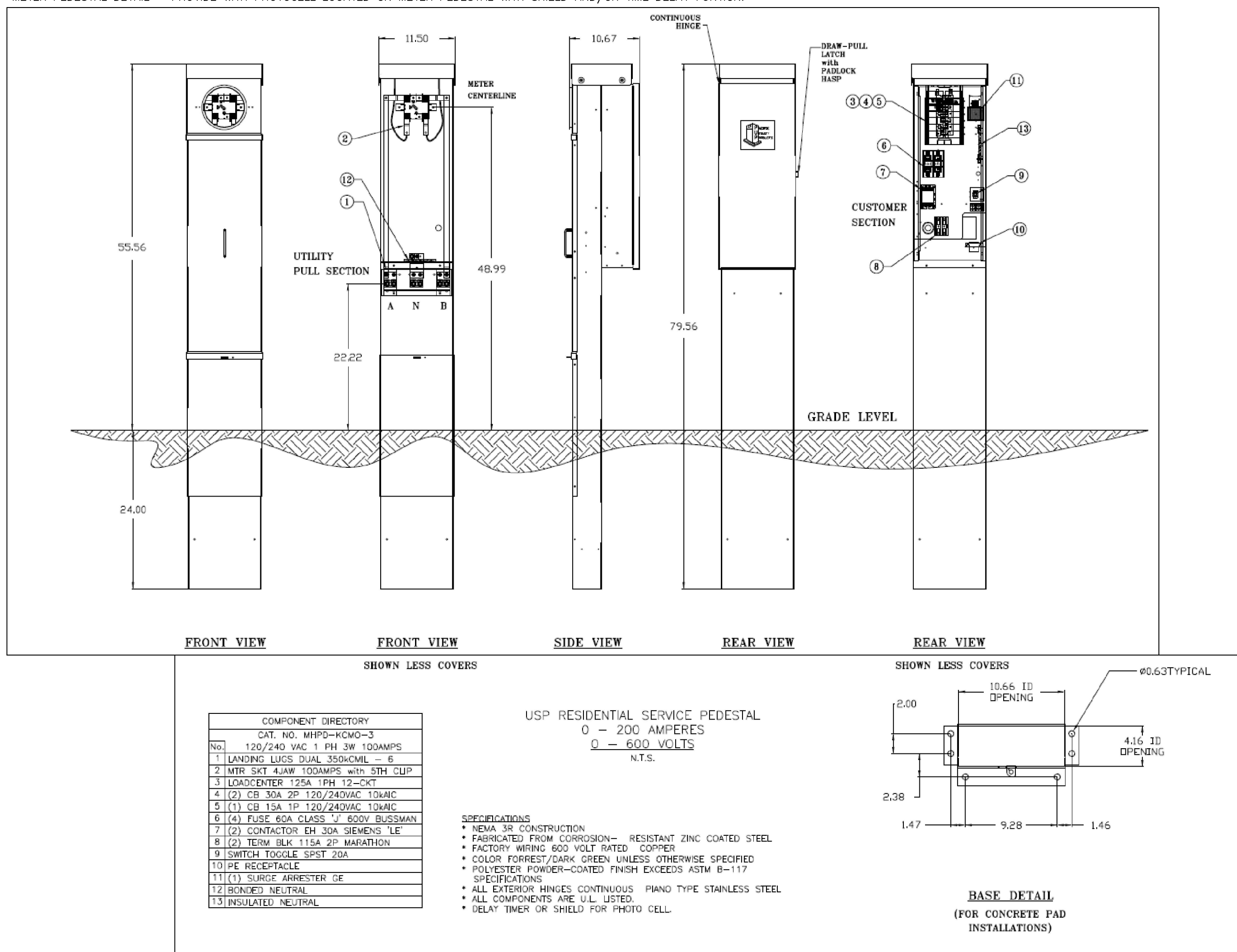
FIXTURE POLE SPECIFICATION



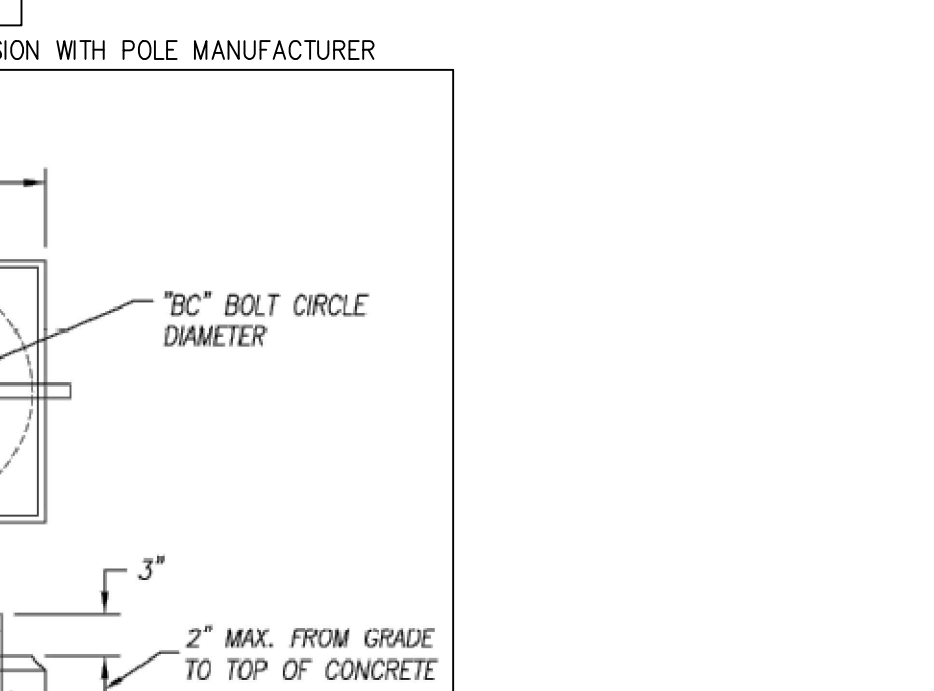
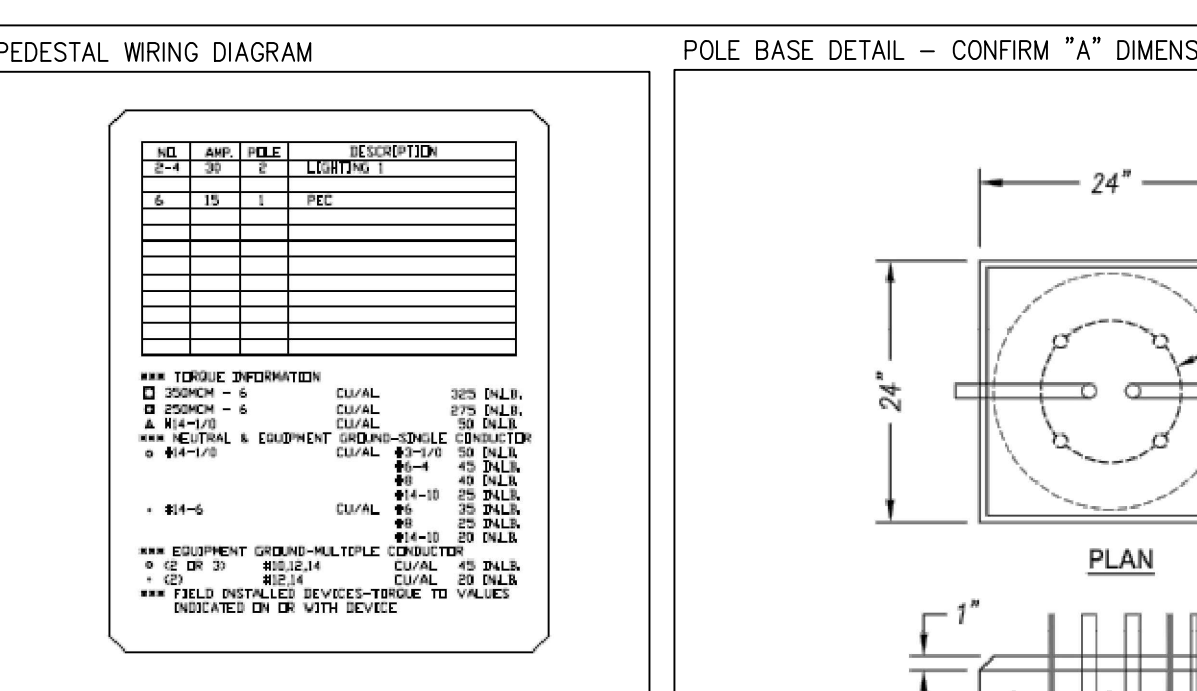
BREAK AWAY FUSE DETAILS



