

LOT 10 LAKEWOOD BUSINESS PARK

LOT 10 I-470 BUSINESS & TECHNOLOGY CENTER
2601 NE MCBAIN DRIVE
LEE'S SUMMIT, MO 64064

ISSUED FOR: BUILDING PERMIT
CITY COMMENTS #02 - 12/22/2021



GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND OWNER REVIEW AND UNDERSTAND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. DO NOT SCALE DRAWINGS, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORRECTIONS AND REPAIRS REQUIRED DUE TO THEIR FAILURE TO DO SO. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL SUB-CONTRACTORS RECEIVE ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- SOLELY AS A CONVENIENCE TO THE OWNER AND CONTRACTOR, THE ARCHITECT MAY INCLUDE DOCUMENTS PREPARED BY CERTAIN CONSULTANTS (OR INCORPORATE THE RECOMMENDATIONS OF SAID CONSULTANTS INTO DOCUMENTS PREPARED BY THE ARCHITECT) WITHIN THE SET OF DOCUMENTS ISSUED BY THE ARCHITECT. IT IS EXPRESSLY UNDERSTOOD, THAT BY SUCH ISSUANCE, THE ARCHITECT ASSUMES NO LIABILITY FOR THE SERVICES OF SAID CONSULTANTS.
- ALL WORK AND MATERIALS SHALL CONFORM TO THE APPLICABLE CODES LISTED IN THE PROJECT CODE SUMMARY.
- UNLESS OTHERWISE INDICATED ON THESE DRAWINGS AND SPECIFICATIONS AS BEING N.I.C. OR EXISTING, ALL ITEMS, MATERIALS, ETC. AND INSTALLATIONS OF THE SAME ARE A PART OF THE CONTRACT DEFINED BY THESE DRAWINGS AND SPECIFICATIONS AND THEIR INTENT.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS AND COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKERS AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO JOB SITE. WHERE DAMAGE OCCURS, THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND MAY NOT BE LIMITED TO NORMAL WORKING HOURS. PROVIDE SECURITY FENCE AND GATES AS NECESSARY AROUND THE AREA WITHIN THE SCOPE OF WORK.
- IF THERE ARE TRENCHES OR EXCAVATION 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, CONTRACTOR SHALL OBTAIN NECESSARY PERMIT FROM THE APPROPRIATE LOCAL GOVERNING AGENCY.
- PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY CONTRACT DOCUMENTS.
- ANY REVISION OR ADDITIONAL WORK REQUIRED BY FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTING INDICATED ON THE PLANS AND BY SPECIFICATIONS OR REQUIRED BY THE SOILS REPORT AND/OR REQUIRED BY ANY GOVERNMENT AGENCY.
- CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING(S) AS MAY BE INDICATED ON THE PLANS.
- NO ADDITIONAL ROOF OPENING OR ROOF MOUNTED EQUIPMENT IS ALLOWED BEYOND THAT WHICH IS SHOWN ON THESE PLANS WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND STRUCTURAL ENGINEER.
- NO STRUCTURAL MEMBER SHALL BE CUT FOR PIPES, HVAC DUCTS, ETC., UNLESS SPECIFICALLY DETAILED AND/OR APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER.
- ALL SHOP WELDING TO BE DONE IN A CERTIFIED LICENSED SHOP. ALL FIELD WELDING SHALL BE DONE ONLY BY CERTIFIED WELDERS UNDER CONTINUOUS INSPECTION WITH CERTIFICATE ISSUED AS REQUIRED BY BUILDING OFFICIAL.
- WHERE LARGER STUDS OR FURRING IS REQUIRED TO COVER DUCTS, PIPING, CONDUIT, ETC., THE LARGER SIZE STUD OR FURRING SHALL EXTEND THE FULL LENGTH OF THE SURFACE WHERE THE FURRING OCCURS.
- NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USED WITHIN THE BUILDING WHICH EXCEED THE QUANTITIES ALLOWED BY CODE.
- INSTALLATION OF ANY BUILDING INSULATION WHICH CONTAINS OR UTILIZES AN OZONE DEPLETING COMPOUND IS PROHIBITED.
- NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- THE BUILDING AND FACILITIES MUST BE ACCESSIBLE TO AND FUNCTIONAL FOR THE PHYSICALLY DISABLED IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) AND ALL OTHER STATE/FEDERAL GOVERNING AGENCIES.

CONSTRUCTION NOTES

- ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF THE AUTHORITY HAVING JURISDICTION AND THE RULES AND REGULATIONS OF ALL AGENCIES, DEPARTMENTS AND COMMISSIONS HAVING JURISDICTION. WHERE DISCREPANCIES OCCUR AND/OR WHERE THERE ARE CONFLICTS OR OMISSIONS IN THE DRAWINGS AND APPLICATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND REFRAIN FROM STARTING AND COMPLETING SUCH WORK, OR DEPENDENT WORK, UNTIL TOLD BY THE ARCHITECT TO PROCEED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT TO THE ARCHITECT ANY CONDITION OR DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS REQUIRING MODIFICATIONS BEFORE PROCEEDING WITH THE WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- REFERENCING OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREAS. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- NOTES APPEAR ON VARIOUS SHEETS FOR VARIOUS SYSTEMS AND MATERIALS. SHEETS ARE TO BE OWNER REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO RELATED SYSTEMS AND MATERIALS DEPICTED ON OTHER DRAWINGS.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE THAT ARE, WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- GUTTER AND DOWNSPOUT SIZING PER OWNER'S CONTRACTOR.

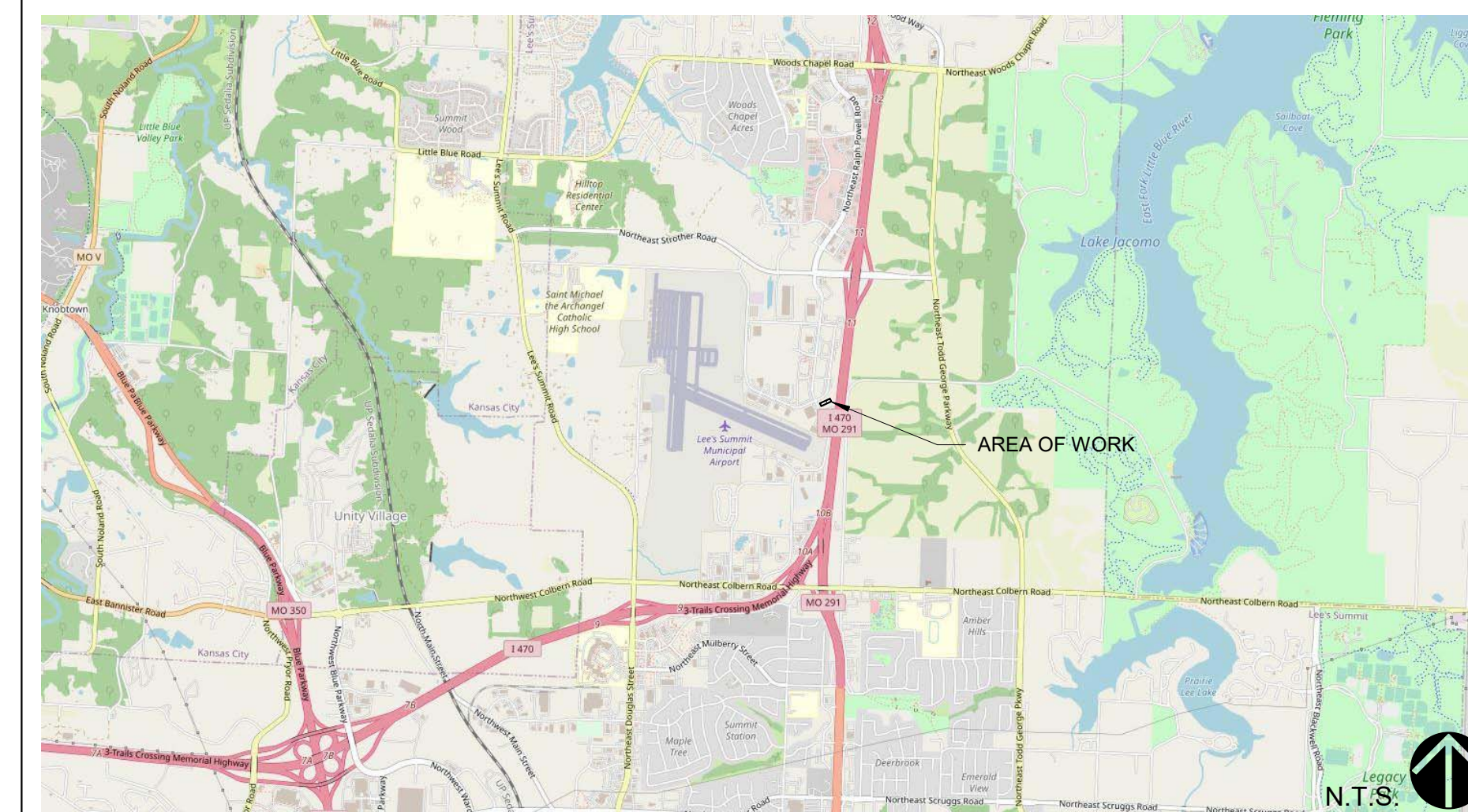
INSTRUCTION TO CONTRACTOR

- THE INTENT OF THE SET OF CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR AS BINDING PERFORMANCE. THE CONTRACTOR SHALL BE REQUIRED ONLY TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS.
- ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS, SECTIONS AND ARTICLES, ARRANGEMENT OF DRAWINGS SHALL NOT CONTROL THE CONTRACTOR, IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.
- UNLESS OTHERWISE STATED IN THE CONTRACT DOCUMENTS, WORDS WHICH HAVE WELL-KNOWN TECHNICAL OR CONSTRUCTION INDUSTRY MEANINGS ARE USED IN THE CONTRACT DOCUMENTS IN ACCORDANCE WITH SUCH RECOGNIZED MEANINGS.
- GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR TO FULLY COORDINATE ALL ELECTRICAL DEVICE BODIES AND COVER PLATES PER THE SPECIFICATIONS. DEVICE BODIES AND COVER PLATES ARE COLOR COORDINATED WITH SPECIALTY FINISHES. PROVIDE DEVICE BODY AND COVER PLATES TO THE ARCHITECT FOR OWNER REVIEW AND APPROVAL.
- GENERAL CONTRACTOR TO FULLY COORDINATE WITH MECHANICAL/PLUMBING SUBCONTRACTORS. ALL FIXTURE/DEVICE COLORS WHERE FIXTURE/DEVICE UNITS ARE PLACED WITHIN WALLS AND CEILING ASSEMBLIES VS ADJACENT MATERIAL FINISH COLOR.

SHEET INDEX

#	SHEET NAME	PERMIT - 2021.09.24	CITY COMMENTS 1 - 2021.11.09	CITY COMMENTS 2 - 2021.12.22
GENERAL				
G-100-FDP	COVER SHEET - FINAL DEV. PLAN			
G-100-BP	COVER SHEET - BUILDING PERMIT	X	X	X
CIVIL				
C-001	COVER SHEET	X	X	X
C-101	DEMOLITION PLAN	X	X	X
C-121	EROSION CONTROL PLAN PHASE 1	X	X	X
C-122	EROSION CONTROL PLAN PHASE 2	X	X	X
C-123	EROSION CONTROL PLAN PHASE 3	X	X	X
C-131	EROSION CONTROL DETAILS	X	X	X
C-132	EROSION CONTROL DETAILS	X	X	X
C-201	DIMENSION PLAN	X	X	X
C-202	ADA RAMP DETAILS			X
C-301	GRADING PLAN	X	X	X
C-302	ADA RAMP GRADING DETAILS			X
C-401	UTILITY PLAN	X	X	X
C-411	STORM PROFILES	X	X	X
C-421	DRAINAGE AREA MAP	X	X	X
C-501	DETAILS	X	X	X
LANDSCAPE				
L-100	LANDSCAPE PLAN	X	X	X
ARCHITECTURAL				
A-001	LIFE SAFETY AND CODE SHEET	X	X	X
A-002	ROOF DRAINAGE PLAN	X	X	X
A-100	OVERALL MAIN LEVEL FLOOR PLAN	X	X	X
A-110	MAIN LEVEL FLOOR PLAN - AREA A	X	X	X
A-111	MAIN LEVEL FLOOR PLAN - AREA B	X	X	X
A-130	ENLARGED PLANS	X	X	X
A-200	ROOF PLAN	X	X	X
A-301	EXTERIOR ELEVATIONS	X	X	X
A-400	WALL SECTIONS & DETAILS	X	X	X
A-401	PERSPECTIVES	X	X	X
STRUCTURAL				
S001	STRUCTURAL GENERAL NOTES	X	X	X
S100	FOUNDATION PLAN	X	X	X
S101	FOUNDATION PLAN	X	X	X
MECHANICAL/PLUMBING				
MP001	MECHANICAL AND PLUMBING SPECIFICATIONS AND SYMBOLS	X	X	X
MP002	MECHANICAL AND PLUMBING SCHEDULES AND DETAILS	X	X	X
MECHANICAL				
M-101	MECHANICAL PLAN WEST	X	X	X
M-102	MECHANICAL PLAN EAST	X	X	X
PLUMBING				
P-101	PLUMBING PLAN WEST	X	X	X
P-102	PLUMBING PLAN EAST	X	X	X
ELECTRICAL				
E-001	ELECTRICAL SPECIFICATIONS AND SYMBOLS	X	X	X
E-002	PHOTOMETRIC PLAN	X	X	X
E-003	PHOTOMETRIC PLAN	X	X	X
E-101	ELECTRICAL PLAN - WEST	X	X	X
E-102	ELECTRICAL PLAN - EAST	X	X	X
E-201	ELECTRICAL EQUIPMENT POWER PLAN - WEST	X	X	X
E-202	ELECTRICAL EQUIPMENT POWER PLAN - EAST	X	X	X
E-301	ELECTRICAL SCHEDULES AND DIAGRAMS	X	X	X

VICINITY MAP



PROJECT DIRECTORY

OWNER

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EMAIL: JSMOTHERS@JSCENGINEERS.COM



Certificates of Authority
Architecture: MO 310 / KS 73
Engineering: MO 4 / KS 241
Land Surveying: MO 123 / KS 36

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LOT 10 LAKEWOOD
BUSINESS PARK
LOT 10 I-470 BUSINESS PARK
LEE'S SUMMIT, MO 64064



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NO.	REVISIONS	DATE
1	DESCRIPTION CHANGES #01	11/11/2021
2	BP CITY COMMENTS #02	12/22/2021

DRAWN BY: NC
CHECKED BY: NC
PROJECT #: 21-1902
ISSUE DATE: 2021.09.24

ISSUED FOR:
BUILDING PERMIT

COVER SHEET -
BUILDING PERMIT

G-100-BP

Lot 10 I-470 BUSINESS AND TECHNOLOGY CENTER

GENERAL NOTES

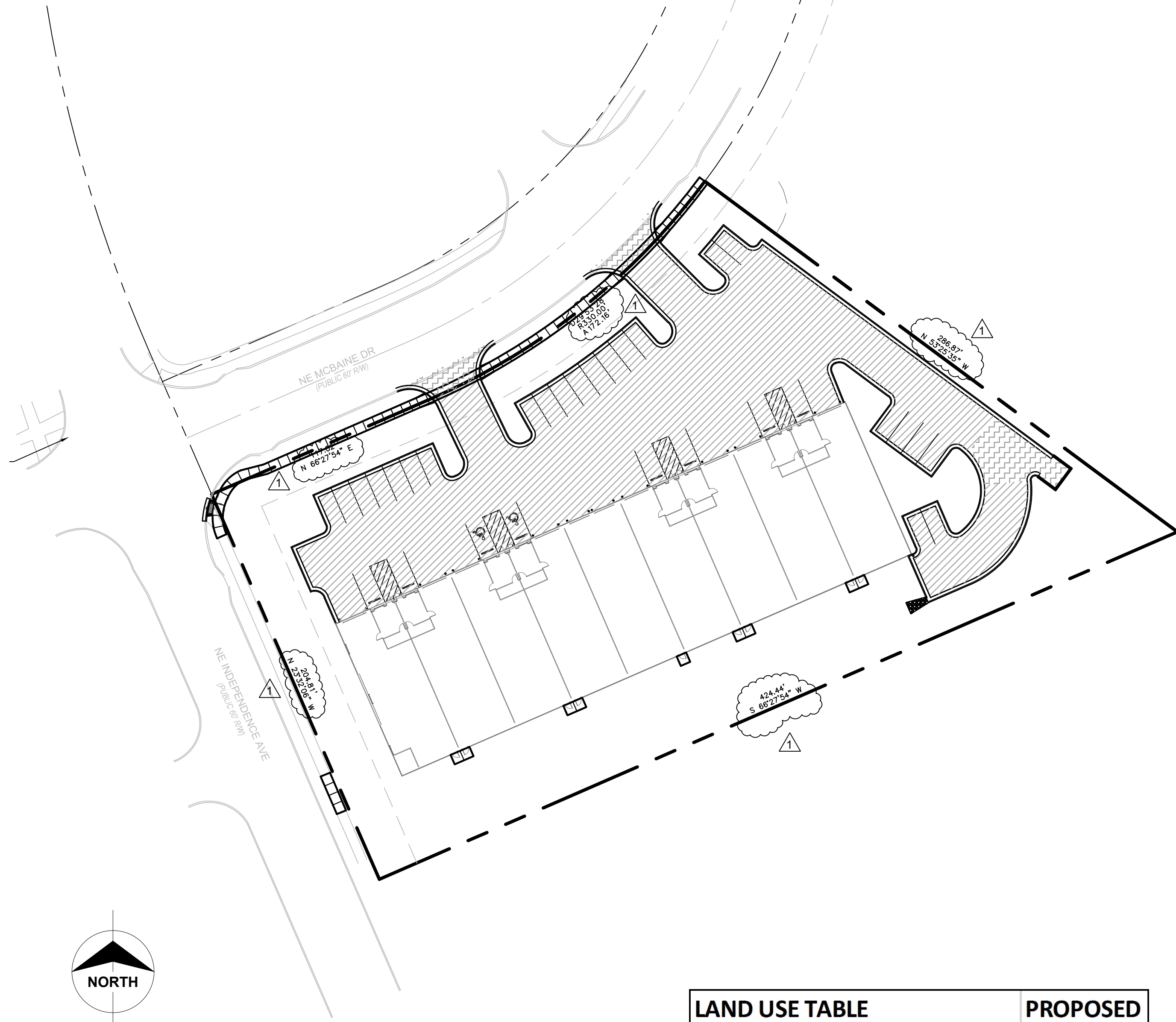
- THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF LEE'S SUMMIT, MISSOURI, IN CURRENT USAGE AND ALL SUPPLEMENTS THERE TO.
- REFER TO THE CURRENT VERSION OF THE KC METRO CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION, STANDARD SPECIFICATIONS & INSTALLATION FOR THE GUIDING REFERENCE AS WELL MDNR.
- DO NOT SCALE THESE DRAWINGS.
- NO GEOLOGICAL INVESTIGATION WAS PERFORMED ON THIS SITE.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, BONDS, AND INSURANCE REQUIRED BY THE CITY.
- THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE TAKEN FROM UTILITY COMPANY RECORDS AND ARE APPROXIMATE ONLY. THEY DO NOT CONSTITUTE ACTUAL FIELD LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL STATE AND LOCAL CODES.
- THE DEVELOPER / OWNER SHALL CONTROL EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION, AND SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS.
- ALL EXCESS MATERIAL SHALL BE REMOVED LEGALLY FROM SITE AND DISPOSED OF OFF SITE.
- TRAFFIC CONTROL AND MAINTENANCE OF TRAFFIC DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC WORKS DEPARTMENT.
- EROSION CONTROL MEASURES SHALL BE PROVIDED AT ALL LOCATIONS WHERE DRAINAGE IS LEAVING THE PROJECT SITE. THE EROSION CONTROL PLAN SHOWS MINIMUM EROSION CONTROL MEASURES TO BE PROVIDED. ADDITIONAL SITE SPECIFIC MEASURES MAY BE NECESSARY AND SHALL BE PROVIDED BY THE DEVELOPER / OWNER, AT THE CONTRACTOR'S EXPENSE.
- ANY EXISTING OR NEW STORM SEWER INLETS IN USE DURING DEMOLITION, GRADING OR CONSTRUCTION SHALL HAVE INLET PROTECTION.
- THE CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN ACTUAL AND PLAN SHOWN CONDITIONS TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND QUANTITIES SHOWN ON THESE PLANS AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING ANY RELATED WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND INSTALLATIONS, INCLUDING SERVICE CONNECTIONS, IN ADVANCE OF EXCAVATION OR TRENCHING, AND PROTECT THE SAME AS REQUIRED TO MAINTAIN GOOD OPERATING CONDITION.
- THE CONTRACTOR SHALL USE HIS OWN INFORMATION AND NOT RELY UPON ANY INFORMATION SHOWN ON THE DRAWINGS CONCERNING EXISTING UNDERGROUND INSTALLATIONS.
- ANY DELAY, ADDITIONAL WORK, OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO EXISTING UNDERGROUND INSTALLATIONS SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT, OR DAMAGES. ALL DAMAGE TO EXISTING UTILITIES INCLUDING SERVICE CONNECTIONS SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND OBTAIN ALL NECESSARY INSPECTIONS THROUGHOUT THE CONSTRUCTION ACTIVITIES.
- ALL EXCAVATION SHALL BE UNCLASSIFIED. NO SEPARATE PAYMENT WILL BE MADE FOR ROCK EXCAVATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, AND SIGNS AS REQUIRED, ALL WORK SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN THE CONTRACT WITH THE OWNER. ADDITIONALLY, ALL EXISTING UTILITY TOPS SHALL BE ADJUSTED TO FINISHED GRADE.
- REMOVAL OF EXISTING PAVING AND/OR BORING AT THE CONTRACTOR'S DISCRETION SHALL BE INCLUDED AS A PART OF ALL UTILITY INSTALLATIONS WHERE APPLICABLE AT THE CONTRACTOR'S EXPENSE AS WELL AS REPLACEMENT/REPAIR OF ALL DISTURBED MATERIALS IN ACCORDANCE WITH LOCAL SPECIFICATIONS AND CODES.
- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION SCHEDULES AND ACTIVITIES WITH THE APPROPRIATE UTILITY OWNER AND ADJACENT PROPERTY OWNERS TO MINIMIZE DISRUPTION TO ADJACENT PROPERTY OWNERS INCLUDING VEHICULAR ACCESS.
- THE CONTRACTOR SHALL COORDINATE ALL UTILITY WORK, INCLUDING DEMOLITION AND REMOVAL, WITH THE APPROPRIATE UTILITY COMPANIES AND SERVICE PROVIDERS PRIOR TO DISCONTINUATION OF SERVICE. UTILITIES NOT NOTED FOR DEMOLITION SHALL REMAIN IN SERVICE AT ALL TIMES.
- THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES UNTIL THE RELOCATED UTILITIES ARE INSPECTED AND APPROVED.
- ALL EXISTING UTILITIES SHALL BE REMOVED BACK TO THE CLOSEST STRUCTURE AND CAPPED AT THAT LOCATION UNLESS OTHERWISE INDICATED IN THESE PLANS.
- REMOVE ALL TREES, GRASS, WEEDS, ROOTS, AND OTHER DEBRIS FROM THE AREA TO BE EXCAVATED, FILLED OR GRADED.
- IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION, AS DETERMINED BY THE GEOTECHNICAL ENGINEER, THE CONTRACTOR SHALL FURNISH SUITABLE BORROW.
- ALL SLOPES, CUT OR FILL, SHALL BE GRADED TO MAXIMUM FINISH SLOPE OF THREE (3) FEET HORIZONTAL TO ONE (1) FOOT VERTICAL. NO GRADED SLOPE SHALL EXCEED 3:1 WITHOUT SPECIFIC SLOPE PLANTING OR REINFORCEMENT.
- SITE SHALL BE GRADED TO ENSURE DRAINAGE OF WATER FROM ALL SURFACES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURFACE AND GROUNDWATER CONTROL MEASURES.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED.
- STORM DRAINAGE SYSTEMS WITHIN THE PROJECT AREA ARE TO BE COMPLETELY CLEANED AT THE COMPLETION OF THE PROJECT.
- EXISTING TREES WHERE INDICATED SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND ALL GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES.
- ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING.
- ALL SOILS UNDERCUTTING, OVER EXCAVATION, UNDER DRAIN INSTALLATION, AND ROCK FILLS SHALL BE DETERMINED AND DIRECTED BY THE SOILS ENGINEER.
- FILL AREAS TO BE COMPACTED TO 95% STANDARD PROCTOR MINIMUM UNLESS OTHERWISE INDICATED BY GEOTECHNICAL ENGINEER.
- UNLESS OTHERWISE INDICATED, ALL DISTURBED SOIL AREAS TO RECEIVE 6 INCHES OF TOPSOIL AND TO BE SEED AND MULCHED.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING, PATCHING, AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

CONSTRUCTION NOTES

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FINAL DEVELOPMENT PLAN

LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



LEGAL DESCRIPTION
 LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER, A
 SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

DEVELOPER:
 David Ward
 Ward Development
 1120 NW Eagle Ridge Blvd.
 Grain Valley, MO
 816-229-8115

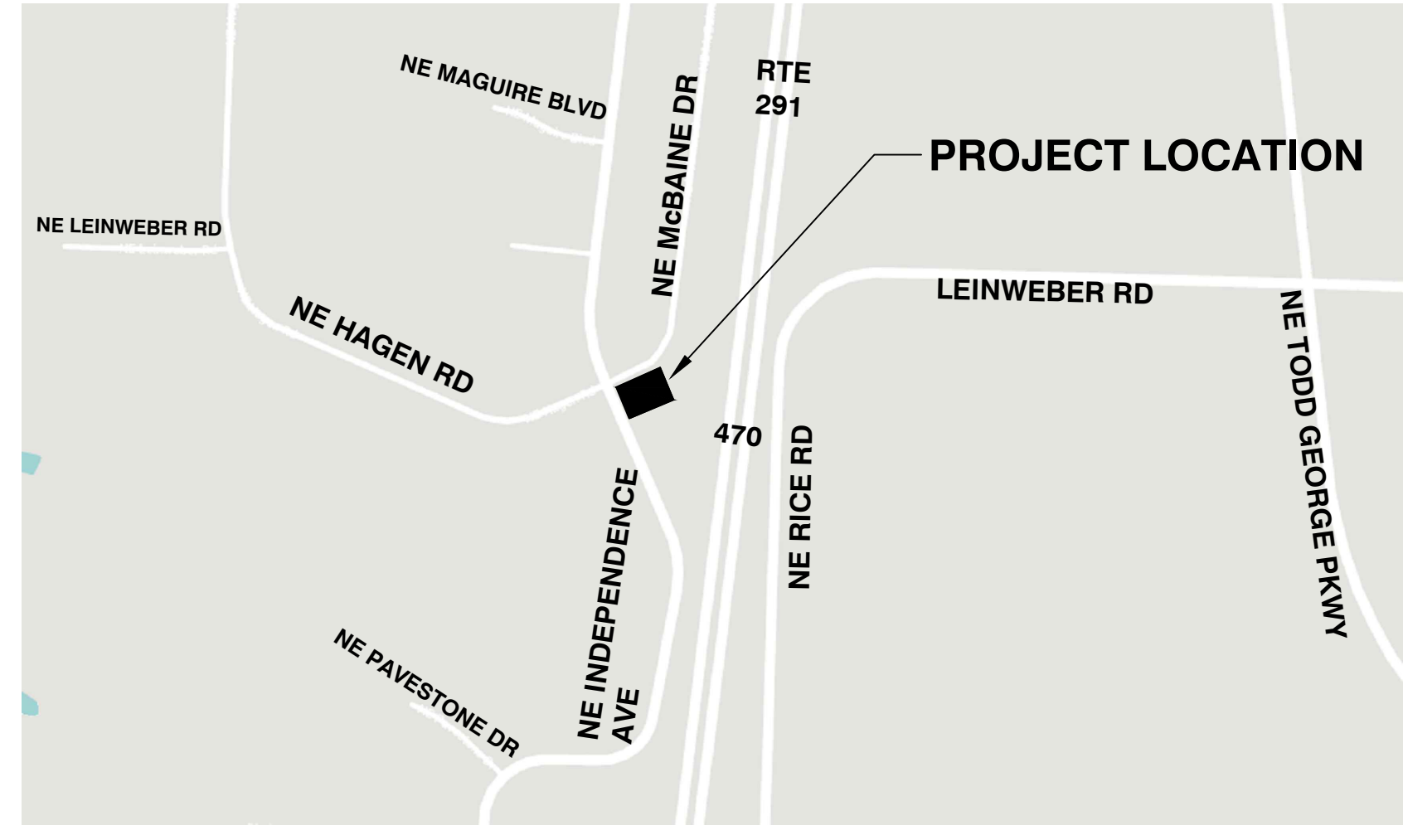
- NOTES:**
- Site is located within an area of minimal flood hazard (Flood Zone X) in FEMA FIRM Panel number 29095C0430G (effective 1/20/2017).
 - No oil or gas wells are present on site per Missouri DNR record.
 - Requirements of the City of Lee's Summit Design and Construction Manual shall govern.

LAND USE TABLE	PROPOSED
TOTAL FLOOR AREA (SF)	21,897
NUMBER OF DWELLING UNITS	0
LAND AREA (AC)	1.79
REQUIRED PARKING SPACES	28
PROVIDED PARKING SPACES	31
IMPERVIOUS COVERAGE (AC)	1.26
FLOOR AREA RATIO (FAR)	0.281

C-001	Cover Sheet
C-101	Demolition Plan
C-121	Erosion Control Plan Phase 1
C-122	Erosion Control Plan Phase 2
C-123	Erosion Control Plan Phase 3
C-131	Erosion Control Details
C-132	Erosion Control Details
C-201	Dimension Plan
C-202	ADA Ramp Details
C-301	Grading Plan
C-302	ADA Ramp Grading Details
C-401	Utility Plan
C-411	Storm Profiles
C-421	Drainage Area Map
C-501	Details
C-502	Details
C-503	Details
L-100	Landscape Plan

UTILITIES

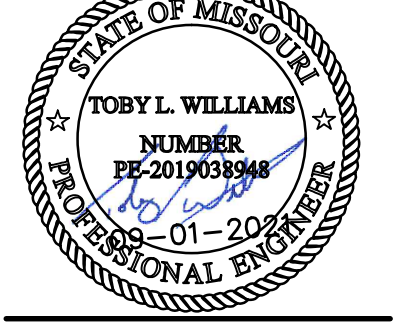
- EVERGY**
 1200 Main St.
 PO Box 418679
 Kansas City, MO 64141
 888.471.5275
- AT&T**
 215 N Spring St.
 Independence, MO 64050
 816.325.5610
- SPIRE**
 3025 SE Clover Dr.
 Lee's Summit, MO 64082
 800.582.1234
- SPECTRUM**
 6550 Winchester Ave.
 Kansas City, MO 64133
 816.358.5360
- CITY OF LEE'S SUMMIT**
 220 SE Green St.
 Lee's Summit, MO 64063
 816.969.1800
- MISSOURI ONE CALL**
 1.800.344.7483



Certificates of Authority
 Architecture: MO 310 / KS 13
 Engineering: MO 4 / KS 241
 Land Surveying: MO 123 / KS 34

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Toby L. Williams, PE
 PE-2019038948 (MISSOURI #)



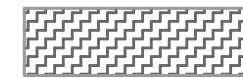

PREPARED FOR:
 WARD DEVELOPMENT
 DAVID WARD
 1120 NW EAGLE RIDGE BLVD.
 GRAIN VALLEY, MO 64029
 (816) 229-8115

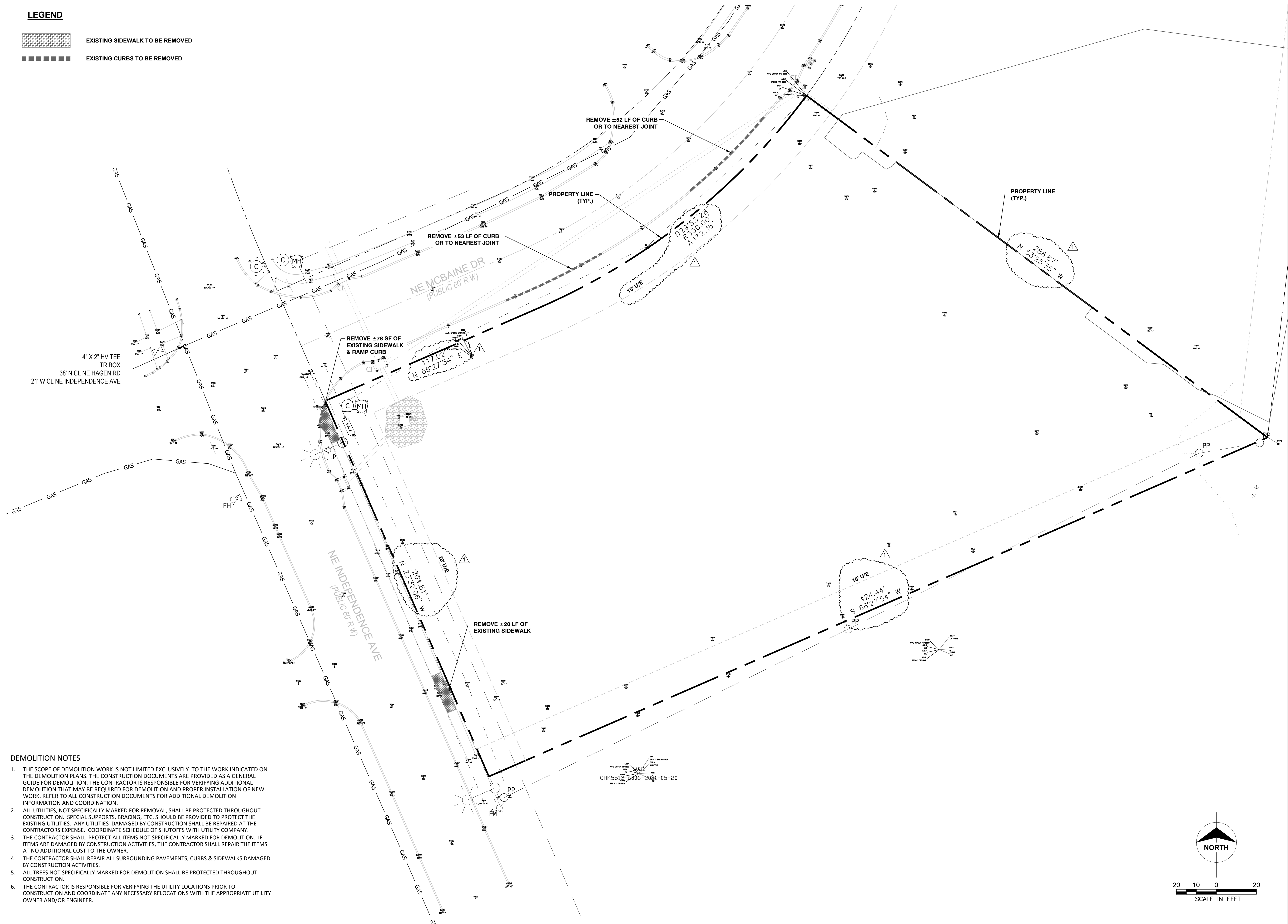
LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER
 2601 NE MCBAIN DRIVE
 LEE'S SUMMIT, MO 64064

REVISIONS	NO.	DATE / DESCRIPTION
	1	11/09/2021 - CITY COMMENTS
	2	12/22/2021 - CITY COMMENTS

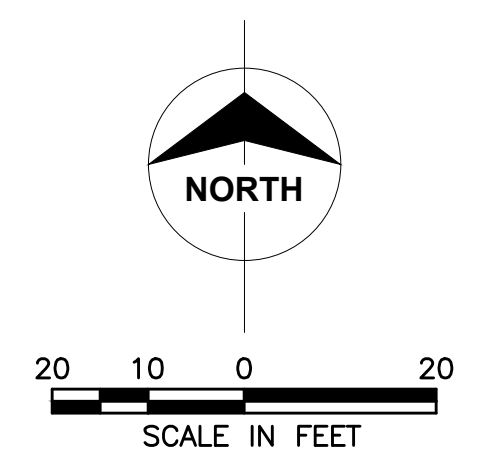
PROJECT #: 21-1902
 ISSUE DATE: 09/01/2021
 ISSUED FOR:

LEGEND

-  EXISTING SIDEWALK TO BE REMOVED
-  EXISTING CURBS TO BE REMOVED



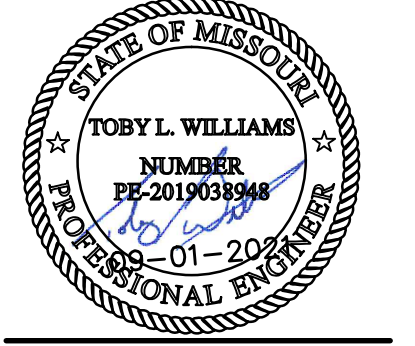
- DEMOLITION NOTES**
1. THE SCOPE OF DEMOLITION WORK IS NOT LIMITED EXCLUSIVELY TO THE WORK INDICATED ON THE DEMOLITION PLANS. THE CONSTRUCTION DOCUMENTS ARE PROVIDED AS A GENERAL GUIDE FOR DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ADDITIONAL DEMOLITION THAT MAY BE REQUIRED FOR DEMOLITION AND PROPER INSTALLATION OF NEW WORK. REFER TO ALL CONSTRUCTION DOCUMENTS FOR ADDITIONAL DEMOLITION INFORMATION AND COORDINATION.
 2. ALL UTILITIES, NOT SPECIFICALLY MARKED FOR REMOVAL, SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. SPECIAL SUPPORTS, BRACING, ETC. SHOULD BE PROVIDED TO PROTECT THE EXISTING UTILITIES. ANY UTILITIES DAMAGED BY CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE. COORDINATE SCHEDULE OF SHUTOFFS WITH UTILITY COMPANY.
 3. THE CONTRACTOR SHALL PROTECT ALL ITEMS NOT SPECIFICALLY MARKED FOR DEMOLITION. IF ITEMS ARE DAMAGED BY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL REPAIR THE ITEMS AT NO ADDITIONAL COST TO THE OWNER.
 4. THE CONTRACTOR SHALL REPAIR ALL SURROUNDING PAVEMENTS, CURBS & SIDEWALKS DAMAGED BY CONSTRUCTION ACTIVITIES.
 5. ALL TREES NOT SPECIFICALLY MARKED FOR DEMOLITION SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
 6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND COORDINATE ANY NECESSARY RELOCATIONS WITH THE APPROPRIATE UTILITY OWNER AND/OR ENGINEER.



Certificates of Authority
 Architecture: MO 318 / KS 13
 Engineering: MO 4 / KS 241
 Land Surveying: MO 123 / KS 34

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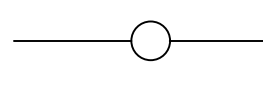

LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER
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REVISIONS	NO.	DATE / DESCRIPTION
	1	11/09/2021 - CITY COMMENTS

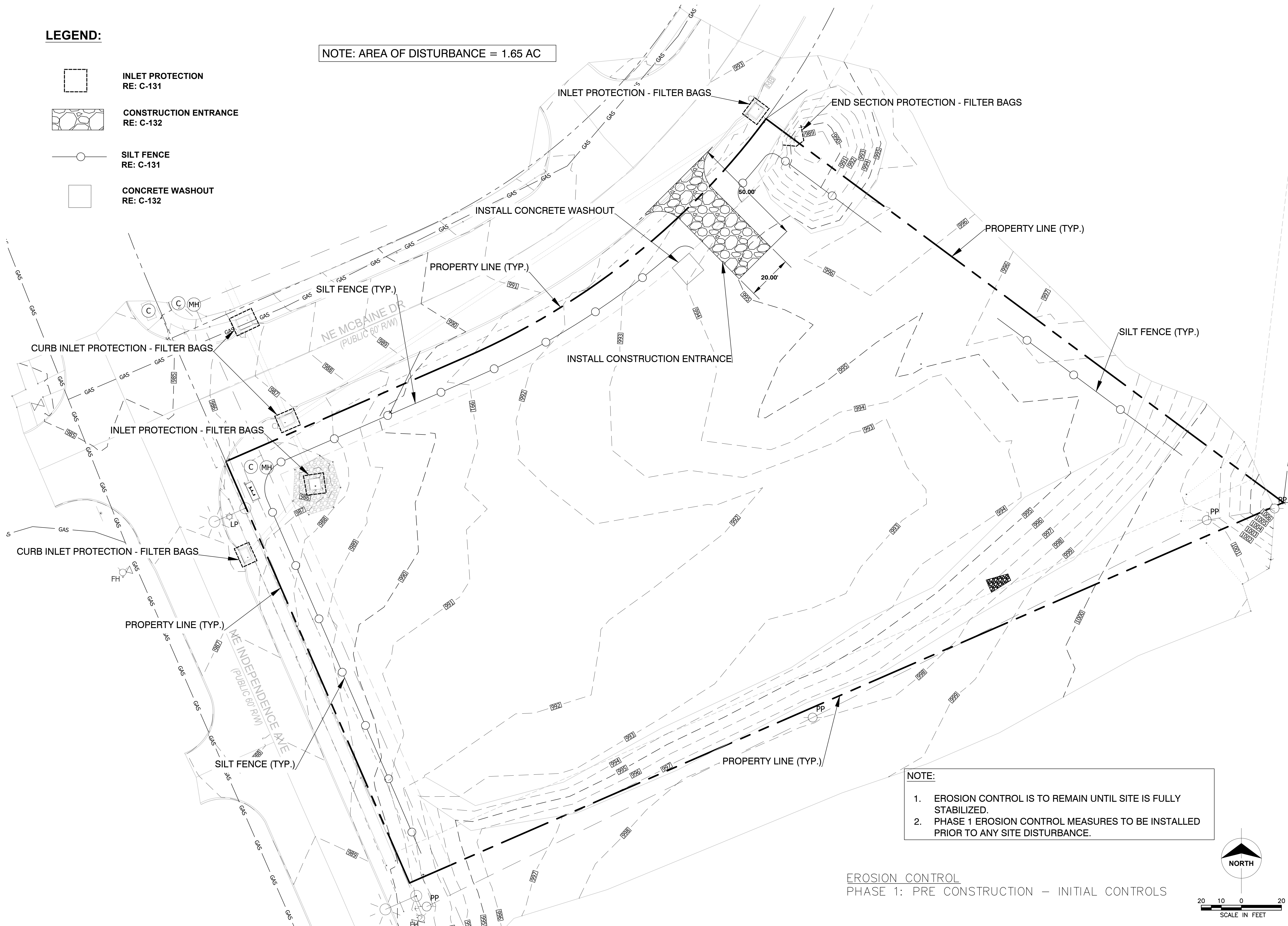
PROJECT #: 21-1902
 ISSUE DATE: 09/01/2021
 ISSUED FOR:

DEMOLITION PLAN

LEGEND:

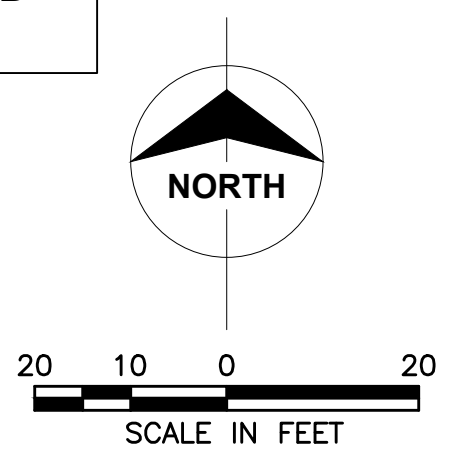
-  **INLET PROTECTION**
RE: C-131
-  **CONSTRUCTION ENTRANCE**
RE: C-132
-  **SILT FENCE**
RE: C-131
-  **CONCRETE WASHOUT**
RE: C-132

NOTE: AREA OF DISTURBANCE = 1.65 AC



NOTE:
 1. EROSION CONTROL IS TO REMAIN UNTIL SITE IS FULLY STABILIZED.
 2. PHASE 1 EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO ANY SITE DISTURBANCE.