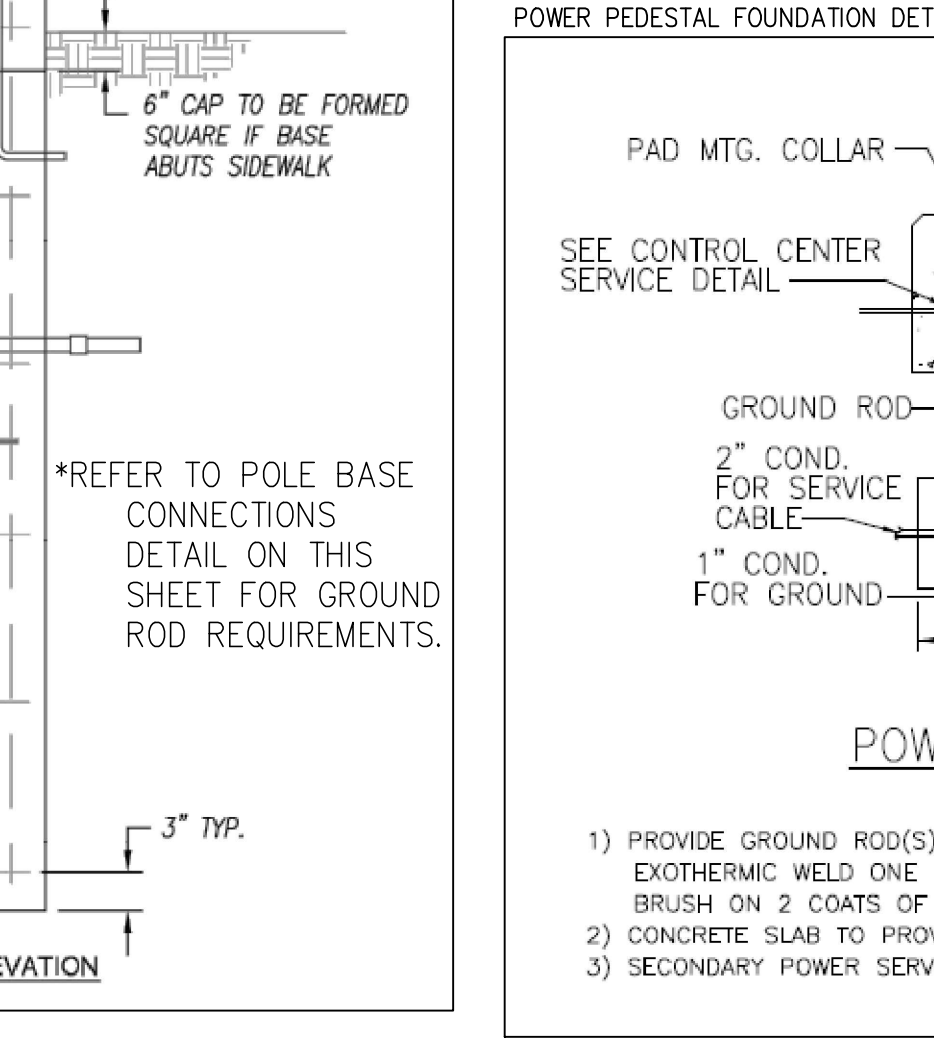
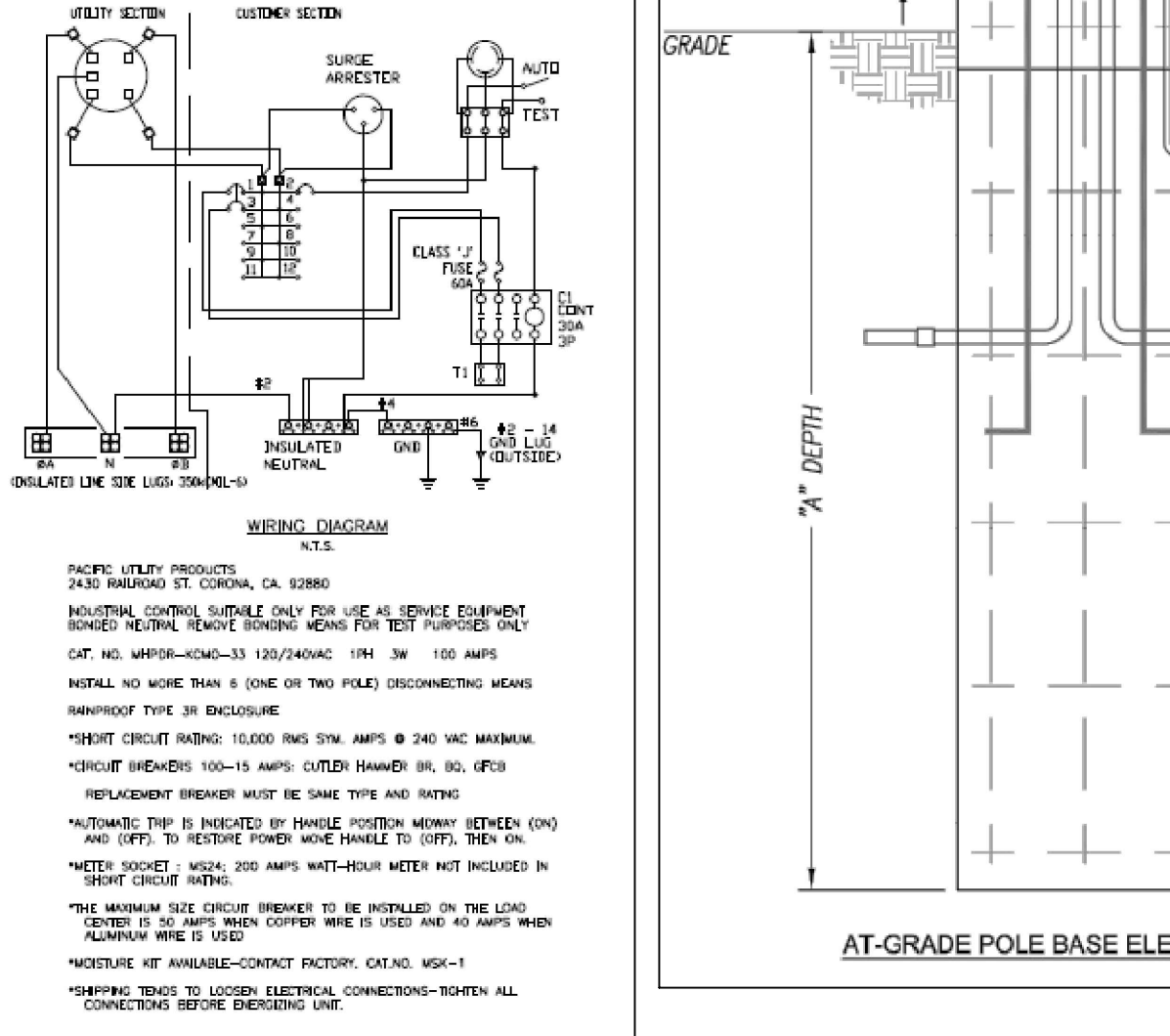
METER PEDESTAL DETAIL - PROVIDE WITH PHOTOCELL LOCATED ON METER PEDESTAL WITH SHIELD AND/OR TIME DELAY FUNCTION.



ITEM	PART NUMBER	DESCRIPTION	QTY
1	SP-6199	WELDMENT, CABLE RETAINER ASSY, FOR 6" FOUNDATION ANCHOR, STEEL	1
2	FS-1001-SS	NUT, HEX 5/16" X 1/8" STAINLESS 304, W/FLAT	4
3	FS-4201-SS	WASHER, LOCK SP/UT, 5/16" STAINLESS	4
4	FS-4101-SS	WASHER, FLAT, 5/16" X .750" OD STAINLESS	8
5	CS-3140	LABEL, 1" X 2" CABLE RETAINER	1
6	FS-2016-SS	BOLT, HEX HD TAP, 5/16" X 2-1/4" STAINLESS	4
7	SP-6199-3	BAR, CABLE RETAINER ASSEMBLY, STEEL	2
8	SP-6199-4	PAD, CABLE RETAINER, 3/16" THICK, 90 DURO, RED URETHANE	4



NOTES:
1. FINISH: HOT DIP GALVANIZE PER ASTM-A153 (LATEST REVISION).
2. BASEPLATE TO BE PERPENDICULAR TO SHAFT AXIS (±1/8"±250) AND HOLE CENTERLINE CONCENTRIC (±1/8") TO SHAFT AXIS.
3. STENCIL MIN. 1/2 IN. LETTERS MANUFACTURER'S NUMBER AFTER GALVANIZING.
4. PILOT POINT AND SHAFT AXES TO BE CONCENTRIC (±.125 FM) AND IN LINE (±.2/16"±250).
5. FLAME CUT SLOT PERPENDICULAR TO THE BASEPLATE.
6. PREHEAT, TUMBLEBLAST, HANDRING, AND CLEAN BASEPLATE, HELIX, AND PILOT POINT ON ALL WELDED AREAS.
7. FLAME CUT IRREGULARITIES PERMISSIBLE: (1) VALLEYS NOT TO EXCEED 3/32 IN. BELOW NOMINAL SURFACE LEVEL. (2) PEAKS OR POSITIVE IRREGULARITIES NOT TO EXCEED 1/32 IN. ABOVE NOMINAL SURFACE LEVEL OR INTERSECTIONS OF NOMINAL SURFACES.
8. MANUFACTURER TO HAVE IN EFFECT INDUSTRY RECOGNIZED WRITTEN QUALITY CONTROL FOR ALL MATERIALS AND MANUFACTURING PROCESSES.
9. ALL MATERIAL IS TO BE NEW, UNUSED AND WILL TRACEABLE MEETING THE FOLLOWING SPECIFICATIONS:
BASEPLATE: ASTM A36-(LATEST REVISION) HOT ROLLED STEEL PLATE. (CONFORM TO AASHTO TECH. BUL. #270)
SHAFT: STEEL PIPE PILES, SEAMLESS OR STRAIGHT WELDED, GRADE-2 PER ASTM A252.
ALT. MATERIAL: STEEL PIPE TYPE E OR S, GRADE-B PER ASTM A53.
HELIX: ASTM A635 (LATEST REVISION) HOT ROLLED STEEL.
PILOT POINT: ASTM A575 (LATEST REVISION) STEEL BAR.
BOLTS: CARR BOLT PER ANSI B-18.2.1, SAE J429 GRADE-5.3
10. BASEPLATE IS PERMANENTLY STAMPED WITH MANUFACTURER'S IDENTIFICATION "ABC" IN 1/2" LETTERS AND DATE CODE IN 1/4" LETTERS.



1. PROVIDE GROUND ROD(S) AS REQUIRED FOR MAXIMUM OF 25 OHMS RESISTANCE TO GROUND. EXOTHERMIC WELD ONE END OF NO. 6 AWG GROUND CONDUCTOR TO THE GROUND ROD(S) AND BRUSH ON 2 COATS OF AN INSULATING VARNISH TO THE WELDED AREAS.
2. CONCRETE SLAB TO PROVIDE SEMI-DRY WORKING AREA IN FRONT OF CONTROLLER CABINET.
3. SECONDARY POWER SERVICE (DIRECT BURY) THRU CONTRACTOR INSTALLED 2" CONDUIT AND ELBOW.

SITE LIGHTING FIXTURE SPECIFICATIONS

FIXTURE "W"
WDGE3 LED
Architectural Wall Sconce

Specifications
Depth (D1): 1.5"
Depth (D2): 9"
Height: 13"
Width: 13"
Height H1: 7.12"
Height H2: 3.1/2"
Weight (max): 27 lbs

WDGE LED Family Overview

Luminaire	Standard VOLT	Color Temp.	Finish	F1	F2	F3	F4	F5	F6
WDGE1 LED	4W	—	—	1,500	2,000	—	—	—	—
WDGE2 LED	10W	10W	Standard / slight	1,500	2,000	3,000	4,500	6,000	—
WDGE3 LED	15W	10W	Standard / slight	7,500	8,500	10,000	12,000	—	—
WDGE4 LED	—	—	Standard / slight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information
EXAMPLE: WDGE3 LED P3 40K 70CRI R3 M3VOLT SRM DBBXD

Series	Package	Color Temperature	CRI	Distribution	Wetproof	Mounting
WDGE3 LED	P1	30K 3000K	70CRI	R2 Type 2	M3VOLT	Shipped included
	P2	40K 4000K	80CRI	R3 Type 3	SRM	Shipped separately
	P3	50K 5000K	80CRI	R4 Type 4	40K	Shipped separately
	P4	50K 5000K	80CRI	R5 Forward throw	40K	Shipped separately

Accessories
E1500 Emergency battery backup, Certified in CA
E2000 Emergency battery backup, Certified in CA
E3000 Emergency battery backup, Certified in CA
E4000 Emergency battery backup, Certified in CA
E5000 Emergency battery backup, Certified in CA
E6000 Emergency battery backup, Certified in CA
E7000 Emergency battery backup, Certified in CA
E8000 Emergency battery backup, Certified in CA
E9000 Emergency battery backup, Certified in CA
E10000 Emergency battery backup, Certified in CA

FIXTURES "S1/S2/S3"
D-Series Size 1
LED Area Luminaire

Specifications
EPAL: 1.01 ft
Length: 33"
Width: 13"
Height H1: 7.12"
Height H2: 3.1/2"
Weight (max): 27 lbs