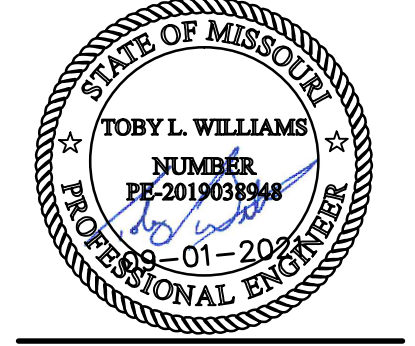
**EROSION CONTROL
 PHASE 1: PRE CONSTRUCTION – INITIAL CONTROLS**



Certificates of Authority
 Architecture: MO 318 / KS 33
 Engineering: MO 4 / KS 241
 Land Surveying: MO 123 / KS 34

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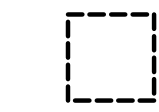

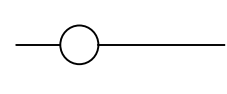
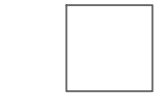
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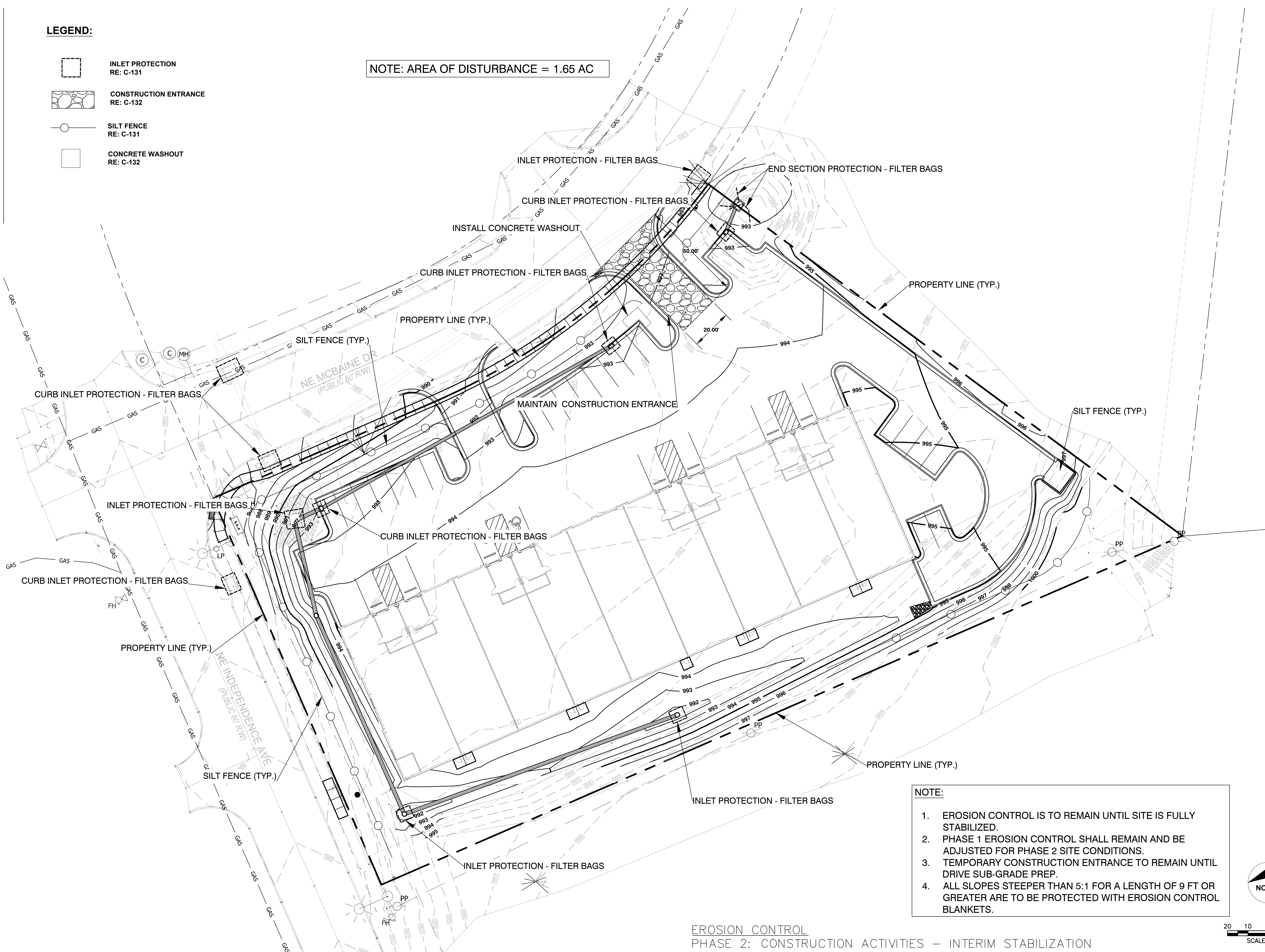
PROJECT #: 21-1902
 ISSUE DATE: 09/01/2021
 ISSUED FOR:

FOR PERMIT
 EROSION CONTROL PLAN
 PHASE 1

LEGEND:

-  INLET PROTECTION
RE: C-131
-  CONSTRUCTION ENTRANCE
RE: C-132
-  SILT FENCE
RE: C-131
-  CONCRETE WASHOUT
RE: C-132

NOTE: AREA OF DISTURBANCE = 1.65 AC



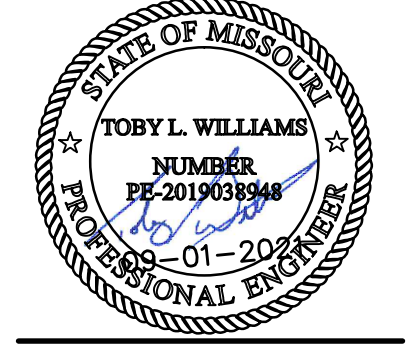
- NOTE:**
1. EROSION CONTROL IS TO REMAIN UNTIL SITE IS FULLY STABILIZED.
 2. PHASE 1 EROSION CONTROL SHALL REMAIN AND BE ADJUSTED FOR PHASE 2 SITE CONDITIONS.
 3. TEMPORARY CONSTRUCTION ENTRANCE TO REMAIN UNTIL DRIVE SUB-GRADE PREP.
 4. ALL SLOPES STEEPER THAN 5:1 FOR A LENGTH OF 9 FT OR GREATER ARE TO BE PROTECTED WITH EROSION CONTROL BLANKETS.

EROSION CONTROL
PHASE 2: CONSTRUCTION ACTIVITIES – INTERIM STABILIZATION

Certificates of Authority
Architecture: MO 318 / KS 73
Engineering: MO 4 / KS 241
Land Surveying: MO 123 / KS 34

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(816) 229-8115


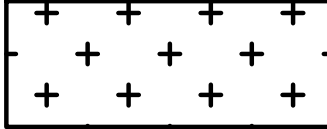
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2601 NE MCBAIN DRIVE
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REVISIONS NO.	DATE / DESCRIPTION

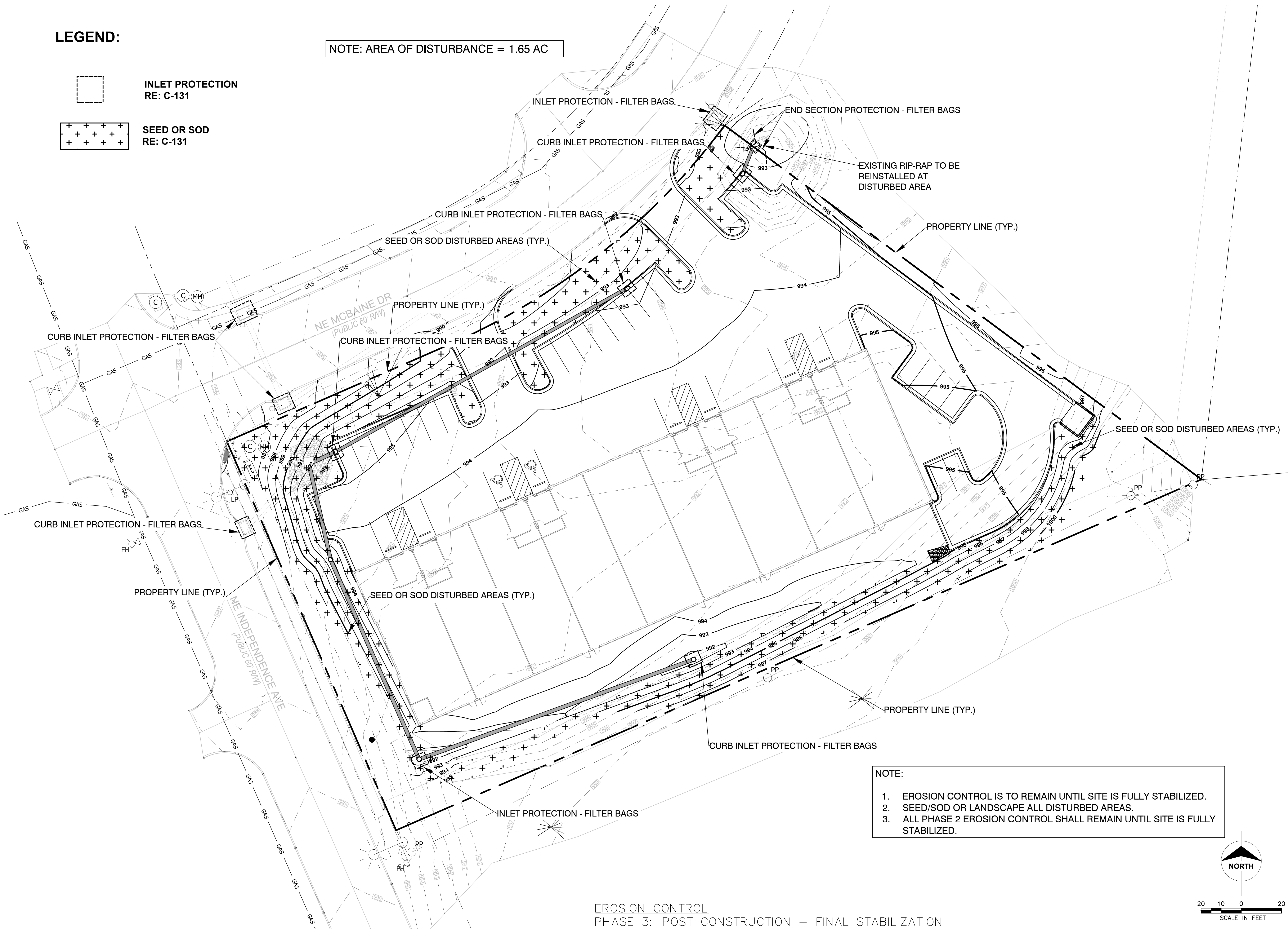
PROJECT #: 21-1902
ISSUE DATE: 09/01/2021
ISSUED FOR:

FOR PERMIT
EROSION CONTROL PLAN
PHASE 2

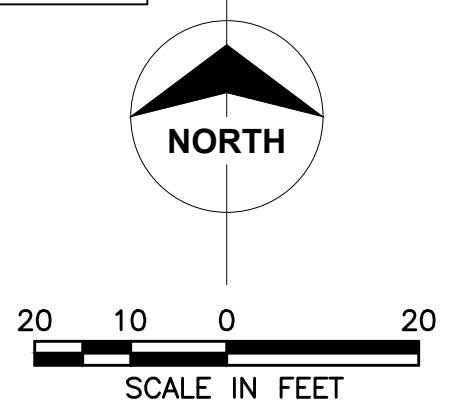
LEGEND:

-  **INLET PROTECTION**
RE: C-131
-  **SEED OR SOD**
RE: C-131

NOTE: AREA OF DISTURBANCE = 1.65 AC



- NOTE:**
1. EROSION CONTROL IS TO REMAIN UNTIL SITE IS FULLY STABILIZED.
 2. SEED/SOD OR LANDSCAPE ALL DISTURBED AREAS.
 3. ALL PHASE 2 EROSION CONTROL SHALL REMAIN UNTIL SITE IS FULLY STABILIZED.

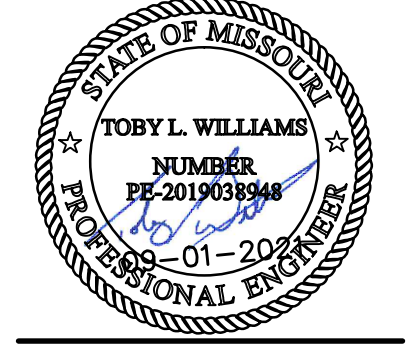


EROSION CONTROL
PHASE 3: POST CONSTRUCTION – FINAL STABILIZATION

Certificates of Authority
Architecture: MO 318 / KS 33
Engineering: MO 4 / KS 241
Land Surveying: MO 123 / KS 34

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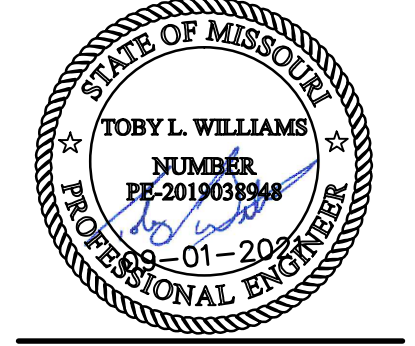
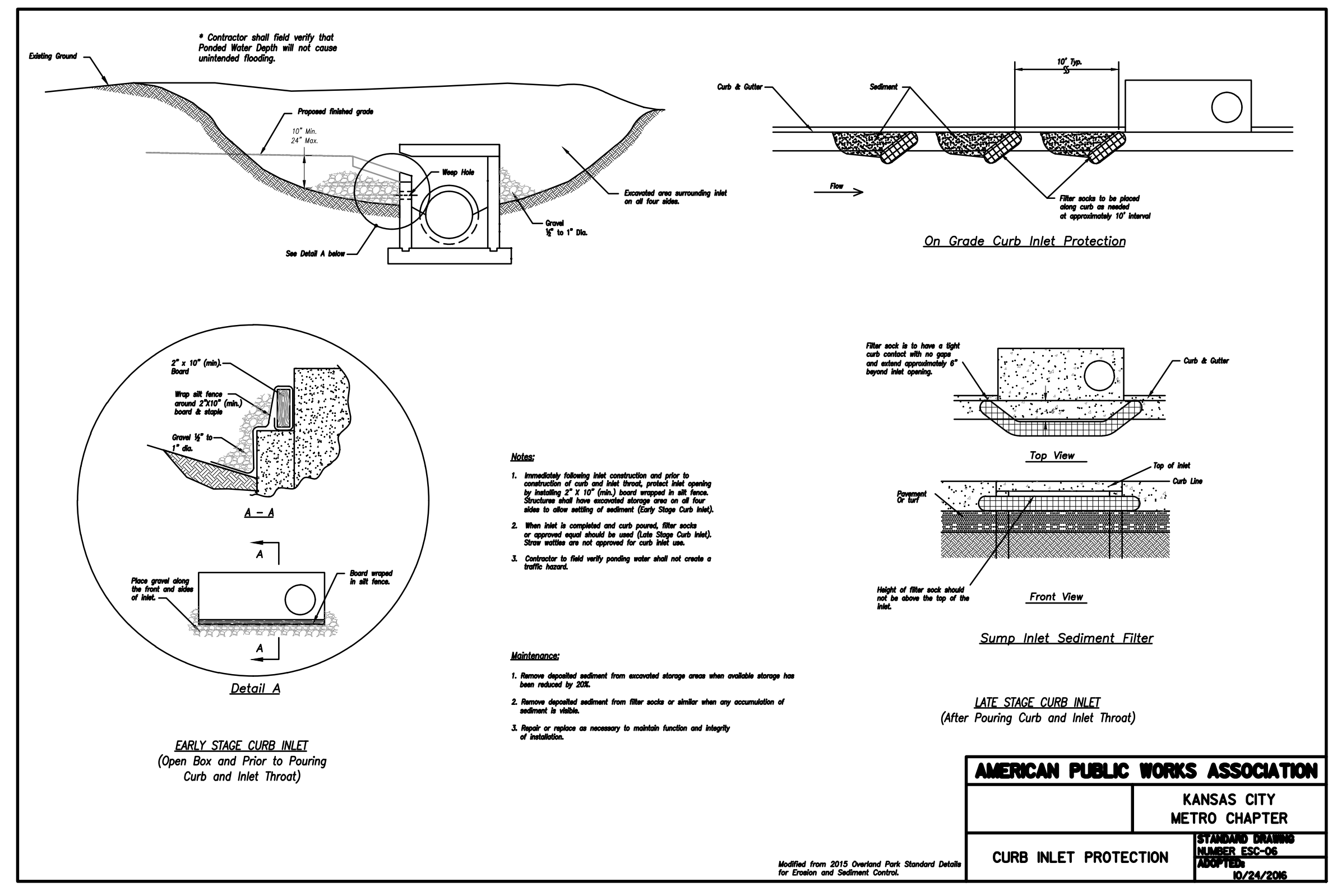
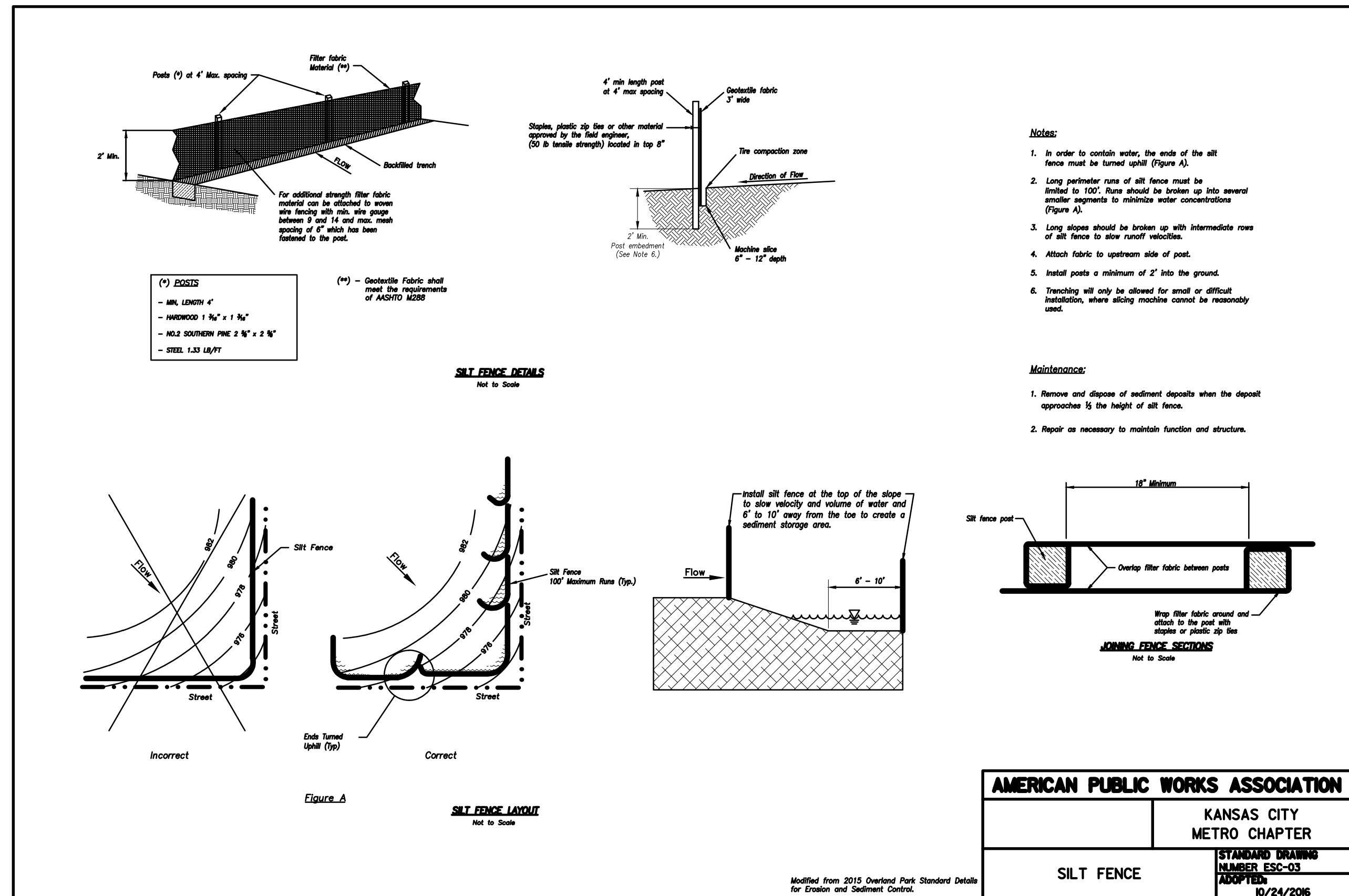
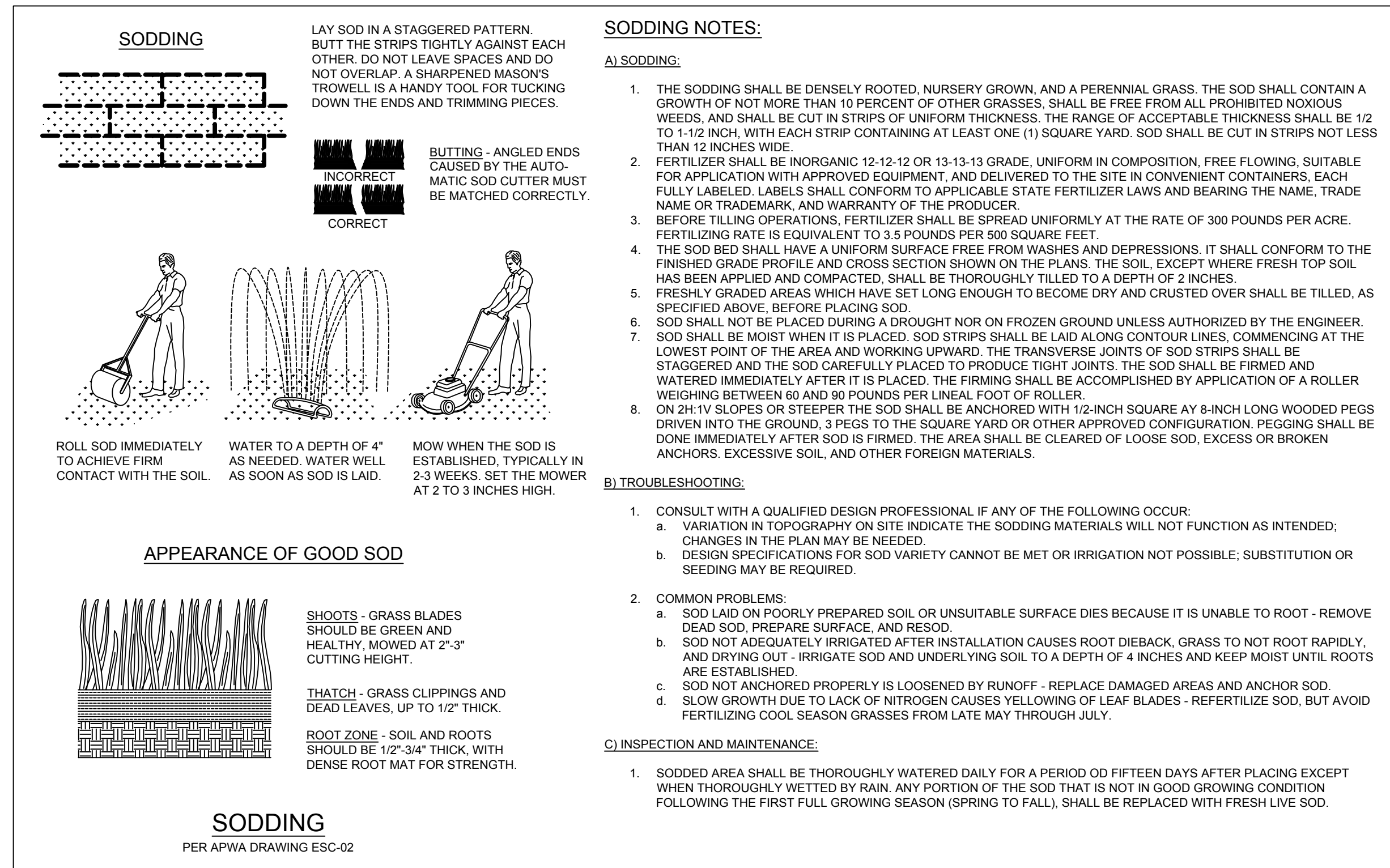
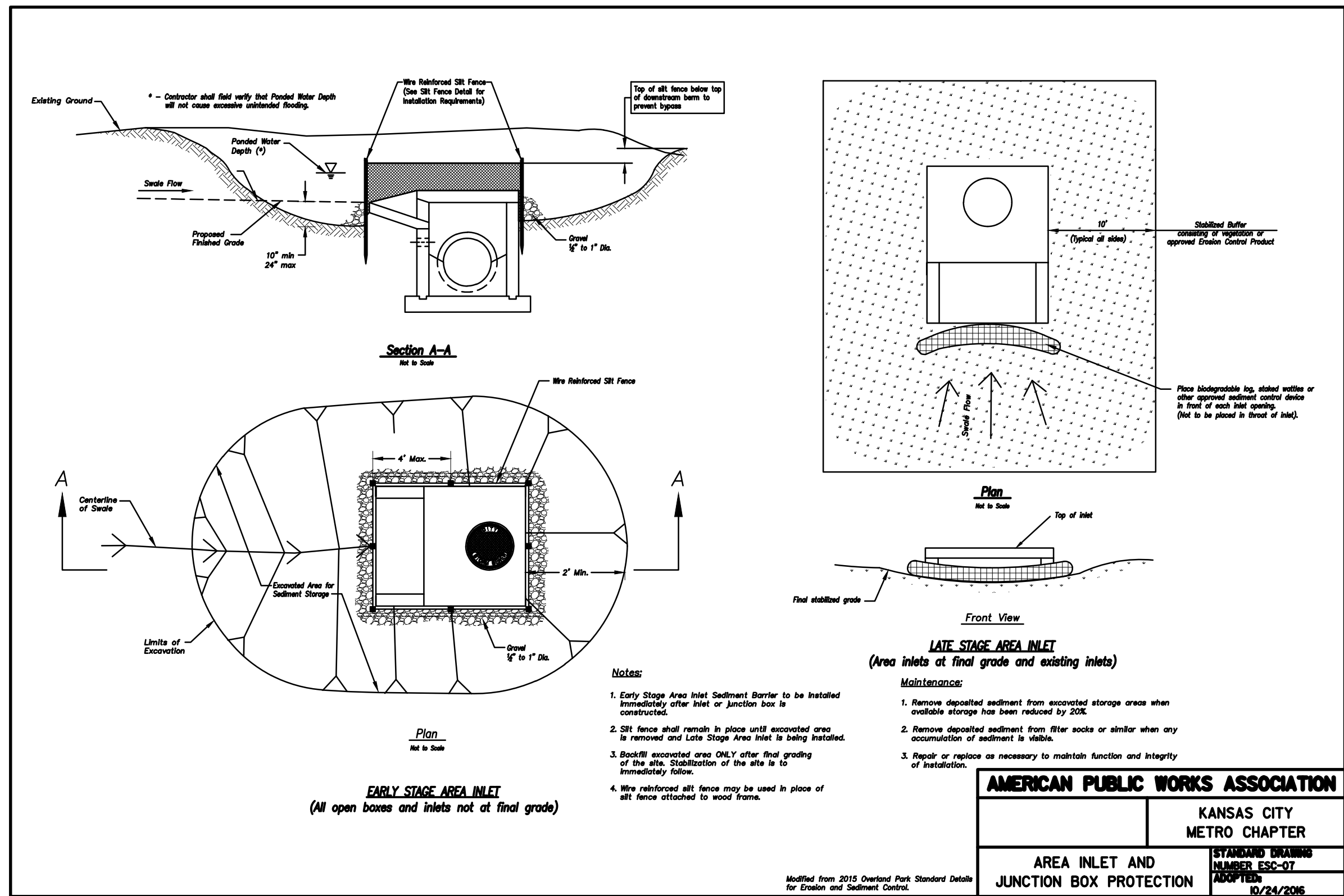
PREPARED FOR:
WARD DEVELOPMENT
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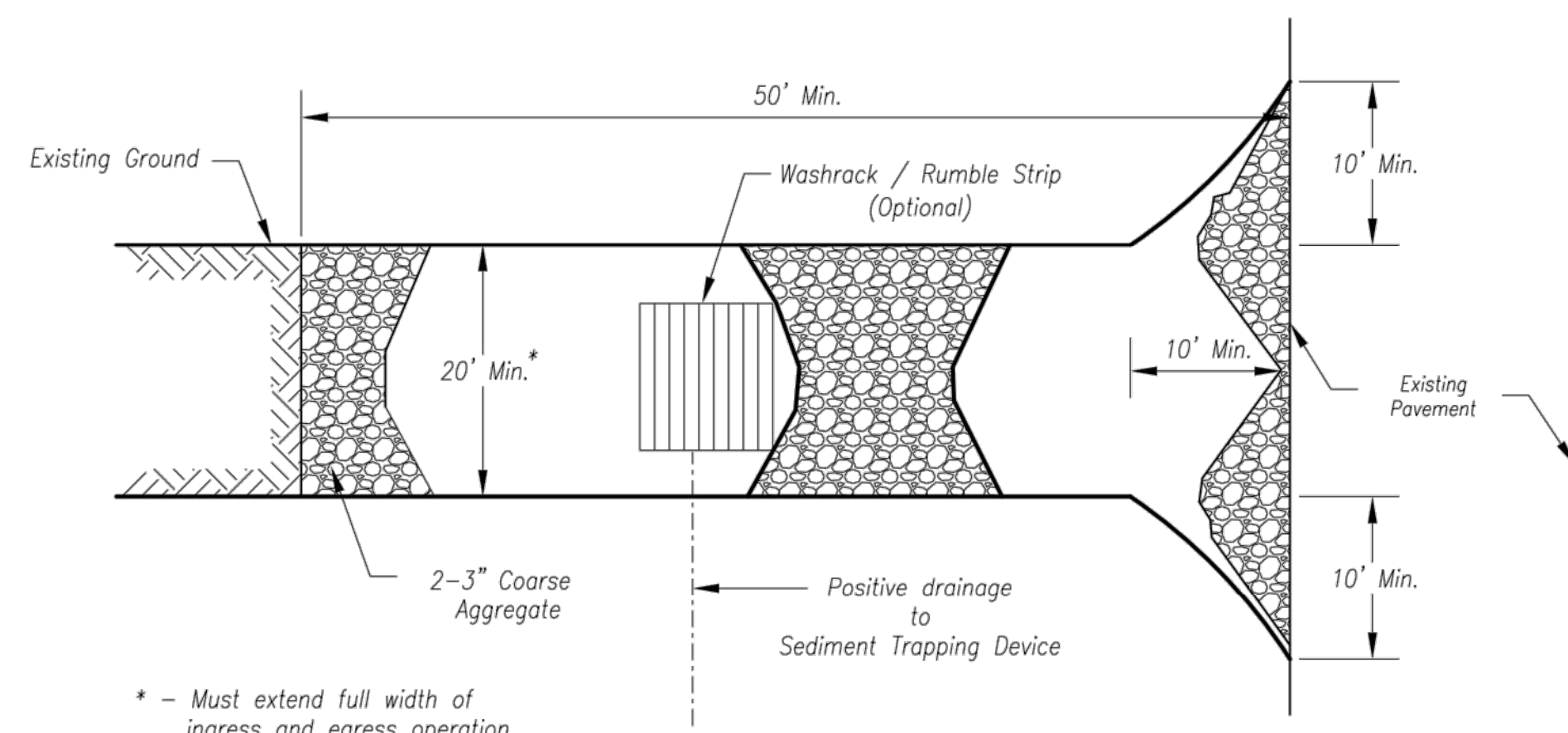
REVISIONS NO.	DATE / DESCRIPTION

PROJECT #: 21-1902
ISSUE DATE: 09/01/2021
ISSUED FOR:

FOR PERMIT
EROSION CONTROL PLAN
PHASE 3
C-123

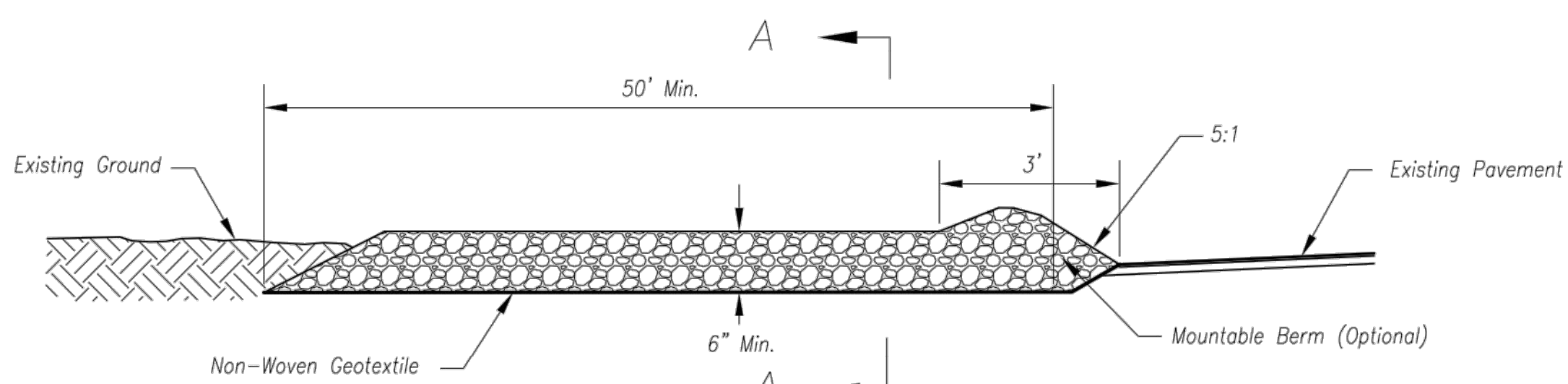


REVISIONS	NO.	DATE / DESCRIPTION

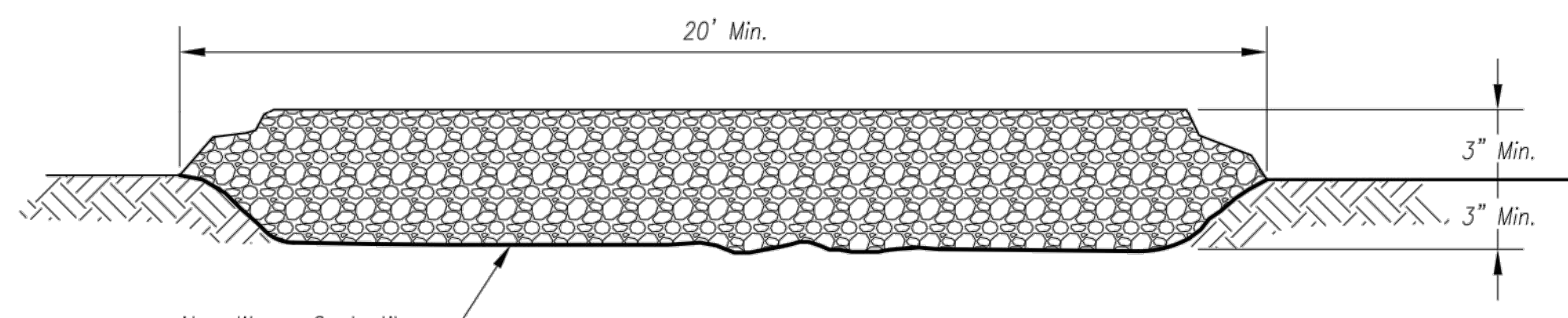


* - Must extend full width of ingress and egress operation

Plan View
Not to Scale



Side Elevation
Not to Scale



Section A-A
Not to Scale

Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3H:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

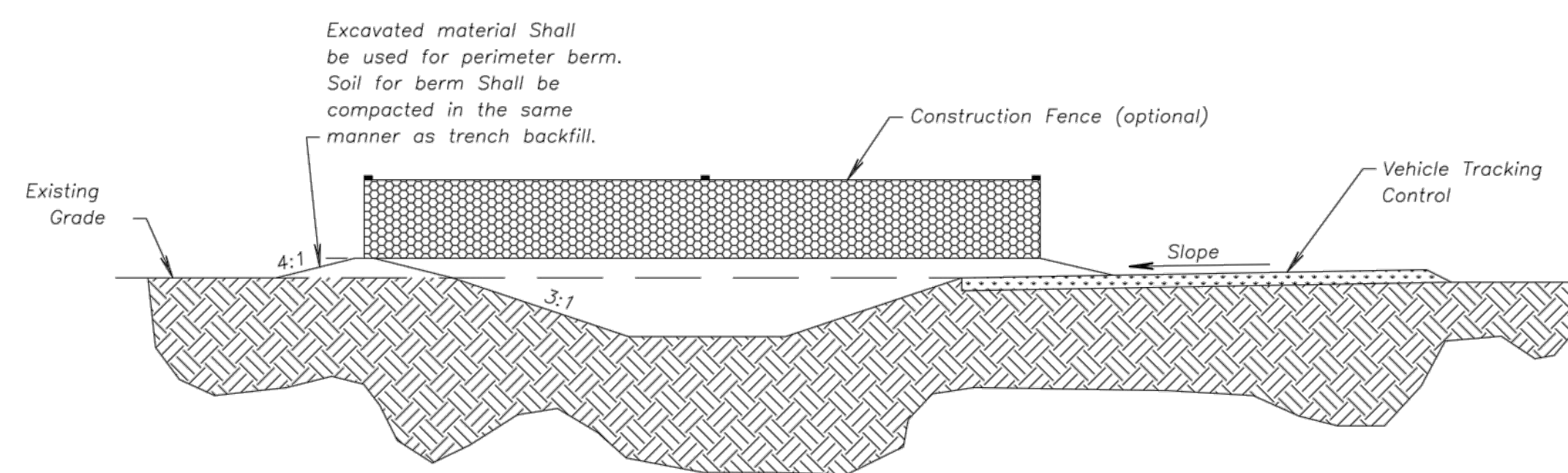
CONSTRUCTION ENTRANCE

Notes for Concrete Washout:

1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.


Maintenance for Concrete Washout:

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT

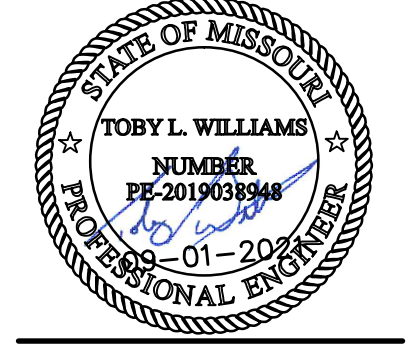
Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

AMERICAN PUBLIC WORKS ASSOCIATION	
	
KANSAS CITY METRO CHAPTER	
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT	STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016

Certificates of Authority
Architecture: MO 318 / KS 33
Engineering: MO 4 / KS 241
Land Surveying: MO 123 / KS 36

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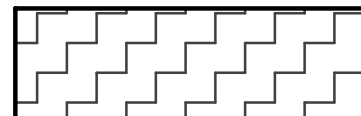
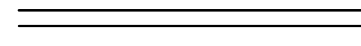
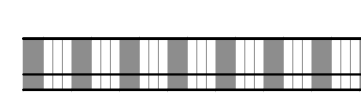
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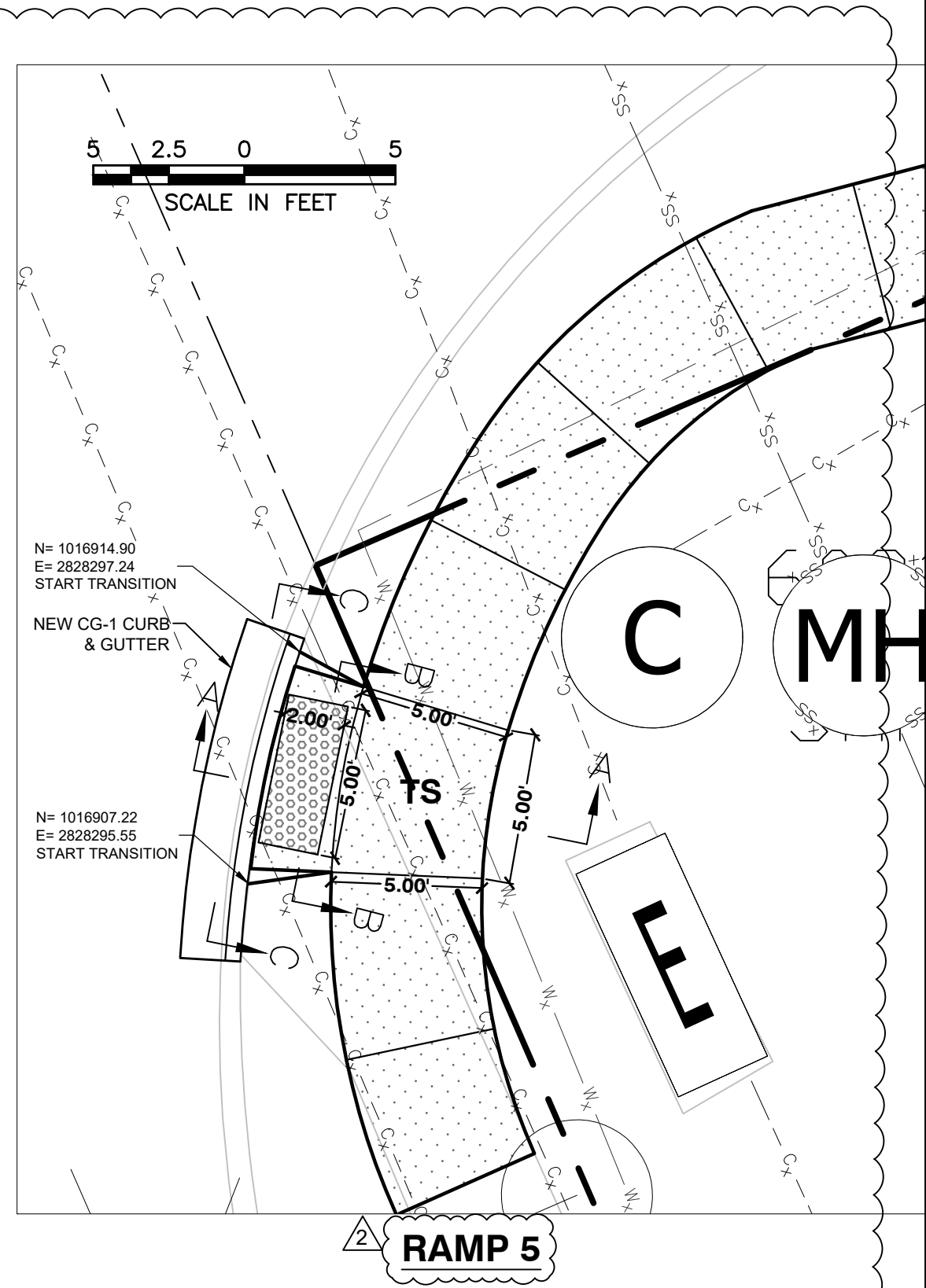
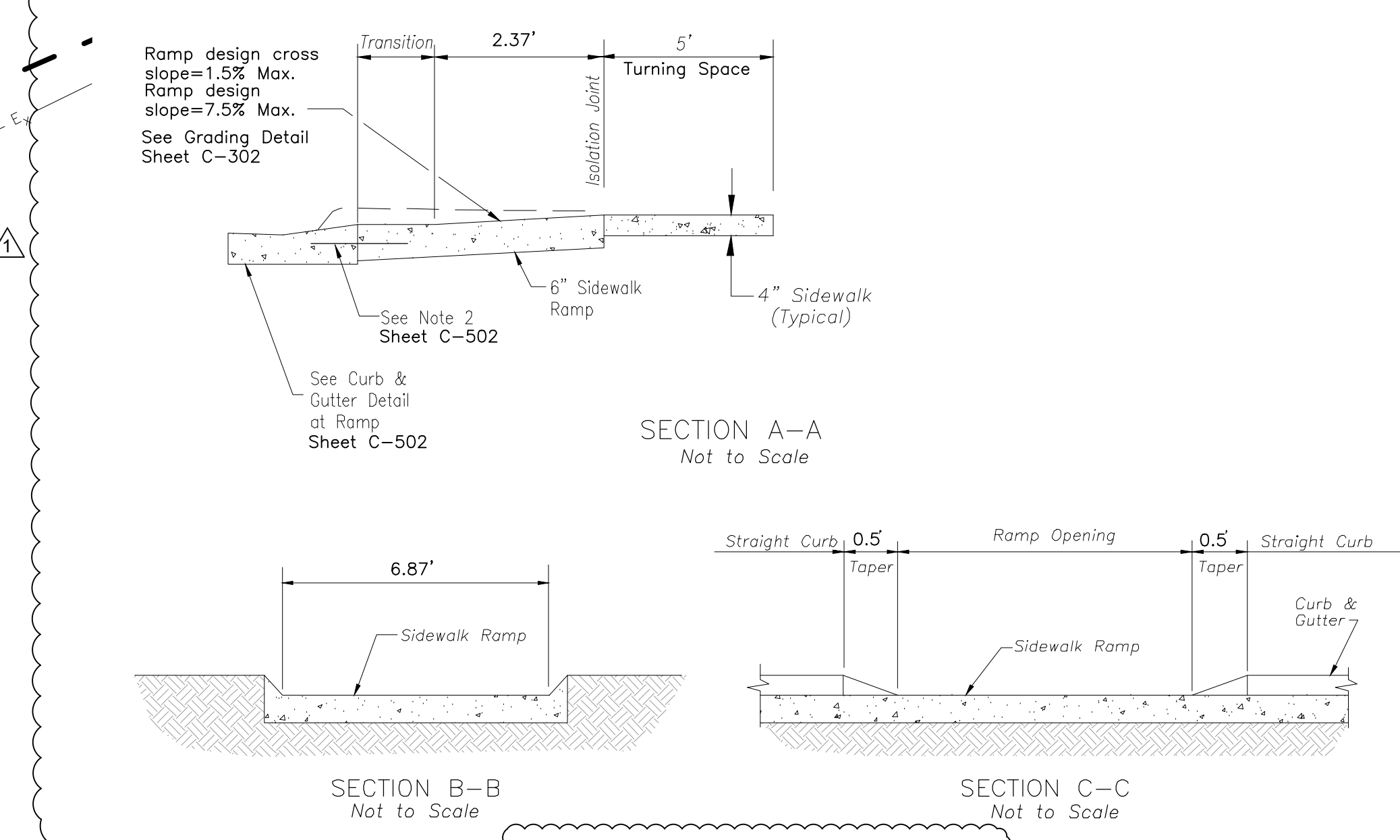
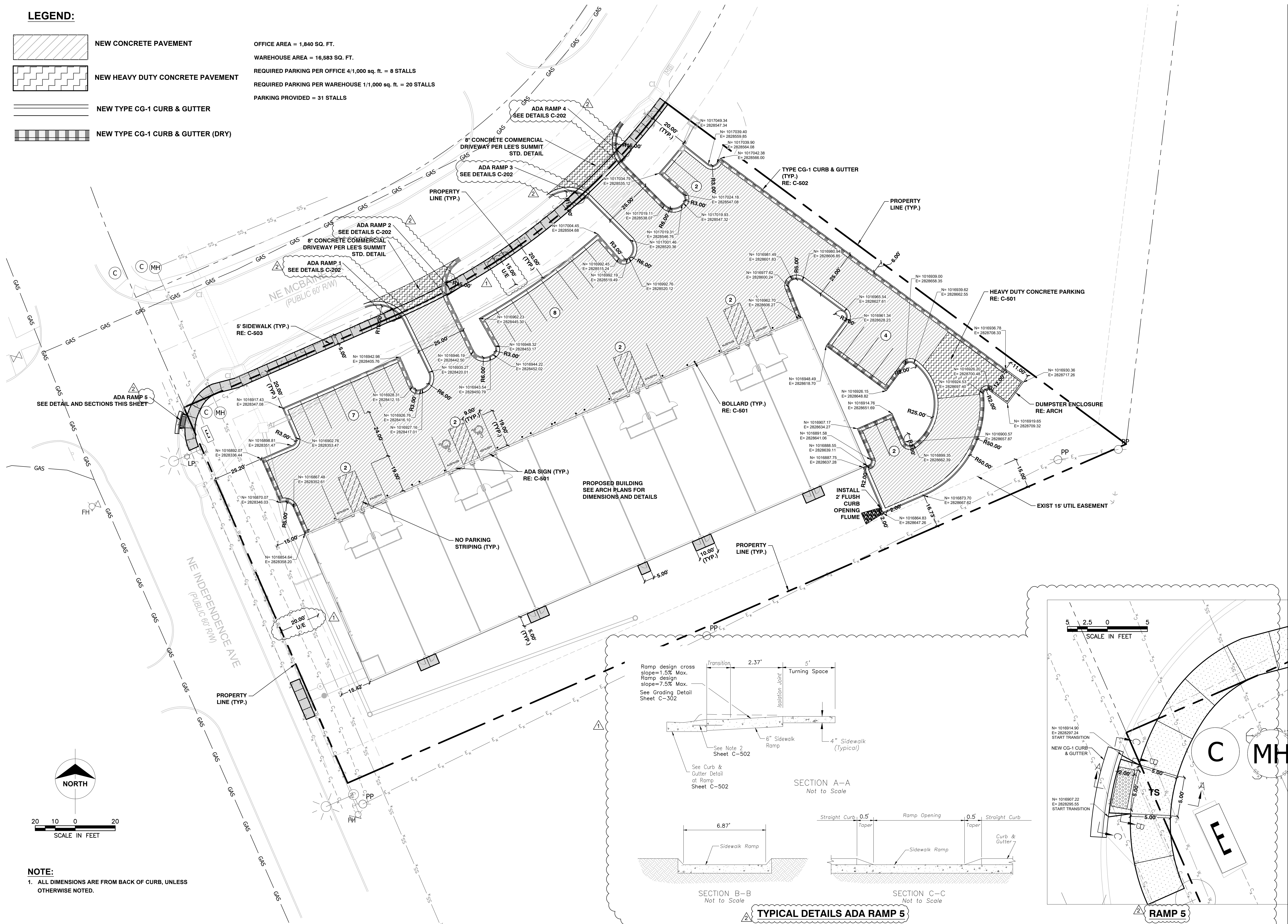
PROJECT #: 21-1902
ISSUE DATE: 09/01/2021
ISSUED FOR:

FOR PERMIT
EROSION CONTROL DETAILS
C-132

LEGEND:

-  NEW CONCRETE PAVEMENT
-  NEW HEAVY DUTY CONCRETE PAVEMENT
-  NEW TYPE CG-1 CURB & GUTTER
-  NEW TYPE CG-1 CURB & GUTTER (DRY)

OFFICE AREA = 1,840 SQ. FT.
 WAREHOUSE AREA = 16,583 SQ. FT.
 REQUIRED PARKING PER OFFICE 4/1,000 sq. ft. = 8 STALLS
 REQUIRED PARKING PER WAREHOUSE 1/1,000 sq. ft. = 20 STALLS
 PARKING PROVIDED = 31 STALLS

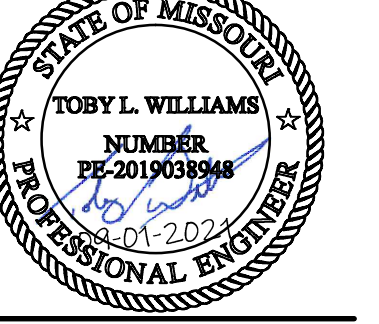


NOTE:
 1. ALL DIMENSIONS ARE FROM BACK OF CURB, UNLESS OTHERWISE NOTED.

Certificate of Authority
 Architecture: MO 310 / RE 13
 Engineering: MO 4 / KS 241
 Land Surveying: MO 123 / KS 34

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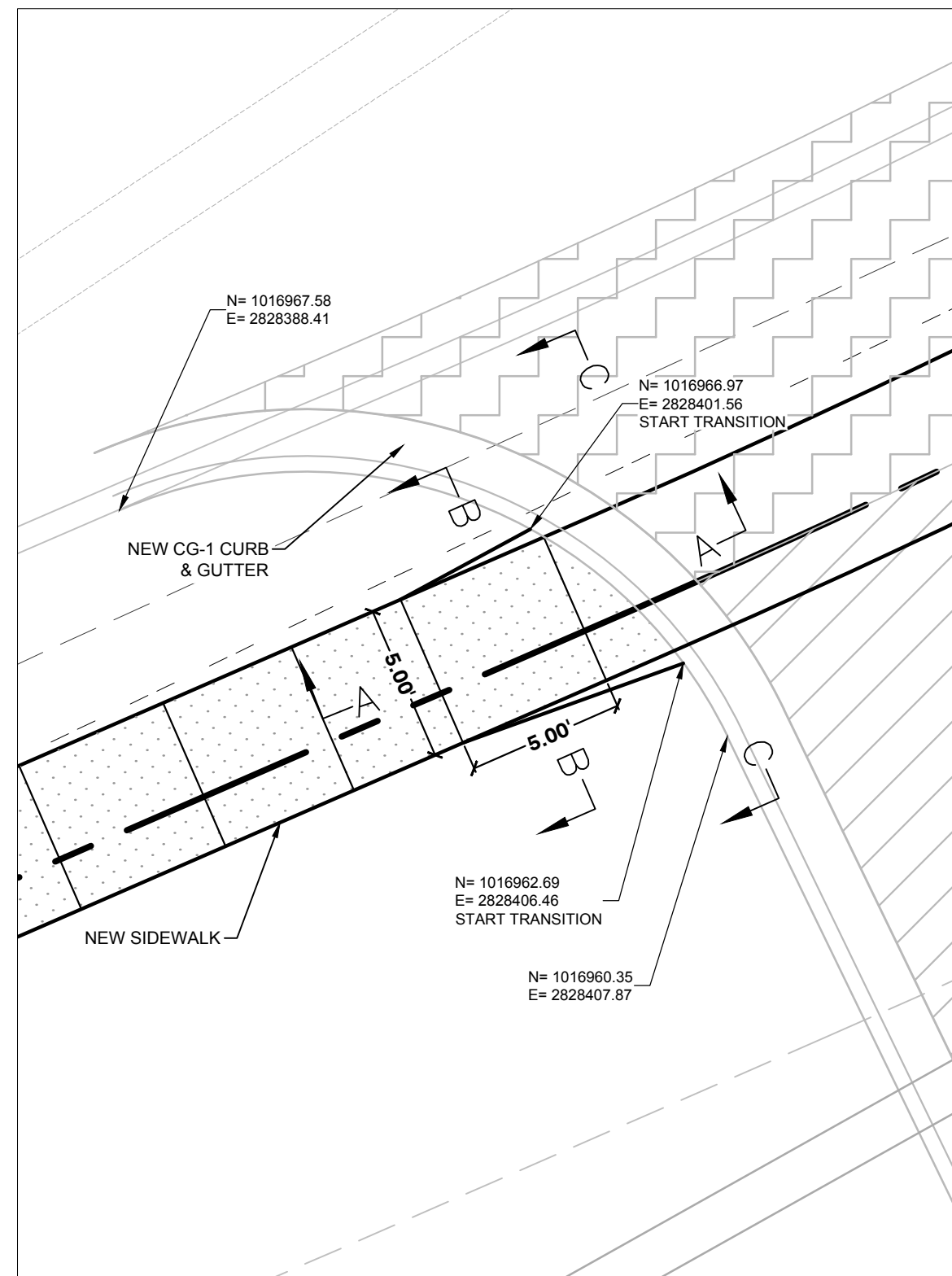


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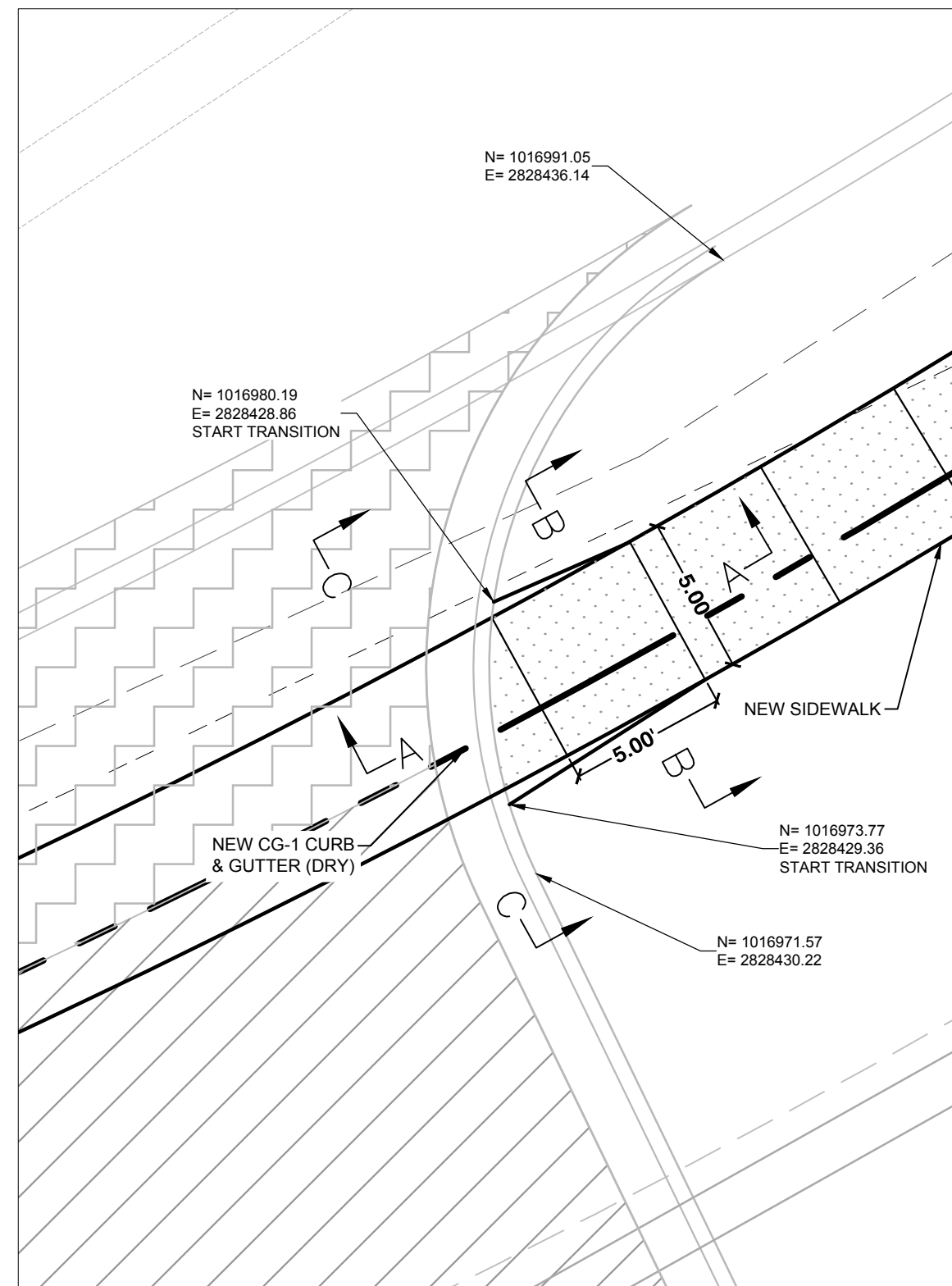
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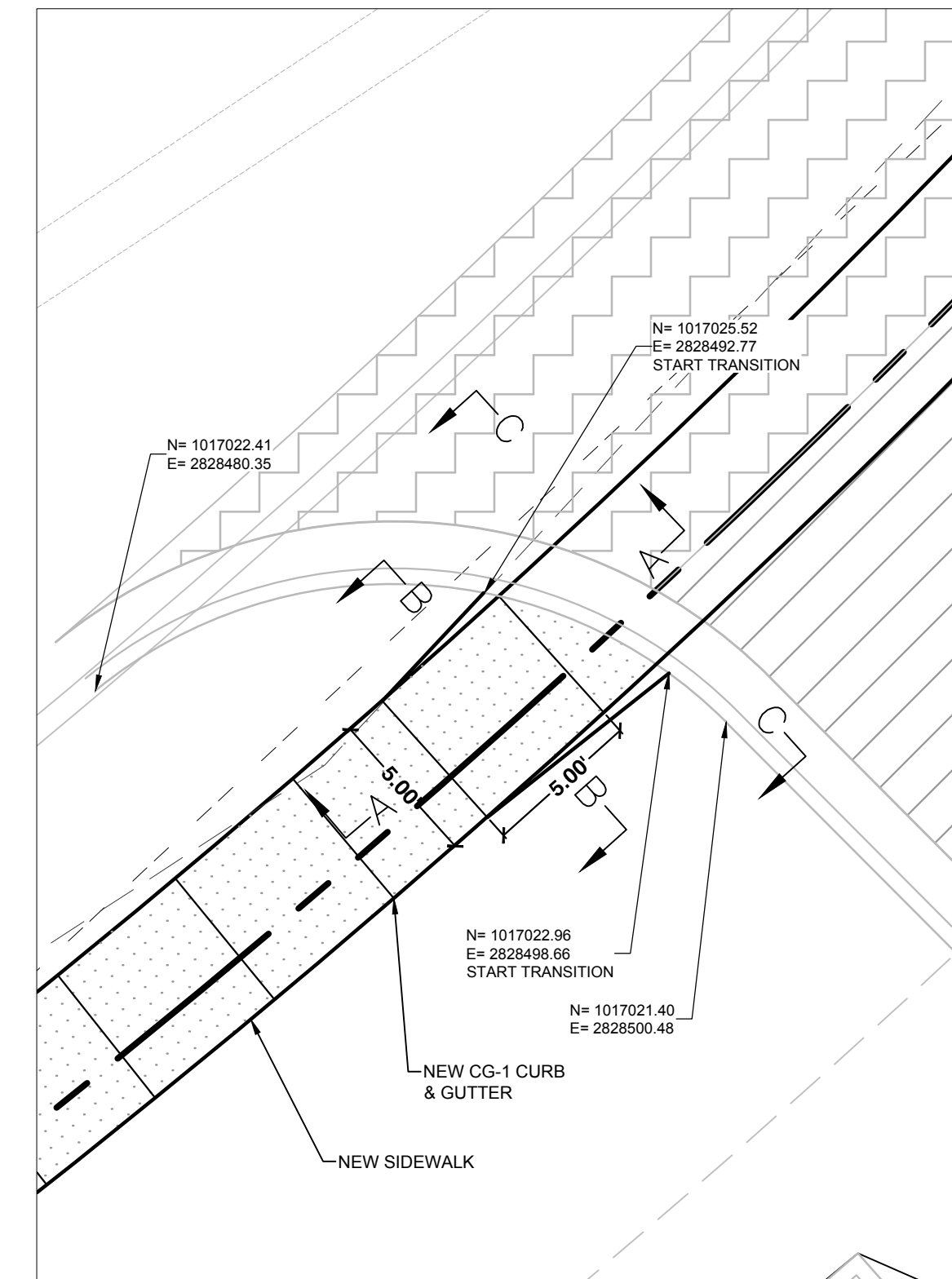
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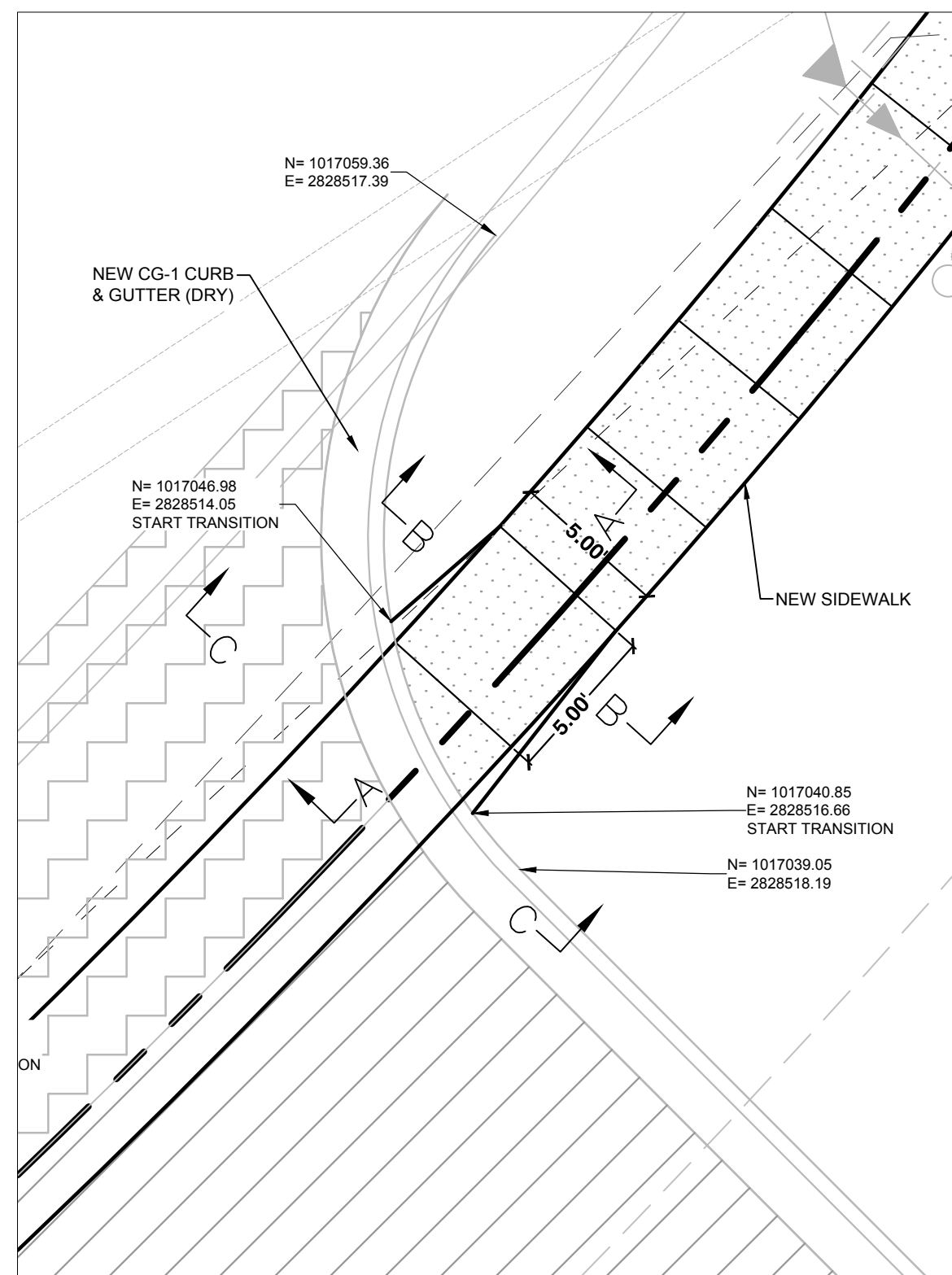
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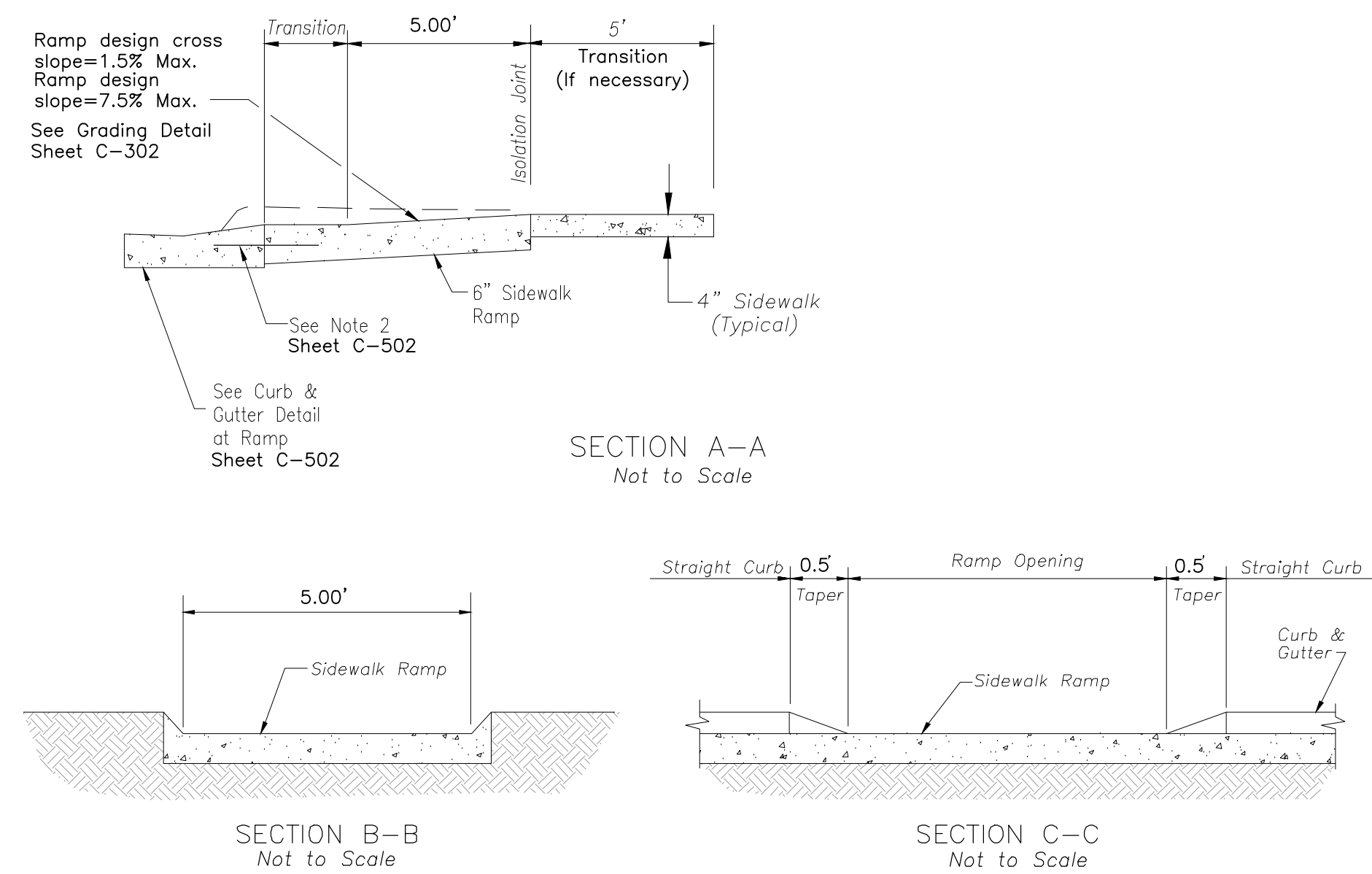
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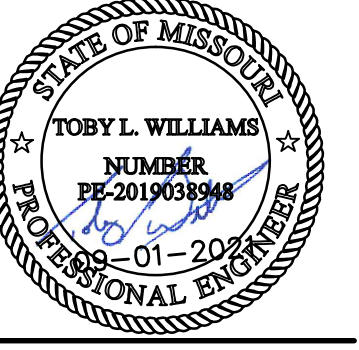
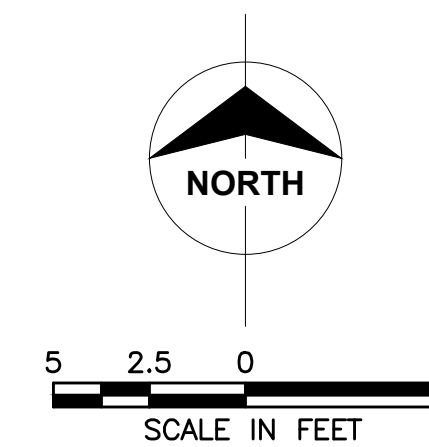
ADA RAMP 3



ADA RAMP 4



TYPICAL DETAILS ADA RAMP 1-4



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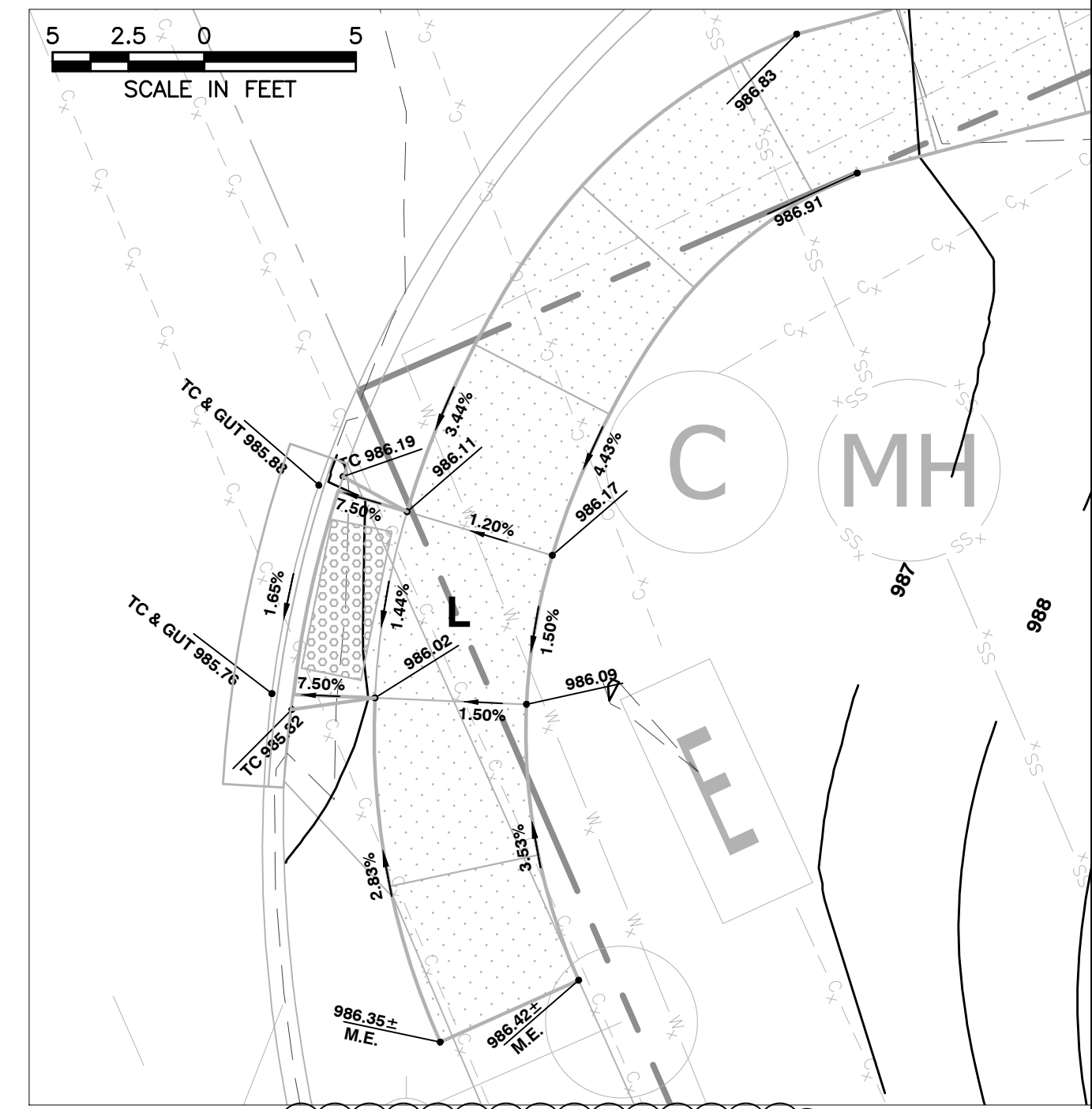
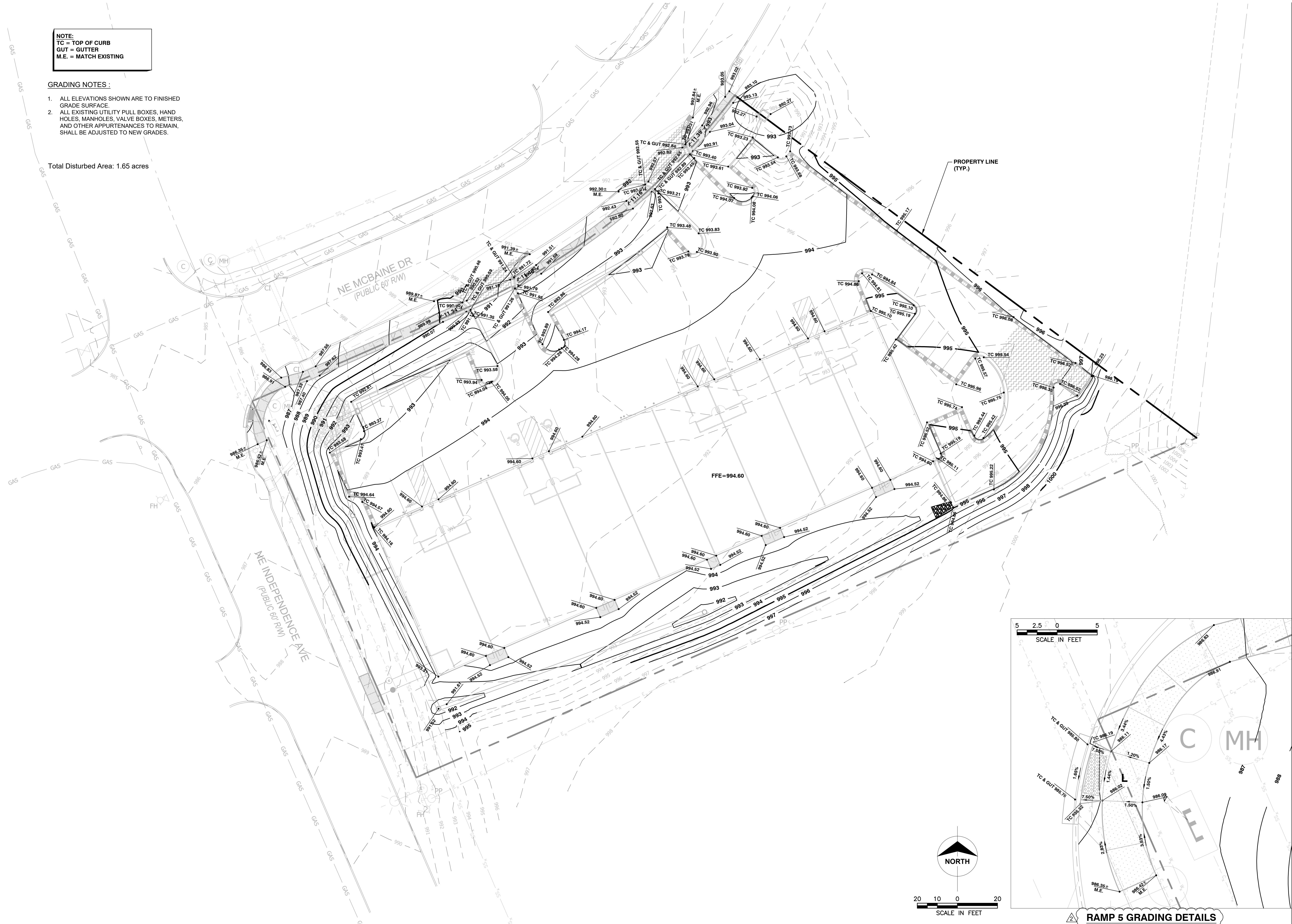
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	1	12/22/2021 - CITY COMMENTS

PROJECT #: 21-1902
ISSUE DATE: 09/01/2021
ISSUED FOR:

NOTE:
 TC = TOP OF CURB
 GUT = GUTTER
 M.E. = MATCH EXISTING

- GRADING NOTES :**
1. ALL ELEVATIONS SHOWN ARE TO FINISHED GRADE SURFACE.
 2. ALL EXISTING UTILITY PULL BOXES, HAND HOLES, MANHOLES, VALVE BOXES, METERS, AND OTHER APPURTENANCES TO REMAIN, SHALL BE ADJUSTED TO NEW GRADES.

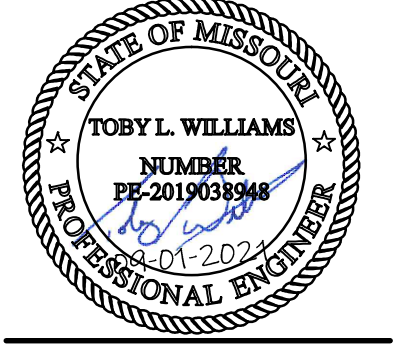
Total Disturbed Area: 1.65 acres



Certificate of Authority
 Architecture: MO 110 / E 13
 Engineering: MO 4 / KS 241
 Land Surveying: MO 123 / KS 34

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Toby L. Williams, PE
 PE-2019038948 (MISSOURI #)

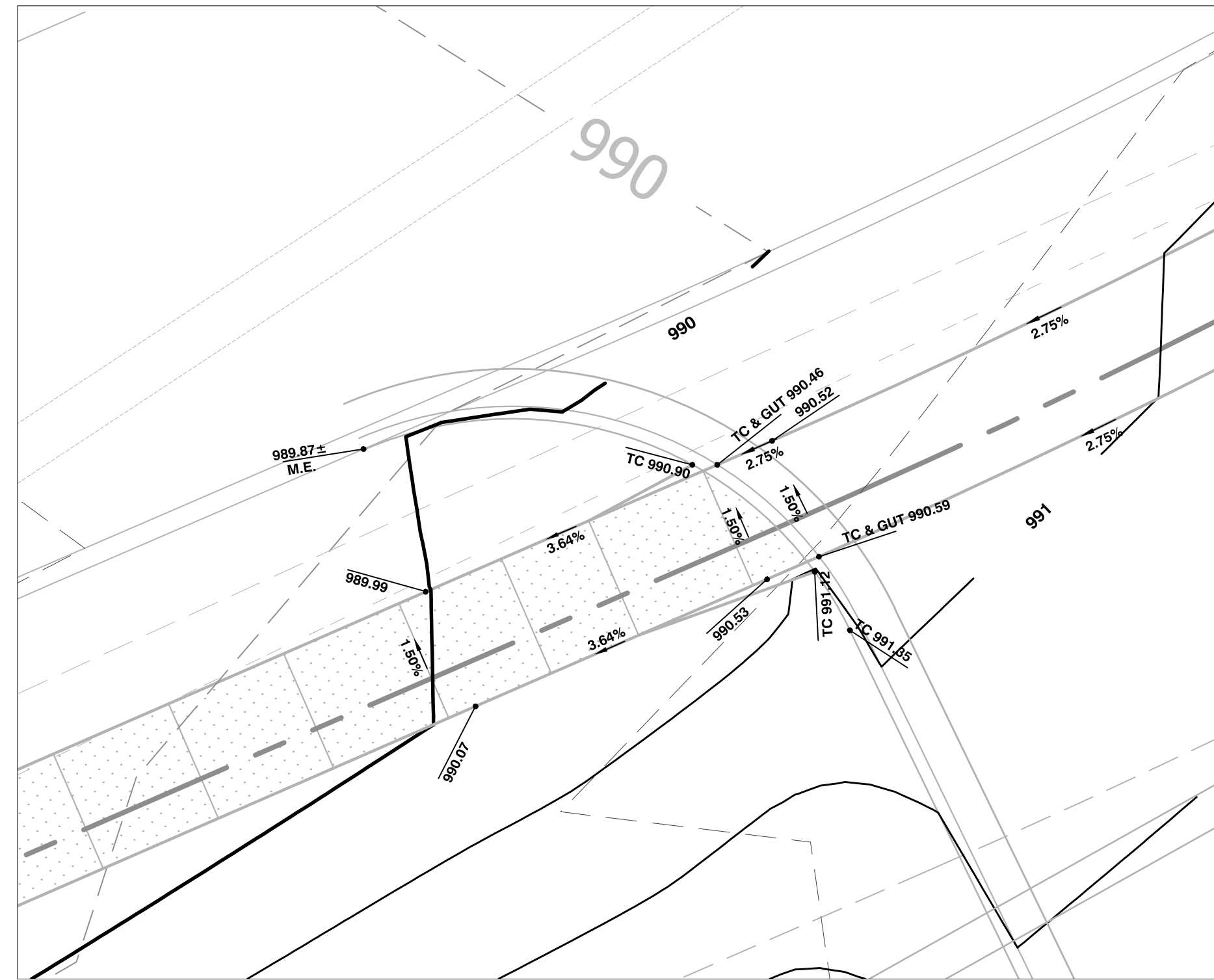


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 WARD DEVELOPMENT
 DAVID WARD
 1120 NW EAGLE RIDGE BLVD.
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 (816) 229-8115

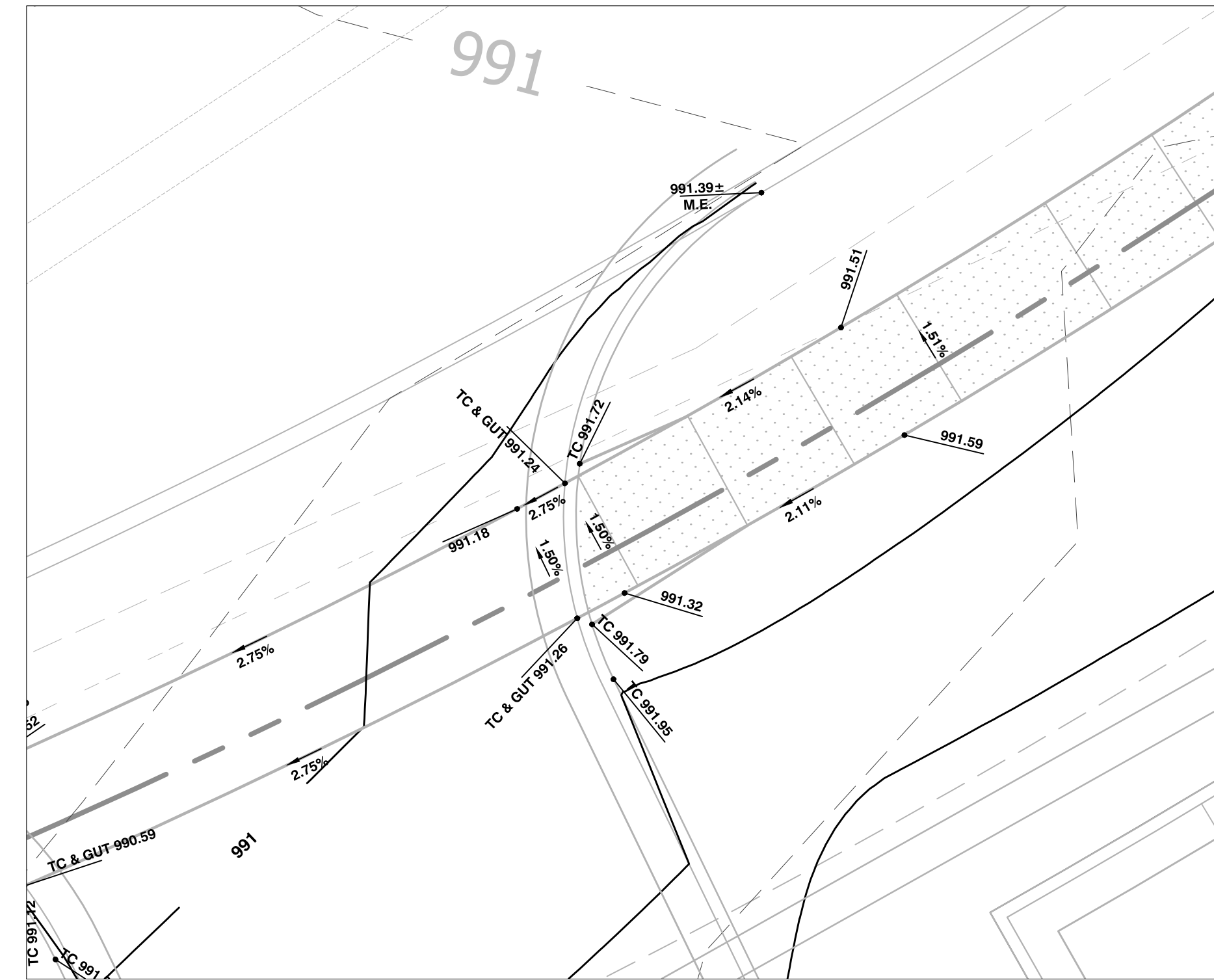
LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER
2601 NE MCBAIN DRIVE
LEE'S SUMMIT, MO 64064