Ordering Information
EXAMPLE: DSX1 LED P7 40K T3M V3MOLT SPA NLTAR2 PIRHN DBBXD

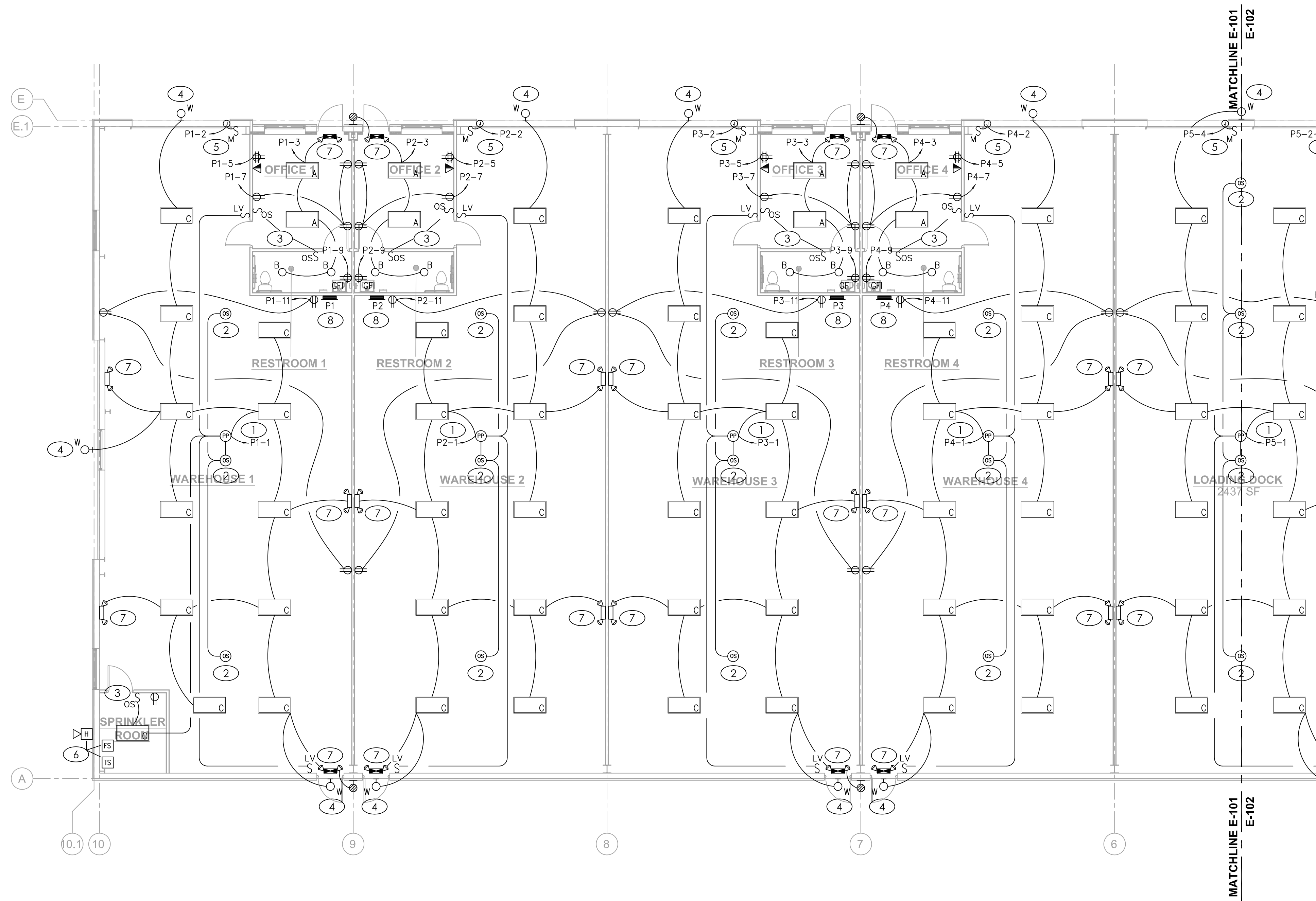
Series	LEDs	Color Temperature	Distribution	Wetproof	Mounting
DSX1 LED	P1	30K 3000K	T35 Type 1 short	T3V5 Type 1 very short	M3VOLT SPA
	P2	40K 4000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P3	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	40K
	P4	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P5	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P6	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P7	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P8	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P9	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P10	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P11	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P12	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P13	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P14	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P15	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P16	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P17	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P18	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P19	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P20	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P21	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P22	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P23	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P24	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P25	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P26	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P27	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P28	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P29	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P30	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P31	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P32	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P33	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P34	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P35	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P36	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P37	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P38	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P39	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P40	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P41	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P42	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P43	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P44	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P45	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P46	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P47	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P48	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P49	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P50	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P51	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P52	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P53	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P54	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P55	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P56	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P57	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P58	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P59	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P60	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P61	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P62	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P63	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P64	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P65	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P66	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P67	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P68	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P69	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P70	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P71	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P72	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P73	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P74	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P75	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P76	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P77	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P78	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P79	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P80	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P81	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P82	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P83	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P84	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P85	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P86	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P87	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P88	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P89	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P90	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P91	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P92	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P93	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P94	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM
	P95	50K 5000K	T35 Type 1 short	T3V5 Type 1 very short	SRM

GENERAL NOTES

- A. DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL PLANS OR FIELD MEASUREMENTS FOR DIMENSIONS.
- B. ALL WORK SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES AND AMENDMENTS.
- C. ALL ROOF AND WALL PENETRATIONS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. PROVIDE ALL REQUIRED SLEEVES, FLASHINGS, CURBS, REINFORCED ANGLES, SUPPORTING FRAMES, ETC. UNLESS THEY ARE SPECIFICALLY CALLED OUT TO BE FURNISHED BY OTHERS.
- D. COORDINATE ALL WORK WITH OTHER TRADES AS REQUIRED TO PROPERLY INSTALL ALL SYSTEMS AS INTENDED, WITHIN THE CONFINES OF THE SPACE AVAILABLE, AND WITHOUT INTERFERENCES.
- E. THIS CONTRACTOR SHALL PERFORM ALL WORK INDICATED AND/OR AS REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE ELECTRICAL SYSTEMS.
- F. ALL WIRING SHALL BE IN APPROVED RACEWAY.
- G. WIRE SIZE SHALL BE MINIMUM #12 AWG, THWN SOLID COPPER UNLESS OTHERWISE NOTED. PROVIDE GROUND WIRE WHERE REQUIRED BY CODE. INCREASE WIRE SIZE TO COMPENSATE FOR VOLTAGE DROP WHERE TOTAL LENGTH OF ANY BRANCH EXCEEDS 100 FEET.
- H. MAXIMUM NUMBER OF UNGROUNDED WIRES IN ANY CONDUIT SHALL BE THREE. ADDITIONAL WIRES ARE ACCEPTABLE IF WIRE SIZE IS INCREASED TO ALLOW FOR DERATING PER CODE. PROVIDE ADDITIONAL WIRES FOR SWITCHING AS REQUIRED.
- I. REFER TO LIGHTING FIXTURE SCHEDULE ON E201 FOR LIGHT FIXTURE TYPES AND REQUIREMENTS.
- J. CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTING UNITS TO THE INDICATED CIRCUIT WITH A SEPARATE AND UN-SWITCHED CONDUCTOR BYPASSING ALL CONTROLS AND CONTACTORS. REFER TO MANUFACTURER'S WRITTEN INSTRUCTIONS FOR PROPER INSTALLATION AND TESTING.
- K. THE ELECTRICAL SYSTEM DESIGN IS BASED IN PART ON THE SPECIFIED HVAC EQUIPMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE EXACT LOCATIONS AND ELECTRICAL REQUIREMENTS OF ALL HVAC EQUIPMENT BEING FURNISHED. ANY CHANGES TO THE ELECTRICAL SYSTEM DUE TO HVAC EQUIPMENT SUBSTITUTIONS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- L. FIRE ALARM, AUDIO/VIDEO AND SURVEILLANCE SYSTEMS BY OTHERS.
- M. PROVIDE ALL ADDITIONAL EXTRA CONDUCTORS NEEDED FOR UNSWITCHED AND SWITCH LEGS AND TRAVELERS BETWEEN SWITCHES.
- N. REFER TO NATIONAL ACCOUNT LIGHTING FIXTURE SCHEDULE ON SHEET E203 FOR LIGHTING FIXTURE INFORMATION.