REVISIONS	NO.	DATE / DESCRIPTION
	1	11/09/2021 - CITY COMMENTS
	2	12/22/2021 - CITY COMMENTS

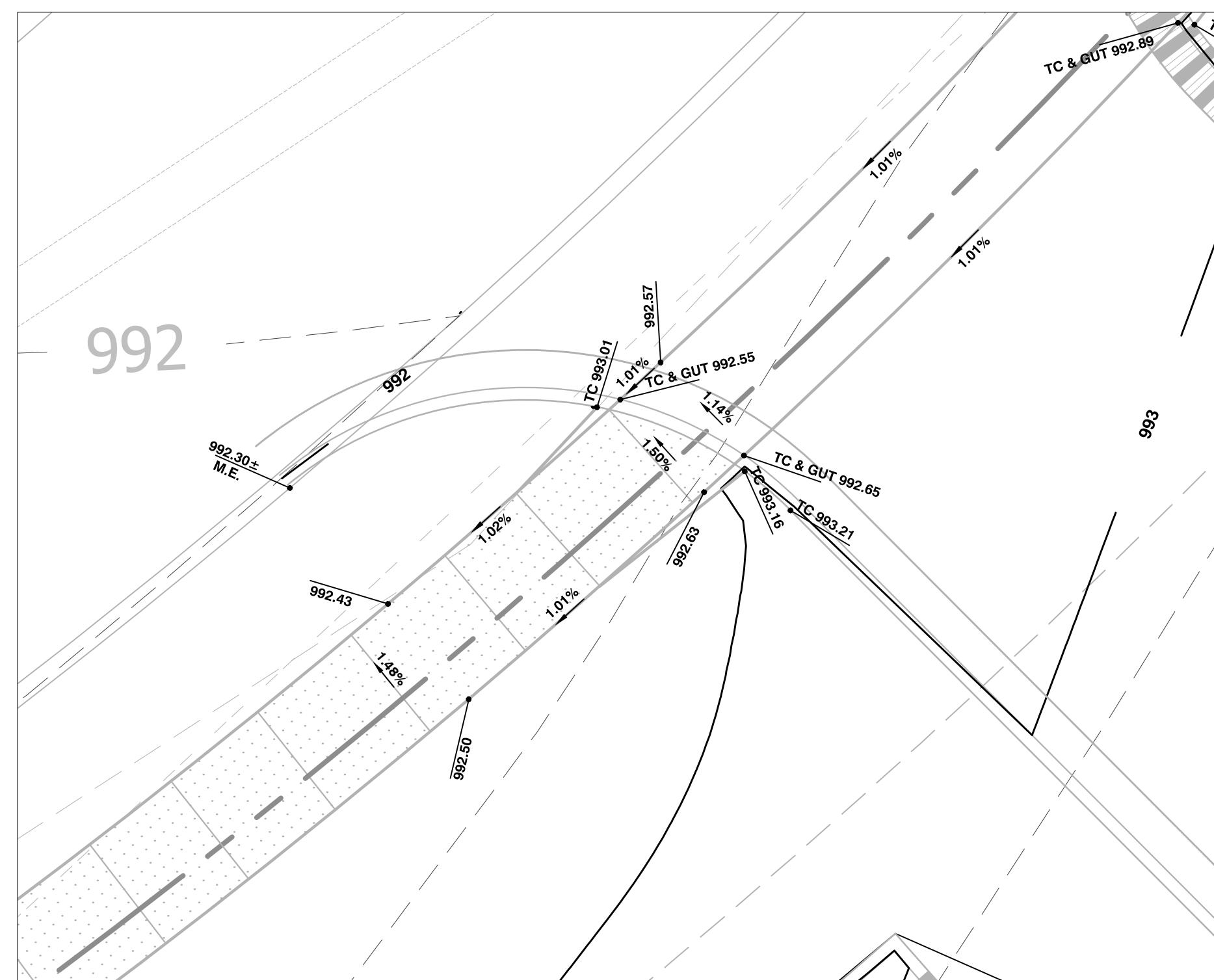
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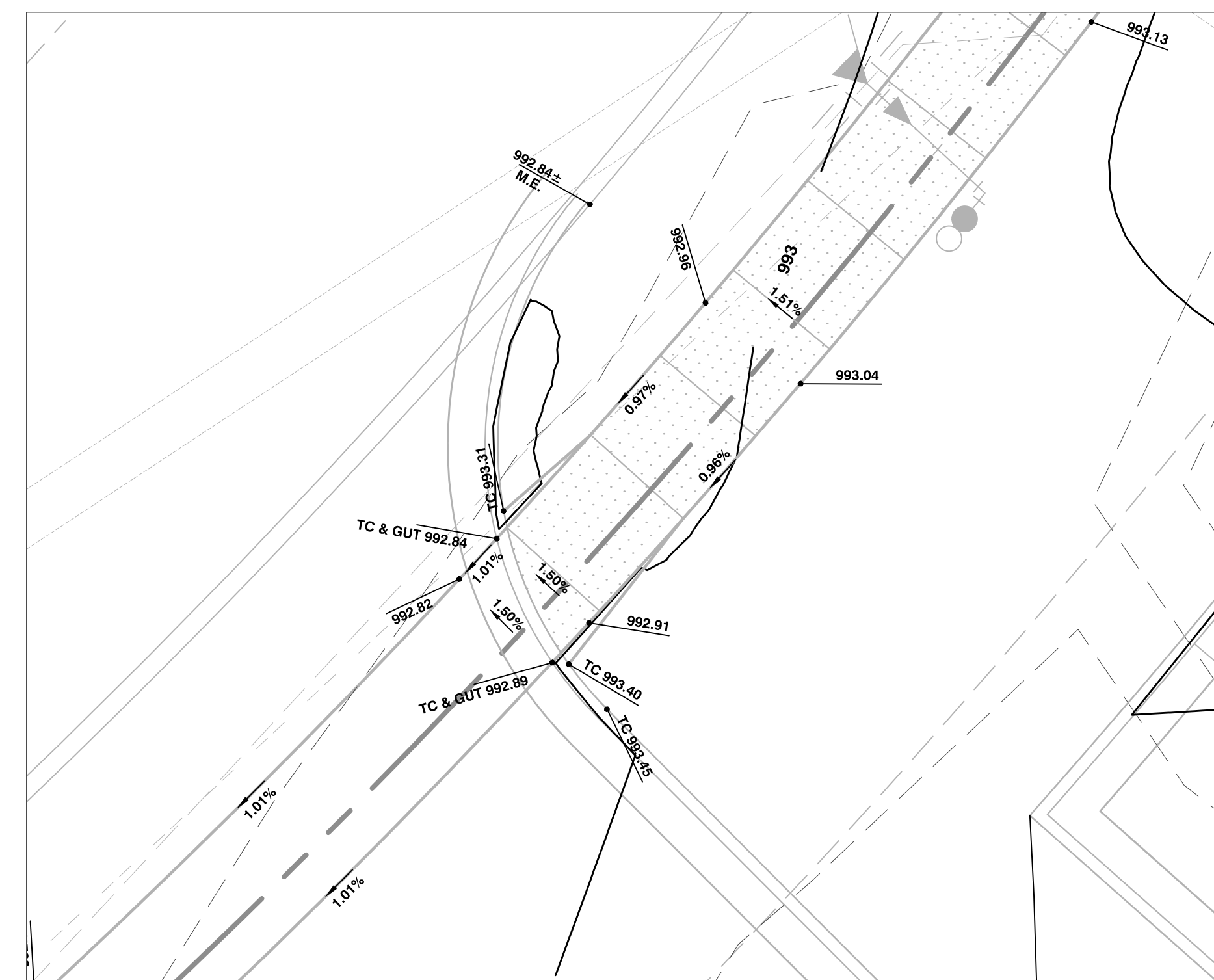
**ADA RAMP 1 GRADING
DETAILS**



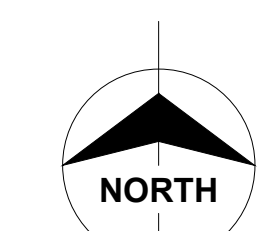
**ADA RAMP 2 GRADING
DETAILS**



**ADA RAMP 3 GRADING
DETAILS**



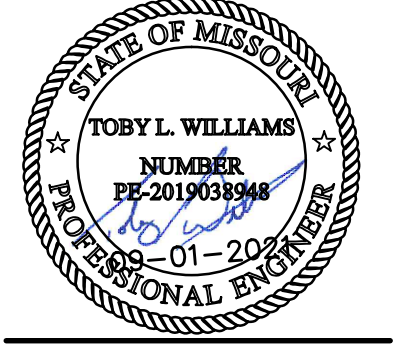
**ADA RAMP 4 GRADING
DETAILS**



Certificates of Authority
Architecture: MO 310 / KS 13
Engineering: MO 4 / KS 241
Land Surveying: MO 123 / KS 34

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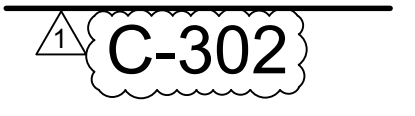
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1120 NW EAGLE RIDGE BLVD.
GRAIN VALLEY, MO 64029
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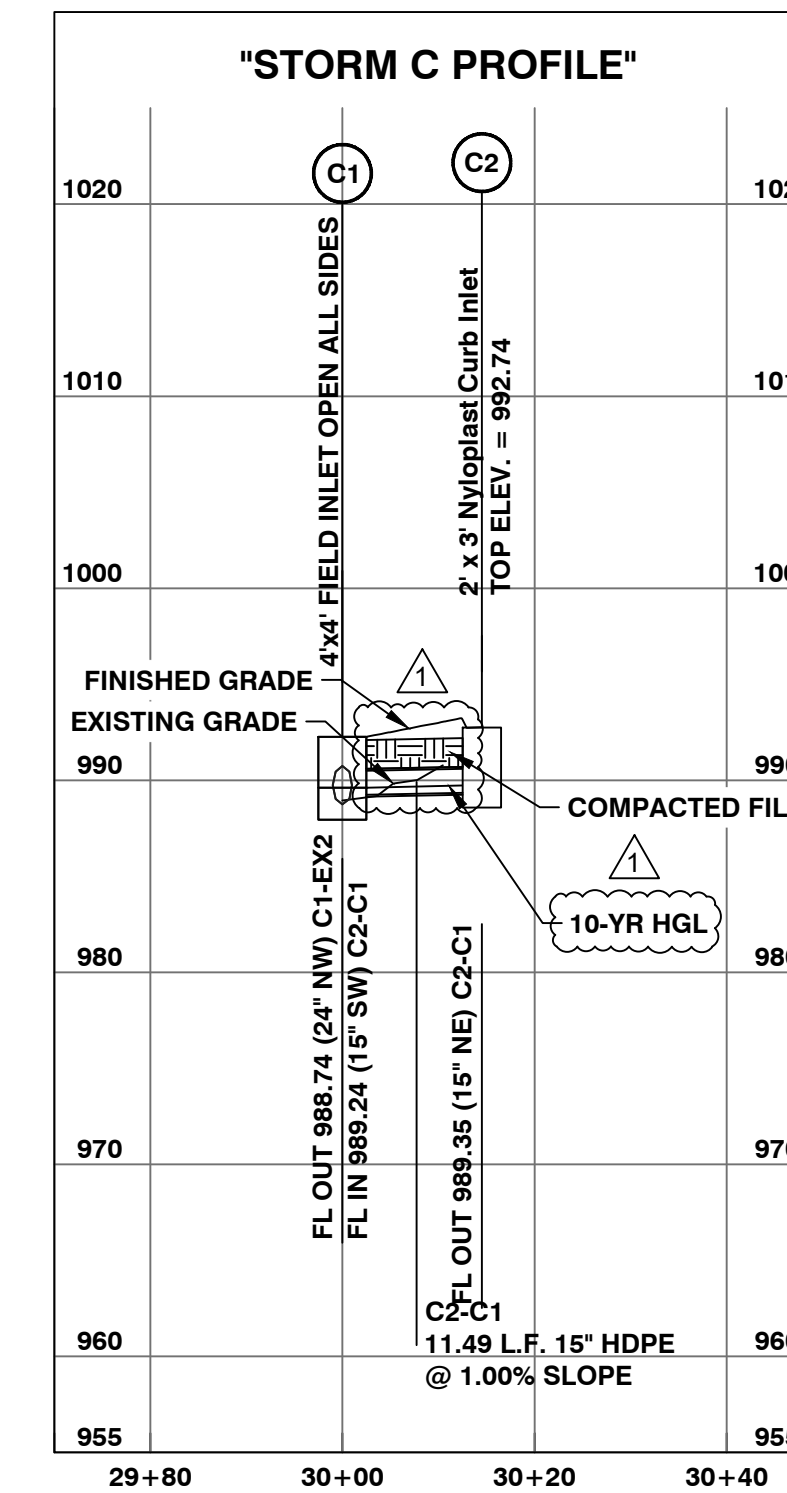
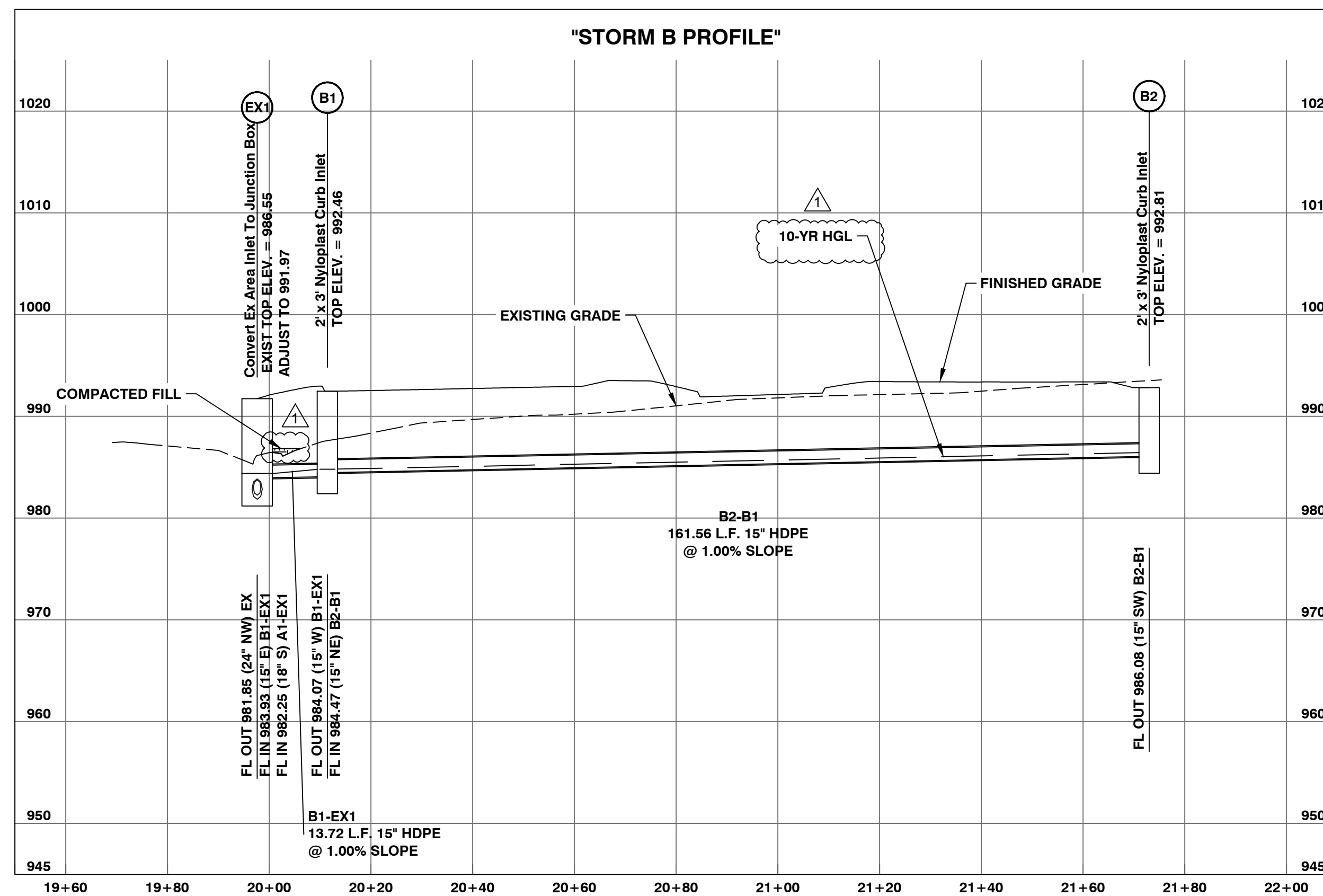
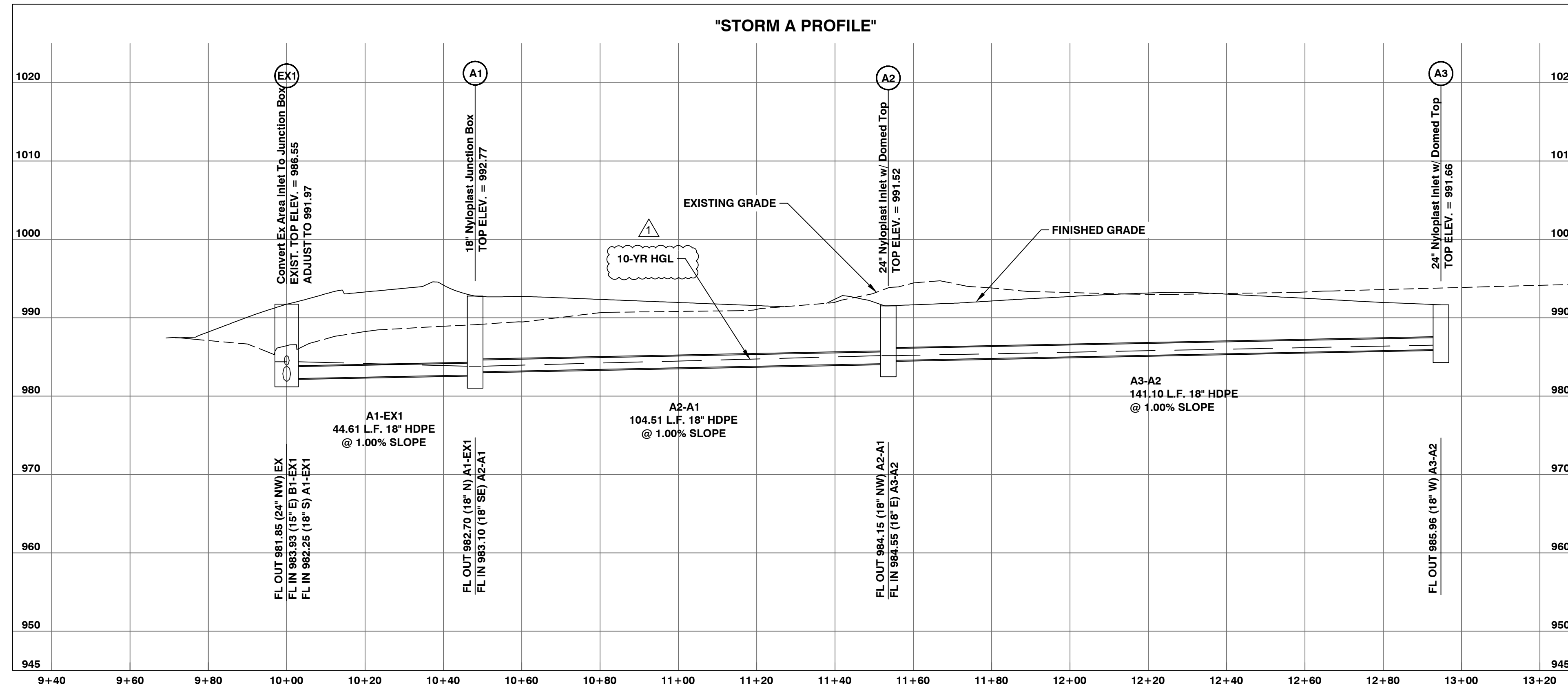
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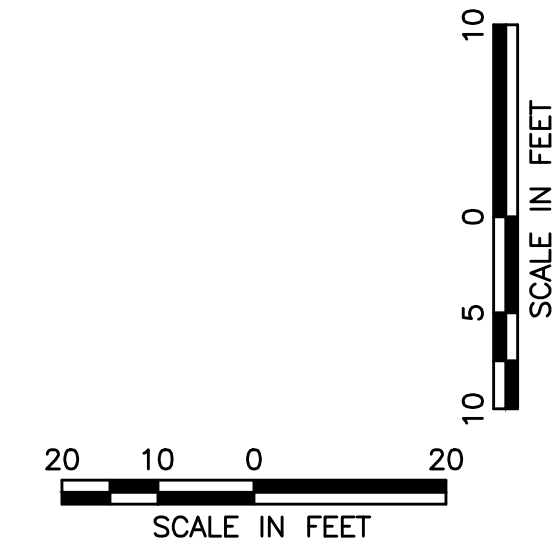
ADA RAMP GRADING
DETAILS





NOTE:

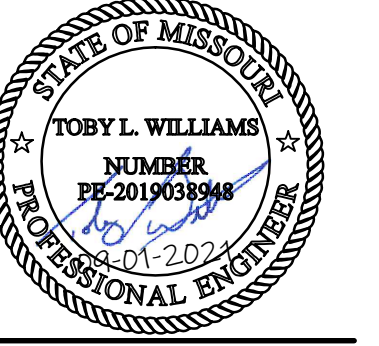
1. ALL TOPS FOR NYLOPLAST 2'x3' CURB INLET ARE AT GUTTER.
2. COMPACTED FILL SHALL BE PLACED TO A MINIMUM 18" ABOVE THE TOP OF THE PIPE PRIOR TO INSTALLATION.



Certificate of Authority
 Architecture: MO 310 / KE 13
 Engineering: MO 4 / KS 241
 Land Surveying: MO 123 / KS 34

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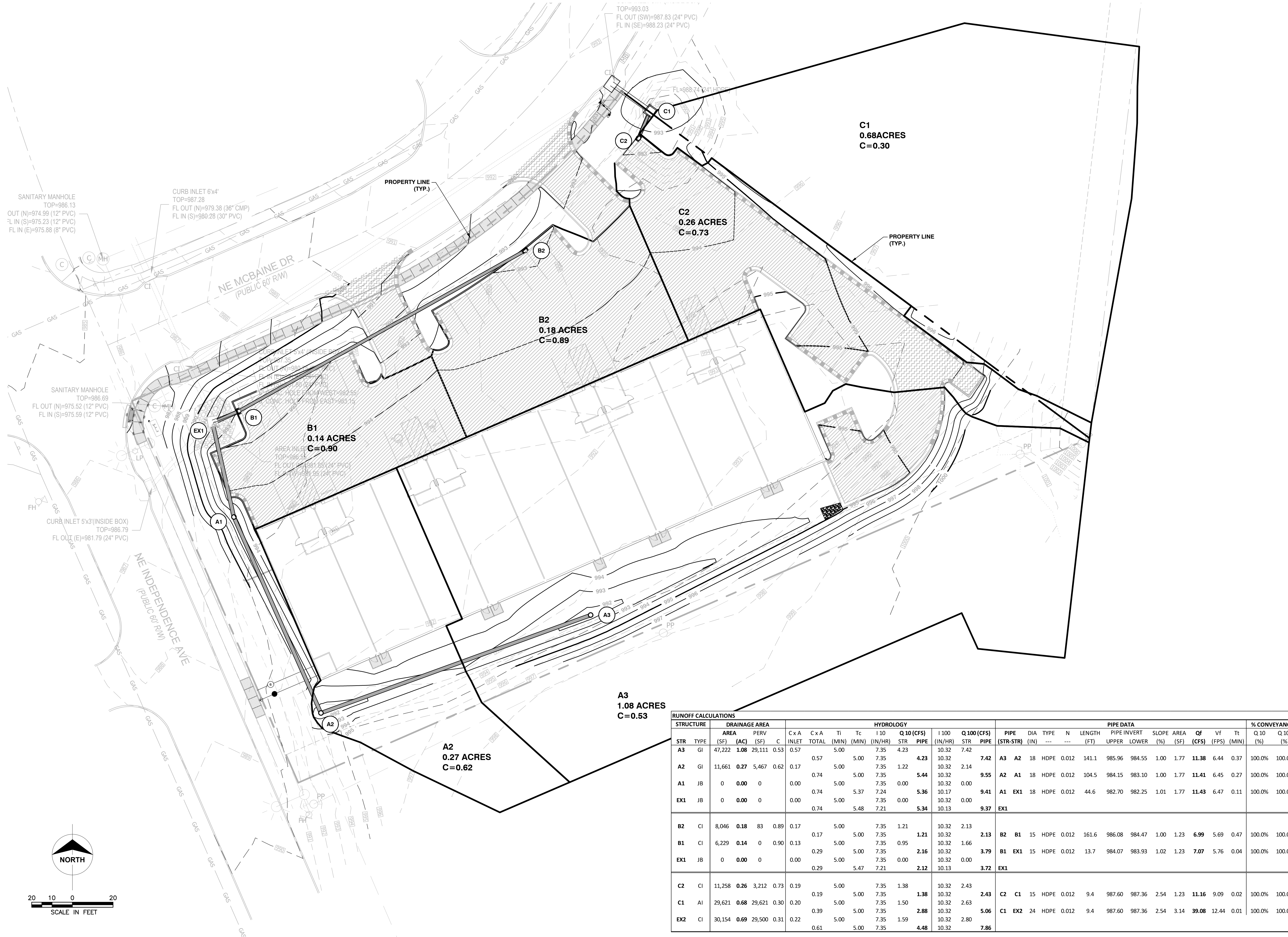


PREPARED FOR:
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LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER
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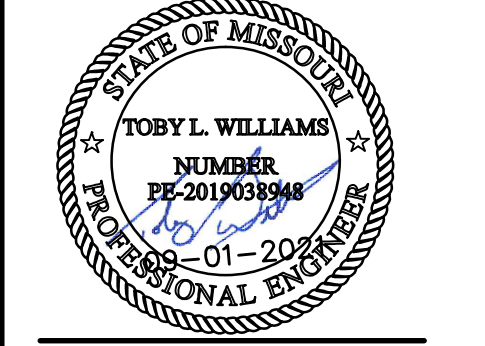


STRUCTURE		DRAINAGE AREA				HYDROLOGY										PIPE DATA						% CONVEYANCE						
STR	TYPE	AREA (SF)	PERV (AC)	C	C _x A	C _x A TOTAL	T _i (MIN)	T _c (MIN)	I 10 (IN/HR)	Q 10 (CFS) STR	Q 100 (CFS) PIPE	I 100 (IN/HR)	Q 100 (CFS) STR	PIPE (STR-STR)	DIA (IN)	TYPE	N	LENGTH (FT)	PIPE INVERT UPPER	PIPE INVERT LOWER	SLOPE (%)	AREA (SF)	Q _f (CFS)	V _f (FPS)	T _t (MIN)	Q 10 (%)	Q 100 (%)	
A3	GI	47,222	1.08	29,111	0.53	0.57	5.00	7.35	4.23	10.32	7.42	10.32	7.42	A3	A2	18	HDPE	0.012	141.1	985.96	984.55	1.00	1.77	11.38	6.44	0.37	100.0%	100.0%
A2	GI	11,661	0.27	5,467	0.62	0.17	5.00	7.35	1.22	10.32	2.14	10.32	2.14	A3	A2	18	HDPE	0.012	104.5	984.15	983.10	1.00	1.77	11.41	6.45	0.27	100.0%	100.0%
A1	JB	0	0.00	0	0.00	0.74	5.00	7.35	0.00	10.32	0.00	10.32	0.00	A2	A1	18	HDPE	0.012	44.6	982.70	982.25	1.01	1.77	11.43	6.47	0.11	100.0%	100.0%
EX1	JB	0	0.00	0	0.00	0.74	5.00	7.35	0.00	10.32	0.00	10.32	0.00	A1	EX1	18	HDPE	0.012	44.6	982.70	982.25	1.01	1.77	11.43	6.47	0.11	100.0%	100.0%
B2	CI	8,046	0.18	83	0.89	0.17	5.00	7.35	1.21	10.32	2.13	10.32	2.13	B2	B1	15	HDPE	0.012	161.6	986.08	984.47	1.00	1.23	6.99	5.69	0.47	100.0%	100.0%
B1	CI	6,229	0.14	0	0.90	0.13	5.00	7.35	0.95	10.32	1.66	10.32	1.66	B2	B1	15	HDPE	0.012	13.7	984.07	983.93	1.02	1.23	7.07	5.76	0.04	100.0%	100.0%
EX1	JB	0	0.00	0	0.00	0.29	5.00	7.35	0.00	10.32	0.00	10.32	0.00	B1	EX1	15	HDPE	0.012	13.7	984.07	983.93	1.02	1.23	7.07	5.76	0.04	100.0%	100.0%
						0.29	5.00	7.35	0.00	10.32	0.00	10.32	0.00	B1	EX1	15	HDPE	0.012	13.7	984.07	983.93	1.02	1.23	7.07	5.76	0.04	100.0%	100.0%
C2	CI	11,258	0.26	3,212	0.73	0.19	5.00	7.35	1.38	10.32	2.43	10.32	2.43	C2	C1	15	HDPE	0.012	9.4	987.60	987.36	2.54	1.23	11.16	9.09	0.02	100.0%	100.0%
C1	AI	29,621	0.68	29,621	0.30	0.20	5.00	7.35	1.50	10.32	2.63	10.32	2.63	C2	C1	15	HDPE	0.012	9.4	987.60	987.36	2.54	3.14	39.08	12.44	0.01	100.0%	100.0%
EX2	CI	30,154	0.69	29,500	0.31	0.22	5.00	7.35	1.59	10.32	2.80	10.32	2.80	C1	EX2	24	HDPE	0.012	9.4	987.60	987.36	2.54	3.14	39.08	12.44	0.01	100.0%	100.0%
						0.61	5.00	7.35	4.48	10.32	7.86	10.32	7.86	C1	EX2	24	HDPE	0.012	9.4	987.60	987.36	2.54	3.14	39.08	12.44	0.01	100.0%	100.0%

Certificates of Authority
 Architecture: MO 318 / KS 13
 Engineering: MO 4 / KS 241
 Land Surveying: MO 123 / KS 34

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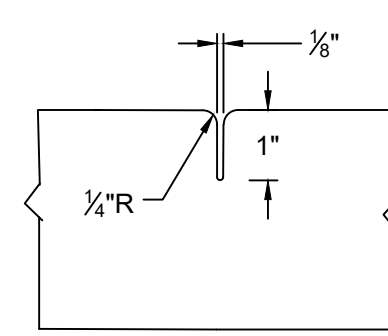
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 WARD DEVELOPMENT
 DAVID WARD
 1120 NW EAGLE RIDGE BLVD.
 GRAIN VALLEY, MO 64029
 (816) 229-8115

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 2601 NE MCBAIN DRIVE
 LEE'S SUMMIT, MO 64064

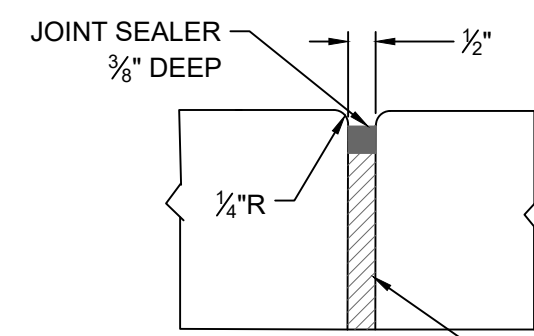
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DRAINAGE AREA MAP



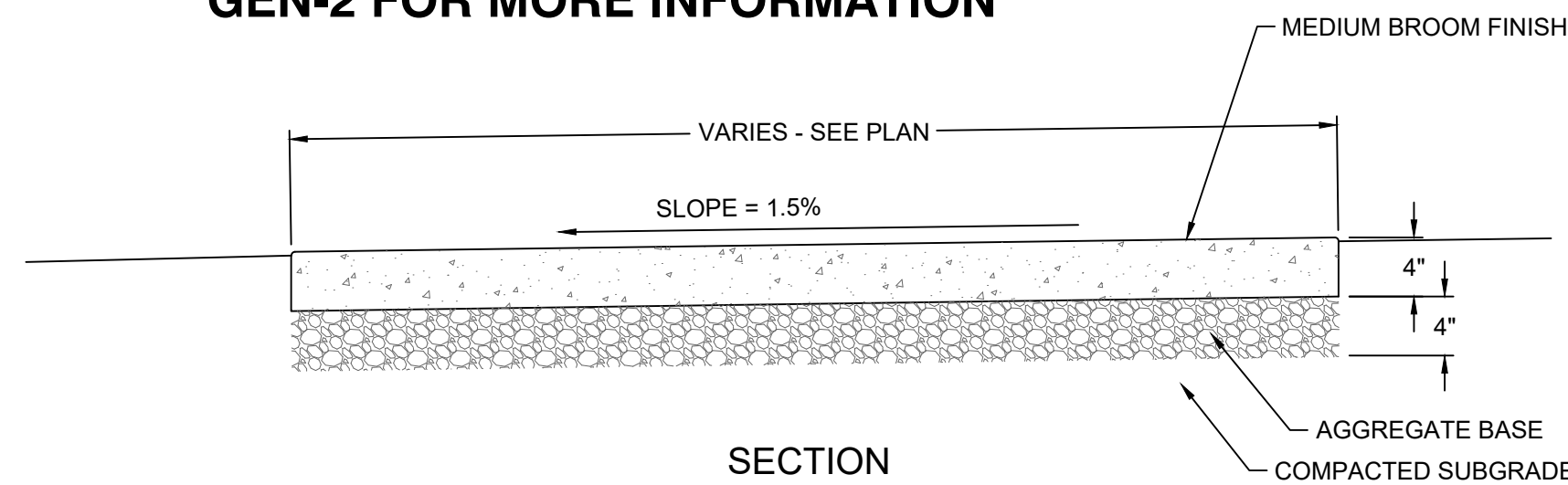
TYPE 'B' JOINT
(EVERY 4' TYP.)



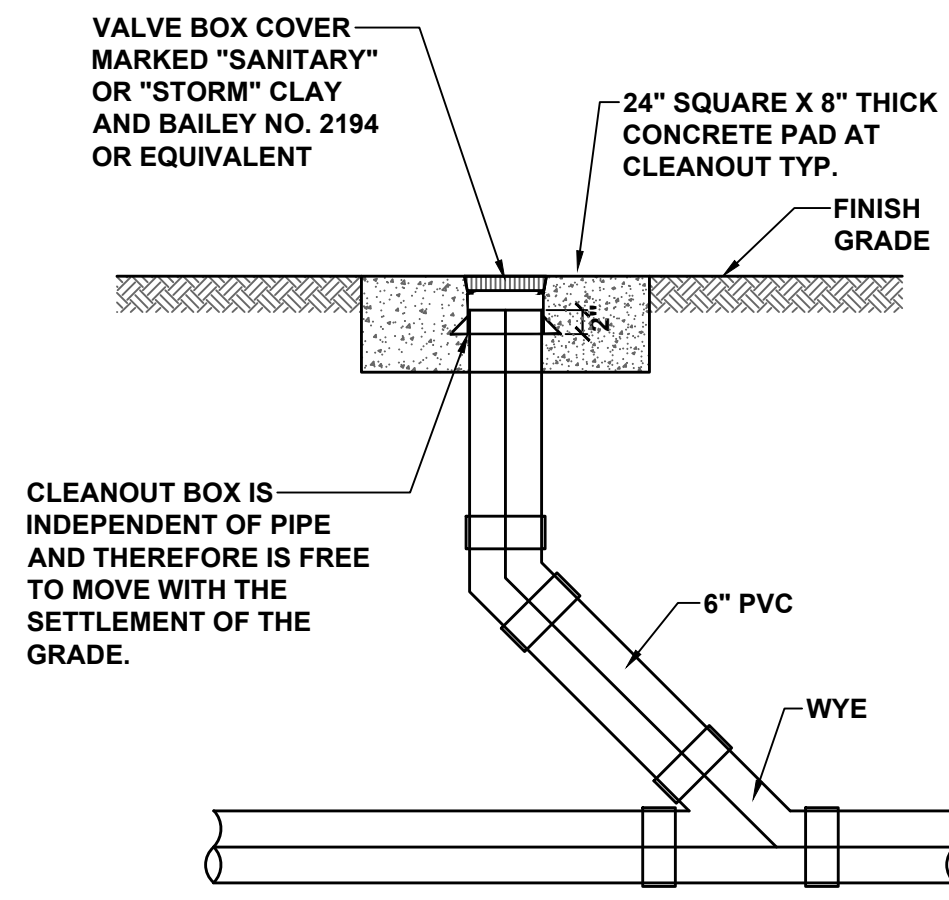
TYPE 'C' JOINT
(EVERY 30' MAX.)

NON-EXTRUDING FILLER
(PREMOLDED JOINT MATERIAL)

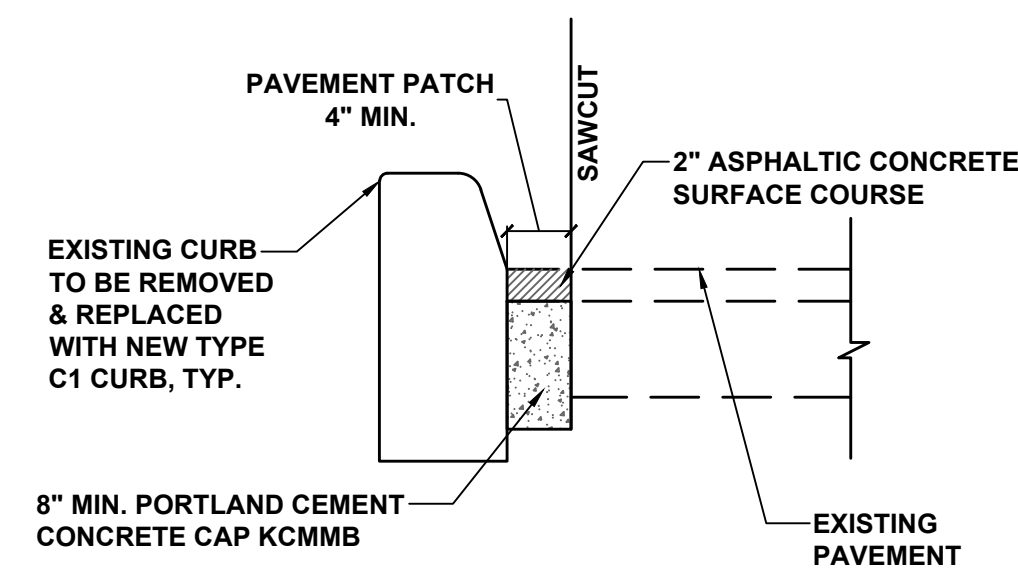
NOTE: SEE LEE'S SUMMIT STD. DETAIL
GEN-2 FOR MORE INFORMATION



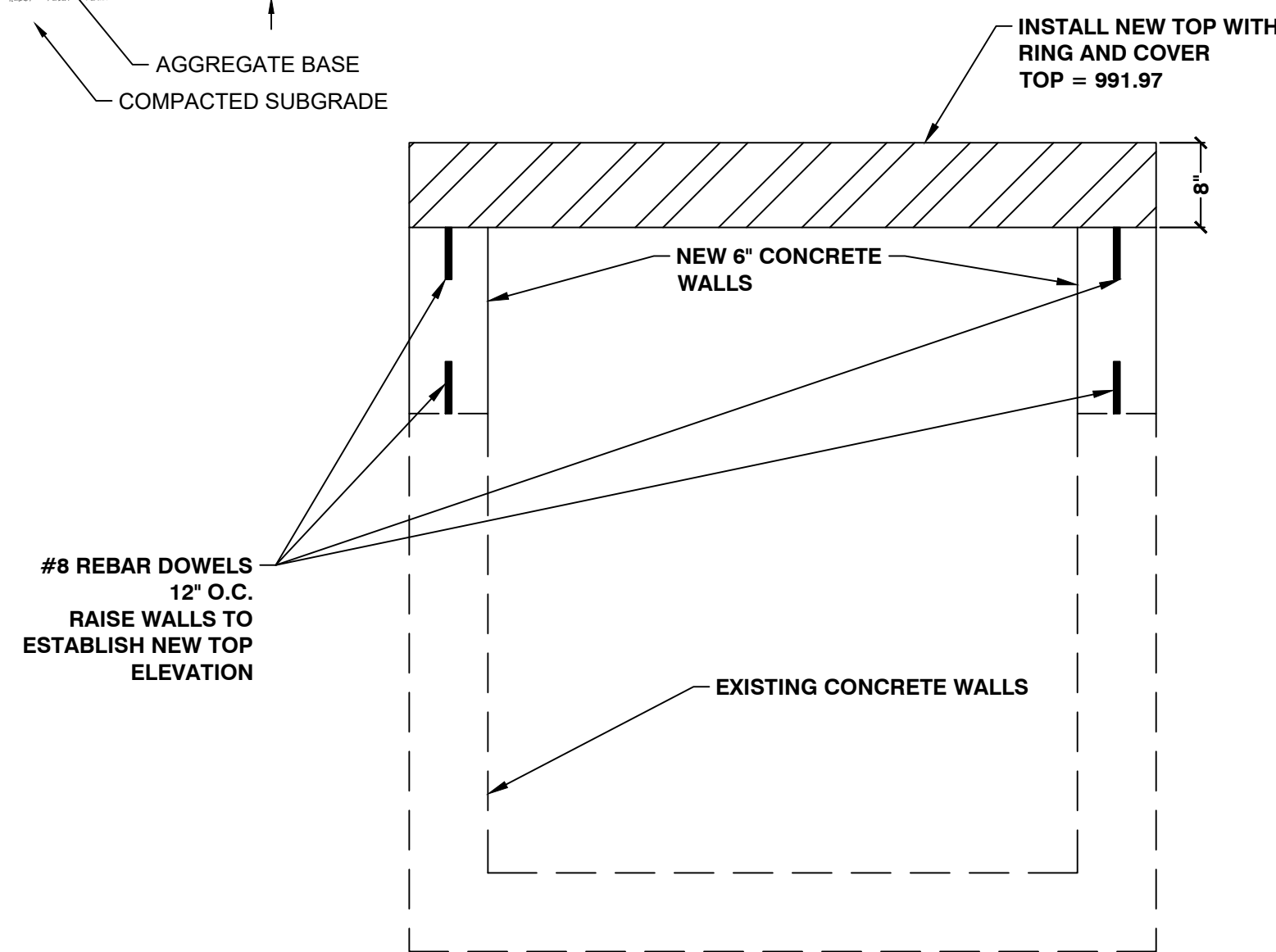
CONCRETE SIDEWALK
N.T.S.



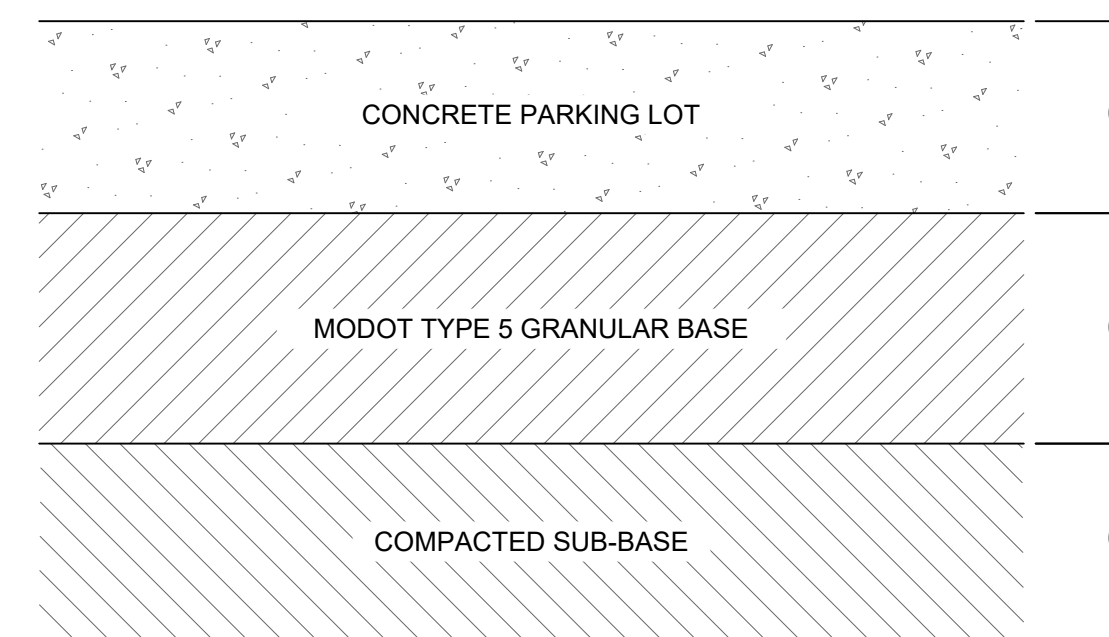
IN-LINE CLEANOUT DETAIL
Not To Scale



ASPHALT PATCH AT CURB
Not to Scale

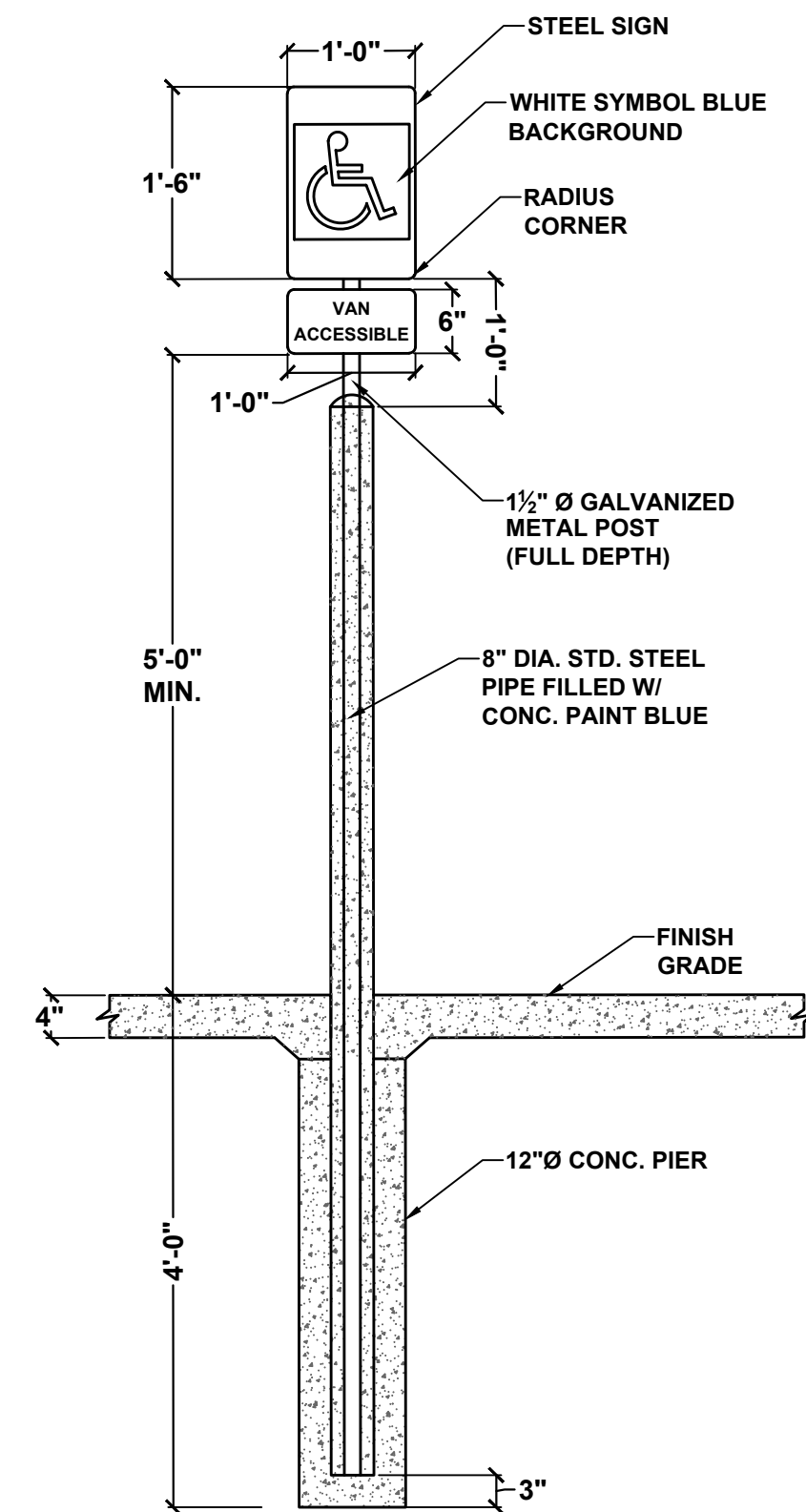


AREA INLET TO JUNCTION BOX
Not to Scale



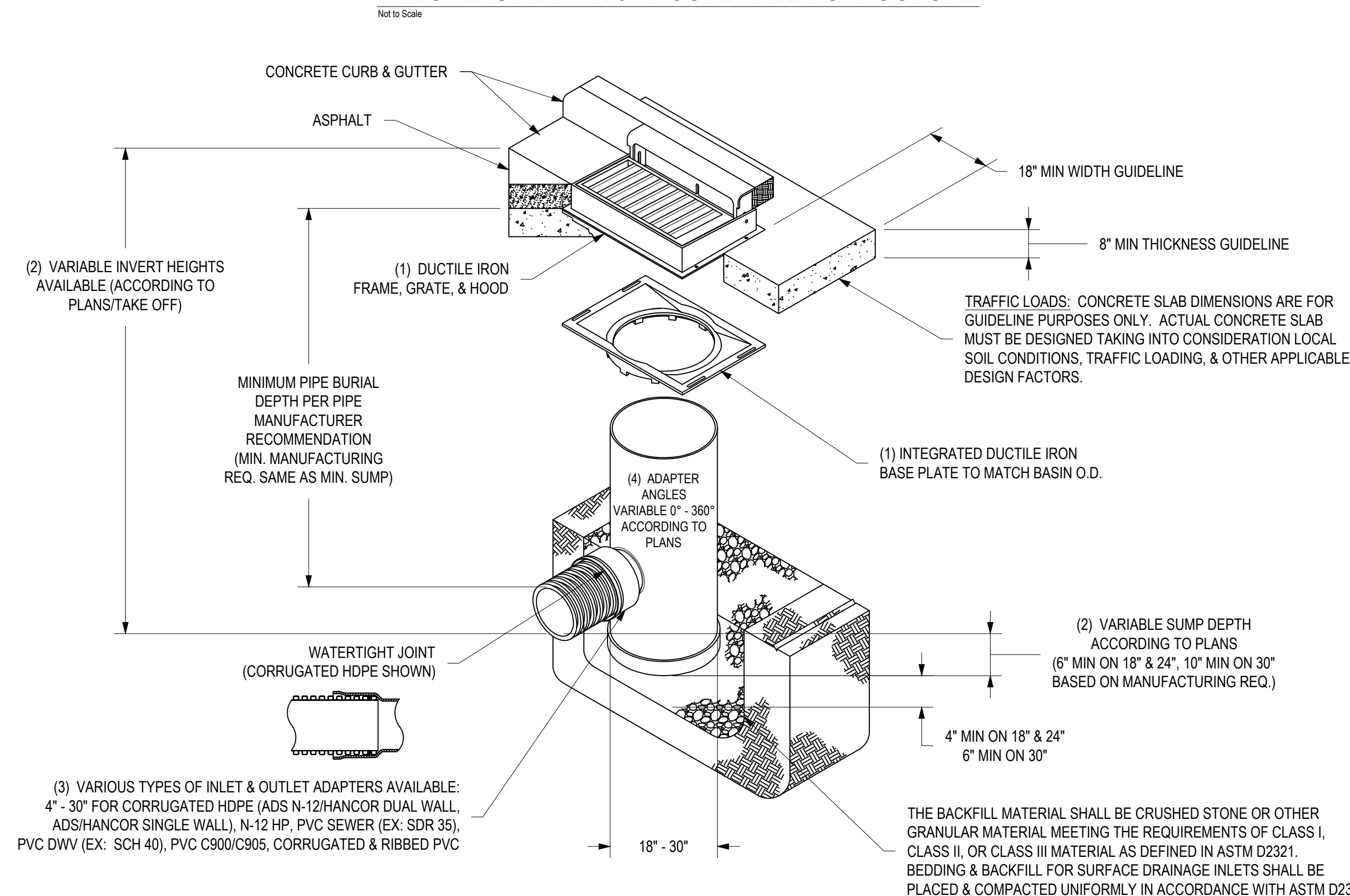
CONCRETE SECTION
Not to Scale

- SITE PAVING NOTES:
- PAVING BASE MATERIAL AND COMPACTION REQUIREMENTS ARE TO MEET GEOTECHNICAL REPORT RECOMMENDATIONS.
 - DO NOT INSTALL PAVEMENT UNTIL ALL UTILITY STRUCTURES ARE ADJUSTED TO BE FLUSH WITH FINAL PAVEMENT ELEVATION (I.E. CLEAN OUT COVERS/MANHOLE LIDS ETC..)

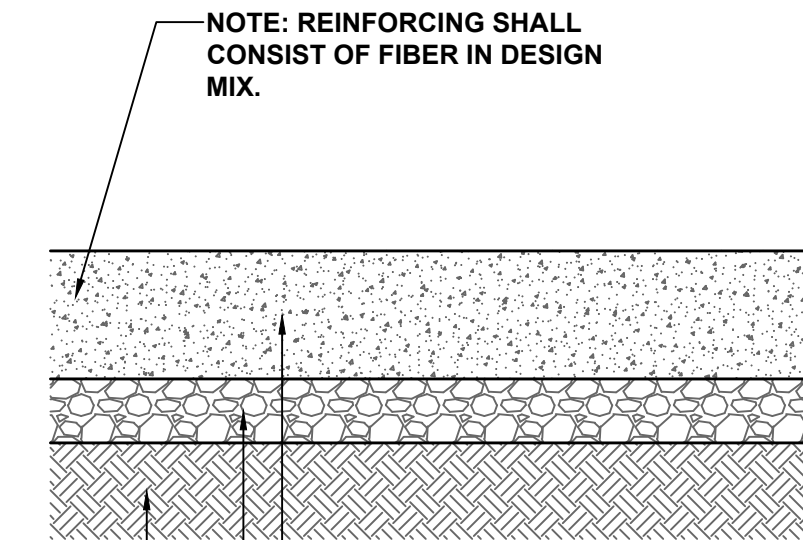


ACCESSIBLE SIGN DETAIL
Not to Scale

NYLOPLAST 2 FT X 3FT CURB INLET STRUCTURE



NOTE: ALL CONCRETE SHALL BE KCMMB 4K MIX



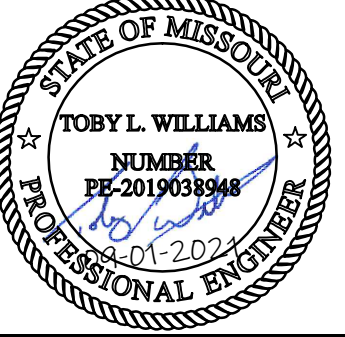
8" REINFORCED CONCRETE PAVEMENT
4" MODOT TYPE 5
6" MIN. SCARIFIED AND COMPACTED SUBGRADE, OR COMPACTED SUITABLE MATERIAL PER SPECIFICATIONS

PRIVATE HEAVY DUTY CONCRETE
Not to Scale

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Architecture: MO 318 / ES 13
Engineering: MO 4 / KS 241
Land Surveying: MO 123 / IS 34

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WARD DEVELOPMENT
DAVID WARD
1120 NW EAGLE RIDGE BLVD.
GRAIN VALLEY, MO 64029
(816) 229-8115

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2601 NE MCBAIN DRIVE
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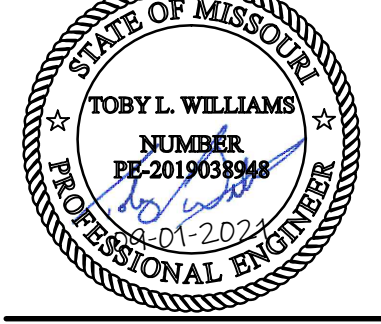
REVISIONS	NO.	DATE / DESCRIPTION	1 - 11/09/2021 - CITY COMMENTS

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ISSUE DATE: 09/01/2021
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Certificate of Authority
 No. 187 / E-13
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 Land Surveying MO 123 / K-134

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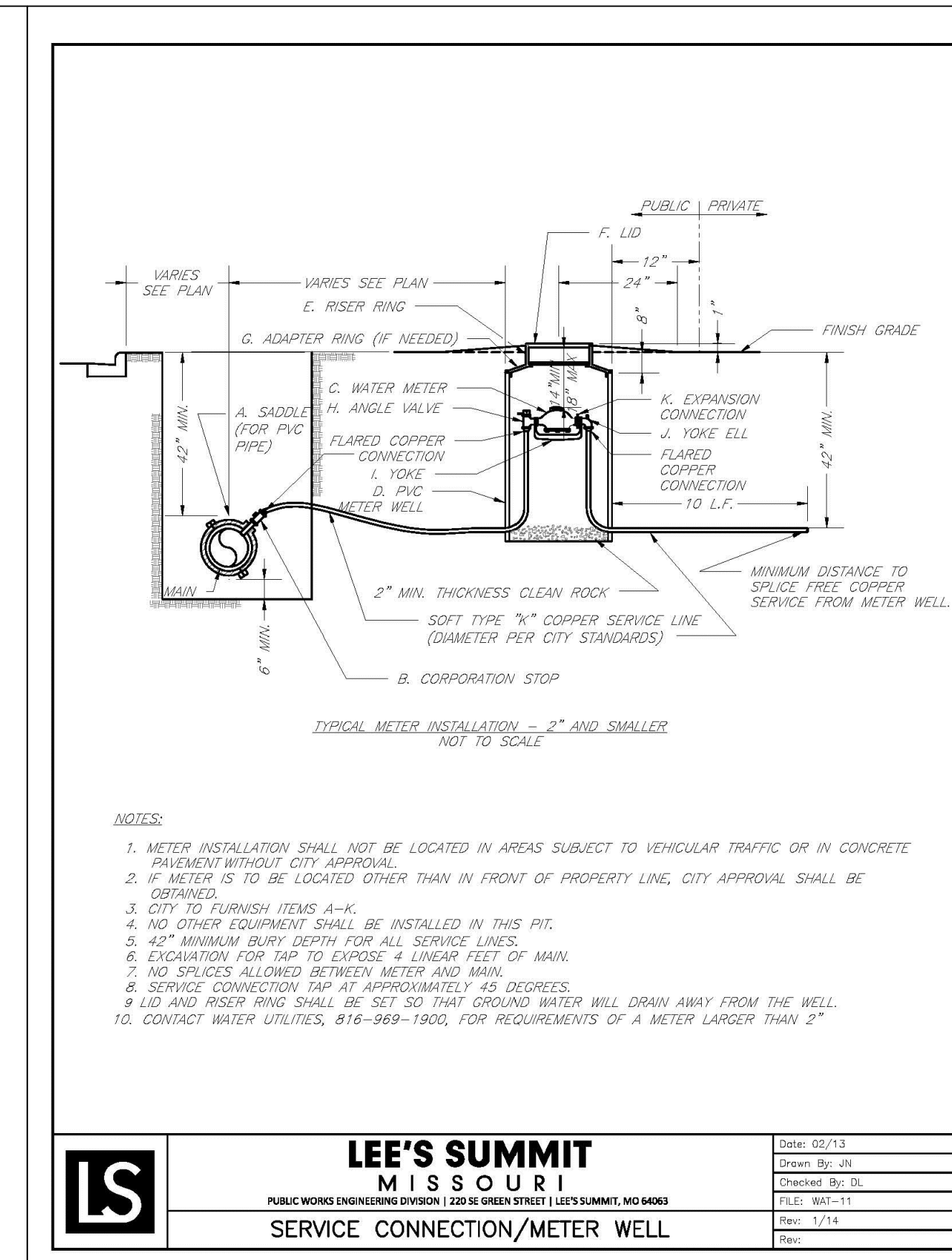
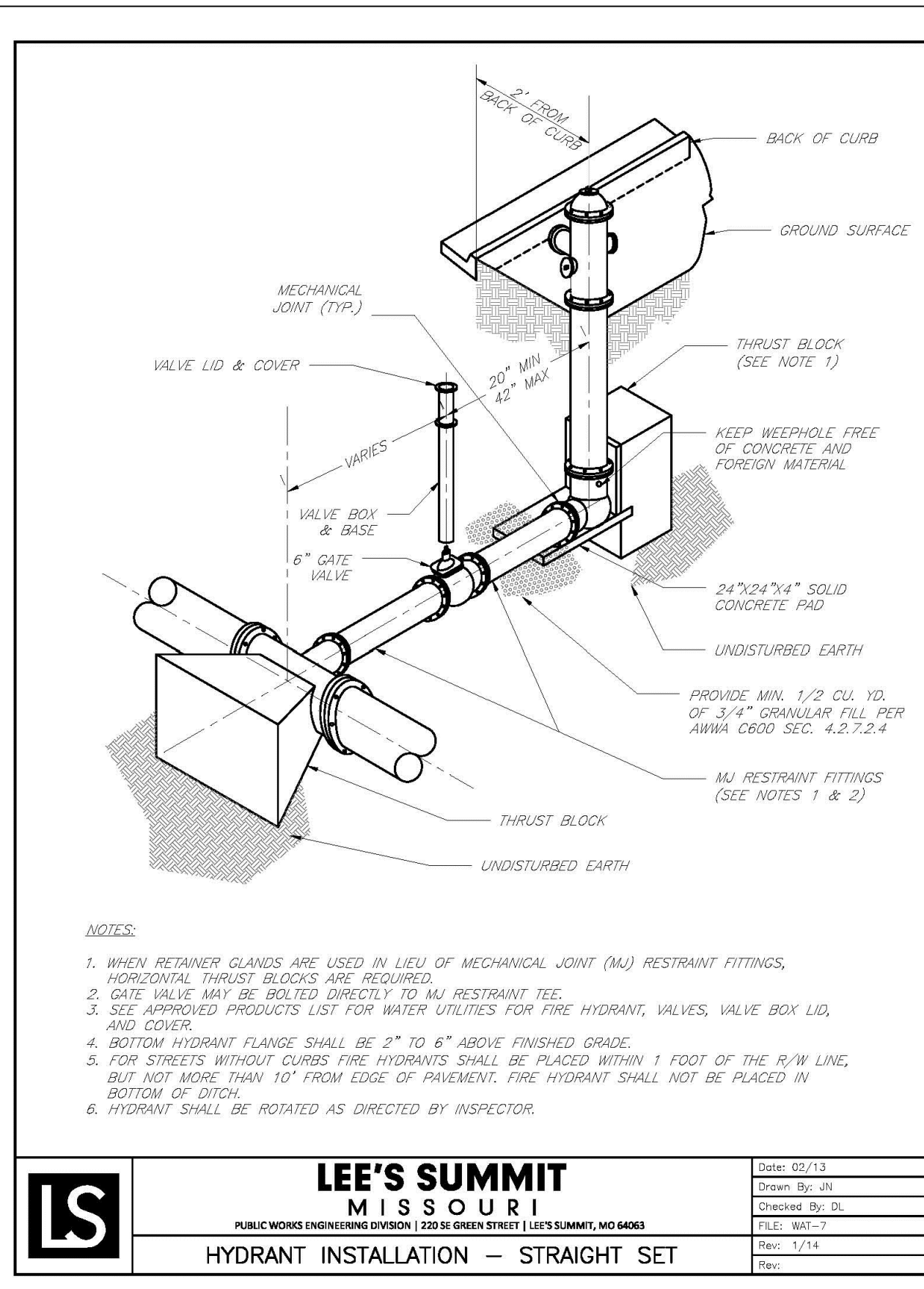
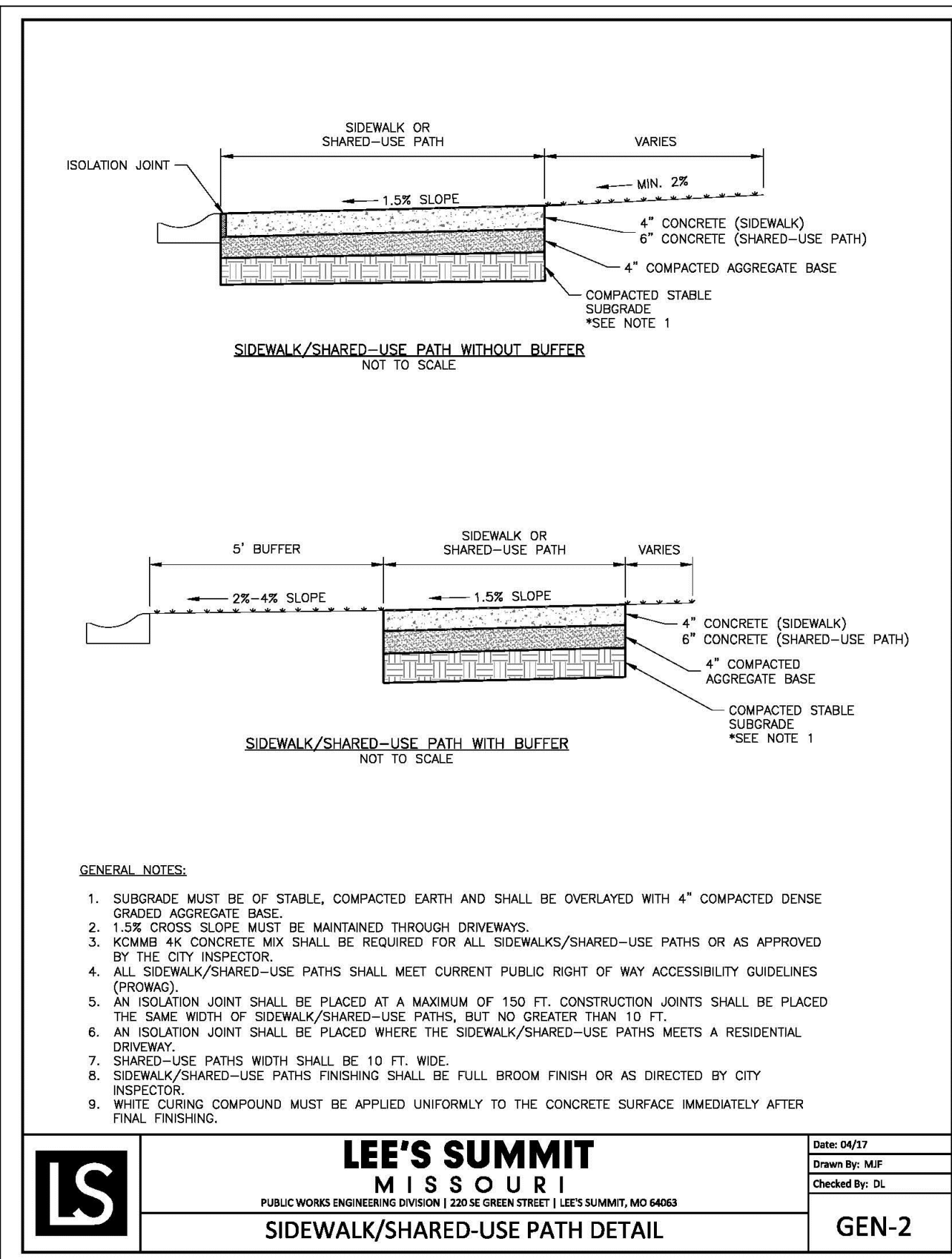
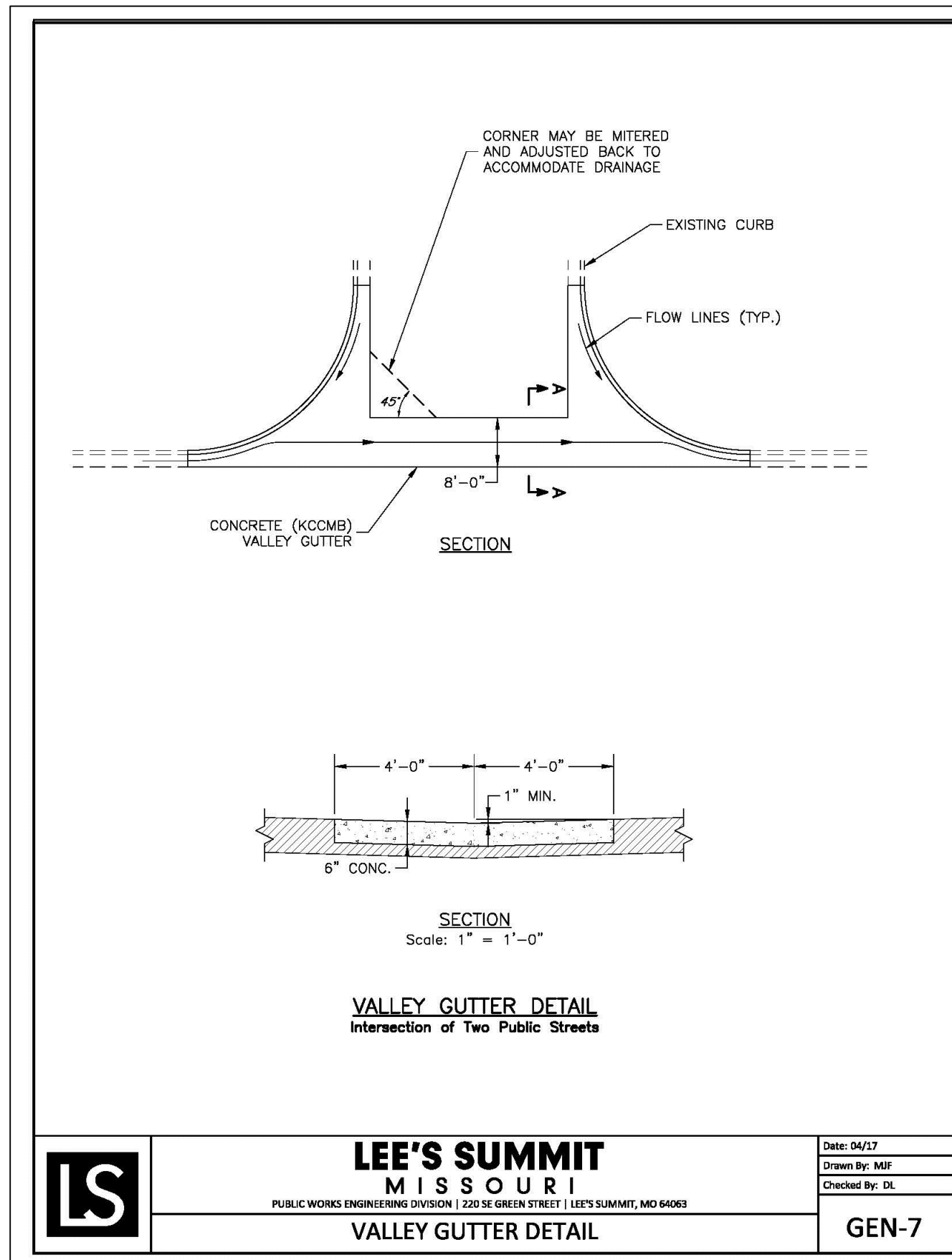
PROJECT #: 21-1902
 ISSUE DATE: 09/01/2021
 ISSUED FOR:

GEN-1

GEN-4

GEN-3A

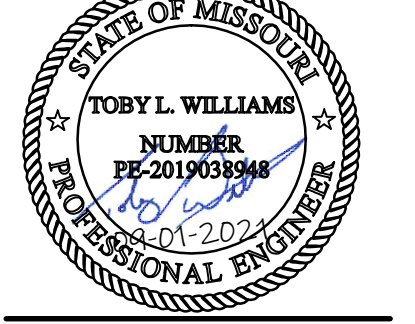
GEN-3B



Certificate of Authority
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Engineering: MO 4 / E 241
Land Surveying: MO 123 / E 34

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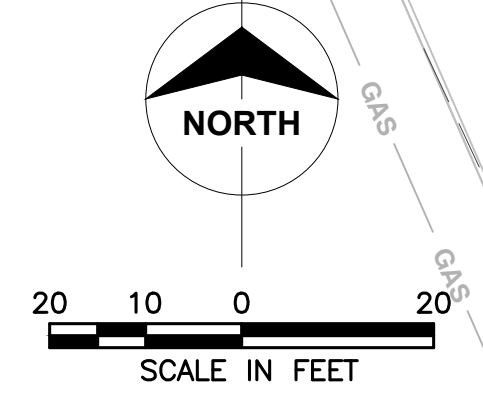


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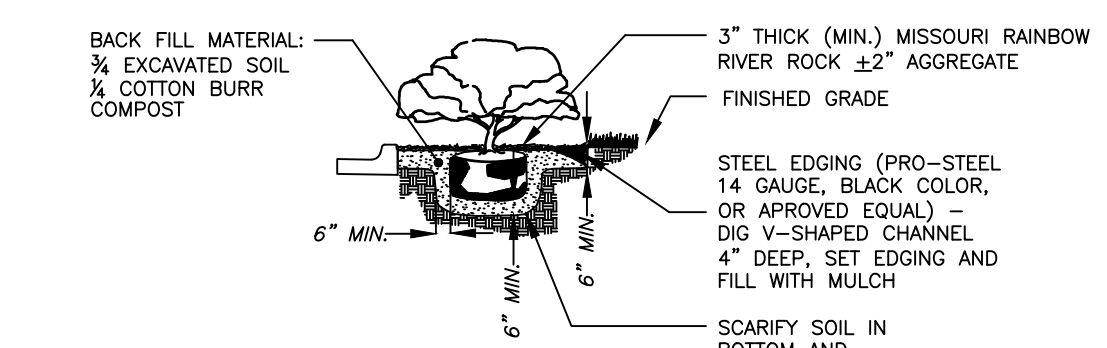
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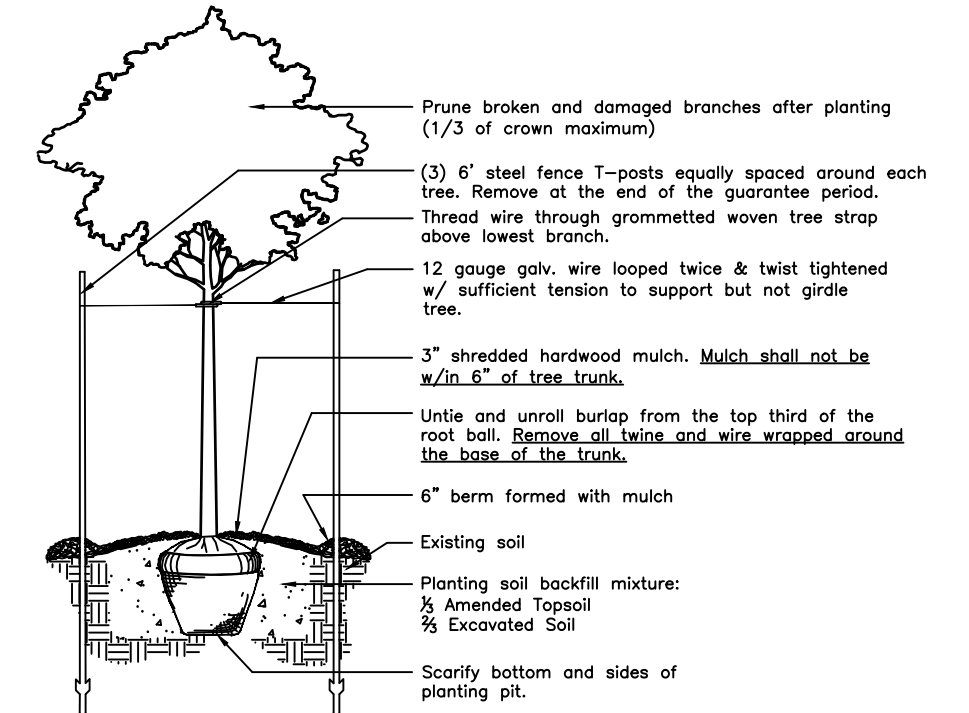
1 PLANTING PLAN
SCALE: 1"=20'



2 SHRUB BED & EDGING DETAIL
NTS

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
ORNAMENTAL TREE	UA	4	Ulmus americana 'Jefferson'	Jefferson Elm	3" Cal.	B&B	
TREES	AT	9	Acer tataricum 'Hot Wings'	Hot Wings Maple Clump	6' Ht.	B&B / Cont.	3-5 Cane - 3" Cal. Cumulative
TREES	MR	8	Malus x 'Royal Raindrops'	Royal Raindrops Crabapple	3" Cal.	B&B	
SHRUBS	CDT	18	Chaenomeles x 'Double Take' TM	Double Take Quince	18" Ht.	Pot	
SHRUBS	JCG	43	Juniperus chinensis 'Gold Lace'	Gold Lace Juniper	18" Ht.	Pot	
SHRUBS	VXR	10	Viburnum x rhytidophylloides	Alleghany Viburnum	24" Ht.	Pot	
ORNAMENTAL GRASS	MSG	21	Miscanthus sinensis 'Gracillimus'	Maiden Grass	1 gal	Pot	
ORNAMENTAL GRASS	NSG	40	Panicum virgatum 'Northwind'	Northwind Switch Grass	1 gal		



- NOTES:**
- On evergreen trees, attach guying collar at approx. 2/3 height of tree on trees that are 6 ft. height and over.
 - Top of rootball shall match original ground level as grown in the nursery. Overlap from nursery shall be removed to expose root collar.
 - Do not fertilize the first growing season.
 - Use tree stakes only in open areas, do not use in parking lot islands where space is limited.

3 DECIDUOUS TREE PLANTING
NTS

LANDSCAPE PLAN NOTES:

- Existing underground (u/g), overhead (o.h.) utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the individual contractors to verify existence and location of all utilities before starting any work.
- Prior to commencement of work, the contractor shall give 48 hours advance notice to all those companies/utilities which have facilities in the near vicinity of the construction to be performed.
- Contractor shall verify all landscape material quantities and shall report any discrepancies immediately to the Landscape Architect.
- No substitutions for variety or cultivar shall be accepted without first obtaining written approval from Landscape Architect.
- All plant material shall be of excellent quality, free of disease and infestation, and true to type, variety, size specified, and form per the American Standard for Nursery Stock (ANSI Z60.1 current version), published by the American Nurserymen's Association.
- All shrub beds in lawn areas shall be edged as shown in the planting details.
- All planting areas, as well as a minimum width of 18" from building foundation, shall receive 3" minimum depth of 2" Kansas River Rock as detailed, unless otherwise noted. In landscape beds, rock mulch shall be a consistent 3" depth throughout. Rock mulch shall be placed on top of woven weed fabric (DeWitt Pro-5, or equal), which shall be secured in place with sod pins.
- Trees planted in turf areas shall have a 3" ring of shredded hardwood mulch formed into a saucer in a minimum ring twice the diameter of the rootball from the trunk.
- Contractor shall thoroughly water in each plant immediately following installation.
- No plantings shall be placed closer than 4' from the back of curb to allow for vehicle bumper overhang.
- Contractor shall be responsible for calculating all areas of sod and seed and the amounts of each needed for optimum coverage.
- Contractor shall install sod in all turf areas. Sod shall be turf-type tall Fescue consisting of 90% fescue blend and 10% bluegrass in all areas disturbed during construction not otherwise designated as another material. Sod placed in areas greater than 4:1 slope shall fastened to the slope with sod staples.
- Proposed trees shall not be placed over existing or proposed utility service lines. It is the contractor's responsibility to understand utility locations and have them marked during tree planting operations. If utility is damaged during planting, contractor is responsible for notifying the general contractor and owner of utility and paying for repair of the damaged utility.
- A fully automated irrigation system will be supplied for this project by the Contractor. Design shall be provided and approved by the landscape architect prior to ordering materials or installing any aspect of the irrigation system. General contractor shall supply tap location and water pressure to irrigation designer. Tap for irrigation shall be after the main building tap and shall be thru a deduct meter configuration. Irrigation system shall consist of tap, backflow, smart controller, heads, pipe, valves, wire, flow sensing, weather station, and any other feature to give the most efficient and comprehensive system as deemed necessary by the irrigation designer and landscape architect. System shall cover all areas designated as turf or landscape beds. Turf, trees and shrubs shall all be on separate zones so that they can be watered at different rates. Submit all irrigation plans to the landscape architect for approval. Controller shall be mounted inside a stainless steel, lockable cabinet on exterior of building nearest the mechanical room access door or other utility panels, as agreed by the GC and Landscape Architect.



Certificates of Authority
Architecture: MO 310 / KS 73
Engineering: MO 4 / KS 241
Land Surveying: MO 123 / KS 36

CLIENT
WARD DEVELOPMENT
DAVID WARD
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GRAIN VALLEY, MO 64029
(816) 229-8115

LOT 10, 1-470
BUSINESS PARK
2601 NE MCBAIN DRIVE
LEE'S SUMMIT, MO 64064

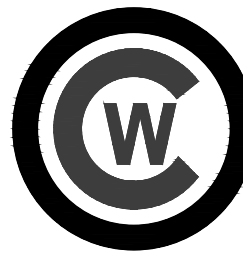


CHAD D. WEINAND, PL, ASLA
LA-2013000705 (MISSOURI #)

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REVISIONS	NO.	DATE / DESCRIPTION
	1	10.10.21 / CITY COMMENTS
	2	10.25.21 / CITY COMMENTS
	3	12.9.21 / CITY COMMENTS

DRAWN BY: CDW
CHECKED BY: CDW
PROJECT #: 21-1902
ISSUE DATE: 8/23/2021
ISSUED FOR: CONSTRUCTION



Chad D. Weinand, PL, ASLA
Landscape Architecture
15173 W. 157th Terrace, Olathe, Kansas 66062
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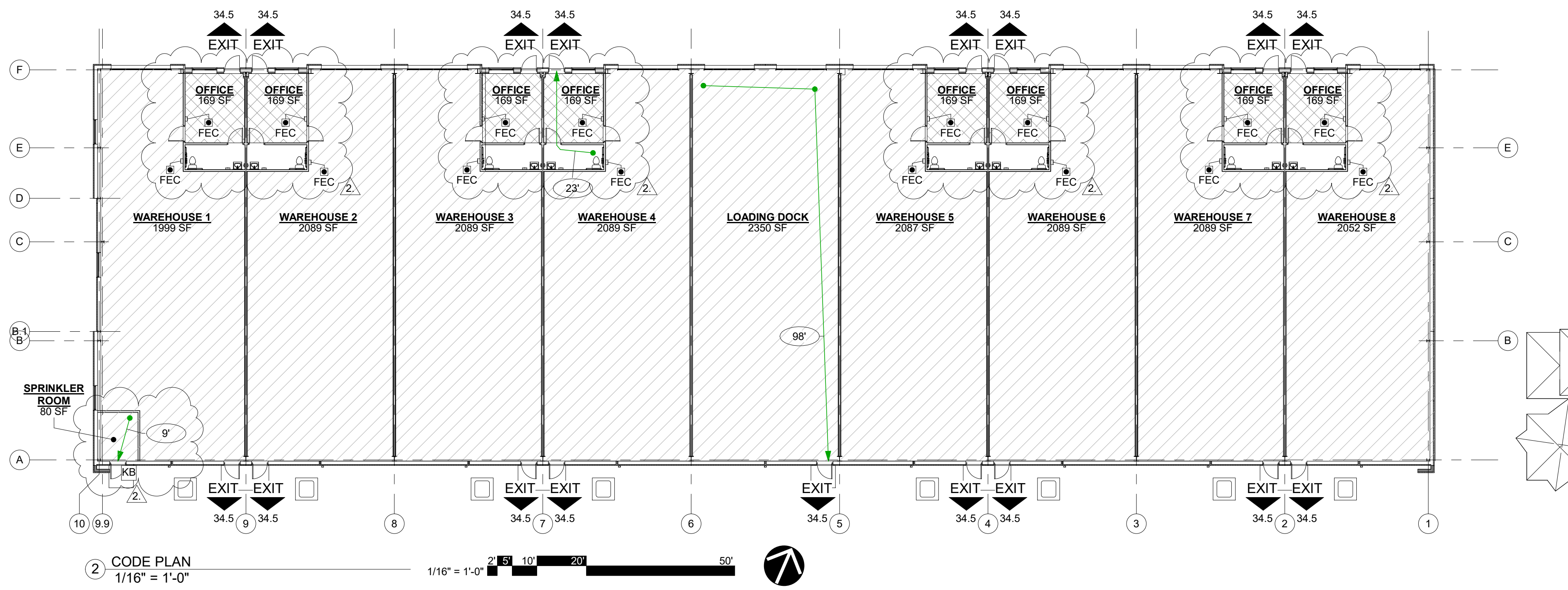
NO.	REVISIONS	DATE
1	DATE	12/22/2021
2	DESCRIPTION	
3	BP CITY COMMENTS #02	

DRAWN BY: NC
 CHECKED BY: NC
 PROJECT #: 21-1902
 ISSUE DATE: 2021.09.24
 ISSUED FOR: BUILDING PERMIT

LIFE SAFETY AND CODE SHEET

LIFE-SAFETY GENERAL NOTES

- ALL EXIT DOORS SHALL BE OPERABLE / OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- BUILDING ADDRESS NUMBER (BUILDING IDENTIFIER) SHALL BE A MINIMUM 6 INCHES HIGH AND PLAINLY VISIBLE FROM ROADWAY FRONTING THE PROPERTY.
- FIRE EXTINGUISHERS SHALL BE DISTRIBUTED THROUGHOUT THE FACILITY (PER NFPA 101) SO THAT NO GREATER THAN 75 FEET TRAVEL DISTANCE IS REQUIRED TO REACH A UNIT (IFC TABLE 906.3), NO MORE THAN 50 FEET IN GARAGE AREA. MINIMUM SIZE (5 LB)#5A40BC EXTINGUISHERS SHALL BE SECURELY MOUNTED WITH THE TOP OF THE CANISTER NO HIGHER THAN 42" ABOVE FINISHED FLOOR, WITH STATE FIRE MARSHAL INSPECTION TAG ATTACHED AND SIGNAGE TO INDICATE LOCATION.
- PROVIDE FIRE EXTINGUISHERS IN LOCATIONS AND QUANTITIES AS SHOWN AND AS DIRECTED BY THE FIRE MARSHAL OF THE JURISDICTION HAVING AUTHORITY. PROVIDE EXTINGUISHERS THAT ARE COMPATIBLE WITH THE CHEMICALS IN THE ROOMS.
- FIRE SPRINKLER AND FIRE ALARM SYSTEMS ARE TO BE DESIGN/BUILD BY THE SUBCONTRACTOR. THE SHOP DRAWINGS WILL BE MADE AVAILABLE TO THE CITY FOR REVIEW PRIOR TO INSTALL.
- PROVIDE HAZARDOUS MATERIALS SIGNAGE AS SPECIFIED BY NFPA STANDARD 704.
- SMOKING SHALL BE PROHIBITED AND "NO SMOKING" SIGNS PROVIDED AT:
 - ROOMS WHERE HAZARDOUS MATERIALS ARE STORED OR DISPENSED OR USED IN OPEN SYSTEMS IN AMOUNTS REQUIRING A PERMIT IN ACCORDANCE WITH SECTION 5001.5
 - WITHIN 25 FT OF OUTDOOR STORAGE, DISPENSING OR OPEN USE AREAS
 - FACILITIES OR AREAS WITHIN FACILITIES THAT HAVE BEEN DESIGNATED AS TOTALLY "NO SMOKING" SHALL HAVE "NO SMOKING" SIGNAGE PLACED AT ALL ENTRANCES TO THESE FACILITY OR AREA. DESIGNATED AREAS WITHIN SUCH FACILITIES WHERE SMOKING IS PERMITTED EITHER PERMANENTLY OR TEMPORARILY SHALL BE INDENTED WITH SIGNS DESIGNATING THAT SMOKING IS PERMITTED IN THESE AREAS ONLY.
 - IN ROOMS OR AREAS WHERE FLAMMABLE OR COMBUSTIBLE HAZARDOUS MATERIALS ARE STORED, DISPENSED OR USED.