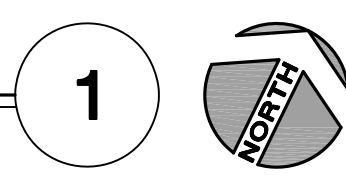
KEYED PLAN NOTES

- 1. LIGHTING CONTROLS POWER PACK. SENSORWORX SWX-900 SERIES OR PRE-BID APPROVED EQUAL. PROVIDE AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- 2. LIGHTING CONTROLS CEILING MOUNTED OCCUPANCY SENSOR. SENSORWORX SWX-200 SERIES OR PRE-BID APPROVED EQUAL. PROVIDE AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- 3. OCCUPANCY SENSING WALL SWITCH. SENSORWORX SWX-100 SERIES OR PRE-BID APPROVED EQUAL. PROVIDE AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- 4. PHOTOCELL PROVIDED WITH FIXTURE TO CONTROL ONLY THE ASSOCIATED FIXTURE.
- 5. MAKE CONNECTION TO POWER AND CONTROLS FOR OVERHEAD COILING DOOR PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- 6. COORDINATE CONNECTION TO SPRINKLER SYSTEM WATERFLOW AND TAMPER SWITCHES AND NOTIFICATION HORN WITH SPRINKLER SYSTEM INSTALLER PRIOR TO CONSTRUCTION. MAKE CONNECTION PER MANUFACTURER'S RECOMMENDATIONS AND NFPA REQUIREMENTS.
- 7. CONNECT EMERGENCY/EXIT LIGHT VIA UNSWITCHED HOT CONDUCTOR.
- 8. NEW 225A FRAME/200A MCB, 208Y/120V, 3Φ, 4W, 42-POLE PANELBOARD. REFER TO SINGLE LINE DIAGRAM AND PANELBOARD SCHEDULES ON SHEET E-201 FOR MORE INFORMATION.



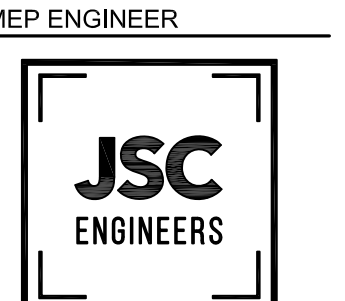
LIGHTING AND POWER PLAN - WEST

SCALE : 1/8" = 1'-0"



Certificates of Authority
Architecture: MO 119 / KS 73
Engineering: MO 4 / KS 241
Land Surveying: MO 123 / KS 36

CLIENT
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david@safelyministorage.com



MEP ENGINEER



**LOT 10 LAKEWOOD
BUSINESS PARK
LOT 10 1-470 BUSINESS PARK
LEE'S SUMMIT, MO 64064**

REVISIONS NO.	DATE	DESCRIPTION

PROJECT #: 21-049
ISSUE DATE: 06/11/2021
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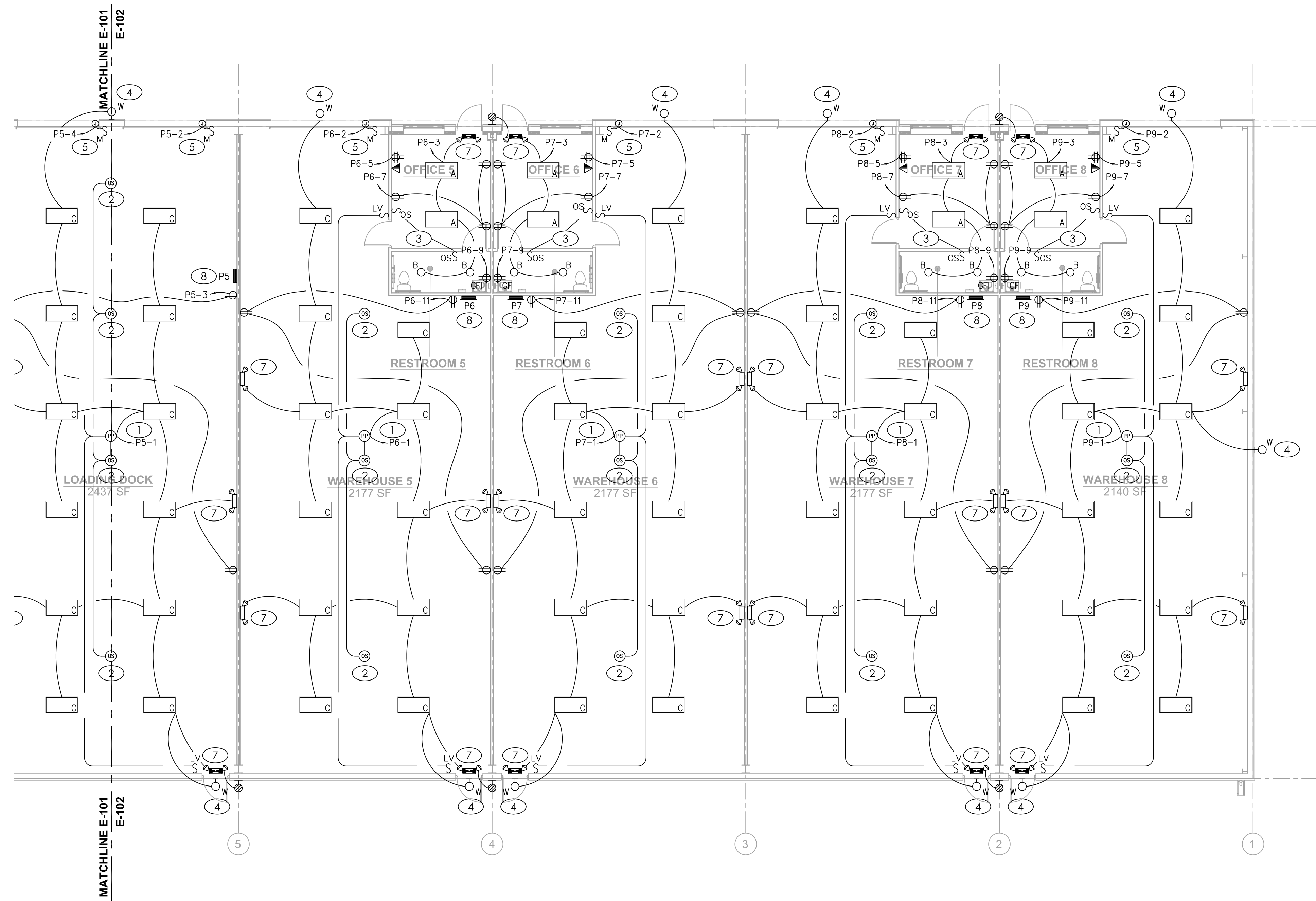
ELECTRICAL PLAN - WEST