CODE ANALYSIS

APPLICABLE CODES

THE BUILDING SHALL BE IN COMPLIANCE WITH THE FOLLOWING:
 2018 INTERNATIONAL BUILDING CODE
 2018 INTERNATIONAL PLUMBING CODE
 2018 INTERNATIONAL MECHANICAL CODE
 2018 INTERNATIONAL FUEL GAS CODE
 2018 INTERNATIONAL FIRE CODE
 2017 NATIONAL ELECTRICAL CODE
 ICC/ANSI A117.1-2009, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
 LEE'S SUMMIT, MISSOURI

FIRE RESISTANCE

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS - TABLE 601	FIRE PROTECTION SYSTEMS, SECTION 903.2.10
PRIMARY STRUCTURAL FRAME: 0 HOURS	REQUIRED: YES
BEARING WALLS EXTERIOR: 0 HOURS	PROVIDED: YES
BEARING WALLS INTERIOR: 0 HOURS	
NONBEARING WALLS EXTERIOR: -	
NONBEARING WALLS INTERIOR: 0 HOURS	
FLOOR CONSTRUCTION: 0 HOURS	
ROOF CONSTRUCTION: 0 HOURS	

OCCUPANCY CLASSIFICATION

MAIN OCCUPANCY (S-2):
 S-2: STORAGE
 (LOW-HAZARD STORAGE) SECTION 311.3

ACCESSORY OCCUPANCY (B):
 B: BUSINESS SECTION 508.2.1
 SECTION 304

MEANS OF EGRESS

SUITE TYPE A (WAREHOUSE)	SUITE TYPE B (LOADING DOCK)
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT - TABLE 1004.1.2	MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT - TABLE 1004.1.2
STORAGE WAREHOUSE 1 1999 SF / 300 GROSS = 7 OCCUPANTS SPRINKLER ROOM 80 SF / 300 GROSS = 1 OCCUPANTS WAREHOUSE 2 2089 SF / 300 GROSS = 7 OCCUPANTS WAREHOUSE 3 2089 SF / 300 GROSS = 7 OCCUPANTS WAREHOUSE 4 2089 SF / 300 GROSS = 7 OCCUPANTS WAREHOUSE 5 2089 SF / 300 GROSS = 7 OCCUPANTS WAREHOUSE 6 2089 SF / 300 GROSS = 7 OCCUPANTS WAREHOUSE 7 2089 SF / 300 GROSS = 7 OCCUPANTS WAREHOUSE 8 2052 SF / 300 GROSS = 7 OCCUPANTS TOTAL = 64 OCCUPANTS	STORAGE LOADING DOCK 2350 SF / 300 GROSS = 8 OCCUPANTS TOTAL OCCUPANTS = 8 OCCUPANTS
BUSINESS OFFICE 1 168 SF / 150 GROSS = 2 OCCUPANTS OFFICE 2 168 SF / 150 GROSS = 2 OCCUPANTS OFFICE 3 168 SF / 150 GROSS = 2 OCCUPANTS OFFICE 4 168 SF / 150 GROSS = 2 OCCUPANTS OFFICE 5 168 SF / 150 GROSS = 2 OCCUPANTS OFFICE 6 168 SF / 150 GROSS = 2 OCCUPANTS OFFICE 7 168 SF / 150 GROSS = 2 OCCUPANTS OFFICE 8 168 SF / 150 GROSS = 2 OCCUPANTS TOTAL = 16 OCCUPANTS	MINIMUM REQUIRED EGRESS WIDTH - 1005.1 REQUIRED: 8 OCC. X 0.2" = 1.6" REQUIRED PROVIDED: 1 DOORS @ 34.5" CLEAR = 34.5" PROVIDED TOTAL WIDTH PER SUITE (1) = 34.5" PROVIDED
TOTAL OCCUPANTS = 80 OCCUPANTS	NUMBER OF EXITS, TABLE 1006.2.1: REQUIRED: 1 PROVIDED: 1
MINIMUM REQUIRED EGRESS WIDTH - 1005.1 MAIN OCCUPANCY (S-2): REQUIRED: 7 OCC. X 0.2" = 1.4" REQUIRED PROVIDED: 1 DOORS @ 34.5" CLEAR = 34.5" PROVIDED	EXIT ACCESS TRAVEL DISTANCE - TABLE 1017.2 MAIN OCCUPANCY: REQUIRED: 300 FT PROVIDED: SEE CODE PLAN
ACCESSORY OCCUPANCY (B): REQUIRED: 2 OCC. X 0.2" = 0.4" REQUIRED PROVIDED: 2 DOORS @ 34.5" CLEAR = 69" PROVIDED TOTAL WIDTH PER SUITE (8) = 103.5" PROVIDED	
COMMON PATH OF EGRESS TRAVEL - TABLE 1006.2.1: REQUIRED: 100 FT PROVIDED: 9 FT 0 IN PER SUITE	

ALLOWABLE AREAS

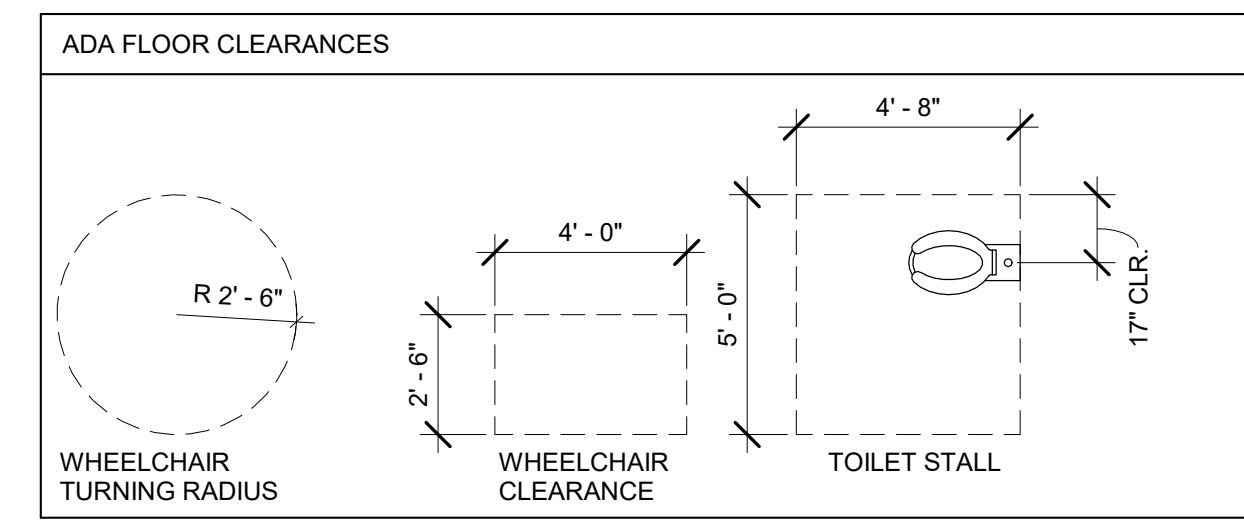
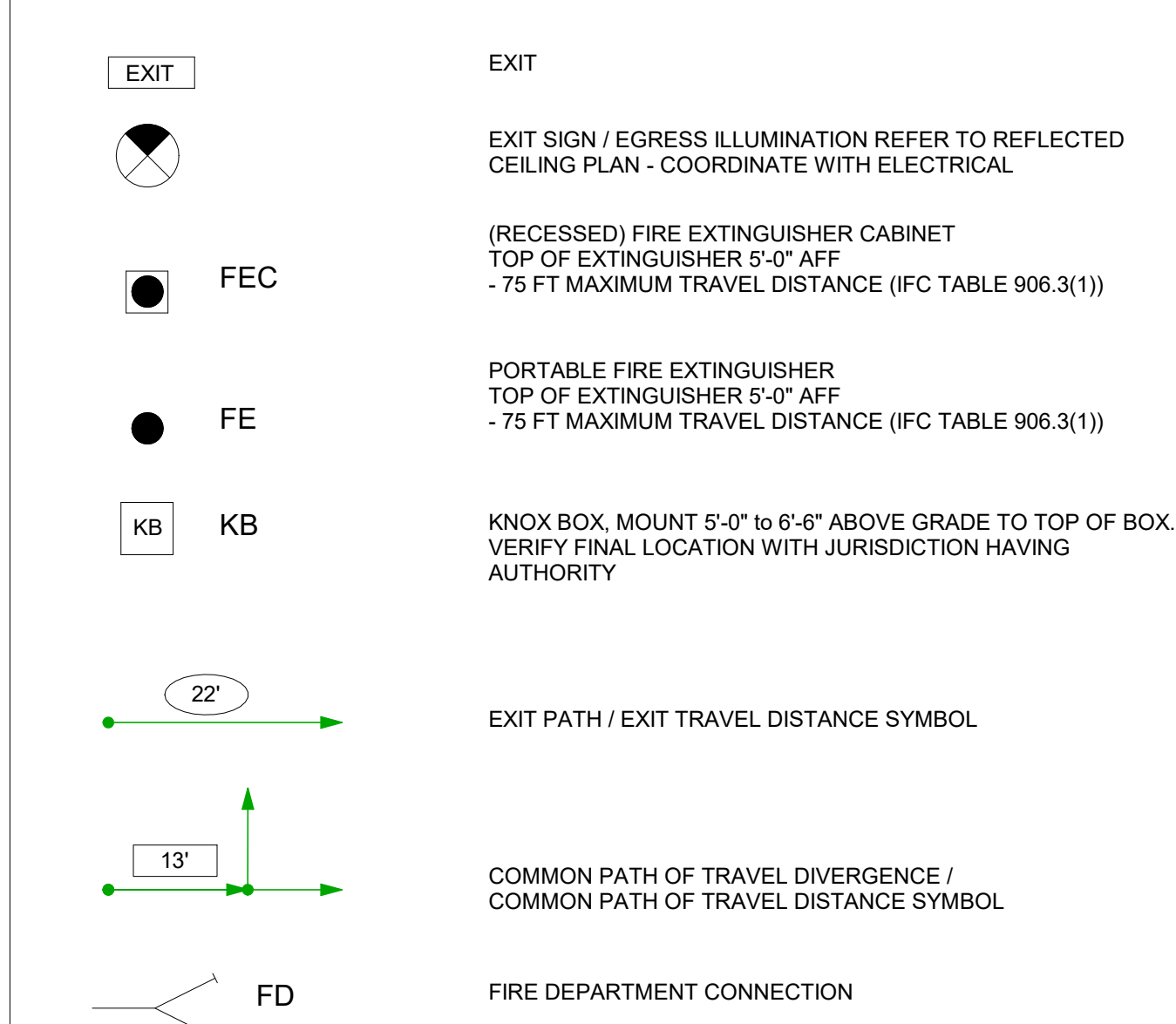
ALLOWABLE FLOOR AREA - TABLE 506.2
 MAIN OCCUPANCY (S-2):
 ALLOWABLE AREA = 54,000 SF PER STORY (WITHOUT INCREASES)
 ACTUAL AREA = 22,677 SF

ACCESSORY OCCUPANCY (B): SECTION 508.2.3
 ALLOWABLE AREA = 36,000 SF PER STORY (WITHOUT INCREASES)
 SHALL NOT OCCUPY MORE THAN 10% OF MAIN OCCUPANCY AREA
 ACTUAL AREA = 1,344 SF
 22,677 x .10 = 2,267 THEREFORE, COMPLIES.

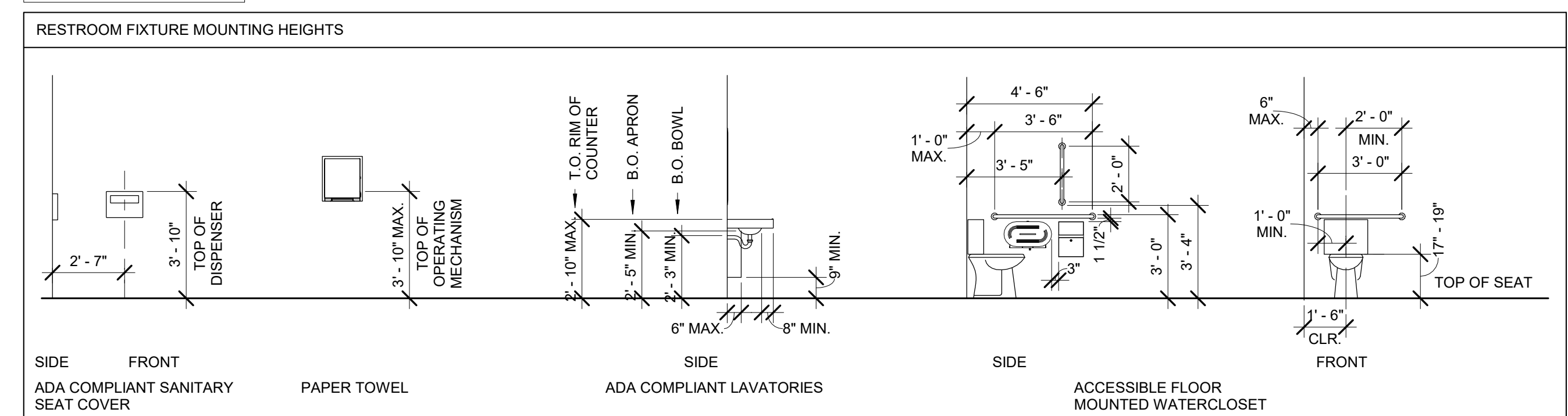
MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

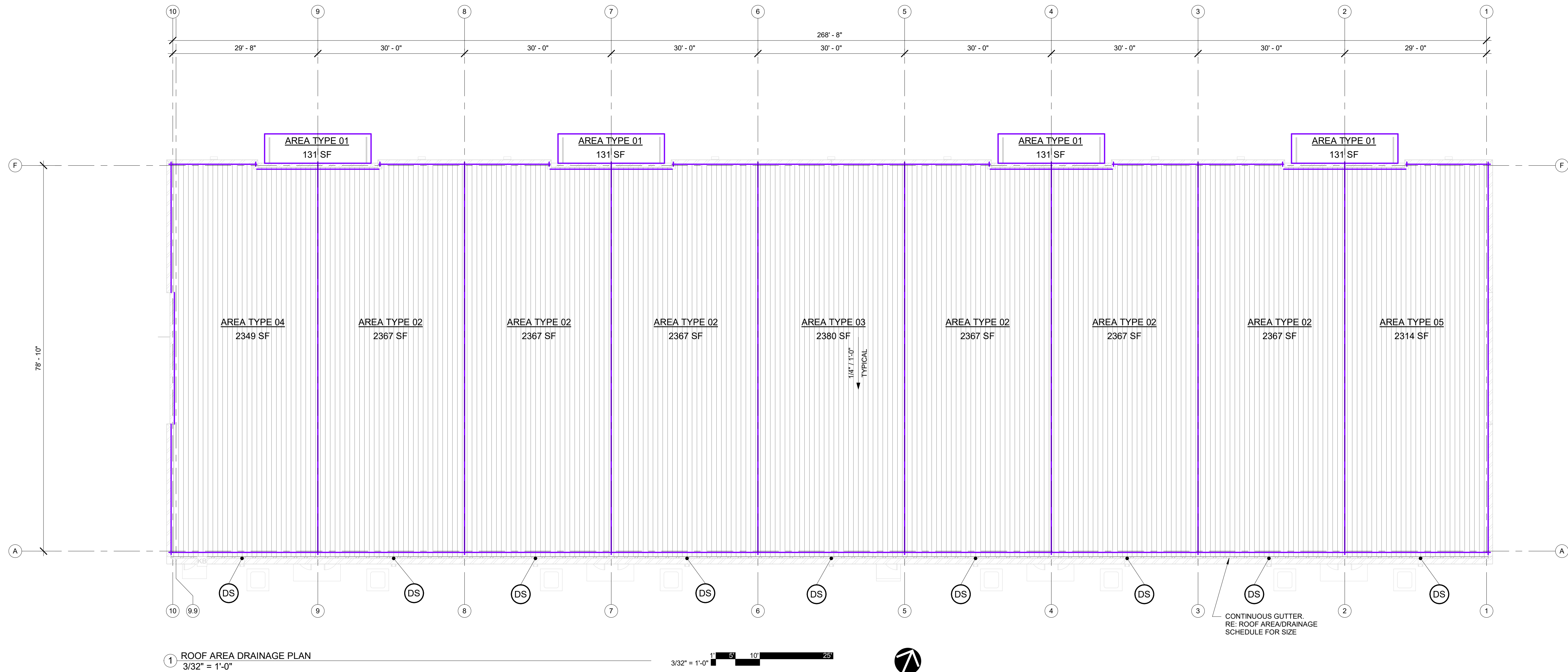
B: BUSINESS 7 OCCUPANTS PER SUITE (8)	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS		OTHER	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
	1	1	1	1	1	X	0	0
TOTAL	1	1	1	1	1	X	0	0

LIFE SAFETY LEGEND



NOTE: ALL BATHROOM FIXTURES TO BE MOUNTED PER ADA REQUIREMENT.





1 ROOF AREA DRAINAGE PLAN
3/32" = 1'-0"

3/32" = 1'-0" 1" 5' 10' 25'



ROOF AREA SCHEDULE												
TYPE	Count	SMANCA Table 1-2 Rainfall Data and Drainage Factors	(A) AREA (SF)	SMACNA Table 1-1 Design Areas for Pitched Roofs	(B) Roof Slope Factor	(C) 100 Years - Calculated roof area drained per downspout area sq ft/sq in	(D) Total area of downspout req'd (sq. in.) (D = A*B/C)	(E) Number of Downspouts	(F) Area per Downspout Required (sq in)	Downspout Size	Gutter Size	Comments
AREA TYPE 01	4	MISSOURI: Kansas City	131 SF	3 to level	1	110	1.2	1	1.19	Per Canopy Manufacturer	Per Canopy Manufacturer	
AREA TYPE 02	6	MISSOURI: Kansas City	2,367 SF	3 to level	1	110	21.5	2	10.76	Rectangular Corrugated, Nominal 5" Downspout (3.75x5" = 18.75") Net Area "A" = 16.63 sq in	5"W x 7.5"D Box	NOTE # 1
AREA TYPE 03	1	MISSOURI: Kansas City	2,380 SF	3 to level	1	110	21.6	2	10.82	Rectangular Corrugated, Nominal 5" Downspout (3.75x5" = 18.75") Net Area "A" = 16.63 sq in	5"W x 7.5"D Box	NOTE # 1
AREA TYPE 04	1	MISSOURI: Kansas City	2,349 SF	3 to level	1	110	21.4	2	10.68	Rectangular Corrugated, Nominal 5" Downspout (3.75x5" = 18.75") Net Area "A" = 16.63 sq in	5"W x 7.5"D Box	NOTE # 1
AREA TYPE 05	1	MISSOURI: Kansas City	2,314 SF	3 to level	1	110	21.0	2	10.52	Rectangular Corrugated, Nominal 5" Downspout (3.75x5" = 18.75") Net Area "A" = 16.63 sq in	5"W x 7.5"D Box	NOTE # 1

NOTES - ROOF AREA SCHEDULE

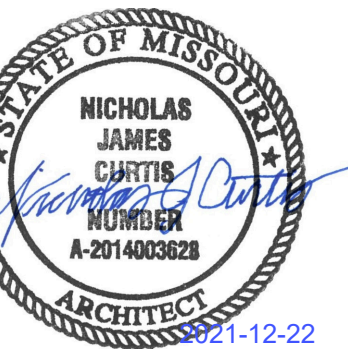
- BOX GUTTER PROFILE INDICATED BUT ALTERNATE PROFILE MAY BE PROVIDED BY PEMB MFR SO LONG AS THE GUTTER PROFILE:
 - PROVIDES EQUAL OR GREATER THAN REQUIRED FLOW RATES
 - IS AT LEAST AS WIDE AS DOWNSPOUT PROFILE DEPTH
 - IS COORDINATED WITH PARAPET CAVITY DEPTH, SEE DETAIL: 8 / A-400

GENERAL NOTES - ROOF DRAINAGE PLAN

- REFER TO PREENGINEERED METAL BUILDING DRAWINGS FOR ROOF SUPPORT STEEL AND DECKING ELEVATIONS AND INFORMATION.
- ROOF DRAINAGE CALCULATIONS PER 2018 IPC.
- REFER TO BUILDING ELEVATIONS FOR ADDITIONAL DOWNSPOUT INFORMATION.

ROOF DRAINAGE LEGEND

- DOWNSPOUT, RE: ROOF AREA/DRAINAGE SCHEDULE FOR STYLE AND SIZE.
- GUTTER
- 1/4" / 1'-0" SURFACE SLOPE ARROW
- AREA BOUNDARY



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REVISIONS	NO.	DESCRIPTION	DATE
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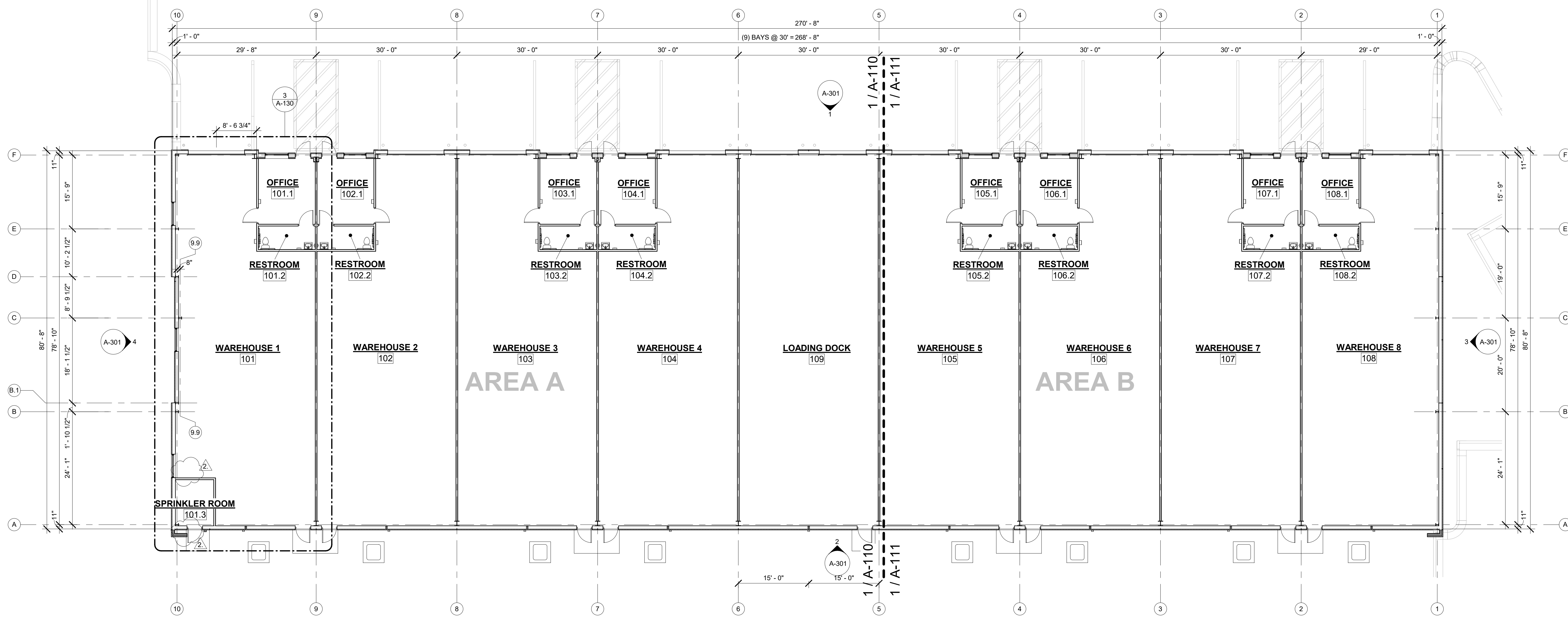
DRAWN BY: NC
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 PROJECT #: 21-1902
 ISSUE DATE: 2021.09.24
 ISSUED FOR:
 BUILDING PERMIT

ROOF DRAINAGE
 PLAN

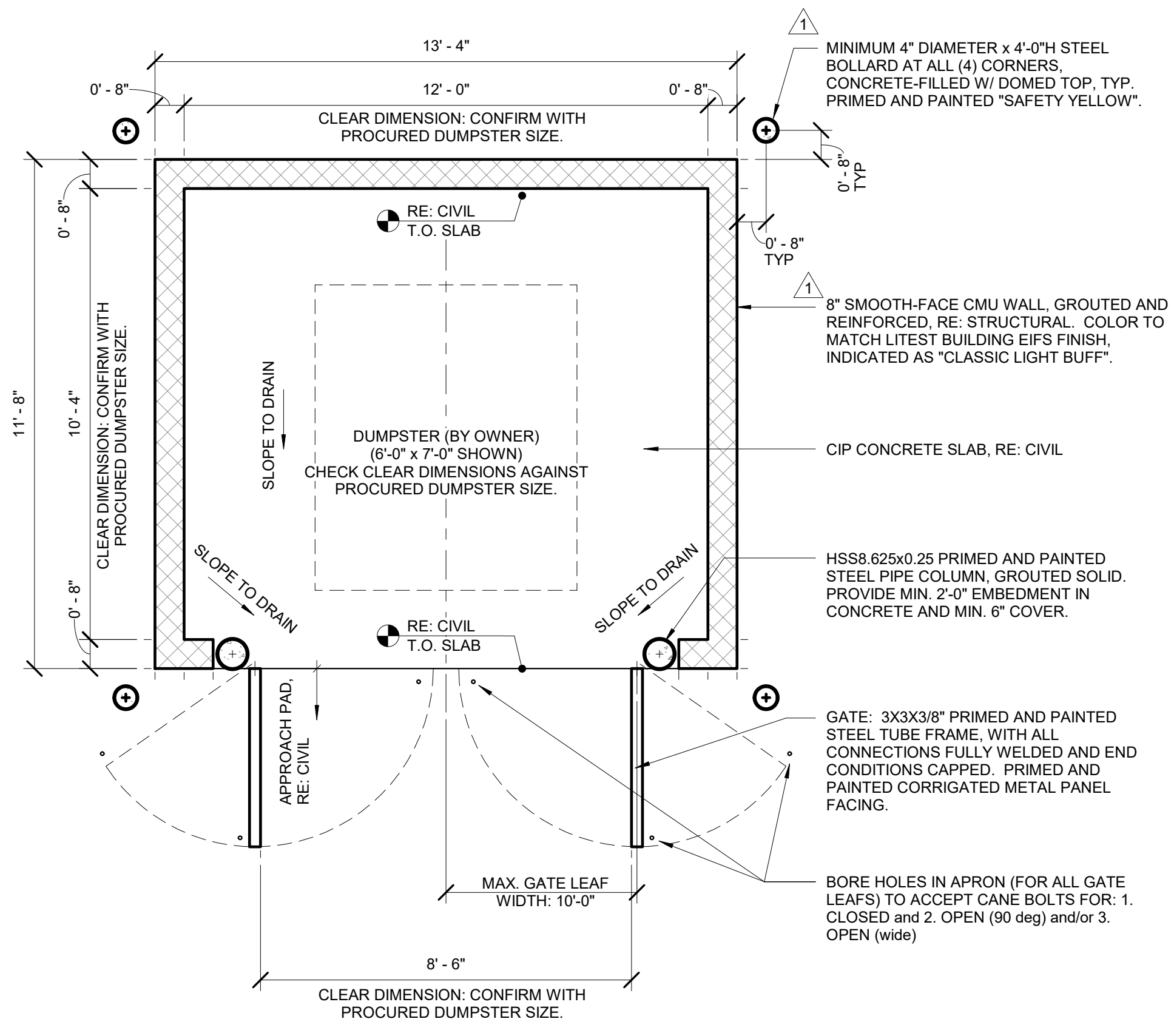
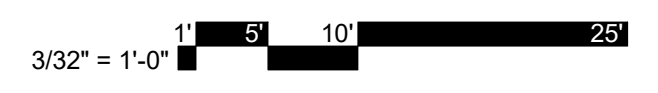
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Certificates of Authority
 Architecture: MO 310 / KS 73
 Engineering: MO 41 / KS 241
 Land Surveying: MO 123 / KS 36

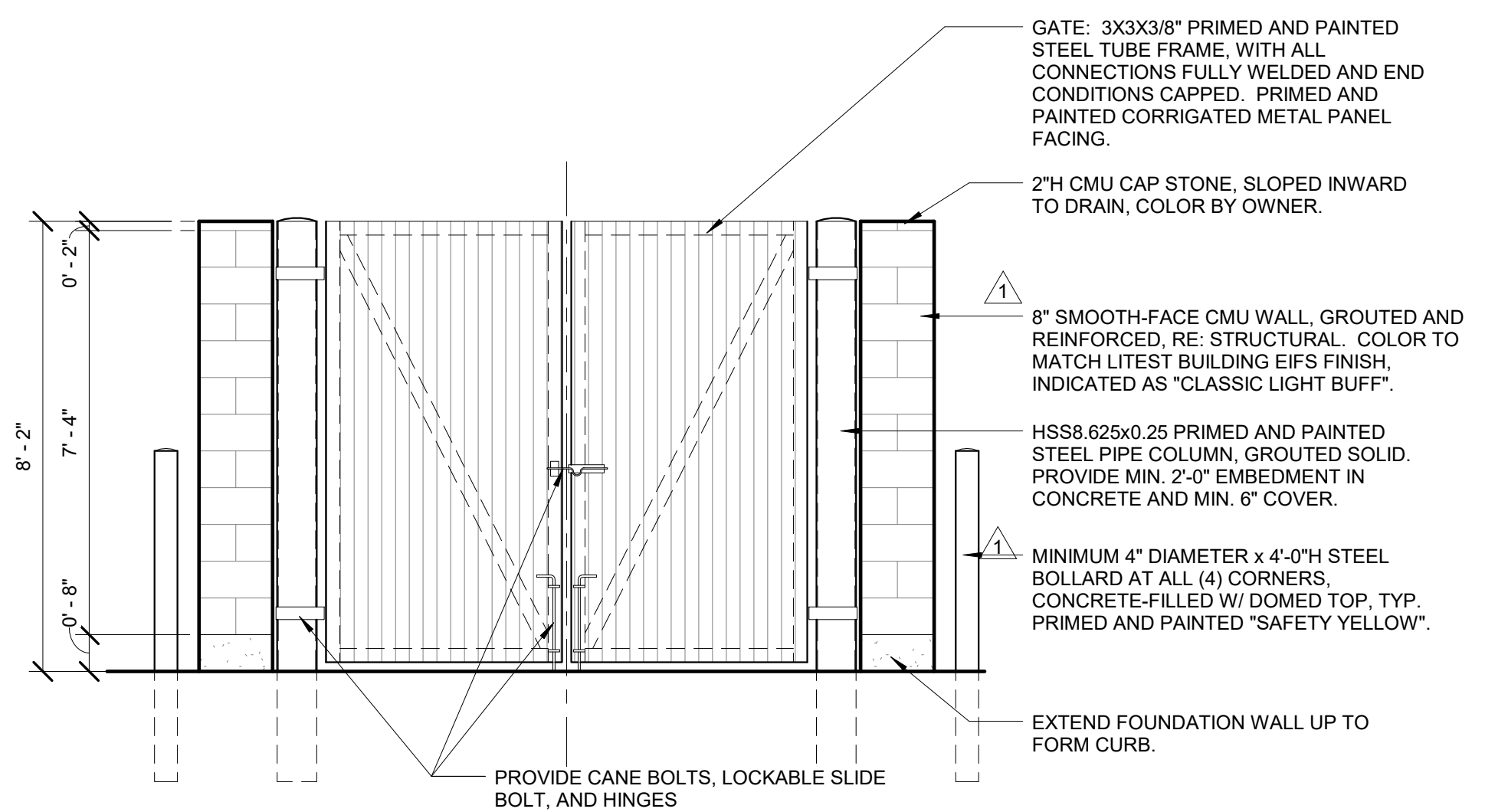
CLIENT
 DAVID WARD
 WARD DEVELOPMENT
 1120 EAGLE RIDGE BLVD
 GRAIN VALLEY, MO 64029
 david@safetyminstorage.com



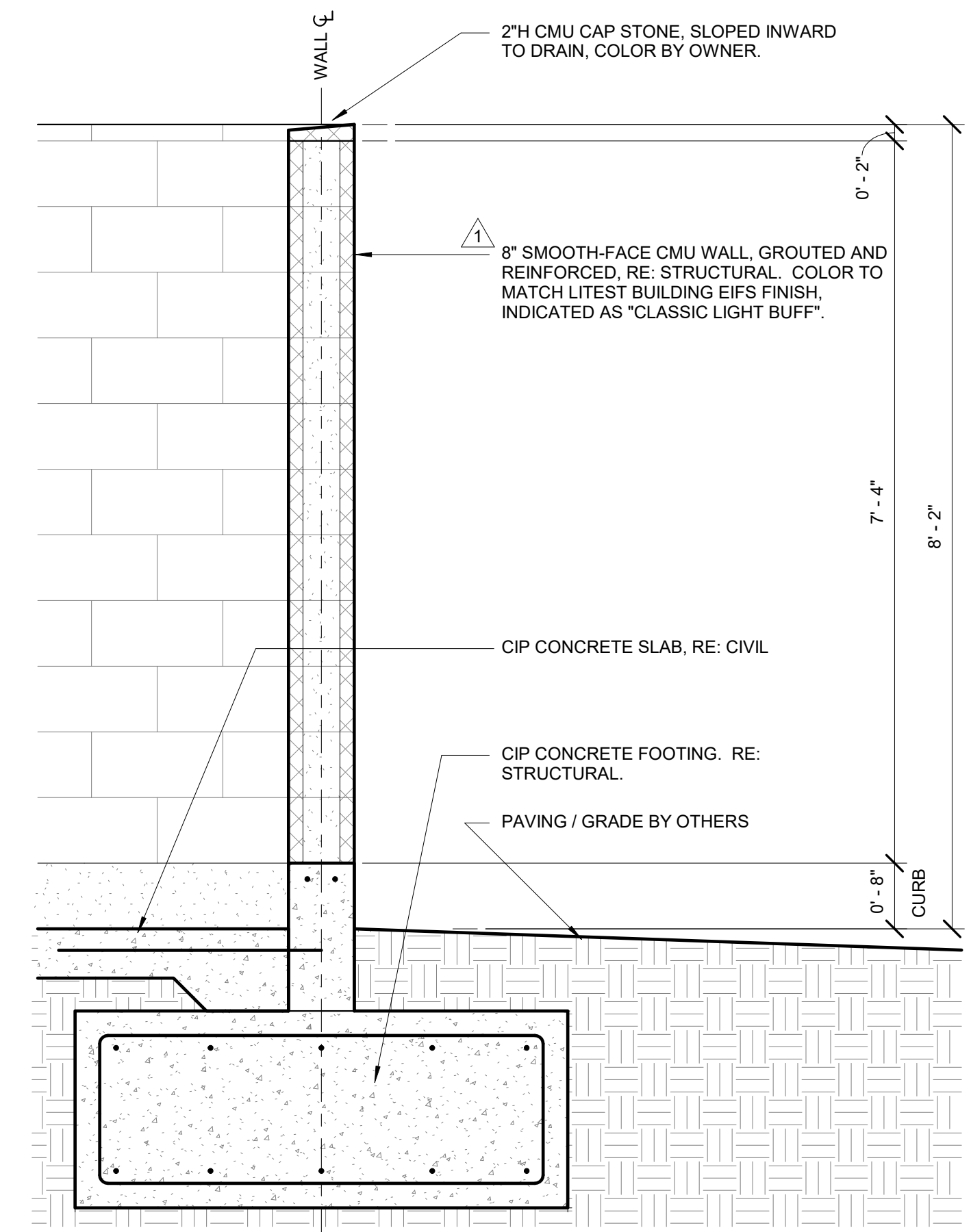
1 MAIN LEVEL FLOOR PLAN
3/32" = 1'-0"



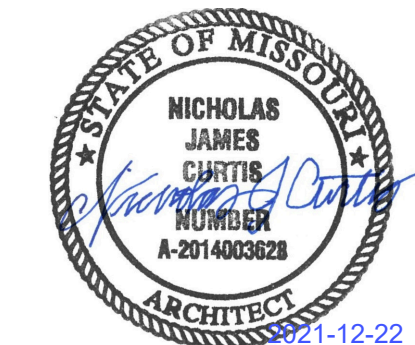
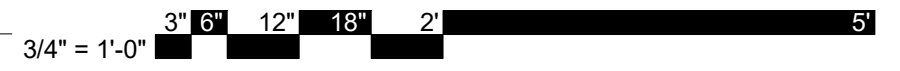
2 ENLARGED PLAN - DUMPSTER ENCLOSURE
3/8" = 1'-0"



3 FRONT ELEVATION - DUMPSTER ENCLOSURE
3/8" = 1'-0"



4 WALL SECTION - DUMPSTER ENCLOSURE
3/4" = 1'-0"

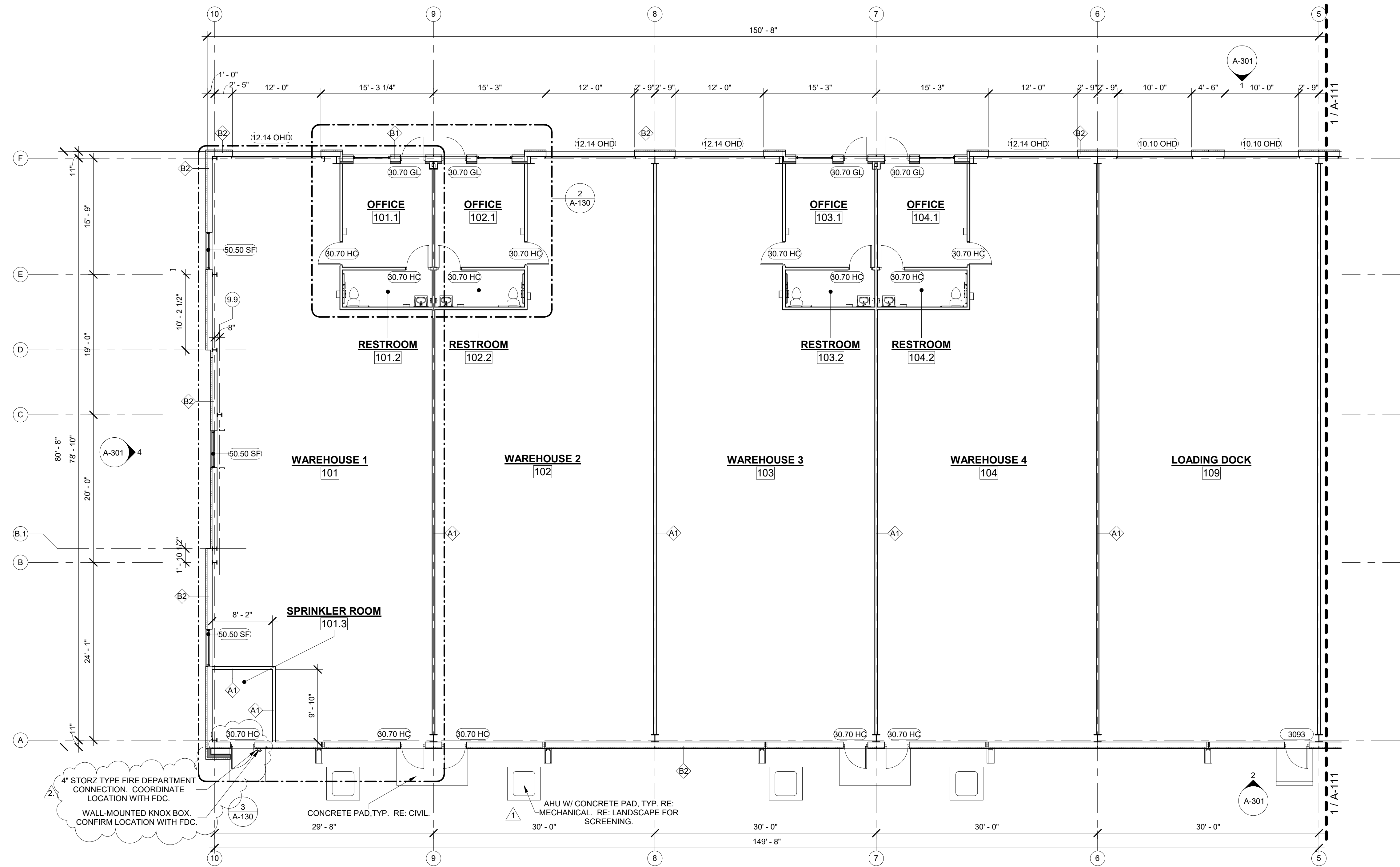


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NO.	REVISIONS	DATE
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2	DESCRIPTION OF REVISIONS #02	12/22/2021

DRAWN BY: NC
CHECKED BY: NC
PROJECT #: 21-1902
ISSUE DATE: 2021.09.24
ISSUED FOR: BUILDING PERMIT

OVERALL MAIN LEVEL FLOOR PLAN



1 MAIN LEVEL FLOOR PLAN A
1/8" = 1'-0"



- FLOOR PLAN NOTES**
1. ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR OF STEEL/WOOD FRAMING. REFER TO ELEVATIONS AND SECTIONS FOR EXTERIOR FINISH.
 2. ALL LUMBER TO BE #2 GRADE OR BETTER DOUGLAS FIR.
 3. ALL WOOD IN CONTACT W/ CONCRETE TO BE WEATHER TREATED.
 4. 8' - 0" LINER PANEL TO BE PLACED ON ALL WALLS WITHIN THE INTERIOR OF THE BUILDING. COORDINATE TYPE AND FINISH WITH OWNER.
 5. LANDSCAPING OMITTED FOR CLARITY. RE: L-100 FOR PLANTING INFORMATION.

- LEGEND**
- WALL TYPE**
- DOOR TAG**
- MID = METAL INSULATED DOOR
 - OHD = OVERHEAD DOOR
 - PD = POCKET DOOR
 - SC = SOLID CORE
 - HC = HOLLOW CORE
 - OP = FRAMED OPENING
 - WIDTH (7'-0")
 - HEIGHT (3'-0")
- WINDOW TAG**
- SF = STOREFRONT
 - WIDTH (7'-0")
 - HEIGHT (3'-0")

- Room Name**
- ROOM TAG**
- SECTION**
- ELEVATION**
- CEILING ELEVATION**

- WALL TYPES**
- A: 5/8" GYP. BD., 2x4 WOOD FRAMING, RE: STRCT INSULATION
 - A1: 5/8" GYP. BD., 2x4 WOOD FRAMING, RE: STRCT INSULATION, 5/8" GYP. BD.
 - B1: 2" EIFS, VAPOR BARRIER, SHEATHING, METAL FRAMING PER PEMB PACKAGE, INSULATION, 2x4 WOOD FRAMING, RE: STRCT, 5/8" GYP. BD.
 - B2: 2" EIFS, VAPOR BARRIER, SHEATHING, METAL FRAMING PER PEMB PACKAGE



Certificates of Authority
Architecture: MO 310 / KS 73
Engineering: MO 31 / KS 241
Land Surveying: MO 123 / KS 36

CLIENT
DAVID WARD
WARD DEVELOPMENT
1120 EAGLE RIDGE BLVD
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david@safetyminstorage.com

LOT 10 LAKEWOOD BUSINESS PARK
LOT 10 I-470 BUSINESS PARK
LEE'S SUMMIT, MO 64064

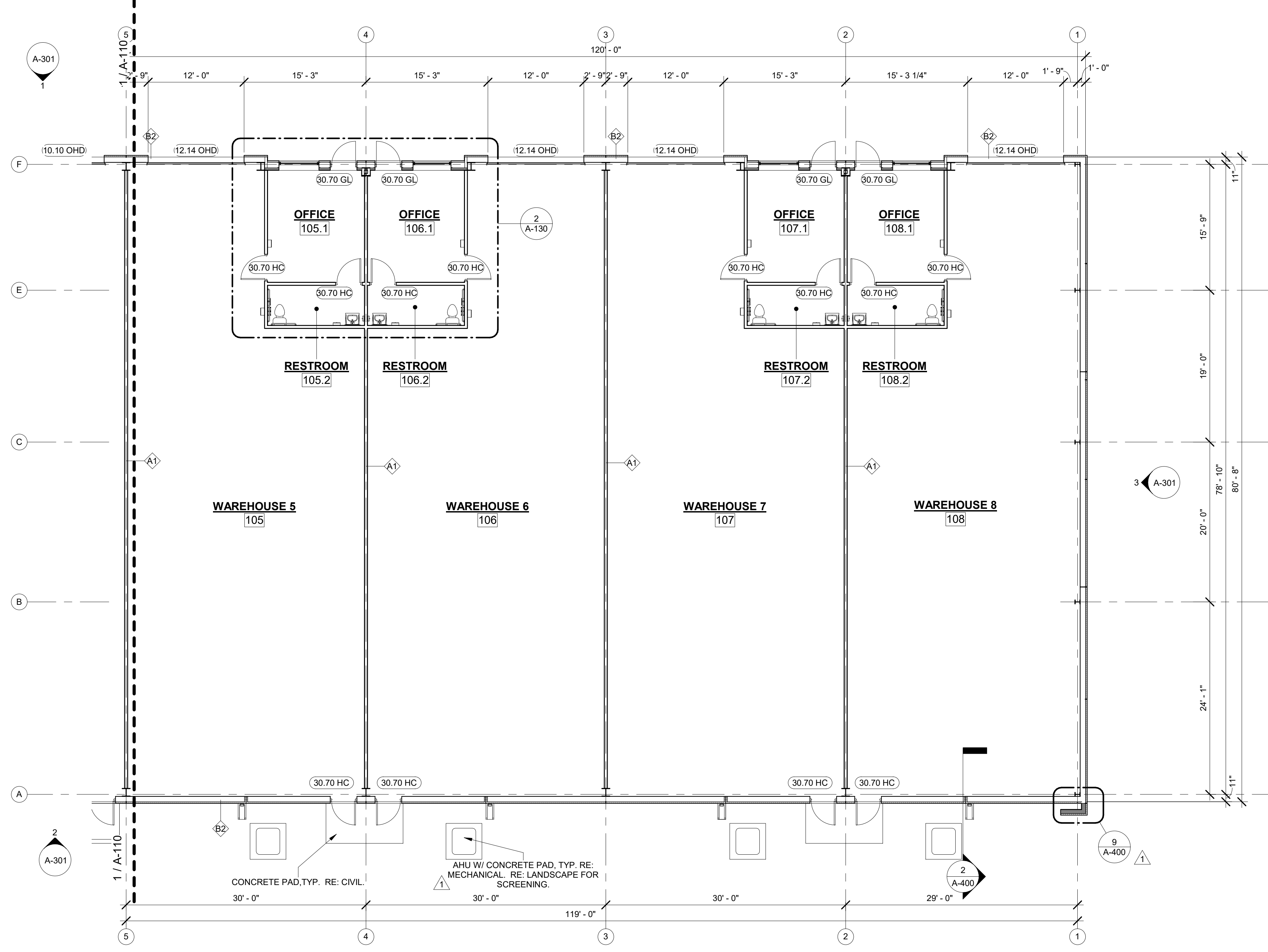


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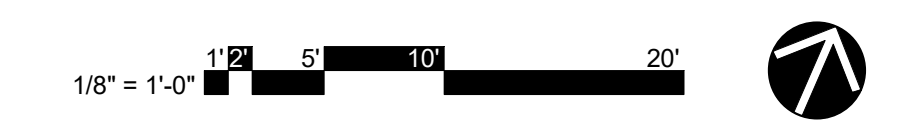
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1	DESCRIPTION FDS & BR	11/11/2021
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MAIN LEVEL FLOOR PLAN - AREA A



1 MAIN LEVEL FLOOR PLAN B
1/8" = 1'-0"



- FLOOR PLAN NOTES**
1. ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR OF STEEL/WOOD FRAMING. REFER TO ELEVATIONS AND SECTIONS FOR EXTERIOR FINISH.
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 - SC = SOLID CORE
 - HC = HOLLOW CORE
 - OP = FRAMED OPENING
 - WIDTH (7'-0")
 - HEIGHT (3'-0")
- WINDOW TAG**
- SF = STOREFRONT
 - WIDTH (7'-0")
 - HEIGHT (3'-0")

- Room Name**
- ROOM TAG**
- 101
- SECTION**
- 1 SIM A101
- ELEVATION**
- 1 Ref A101
- CEILING ELEVATION**
- MATERIAL 8'-0" A.F.F.