GENERAL NOTES

- DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL PLANS OR FIELD MEASUREMENTS FOR DIMENSIONS.
- ALL WORK SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES AND AMENDMENTS.
- ALL ROOF AND WALL PENETRATIONS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. PROVIDE ALL REQUIRED SLEEVES, FLASHINGS, CURBS, REINFORCED ANGLES, SUPPORTING FRAMES, ETC. UNLESS THEY ARE SPECIFICALLY CALLED OUT TO BE FURNISHED BY OTHERS.
- COORDINATE ALL WORK WITH OTHER TRADES AS REQUIRED TO PROPERLY INSTALL ALL SYSTEMS AS INTENDED, WITHIN THE CONFINES OF THE SPACE AVAILABLE, AND WITHOUT INTERFERENCES.
- THIS CONTRACTOR SHALL PERFORM ALL WORK INDICATED AND/OR AS REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE ELECTRICAL SYSTEMS.
- ALL WIRING SHALL BE IN APPROVED RACEWAY.
- WIRE SIZE SHALL BE MINIMUM #12 AWG, THWN SOLID COPPER UNLESS OTHERWISE NOTED. PROVIDE GROUND WIRE WHERE REQUIRED BY CODE. INCREASE WIRE SIZE TO COMPENSATE FOR VOLTAGE DROP WHERE TOTAL LENGTH OF ANY BRANCH EXCEEDS 100 FEET.
- MAXIMUM NUMBER OF UNGROUNDED WIRES IN ANY CONDUIT SHALL BE THREE. ADDITIONAL WIRES ARE ACCEPTABLE IF WIRE SIZE IS INCREASED TO ALLOW FOR DERATING PER CODE. PROVIDE ADDITIONAL WIRES FOR SWITCHING AS REQUIRED.
- REFER TO LIGHTING FIXTURE SCHEDULE ON E201 FOR LIGHT FIXTURE TYPES AND REQUIREMENTS.
- CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTING UNITS TO THE INDICATED CIRCUIT WITH A SEPARATE AND UN-SWITCHED CONDUCTOR BYPASSING ALL CONTROLS AND CONTACTORS. REFER TO MANUFACTURER'S WRITTEN INSTRUCTIONS FOR PROPER INSTALLATION AND TESTING.
- THE ELECTRICAL SYSTEM DESIGN IS BASED IN PART ON THE SPECIFIED HVAC EQUIPMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE EXACT LOCATIONS AND ELECTRICAL REQUIREMENTS OF ALL HVAC EQUIPMENT BEING FURNISHED. ANY CHANGES TO THE ELECTRICAL SYSTEM DUE TO HVAC EQUIPMENT SUBSTITUTIONS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- FIRE ALARM, AUDIO/VIDEO AND SURVEILLANCE SYSTEMS BY OTHERS.
- PROVIDE ALL ADDITIONAL EXTRA CONDUCTORS NEEDED FOR UNSWITCHED AND SWITCH LEGS AND TRAVELERS BETWEEN SWITCHES.
- REFER TO NATIONAL ACCOUNT LIGHTING FIXTURE SCHEDULE ON SHEET E203 FOR LIGHTING FIXTURE INFORMATION.

KEYED PLAN NOTES

- LIGHTING CONTROLS POWER PACK. SENSORWORX SWX-900 SERIES OR PRE-BID APPROVED EQUAL. PROVIDE AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- LIGHTING CONTROLS CEILING MOUNTED OCCUPANCY SENSOR. SENSORWORX SWX-200 SERIES OR PRE-BID APPROVED EQUAL. PROVIDE AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- OCCUPANCY SENSING WALL SWITCH. SENSORWORX SWX-100 SERIES OR PRE-BID APPROVED EQUAL. PROVIDE AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- PHOTOCELL PROVIDED WITH FIXTURE TO CONTROL ONLY THE ASSOCIATED FIXTURE.
- MAKE CONNECTION TO POWER AND CONTROLS FOR OVERHEAD COILING DOOR PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- NOT USED ON THIS SHEET.
- CONNECT EMERGENCY/EXIT LIGHT VIA UNSWITCHED HOT CONDUCTOR.
- NEW 225A FRAME/200A MCB, 208Y/120V, 3Φ, 4W, 42-POLE PANELBOARD. REFER TO SINGLE LINE DIAGRAM AND PANELBOARD SCHEDULES ON SHEET E-201 FOR MORE INFORMATION.



LIGHTING AND POWER PLAN - EAST 1
 SCALE : 1/8" = 1'-0"

**LOT 10 LAKEWOOD
 BUSINESS PARK
 LOT 10 I-470 BUSINESS PARK
 LEE'S SUMMIT, MO 64064**

REVISIONS NO.	DATE	DESCRIPTION

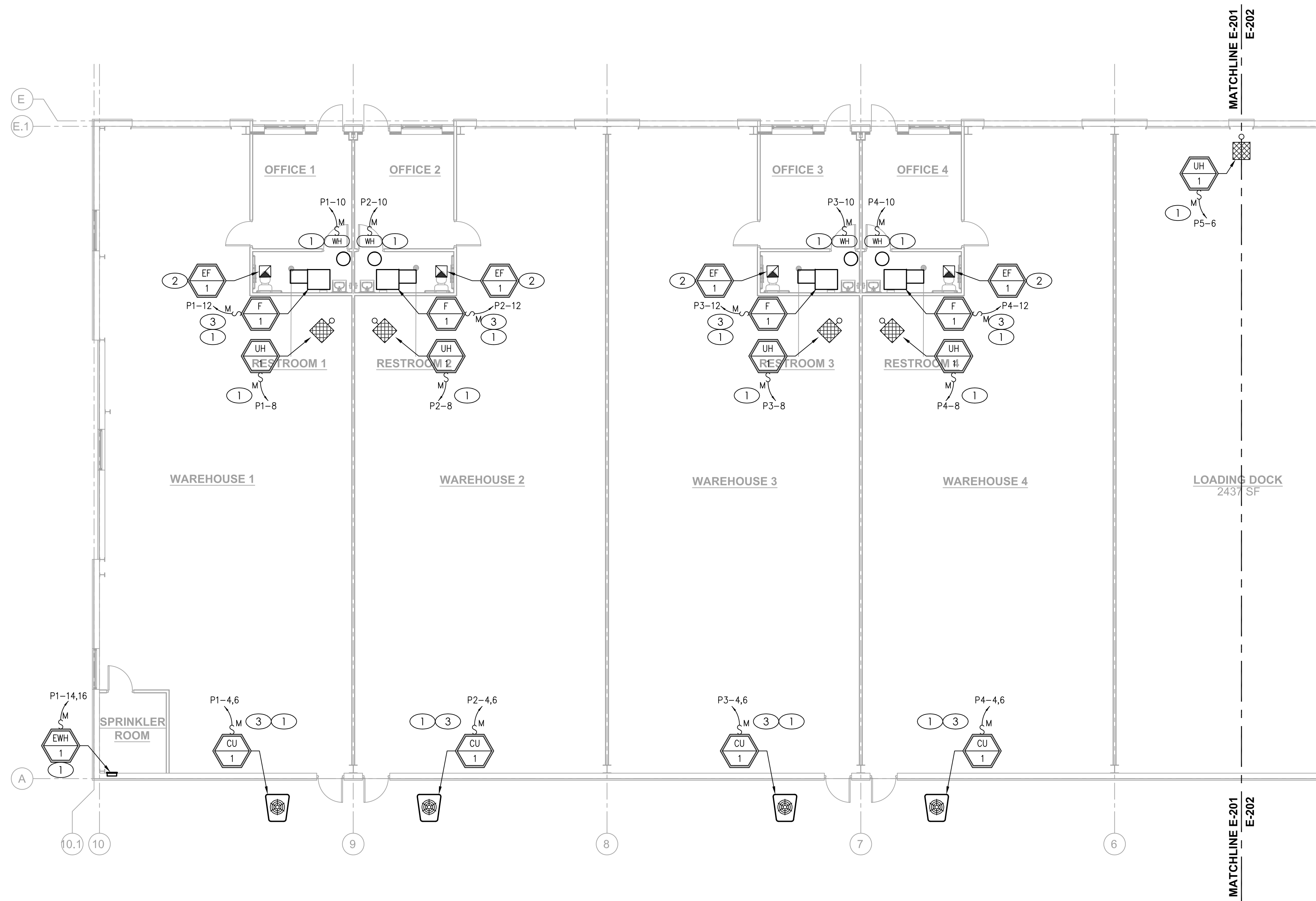
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GENERAL NOTES