- WALL TYPES**
- A 5/8" GYP. BD. 2x4 WOOD FRAMING, RE: STRCT INSULATION
 - A1 5/8" GYP. BD. 2x4 WOOD FRAMING, RE: STRCT INSULATION 5/8" GYP. BD.
 - B1 2" EIFS VAPOR BARRIER SHEATHING METAL FRAMING PER PEMB PACKAGE INSULATION 2x4 WOOD FRAMING, RE: STRCT 5/8" GYP. BD.
 - B2 2" EIFS VAPOR BARRIER SHEATHING METAL FRAMING PER PEMB PACKAGE



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MAIN LEVEL FLOOR PLAN - AREA B



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ENLARGED PLANS

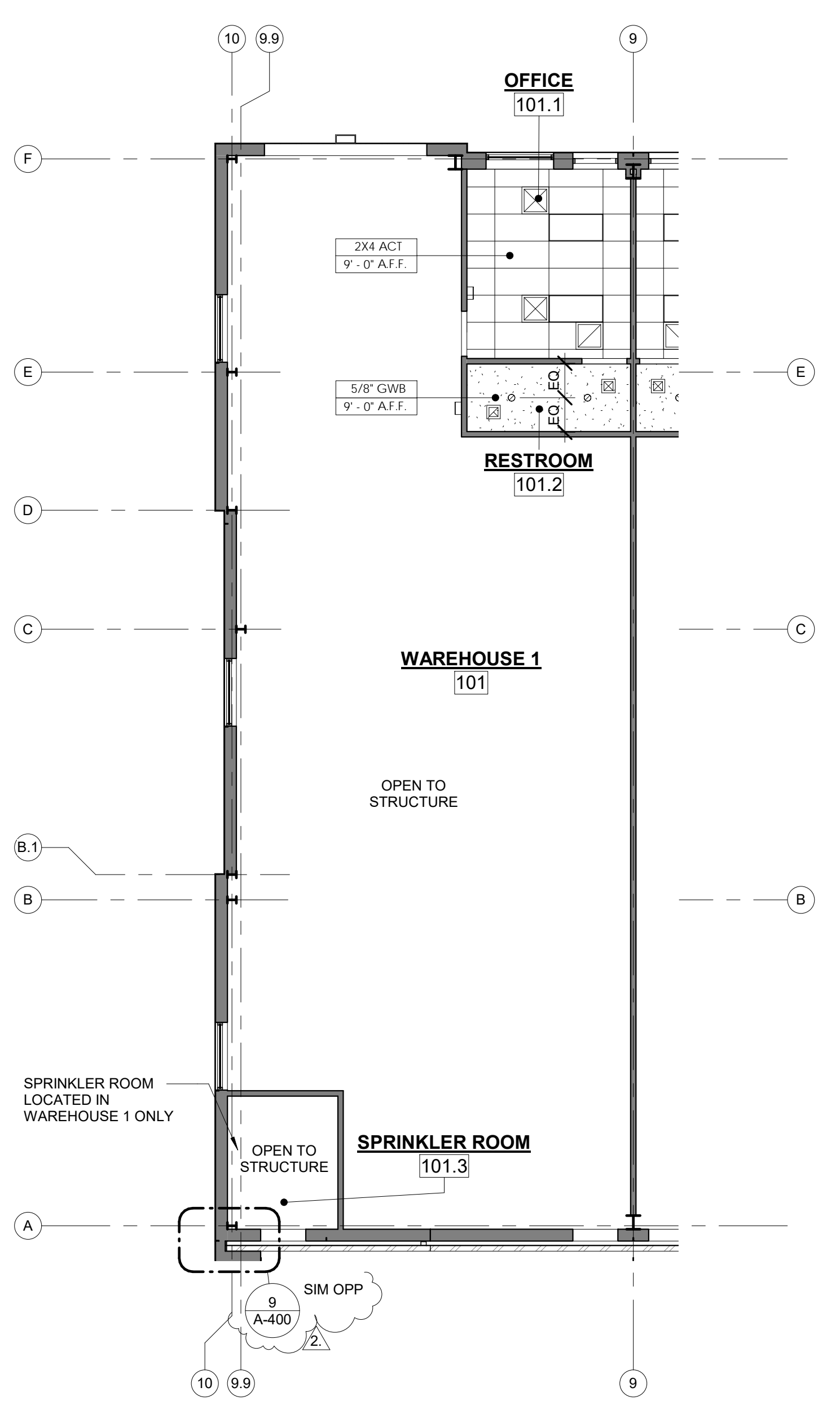
RESTROOM ACCESSORY SCHEDULE		
Type Mark	Description	Count
18" VERTICAL GRAB BAR		8
36" HORIZONTAL GRAB BAR		8
42" HORIZONTAL GRAB BAR		8
LAVATORY	'LUCERNE' Basin with Sealed Overflow, center hole only, 20-1/2" x 18-1/4" x 8-1/8" (521mm x 464mm x 206mm) deep, wall hung, vitreous china, integral back splash, self-draining deck area with contoured back and side splash shields, 'D' shaped bowl, contoured back and side splash shields for concealed arm carrier.	8
MIRROR	Bobrick B-290 2448 Welded Frame Mirror	8
NAPKIN DISPOSAL	Bobrick B-254 Surface Mounted Sanitary Napkin Disposal	8
PAPER TOWEL DISPENSER	Bobrick B-262 Classic Series Surface Mounted Paper Towel Dispenser	8
SEAT COVER DISPENSER	Bobrick B-221 Classic Series Surface Mounted Seat Cover Dispenser	8
SOAP DISPENSER	Bobrick B-2112 Classic Series Surface Mounted Soap Dispenser	8
TOILET PAPER DISPENSER	Bobrick B-2740 Surface Mounted Double Toilet Tissue Dispenser	8
WATER CLOSET	PER PLUMBING	8

GENERAL NOTES - CEILING PLAN

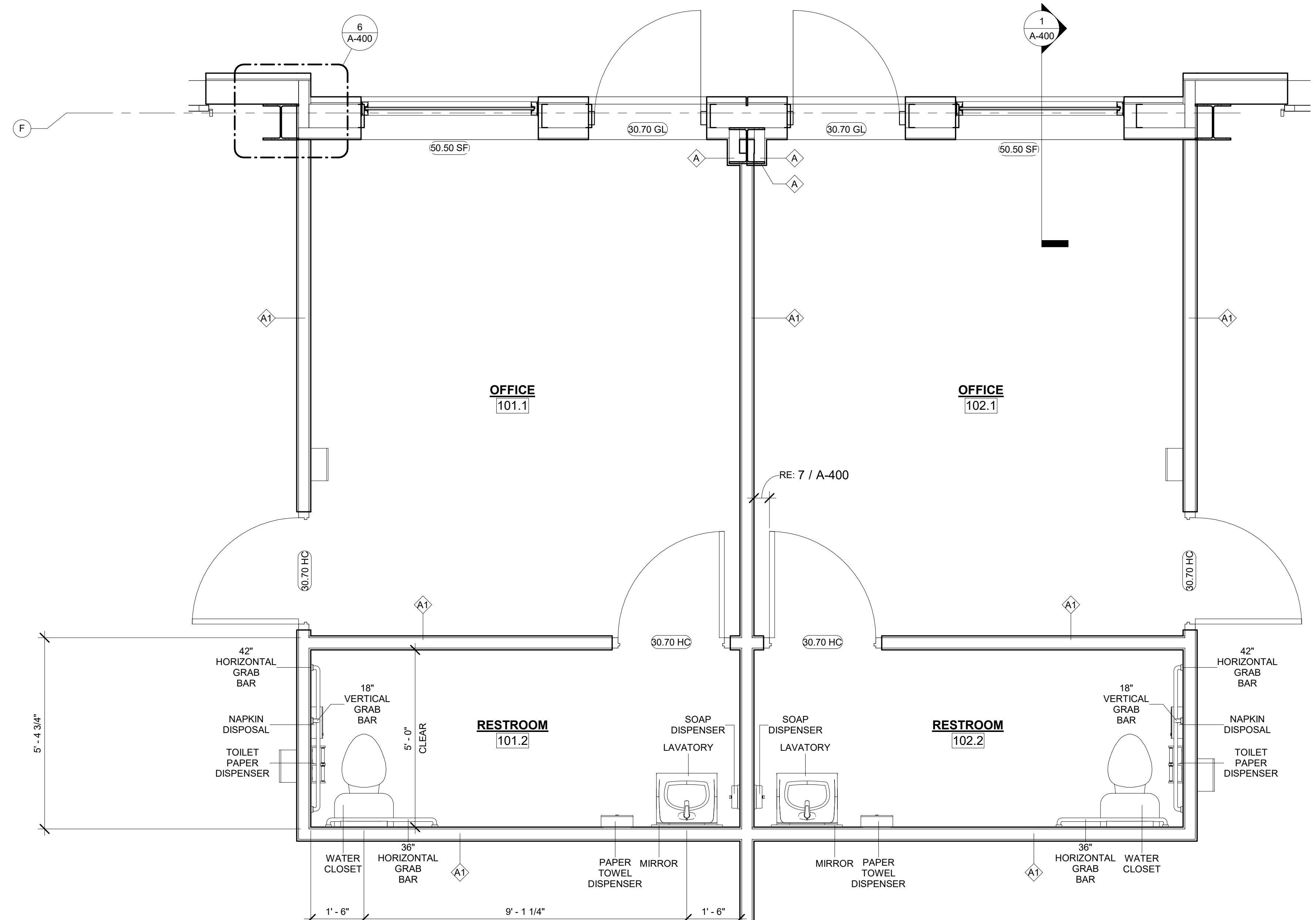
- REFER TO MEP DRAWINGS FOR ALL ADDITIONAL CEILING MOUNTED DEVICES NOT SHOWN ON THIS DRAWING INCLUDING, BUT NOT LIMITED TO, LIGHTING, MECHANICAL REGISTERS, SMOKE DETECTORS, MOTION DETECTORS, EXIT SIGNAGE, HEAT DETECTORS, CAMERAS, COMMUNICATION EQUIPMENT, FIRE SPRINKLER HEADS, ETC.
- ALL EXPOSED STRUCTURAL STEEL SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR. THIS INCLUDES, BUT IS NOT LIMITED TO STEEL BEAMS, LADDERS, GUARD RAILS, MISC. BRACING, ETC. SEE PEMB PACKAGE.
- CEILING R-VALUES SHALL MAINTAIN R-38. EXTERIOR WALL INSULATION SHALL MAINTAIN R-13 OR BETTER. WALL R-VALUES SHALL BE OF CONSTRUCTION TO EQUAL R-19 TOTAL.

LEGEND - CEILING PLAN

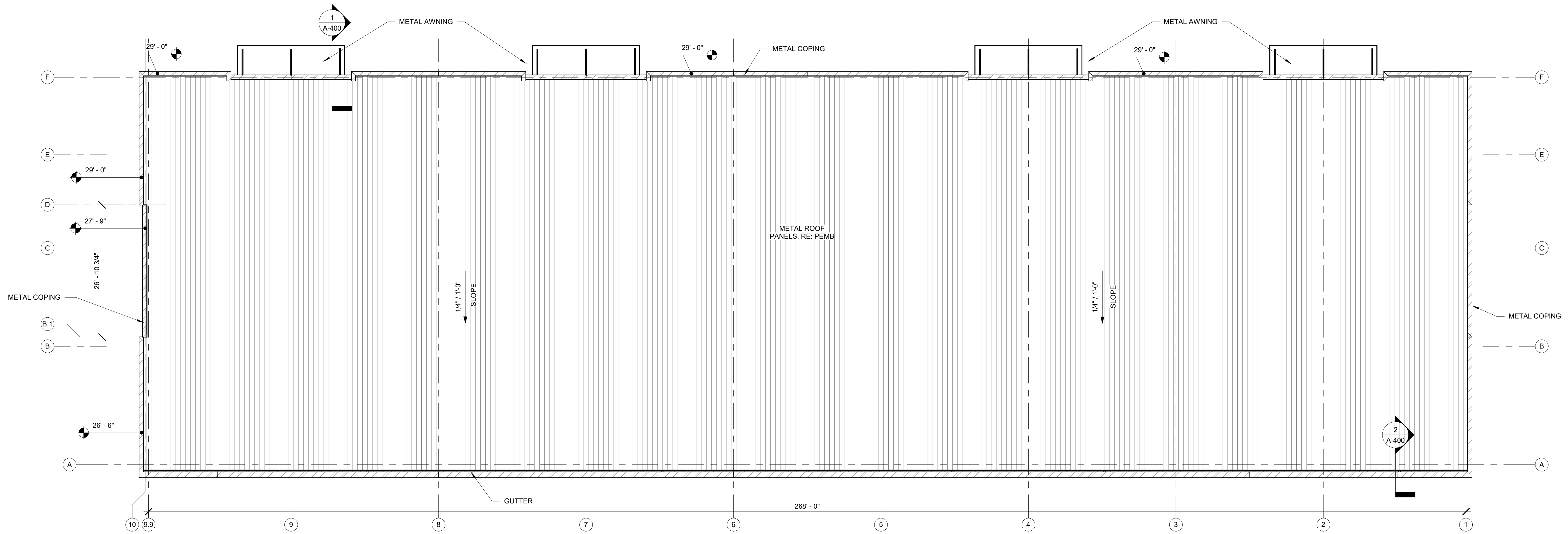
- SMOKE DETECTOR
- SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
- MECHANICAL RETURN DIFFUSER
- MECHANICAL SUPPLY DIFFUSER
- MECHANICAL EXHAUST DIFFUSER
- LIGHTING FIXTURE - BOX DOWNLIGHT
- LIGHTING FIXTURE - RECESSED CAN



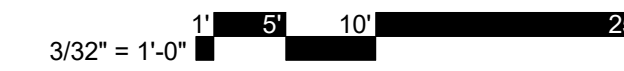
3 ENTRY LEVEL RCP
 1/8" = 1'-0"



2 RESTROOM PLAN - TYPICAL
 1/2" = 1'-0"



1 ROOF PLAN
3/32" = 1'-0"



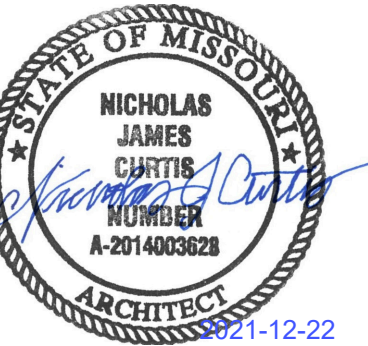
ROOF GENERAL NOTES

1. DIMENSIONS ARE FROM PEMB PACKAGE AND ARE SHOWN FOR REFERENCE ONLY. PEMB DRAWINGS WILL OVER-RIDE INFO SHOWN IN ARCH PLANS.

CLIENT

DAVID WARD
WARD DEVELOPMENT
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GRAIN VALLEY, MO 64029
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**LOT 10 LAKEWOOD
BUSINESS PARK
LOT 10 I-470 BUSINESS PARK
LEE'S SUMMIT, MO 64064**



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ROOF PLAN

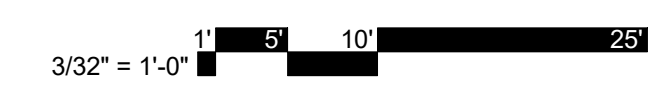
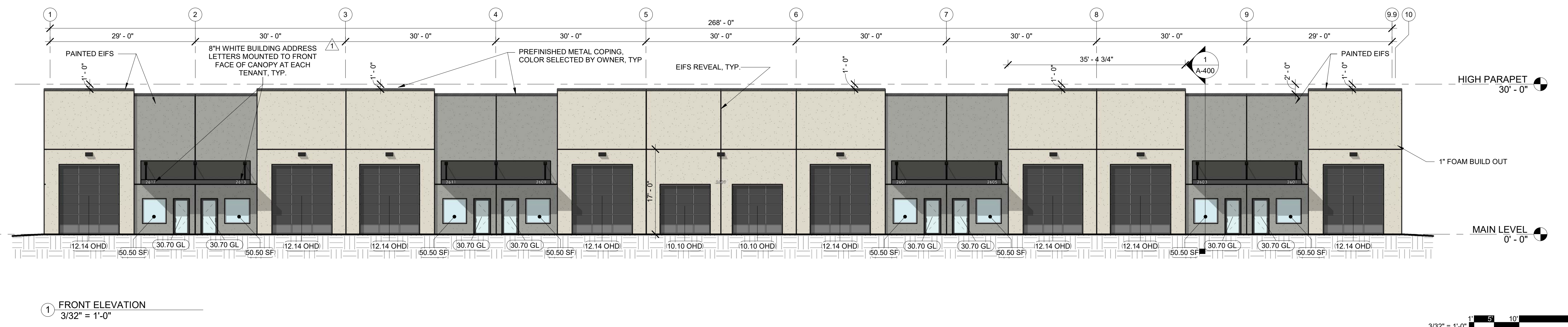
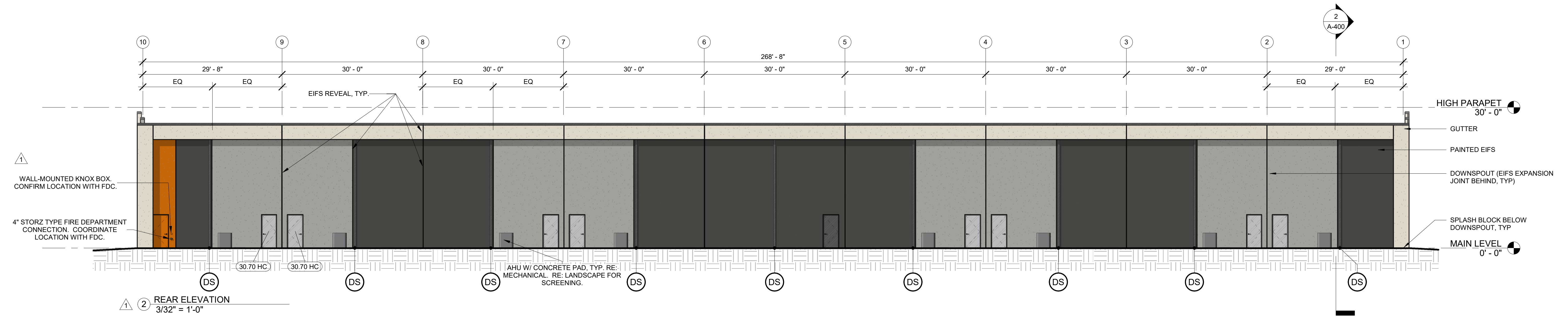
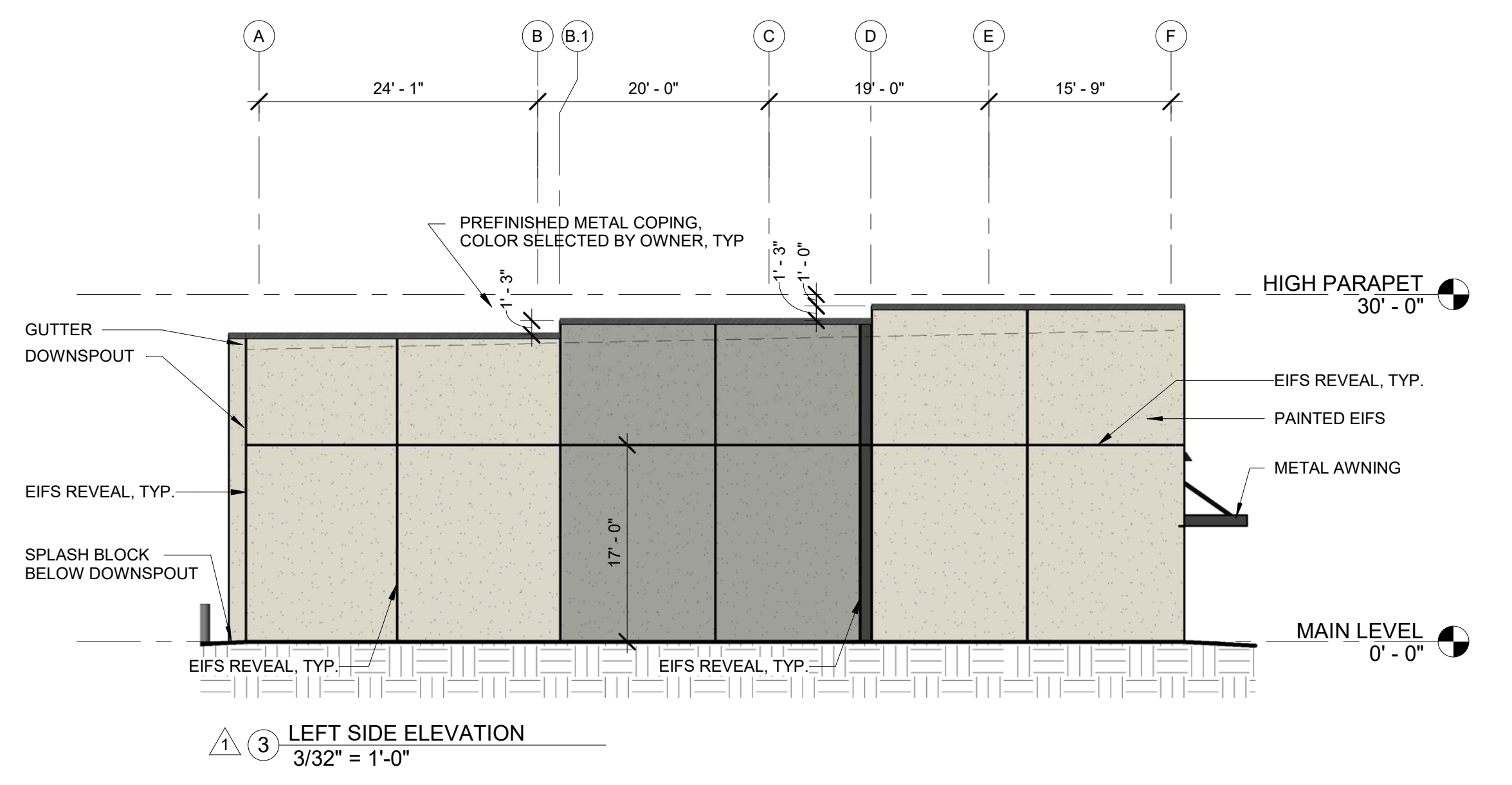
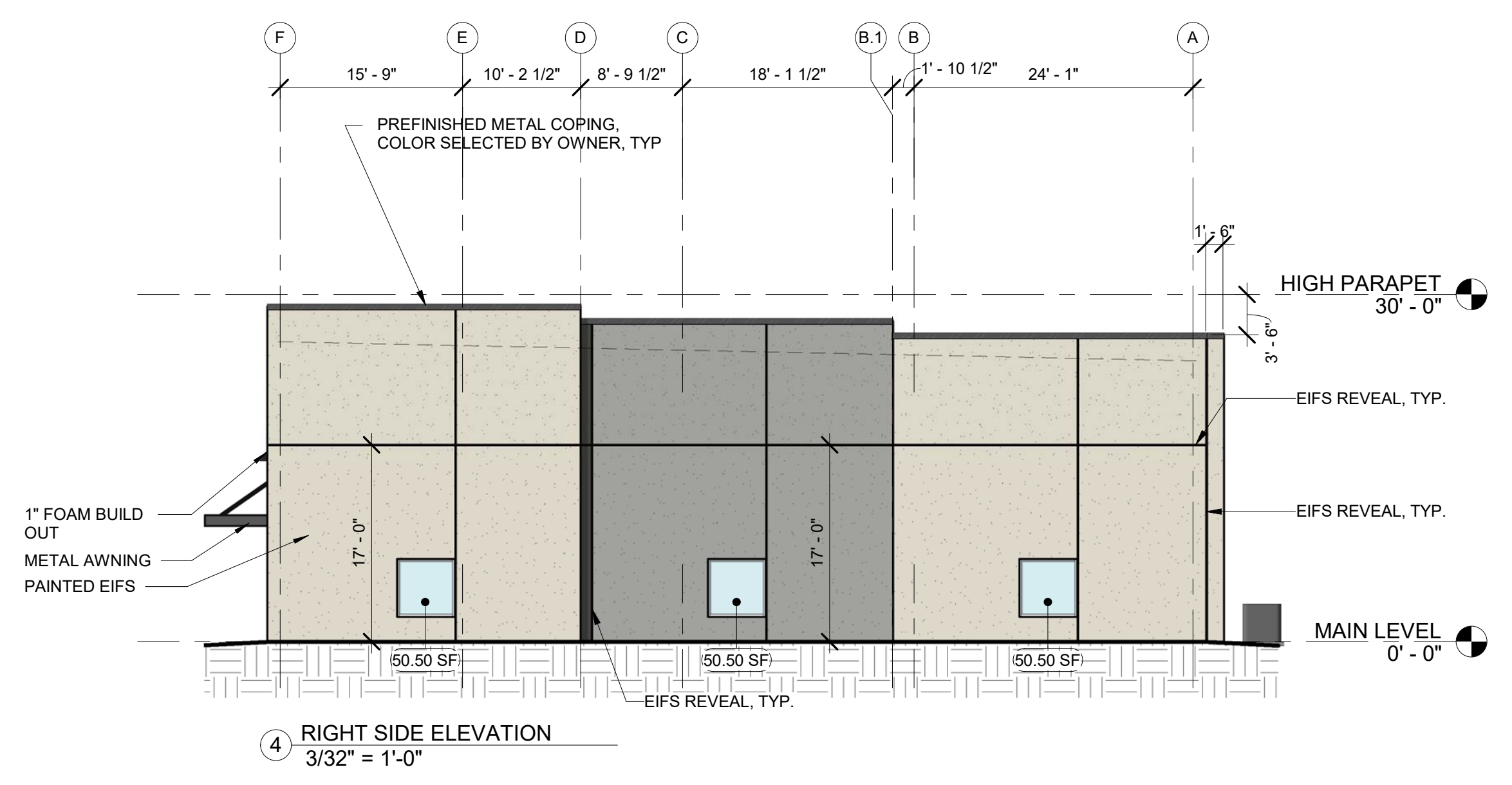
A-200

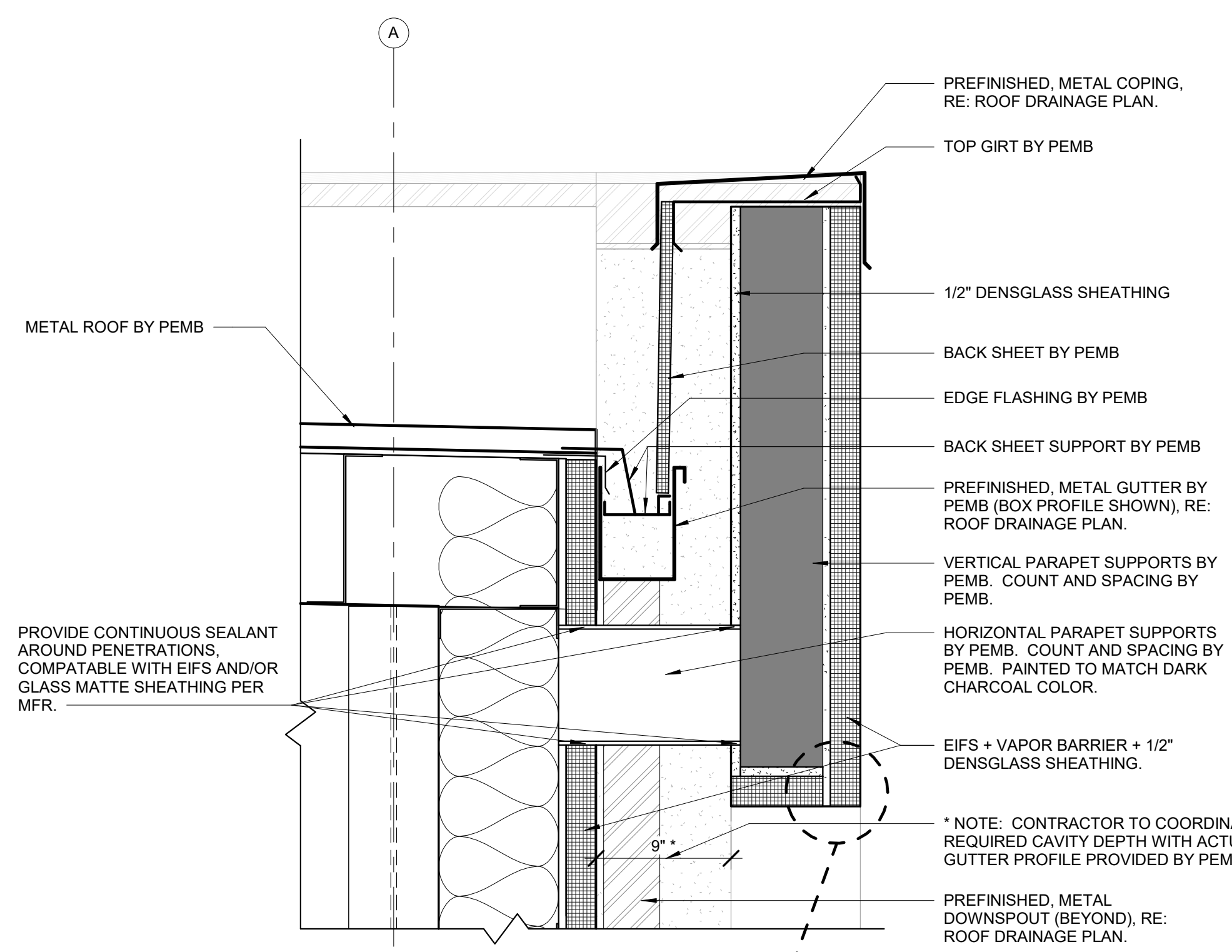
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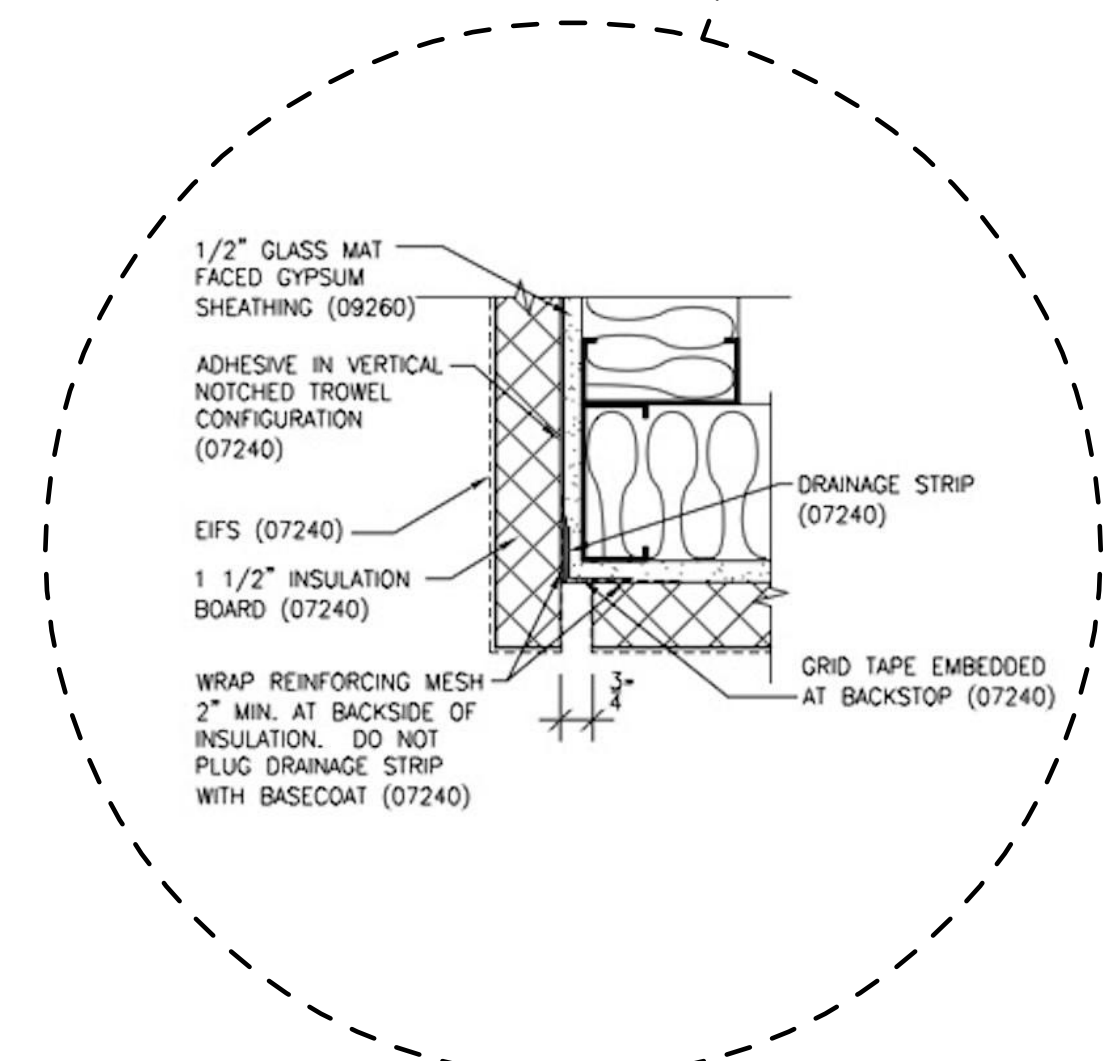
- EXTERIOR ELEVATION GENERAL NOTES**
- DIMENSIONS ARE FROM PEMB PACKAGE AND ARE SHOWN FOR REFERENCE ONLY. PEMB DRAWINGS WILL OVER-RIDE INFO SHOWN IN ARCH PLANS.
 - PLANTINGS OMITTED FROM ELEVATIONS FOR CLARITY. REFER TO LANDSCAPE DRAWINGS FOR PLANTING DATA. REFER TO PERSPECTIVES FOR APPROXIMATE APPEARANCE.
 - REFER TO SHEET A-002 FOR ADDITIONAL GUTTER AND DOWNSPOUT INFORMATION.
 - PAINT USED ON EIFS SHALL BE 100% ACRYLIC EXTERIOR GRADE PAINT OR AS APPROVED BY SELECTED EIFS MANUFACTURER.

- EXTERIOR MATERIALS LEGEND**
- EIFS, PAINTED, COLOR BY OWNER. SHERWIN WILLIAMS COLOR 50 "CLASSIC LIGHT BUFF" SHOWN.
 - EIFS, PAINTED, COLOR BY OWNER. SHERWIN WILLIAMS COLOR 7066 "GRAY MATTERS" SHOWN.
 - EIFS, PAINTED, COLOR BY OWNER. SHERWIN WILLIAMS COLOR 7069 "IRON ORE" SHOWN.
 - EIFS, PAINTED, COLOR BY OWNER. SHERWIN WILLIAMS COLOR 6886 "INVIGORATE" SHOWN.
 - GLASS - STOREFRONT
 - GLASS - OH DOOR
 - SHEET METAL, PREFINISHED, COLOR BY OWNER. CHARCOAL GREY SHOWN.

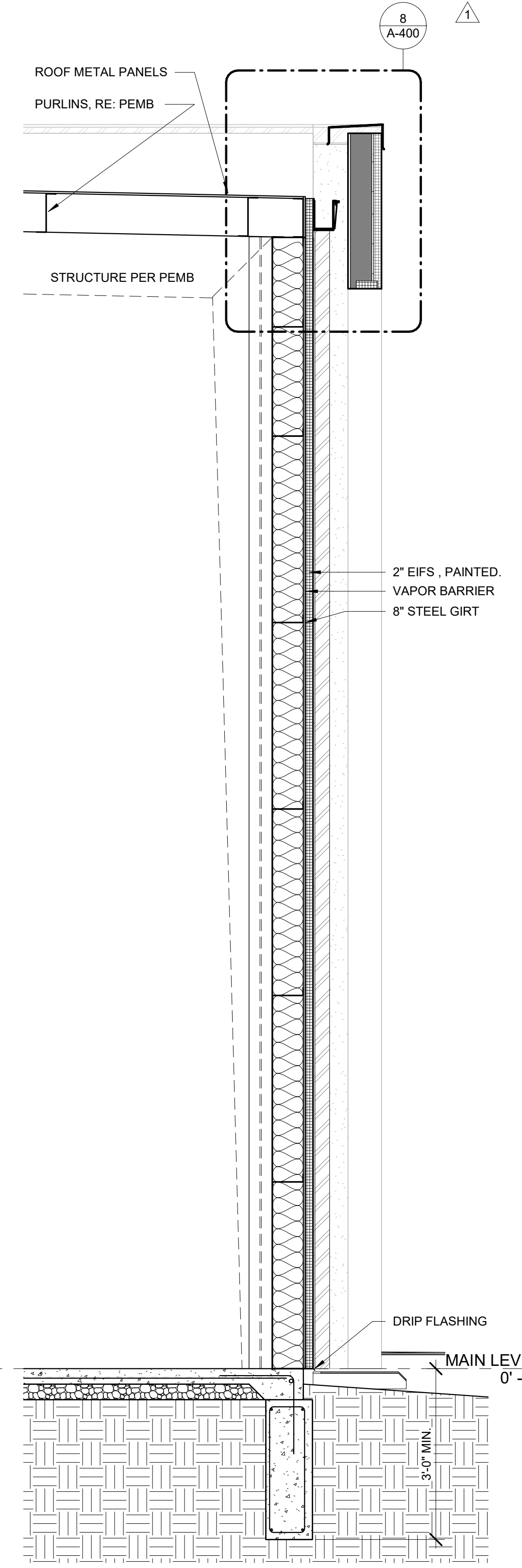
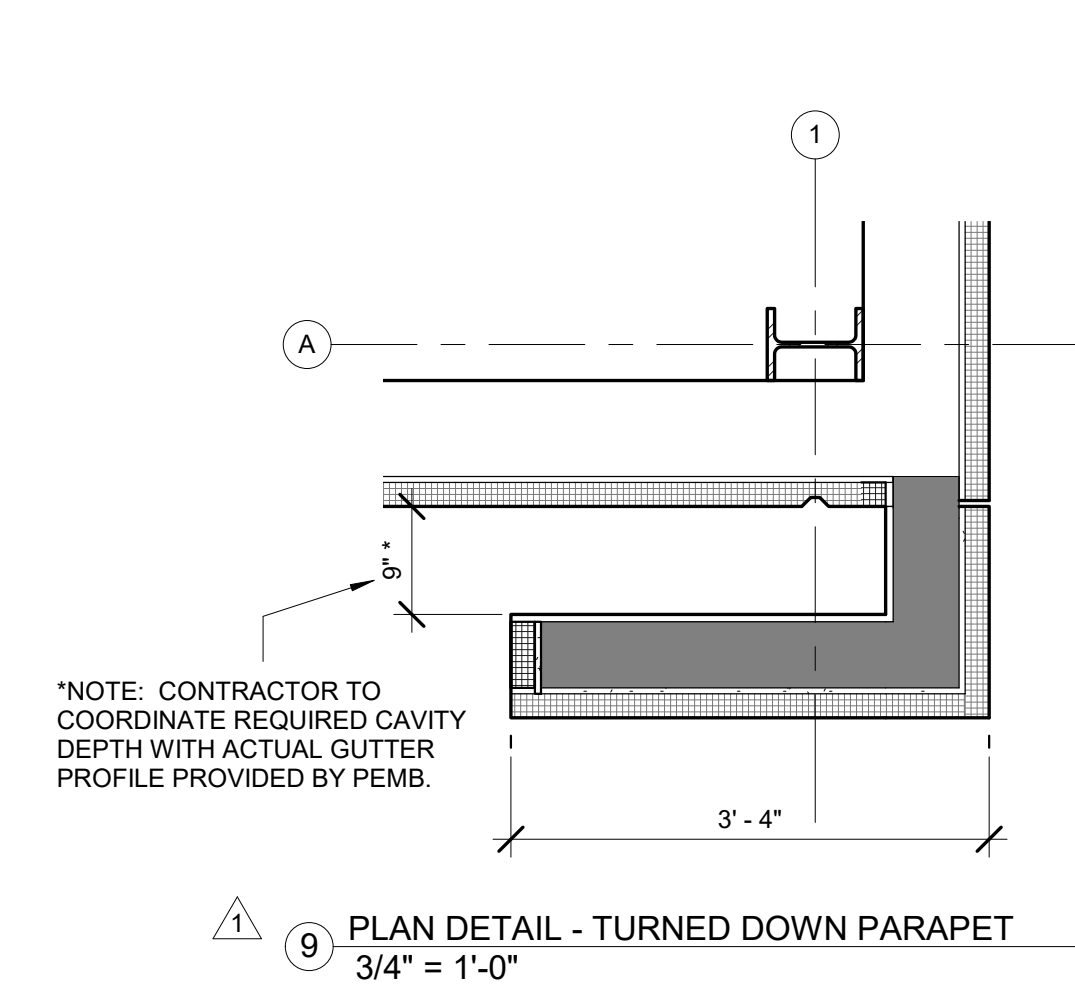
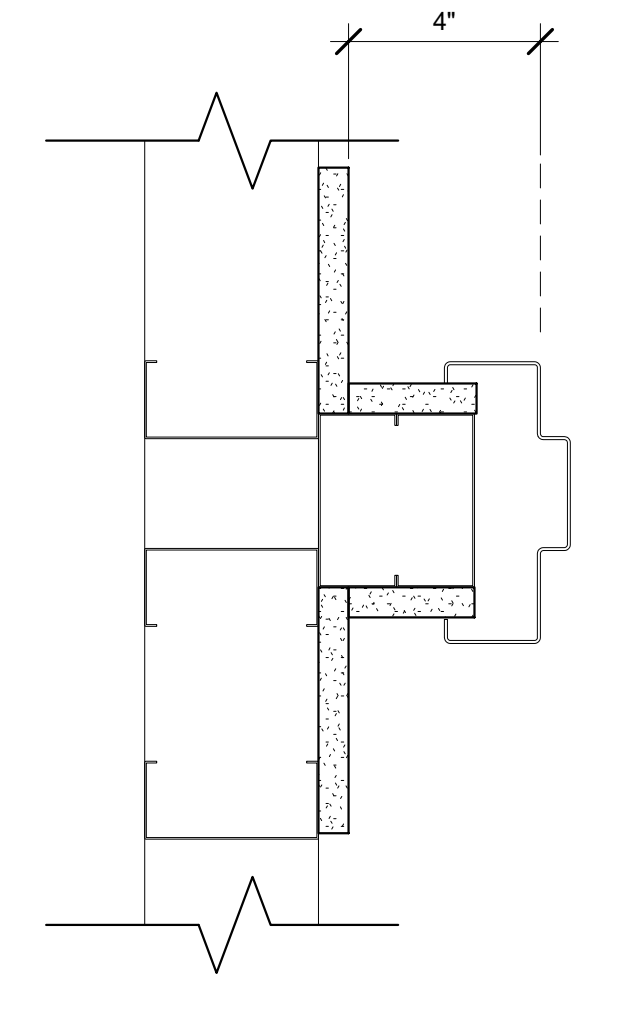




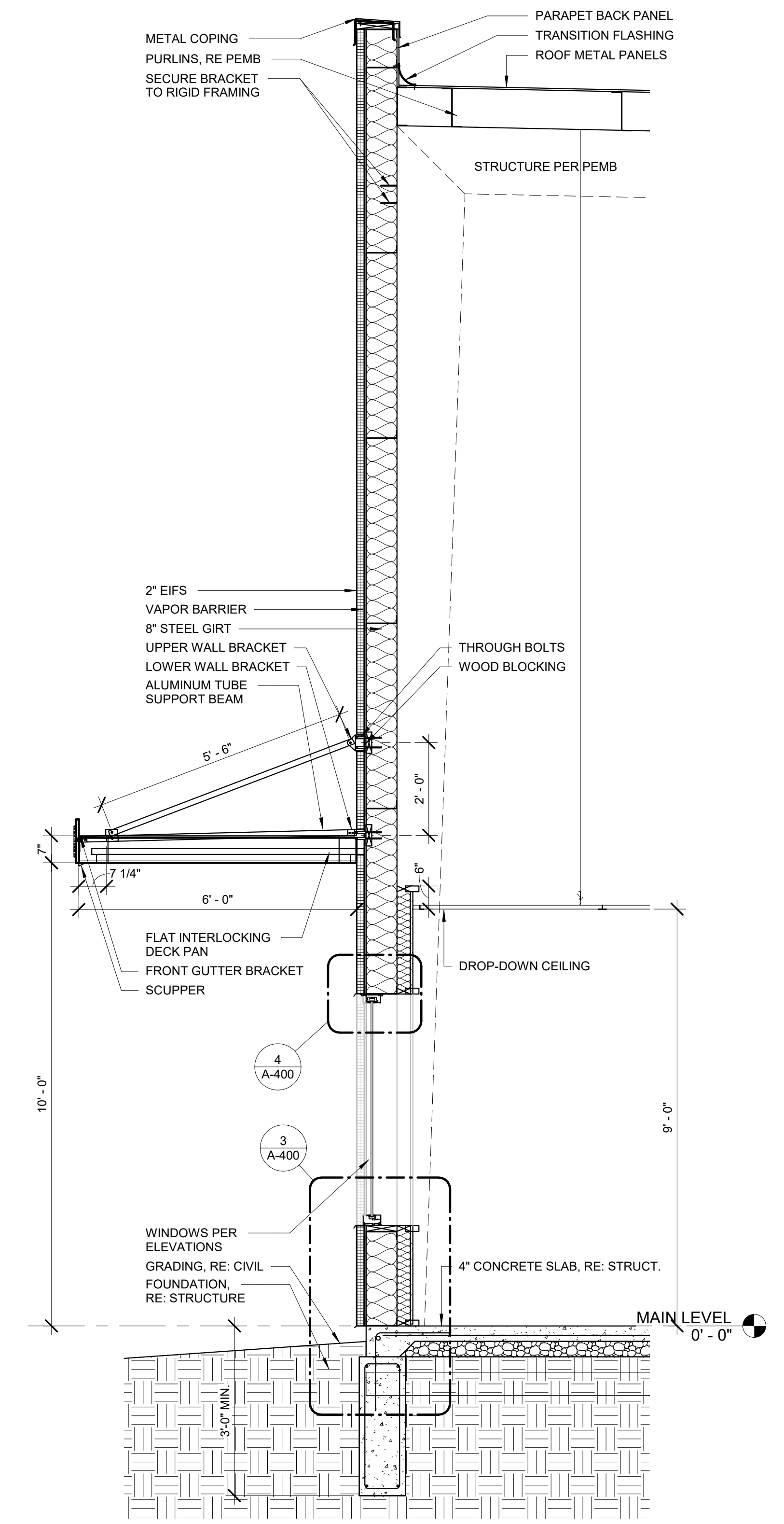
8 ROOF PARAPET AT GUTTER
1 1/2" = 1'-0"



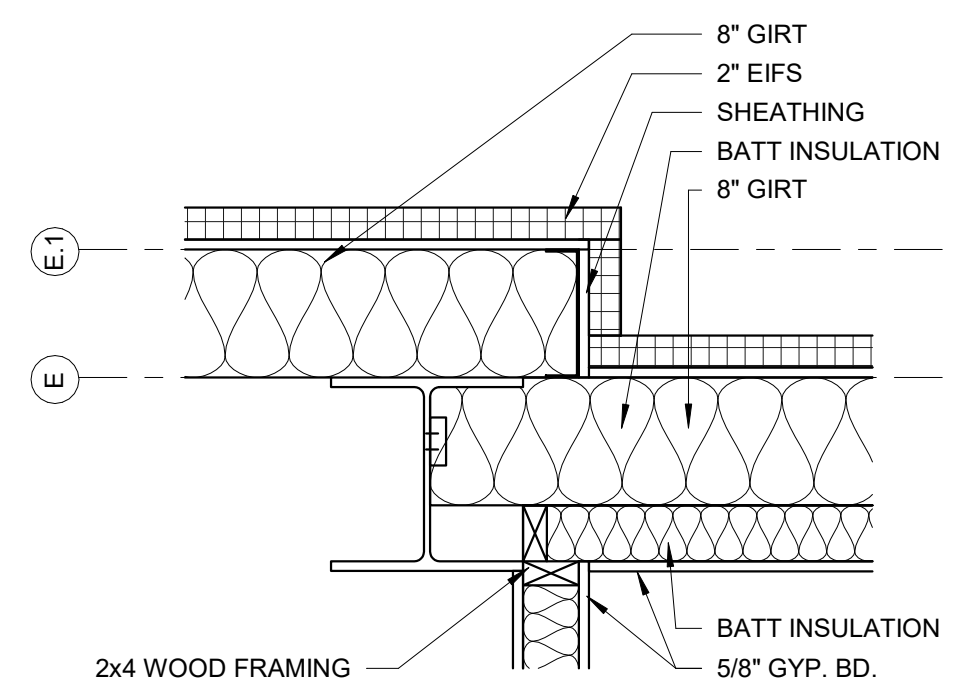
MINIMUM AND STANDARD DIMENSION OF DOOR THRESHOLD TO WALL:
 1. UNLESS NOTED OTHERWISE
 2. UNLESS OTHERWISE COORDINATED BETWEEN GENERAL CONTRACTOR, METAL STUD CONTRACTOR AND DOOR CONTRACTOR.