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- B. ALL WORK SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES AND AMENDMENTS.
- C. ALL ROOF AND WALL PENETRATIONS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. PROVIDE ALL REQUIRED SLEEVES, FLASHINGS, CURBS, REINFORCED ANGLES, SUPPORTING FRAMES, ETC. UNLESS THEY ARE SPECIFICALLY CALLED OUT TO BE FURNISHED BY OTHERS.
- D. COORDINATE ALL WORK WITH OTHER TRADES AS REQUIRED TO PROPERLY INSTALL ALL SYSTEMS AS INTENDED, WITHIN THE CONFINES OF THE SPACE AVAILABLE, AND WITHOUT INTERFERENCES.
- E. THIS CONTRACTOR SHALL PERFORM ALL WORK INDICATED AND/OR AS REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE ELECTRICAL SYSTEMS.
- F. ALL WIRING SHALL BE IN APPROVED RACEWAY.
- G. WIRE SIZE SHALL BE MINIMUM #12 AWG, THWN SOLID COPPER UNLESS OTHERWISE NOTED. PROVIDE GROUND WIRE WHERE REQUIRED BY CODE. INCREASE WIRE SIZE TO COMPENSATE FOR VOLTAGE DROP WHERE TOTAL LENGTH OF ANY BRANCH EXCEEDS 100 FEET.
- H. MAXIMUM NUMBER OF UNGROUNDED WIRES IN ANY CONDUIT SHALL BE THREE. ADDITIONAL WIRES ARE ACCEPTABLE IF WIRE SIZE IS INCREASED TO ALLOW FOR DERATING PER CODE. PROVIDE ADDITIONAL WIRES FOR SWITCHING AS REQUIRED.
- I. REFER TO LIGHTING FIXTURE SCHEDULE ON E201 FOR LIGHT FIXTURE TYPES AND REQUIREMENTS.
- J. CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTING UNITS TO THE INDICATED CIRCUIT WITH A SEPARATE AND UN-SWITCHED CONDUCTOR BYPASSING ALL CONTROLS AND CONTACTORS. REFER TO MANUFACTURER'S WRITTEN INSTRUCTIONS FOR PROPER INSTALLATION AND TESTING.
- K. THE ELECTRICAL SYSTEM DESIGN IS BASED IN PART ON THE SPECIFIED HVAC EQUIPMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE EXACT LOCATIONS AND ELECTRICAL REQUIREMENTS OF ALL HVAC EQUIPMENT BEING FURNISHED. ANY CHANGES TO THE ELECTRICAL SYSTEM DUE TO HVAC EQUIPMENT SUBSTITUTIONS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- L. FIRE ALARM, AUDIO/VIDEO AND SURVEILLANCE SYSTEMS BY OTHERS.
- M. PROVIDE ALL ADDITIONAL EXTRA CONDUCTORS NEEDED FOR UNSWITCHED AND SWITCH LEGS AND TRAVELERS BETWEEN SWITCHES.
- N. REFER TO NATIONAL ACCOUNT LIGHTING FIXTURE SCHEDULE ON SHEET E203 FOR LIGHTING FIXTURE INFORMATION.

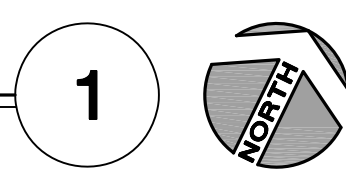
KEYED PLAN NOTES

- 1. MAKE CONNECTION TO DIV 22/23 EQUIPMENT PER MANUFACTURER'S RECOMMENDATION AND NEC REQUIREMENTS. COORDINATE WORK WITH DIVISION 22/23 CONTRACTOR PRIOR TO CONSTRUCTION.
- 2. WIRE SO THAT ON/OFF OPERATION OF EXHAUST FAN COORDINATES WITH LIGHTING IN ROOM.
- 3. MAKE CONNECTION FROM INDOOR TO OUTDOOR UNIT PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE WORK WITH DIVISION 23 CONTRACTOR.



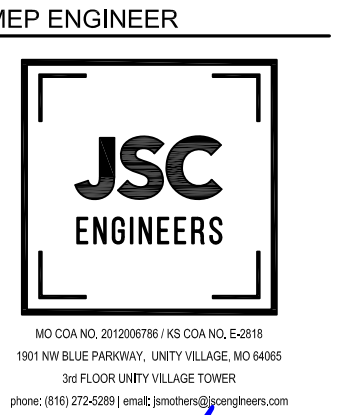
EQUIPMENT POWER PLAN - WEST

SCALE : 1/8" = 1'-0"



Certificates of Authority
 Architecture: MO 119 / KS 73
 Engineering: MO 4 / KS 241
 Land Surveying: MO 123 / KS 36

CLIENT
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 david@saftyministorage.com



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 LOT 10 1-470 BUSINESS PARK
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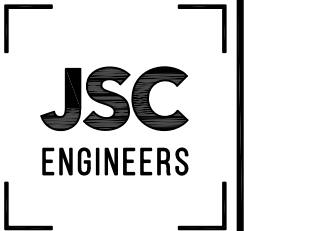
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ELECTRICAL EQUIPMENT
 POWER PLAN - WEST

Certificates of Authority
 Architecture: MO 119 / KS 73
 Engineering: MO 4 / KS 241
 Land Surveying: MO 123 / KS 36

CLIENT
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MEP ENGINEER

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 JUSTIN R. SMOTHERS
 NUMBER PE-2012003568
 06-11-2021

**LOT 10 LAKEWOOD
 BUSINESS PARK
 LOT 10 I-470 BUSINESS PARK
 LEE'S SUMMIT, MO 64064**

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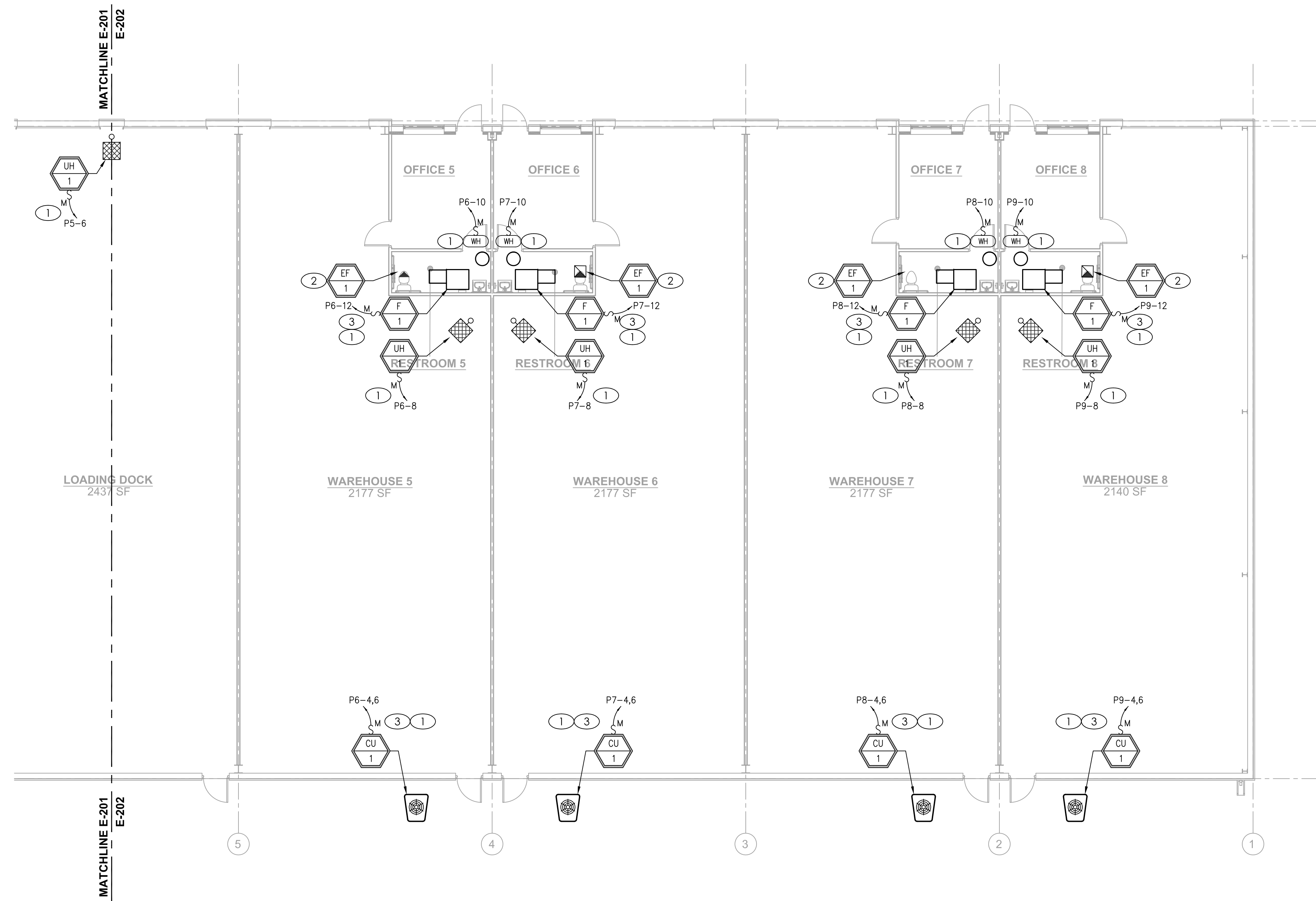
ELECTRICAL EQUIPMENT
 POWER PLAN - EAST
E-202

GENERAL NOTES

- A. DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL PLANS OR FIELD MEASUREMENTS FOR DIMENSIONS.
- B. ALL WORK SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES AND AMENDMENTS.
- C. ALL ROOF AND WALL PENETRATIONS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. PROVIDE ALL REQUIRED SLEEVES, FLASHINGS, CURBS, REINFORCED ANGLES, SUPPORTING FRAMES, ETC. UNLESS THEY ARE SPECIFICALLY CALLED OUT TO BE FURNISHED BY OTHERS.
- D. COORDINATE ALL WORK WITH OTHER TRADES AS REQUIRED TO PROPERLY INSTALL ALL SYSTEMS AS INTENDED, WITHIN THE CONFINES OF THE SPACE AVAILABLE, AND WITHOUT INTERFERENCES.
- E. THIS CONTRACTOR SHALL PERFORM ALL WORK INDICATED AND/OR AS REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE ELECTRICAL SYSTEMS.
- F. ALL WIRING SHALL BE IN APPROVED RACEWAY.
- G. WIRE SIZE SHALL BE MINIMUM #12 AWG, THWN SOLID COPPER UNLESS OTHERWISE NOTED. PROVIDE GROUND WIRE WHERE REQUIRED BY CODE. INCREASE WIRE SIZE TO COMPENSATE FOR VOLTAGE DROP WHERE TOTAL LENGTH OF ANY BRANCH EXCEEDS 100 FEET.
- H. MAXIMUM NUMBER OF UNGROUNDED WIRES IN ANY CONDUIT SHALL BE THREE. ADDITIONAL WIRES ARE ACCEPTABLE IF WIRE SIZE IS INCREASED TO ALLOW FOR DERATING PER CODE. PROVIDE ADDITIONAL WIRES FOR SWITCHING AS REQUIRED.
- I. REFER TO LIGHTING FIXTURE SCHEDULE ON E201 FOR LIGHT FIXTURE TYPES AND REQUIREMENTS.
- J. CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTING UNITS TO THE INDICATED CIRCUIT WITH A SEPARATE AND UN-SWITCHED CONDUCTOR BYPASSING ALL CONTROLS AND CONTACTORS. REFER TO MANUFACTURER'S WRITTEN INSTRUCTIONS FOR PROPER INSTALLATION AND TESTING.
- K. THE ELECTRICAL SYSTEM DESIGN IS BASED IN PART ON THE SPECIFIED HVAC EQUIPMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE EXACT LOCATIONS AND ELECTRICAL REQUIREMENTS OF ALL HVAC EQUIPMENT BEING FURNISHED. ANY CHANGES TO THE ELECTRICAL SYSTEM DUE TO HVAC EQUIPMENT SUBSTITUTIONS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- L. FIRE ALARM, AUDIO/VIDEO AND SURVEILLANCE SYSTEMS BY OTHERS.
- M. PROVIDE ALL ADDITIONAL EXTRA CONDUCTORS NEEDED FOR UNSWITCHED AND SWITCH LEGS AND TRAVELERS BETWEEN SWITCHES.
- N. REFER TO NATIONAL ACCOUNT LIGHTING FIXTURE SCHEDULE ON SHEET E203 FOR LIGHTING FIXTURE INFORMATION.

KEYED PLAN NOTES

- 1. MAKE CONNECTION TO DIV 22/23 EQUIPMENT PER MANUFACTURER'S RECOMMENDATION AND NEC REQUIREMENTS. COORDINATE WORK WITH DIVISION 22/23 CONTRACTOR PRIOR TO CONSTRUCTION.
- 2. WIRE SO THAT ON/OFF OPERATION OF EXHAUST FAN COORDINATES WITH LIGHTING IN ROOM.
- 3. MAKE CONNECTION FROM INDOOR TO OUTDOOR UNIT PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE WORK WITH DIVISION 23 CONTRACTOR.



POWER PLAN - EAST

SCALE : 1/8" = 1'-0"