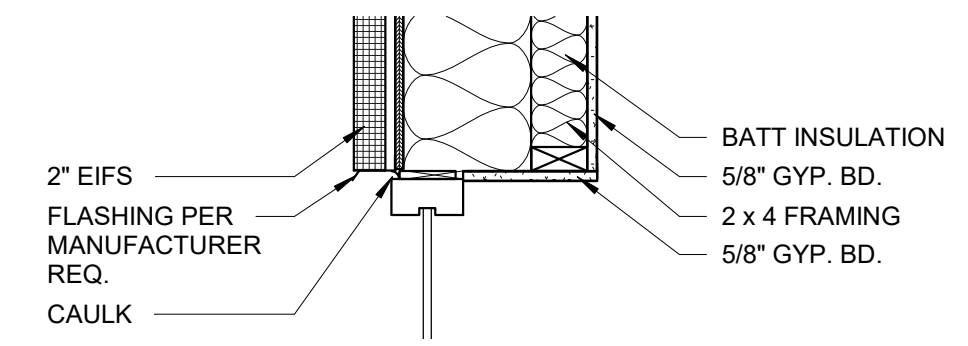
2 WALL SECTION DETAIL
1/2" = 1'-0"



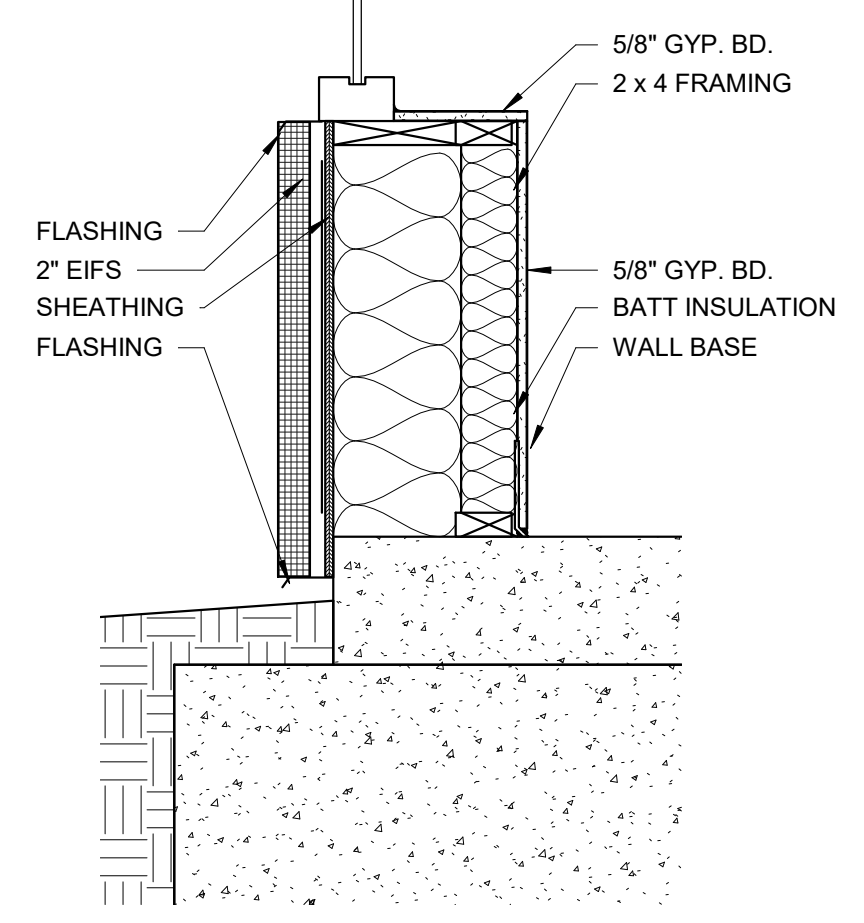
1 WALL SECTION DETAIL
1/2" = 1'-0"



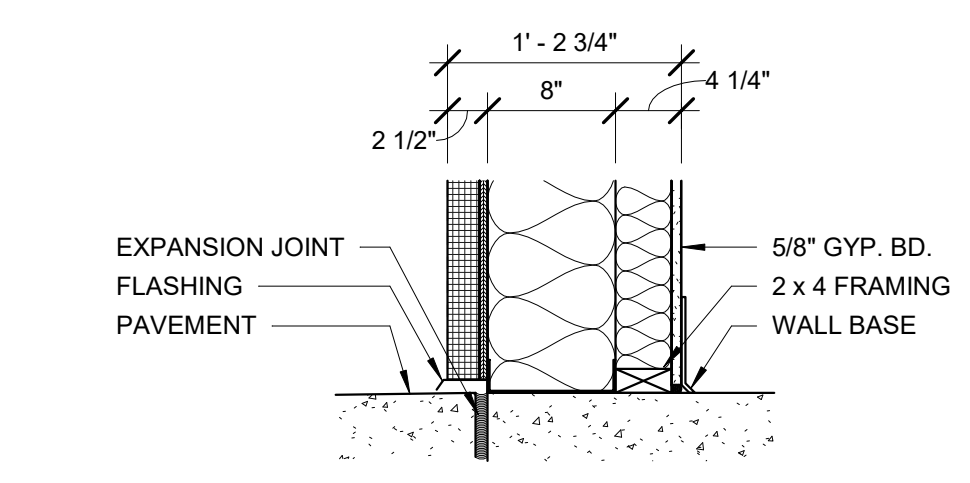
6 WALL OFFSET DETAIL
1" = 1'-0"



4 WALL SECTION DETAIL
1" = 1'-0"

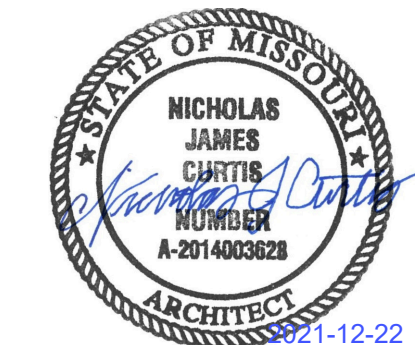


3 WALL SECTION DETAIL
1" = 1'-0"



5 BOTTOM OF WALL AT PAVEMENT
1" = 1'-0"

**LOT 10 LAKEWOOD
 BUSINESS PARK
 LOT 10 I-470 BUSINESS PARK
 LEE'S SUMMIT, MO 64064**



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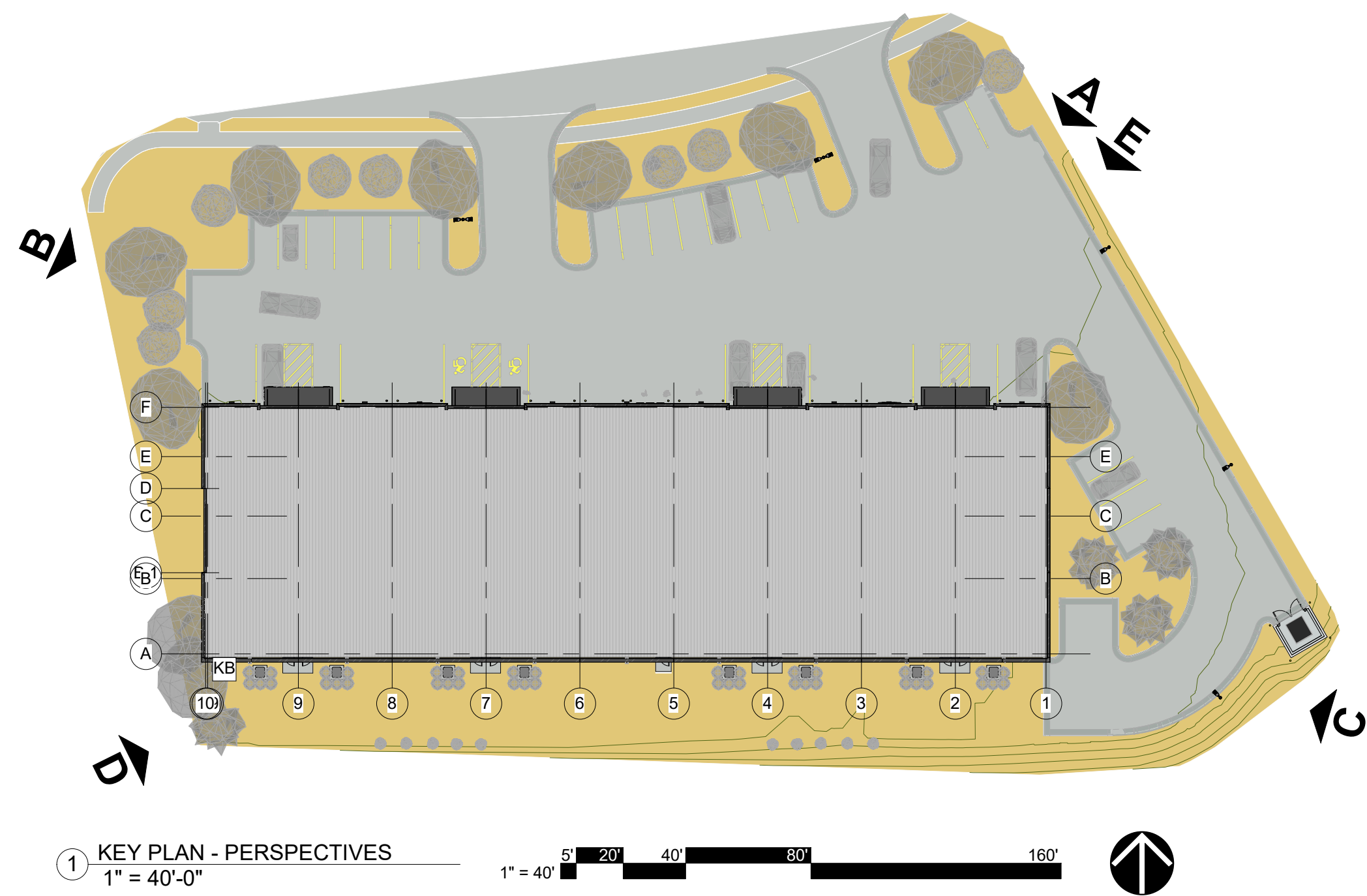
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D
SOUTHWEST



C
SOUTHEAST



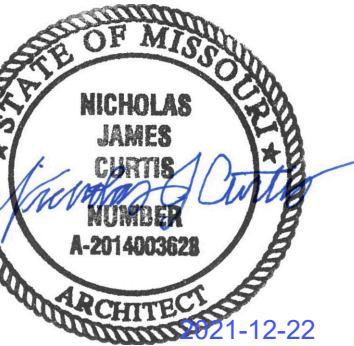
B
NORTHWEST



E
NORTHEAST DUSK



A
NORTHEAST



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PERSPECTIVES

03_Abbreviation Schedule

Abbreviation	Abbreviation Name
41	PLUS OR MINUS
ADDN	ADDITIONAL
ADJ	ADJACENT
AESS	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
AR	ANCHOR ROD
ARCH	ARCHITECT OR ARCHITECTURAL
B/	BOTTOM OF
BW	BETWEEN
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
BRG	BEARING
BWP	BRACED WALL PANEL
CFS	COLD FORMED STEEL
CHKD	CHECKED
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CJP	COMPLETE JOINT PENETRATION
CL	CENTERLINE
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONT	CONTINUOUS
CTR	CENTER
db	DIA OF REINF BAR, DIA OF BOLT
DBA	DEFORMED BAR ANCHOR
DIA or Ø	DIAMETER
DIAG	DIAGONAL
DIR	DIRECTION
DWL	DOWEL
EA	EACH
EE	EXTENDED END
EJ	EXPANSION JOINT
ELEV	ELEVATION
ENGR	ENGINEER
EOD	EDGE OF DECK
EOS	EDGE OF SLAB
EQ	EQUAL
EW	EACH WAY
EXIST	EXISTING
EXT	EXTERIOR
FDN	FOUNDATION
FLG	FLANGE
FLR	FLOOR
FS	FAR SIDE
FTG	FOOTING
FV	FIELD VERIFY
GA	GAUGE
GALV	GALVANIZED
GB	GRADE BEAM
GC	GENERAL CONTRACTOR
HORIZ	HORIZONTAL
HSA	HEADED STUD ANCHOR
HSS	HOLLOW STRUCTURAL SECTION
IF	INSIDE FACE
INT	INTERIOR
JST	JOIST
K	KIPS (1000 LBS)
LCE	COMPRESSION EMBEDMENT LENGTH
LCS	COMPRESSION LAP SPlice LENGTH
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LTE	TENSION EMBEDMENT LENGTH
LTS	TENSION LAP SPlice LENGTH
LW	LIGHTWEIGHT
MFCR	MANUFACTURER
MTL	METAL
NIC	NOT IN CONTRACT
NS	NEAR SIDE
NTS	NOT TO SCALE
OC	ON CENTER
OF	OUTSIDE FACE
OPP	OPPOSITE
OVS	OVERSIZED
PIC	PRECAST
PAF	POWDER ACTUATED FASTENER
PAR	PARALLEL
PEMB	PRE-ENGINEERED METAL BUILDING
PEN	PENETRATION
PERP	PERPENDICULAR
PL	PLATE
PLF	POUNDS PER LINEAR FOOT
PREFAB	PREFABRICATED
PRELIM	PRELIMINARY
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
RC	REINFORCED CONCRETE
REF	REFER TO
REINF	REINFORCING
REQD	REQUIRED
RF	RIGID FRAME
SC	SLIP CRITICAL
SDS	SELF DRILLING SCREW
SIM	SIMILAR
SLV	SHORT LEG VERTICAL
SOG	SLAB ON GRADE
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STIR	STIRRUPS
STL	STEEL
SW	SHEAR WALL
SYM	SYMMETRIC
T&B	TOP AND BOTTOM
T/	TOP OF
TRANS	TRANSVERSE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
W/	WITH
W/O	WITHOUT
WF	WIDE FLANGE
WP	WORK POINT
WWR	WELDED WIRE REINFORCEMENT

STRUCTURAL DESIGN CRITERIA (2018 IBC AND ASCE 7-16):

- BUILDING OCCUPANCY RISK CATEGORY I.
- LIVE LOADS (UNIFORM (PSF) / POINT LOADS (KIPS)):
 - ROOF:.....20 PSF / 300k
- ROOF SNOW LOAD:
 - GROUND SNOW LOAD (Pg):.....20 PSF
 - FLAT ROOF SNOW LOAD (P_f):.....16.9 PSF W/ DRIFT
 - MIN UNIFORM ROOF SNOW LOAD (P_m):.....20 PSF (NO DRIFT OR RAIN)
 - SNOW EXPOSURE FACTOR (Ce):.....1.0, EXPOSURE C
 - SNOW LOAD IMPORTANCE FACTOR (Is):.....1.0
 - THERMAL FACTOR (Ct):.....1.1
- WIND DESIGN DATA:
 - BASIC WIND SPEED (3 SEC GUST):.....115 MPH
 - WIND EXPOSURE:.....C
 - DIRECTIONALITY FACTOR (Kd):.....0.85
 - INTERNAL PRESSURE COEFF:.....0.18

STRUCTURAL GENERAL NOTES:

- DESIGN AND CONSTRUCTION SHALL CONFORM TO THE 'INTERNATIONAL BUILDING CODE, 2018 EDITION'. REFER TO THE SPECIAL STRUCTURAL INSPECTION NOTES FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
- IF DISCREPANCIES EXIST BETWEEN STRUCTURAL PLANS, ARCHITECTURAL PLANS, OTHER PLANS, OR SPECIFICATIONS, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- THE STRUCTURE AND FOUNDATIONS ARE NOT DESIGNED FOR FUTURE EXPANSION.
- FOR DEFERRED SUBMITTALS (EXAMPLES: PRE-ENGINEERED CANOPIES, WOOD TRUSSES, PRECAST CONCRETE ELEMENTS, COLD FORMED FRAMING), SHOP DRAWINGS AND CALCULATIONS SEALED BY A STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE JURISDICTION OF THE PROJECT SHALL BE FURNISHED TO THE ENGINEER OF RECORD FOR REVIEW.
- TYPICAL DETAILS ARE SHOWN ON SHEETS DESIGNATED "S03X". THE INCLUDED TYPICAL DETAILS MAY OR MAY NOT BE CUT / REFERENCED ON PLANS OR SECTIONS, BUT ARE TO BE USED AS APPLICABLE.

EARTHWORK AND FOUNDATIONS:

- ALLOWABLE BEARING PRESSURE = 2500 PSF (MUST BE CONFIRMED BY SPECIAL INSPECTION)
- ALL FOOTINGS SHALL BEAR A MINIMUM DEPTH BELOW GRADE OF 3'-0" ON FIRM NATIVE MATERIALS, COMPACTED OR ENGINEERED FILL CAPABLE OF SUPPORTING AN ALLOWABLE BEARING PRESSURE OF 2,500 PSF. DEEPEN FOOTINGS, AND REMOVE AND REPLACE SOFT SOILS WITH A 3'-0" GRAVEL TRENCH TO PROVIDE THIS MINIMUM DEPTH AND SUITABLE BEARING.
- UNDERCUT THE PAD TO A DEPTH OF 18-INCHES BELOW BOTTOM OF FLOOR SLAB ELEVATION AND REPLACE WITH LOW-VOLUME-CHANGE MATERIALS PER THE GEOTECHNICAL REPORT.
- FILL PLACEMENT, COMPACTION, AND SOIL BEARING TESTS SHALL BE PERFORMED BY A GEOTECHNICAL ENGINEER PRIOR TO INSTALLING FOOTINGS TO ENSURE DESIGN ALLOWABLE BEARING VALUES AND SLAB SUBGRADE REQUIREMENTS ARE SATISFIED. IF ACTUAL SITE CONDITIONS DO NOT SATISFY THESE REQUIREMENTS, COORDINATE ADJUSTMENTS WITH ARCHITECT/ENGINEER/ GEOTECHNICAL ENGINEER
- SURFACE WATER SHALL NOT BE ALLOWED TO STAND ADJACENT TO OR DRAIN TOWARDS THE FOUNDATION AND SLAB SUBGRADES UNDER ANY CIRCUMSTANCES. PAVEMENTS OR GRADED SOILS AT THE PERIMETER OF THE BUILDING, EXCEPT AS REQUIRED AT EXITS OR AS NOTED, SHALL BE SLOPED AWAY AT 5% OR 6" MIN FOR THE FIRST TEN FEET AND AS REQUIRED TO PROVIDE POSITIVE DRAINAGE.
- FOOTINGS MAY BE POURED TO NEAT LINES OF EXCAVATIONS PROVIDING VERTICAL LINES OF EXCAVATIONS CAN BE MAINTAINED DURING CONCRETE PLACEMENT.
- FOUNDATION WALL BACKFILL SHALL NOT BE UNBALANCED BY MORE THAN TWO FEET ON EITHER SIDE AT ANY TIME. BASEMENT WALL AND RESTRAINED RETAINING WALL BACKFILL SHALL NOT BE PLACED, UNLESS THE WALL IS ADEQUATELY BRACED. RETAINING WALL AND BASEMENT WALL BACKFILL SHALL BE FREE DRAINING GRANULAR BACKFILL ACCEPTABLE TO THE GEOTECHNICAL ENGINEER.

CONCRETE REINFORCING STEEL:

- SUBMIT SHOP DRAWINGS FOR REBAR. ALL REINFORCING BARS SHALL MEET ASTM A615 GRADE 60.
- ALL MESH SHALL MEET ASTM A-185; LAP A MINIMUM OF 8" OR ONE FULL MESH, WHICHEVER IS GREATER.
- CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE 3/4" CLEAR FOR SLABS, 2" CLEAR FOR FORMED SURFACES AND 3" CLEAR FOR FOOTINGS (TYPICAL UNLESS NOTED).
- CONTRACTOR SHALL VERIFY THAT ALL REINFORCEMENT, SLAB DOWELS, INSERTS, SLEEVES AND EMBEDDED ITEMS ARE PROPERLY LOCATED AND RIGIDLY SECURED PRIOR TO CONCRETE PLACEMENT. "WET STICKING" DOWELS WILL NOT BE ALLOWED.
- REINFORCEMENT SHALL BE DETAILED IN ACCORDANCE WITH THE LATEST A.C.I. DETAILING MANUAL BY A QUALIFIED AND EXPERIENCED FIRM AND PERSON. PLACE AND SUPPORT REINFORCEMENT WITH ACCESSORIES, MAXIMUM SPACING - 48" CENTERS (PLASTIC-TIPPED LEGS FOR EXPOSED SURFACES). USE 3" SBP SUPPORTS AT ALL FOOTINGS.

CAST IN PLACE CONCRETE:

- PLACE PROPOSED MIXED DEIGNS OF EACH TYPE FOR REVIEW. REQUIRED MINIMUM CONCRETE COMPRESSIVE STRENGTHS AT 28 DAYS:
 - a. FOOTING AND GRADEBEAM CONCRETE.....4000 PSI
 - b. SLAB ON GRADE.....4000 PSI
- ALL CONCRETE MIX DESIGNS SHALL HAVE WATER TO CEMENT RATIOS LESS THAN 0.52, WITH A MAXIMUM 60/40 FINE TO COARSE AGGREGATE RATIO. CONCRETE MIX DESIGNS THAT DO NOT CONFORM TO THE ABOVE STANDARD AND/OR CONTAIN WATER REDUCING ADMIXTURES SHALL BE SUBMITTED WITH APPROPRIATE TEST DATA PER A.C.I.. ALL CONCRETE SHALL BE IN CONFORMANCE WITH THE LATEST A.C.I. 301 STANDARDS PUBLICATION.
- EXTERIOR CONCRETE (FLOOR SLABS, WALLS, ETC) SHALL HAVE 6% (PLUS/MINUS 1%) ENTRAINED AIR.
- NO ALUMINUM SHALL BE EMBEDDED IN ANY CONCRETE.
- NO CALCIUM CHLORIDE SHALL BE USED IN CONCRETE
- THE DESIGN, CONSTRUCTION, AND SAFETY OF ALL FORMWORK IS THE RESPONSIBILITY OF THE CONTRACTOR
- ALL CONCRETE IS REINFORCED UNLESS SPECIFICALLY NOTED AS UNREINFORCED. REINFORCE ALL CONCRETE NOT OTHERWISE SHOWN WITH THE SAME REINFORCING AS SIMILAR SECTIONS OR AREAS.
- CONSTRUCTION JOINTS IN GRADE BEAMS, CONTINUOUS FOOTINGS, AND WALLS THAT DO NOT CHANGE DIRECTION SHALL BE SPACED NO GREATER THAN 100'-0".
- WHERE FRESH CONCRETE IS DEPOSITED AGAINST HARDENED CONCRETE (GREATER THAN 8 HRS OLD), CLEAN EXISTING SURFACE OF LAITANCE AND FOREIGN MATERIAL AND DAMPEN THE EXISTING SURFACE. IF REQUIRED, ROUGHEN EXISTING CONCRETE TO 1/4" AMPLITUDE.
- SLABS ON GRADE SHALL BE 4" THICK MINIMUM ON 4" OF GRANULAR FILL REINFORCED WITH 6x6-W2 1xW2.1. PLACE REINF IN UPPER 1/3 OF SLAB THICKNESS. AT INTERIOR SLABS, A 10 MIL VAPOR BARRIER SHALL BE PLACED BETWEEN THE CONCRETE AND GRANULAR BASE AND CARE SHOULD BE TAKEN DURING CURING TO PREVENT SLAB CURLING. THIS NOTE SHALL BE TYPICAL UNLESS NOTED OTHERWISE
- SAW CUT JOINTS OR KEYED CONSTRUCTION JOINTS IN SLABS ON GRADE SHALL BE SPACED TO DIVIDE THE SLAB INTO PANELS NOT TO EXCEED 225 SQUARE FEET. THE LONGER DIMENSION OF EACH PANEL SHALL NOT EXCEED THE SHORTER DIMENSIONS BY MORE THAN 40%. JOINTS SHALL BE LOCATED AT COLUMN CENTERLINES WHERE POSSIBLE. SPACINGS BETWEEN JOINTS SHALL NOT EXCEED 15 FEET. CONTRACTOR SHALL SUBMIT JOINT LAYOUT TO ARCHITECT FOR APPROVAL. REFER TO TYP DETAIL RC-001A.
- REINFORCEMENT SHALL BE CONTINUOUS AND LAPPED S3 BAR DIAMETERS (2'-6" MIN.) EXCEPT AS NOTED AND PROVIDE CORNER BARS OF SAME SIZE AND SPACING.
- CONTRACTOR SHALL COORDINATE ALL CURING COMPOUNDS WITH FLOOR FINISH REQUIREMENTS TO ENSURE COMPATIBILITY.
- FOUNDATION CONTRACTOR TO ENSURE PROPER ANCHOR ROD PROJECTION AND THAT ANCHOR RODS ARE HELD SECURELY IN POSITION PRIOR TO CONCRETE PLACEMENT. INSTALL ANCHOR RODS TO THE STRICT DIMENSIONAL TOLERANCES PER AISC REQUIREMENTS. STRUCTURAL STEEL COLUMN ANCHOR RODS SHALL BE SET WITH A RIGID TEMPLATE.
- AGGREGATES AND/OR CONCRETE MIXES SHALL BE CERTIFIED TO BE FREE OF AND ELIMINATE DAMAGE OF CONCRETE DUE TO ALKALI-SILICA REACTION OR ALKALI-AGGREGATE REACTIONS WHEN EXPOSED TO SOILS AND/OR AN EXTERIOR ENVIRONMENT.

CONCRETE MASONRY UNITS:

- ALL MASONRY SHALL BE IN ACCORDANCE WITH ACI 530/TMS 402. INDIVIDUAL CMUS SHALL BE PER ASTM C90 (4950 PSI). GROUT SHALL BE PER ASTM C476, MORTAR SHALL BE PER ASTM C270.
- MASONRY MATERIALS SHALL BE AS FOLLOWS:
 - A. f_m = 2,000 PSI MINIMUM. ALL UNITS SHALL BE NORMAL-WEIGHT BLOCK.
 - B. GROUT STRENGTH NOT LESS THAN 2,000 PSI.
 - C. MORTAR TYPE S.
- PROVIDE NOT LESS THAN 9-GAUGE HORIZONTAL LADDER-TYPE REINFORCEMENT AT NOT MORE THAN 16" OC VERTICALLY. LAPPED 8" MINIMUM. REBAR POSITIONS SHALL BE USED FOR ALL VERTICAL BARS SUCH THAT A MINIMUM 3" OF SPACE IS MAINTAINED CLEAR FOR PLACEMENT OF GROUT.
- PLACEMENT OF REINFORCEMENT SHALL OCCUR PRIOR TO PLACEMENT OF GROUT.

SPECIAL INSPECTIONS

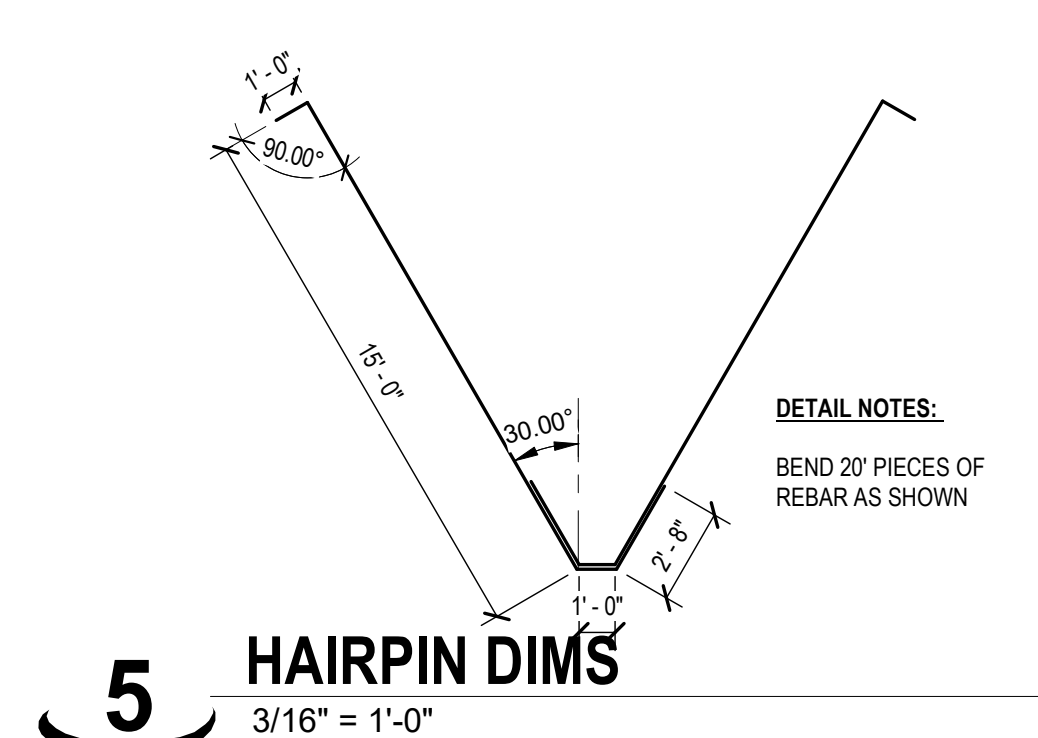
- PROVIDE SPECIAL STRUCTURAL INSPECTIONS AND VERIFICATIONS BY A THIRD PARTY MEETING THE REQUIREMENTS OF CHAPTER 17 OF THE BUILDING CODE AND THE BUILDING OFFICIAL.
- SPECIAL INSPECTORS SHALL BE QUALIFIED AND FURNISH THEIR REPORTS IN A TIMELY MANNER TO THE CONTRACTOR, BUILDING OFFICIALS, ARCHITECT, AND/OR ENGINEER
- SHOULD INSPECTOR IDENTIFY ANY DISCREPANCY, THEY SHALL NOTIFY CONTRACTOR FIRST, AND THEN ARCH/ENGINEER IMMEDIATELY THEREAFTER IF CORRECTIVE ACTION IS NEEDED.
- SPECIAL INSPECTIONS AS REQUIRED BY CODE:
 - A. CONCRETE: SECTION 1705.3 AND TABLE 1705.3 CONCRETE MATERIAL SAMPLING AND TESTING, REBAR OBSERVATIONS. TAKE SET OF (3) CYLINDERS FOR EVERY 50 C.Y., BUT NOT LESS THAN ONE SET OF SAMPLES PER DAY'S WORK AND PER MIX.
 - B. EARTHWORK: FOUNDATION BEARING, EXCAVATION, FILL PLACEMENT.
 - C. STEEL: SECTION 1705.2 AND AISC 360. PERIODIC OBSERVATIONS OF CONNECTIONS, ALL BRACED FRAME CONNECTIONS, WELDERS AND FIELD WELDING.

PRE-ENGINEERED METAL BUILDING:

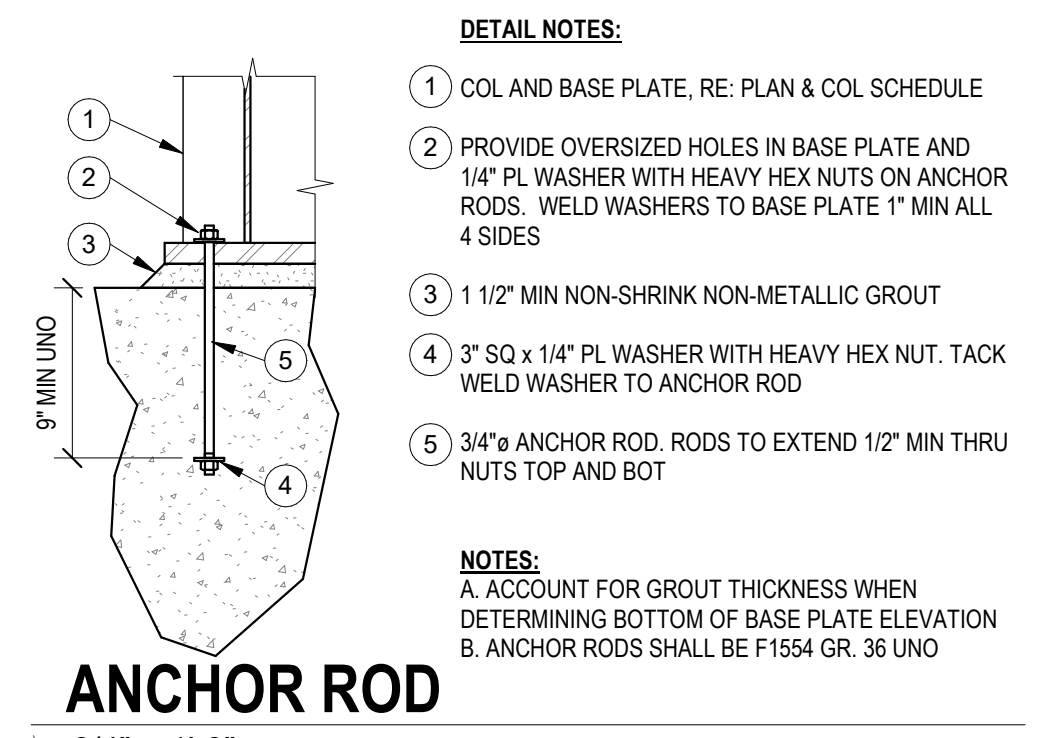
- THE FRAMING OF THE PRE-ENGINEERED METAL BUILDINGS IS THE RESPONSIBILITY OF THE OTHER PARTIES AND THEIR ENGINEER OF RECORD, AND NOT PART OF THESE STRUCTURAL DOCUMENTS.
- ALL BASE REACTIONS ARE ASSUMED TO BE PINNED.
- METAL BUILDING REACTIONS AND FOUNDATIONS HAVE BEEN ESTIMATED ONLY BASED ON STANDARD METAL BUILDING DETAILING PRACTICES. PRELIMINARY METAL BUILDING REACTIONS AND LAYOUT HAS NOT BEEN PROVIDED. FINAL METAL BUILDING DRAWINGS MUST BE PROVIDED FOR VERIFICATION OF ALL FOUNDATION SIZES AND LOCATIONS. OTHERWISE, ALL DRAWINGS ARE CONSIDERED NULL AND VOID.

SPECIAL INSPECTION OF SOILS - TABLE 1704.7			
REQD	VERIFICATION & INSPECTION	CONTINUOUS	PERIODIC
X	1. VERIFY MATERIALS BELOW FOOTINGS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY		X
X	2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH & HAVE REACHED PROPER MATERIAL		X
X	3. PERFORM CLASSIFICATION AND TESTING OF CONTROLLED FILL MATERIALS		X
X	4. VERIFY USE OF PROPER MATERIALS, DESIGNS & LIFT THICKNESSES DURING PLACEMENT & COMPACTION OF CONTROLLED FILL	X	
X	5. PRIOR TO PLACEMENT OF CONTROLLED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY		X

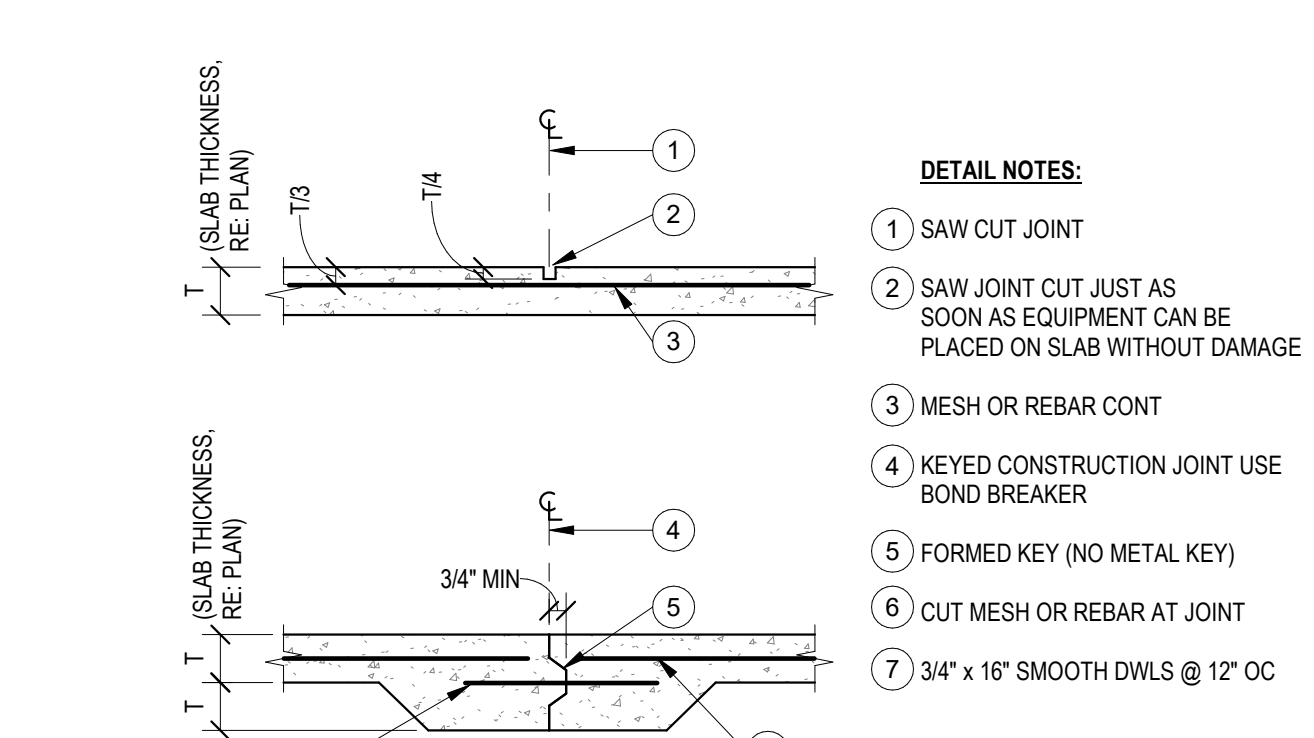
SPECIAL INSPECTION OF CONCRETE CONSTRUCTION - TABLE 1704.4			
REQD	VERIFICATION & INSPECTION	CONTINUOUS	PERIODIC
X	1. INSPECTION OF REINFORCING STEEL & PLACEMENT		X
X	2. INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE W/ TABLE 1704.3 ITEM 5B	X	
X	3. INSPECT BOLTS TO BE INSTALLED IN CONCRETE PRIOR TO & DURING PLACEMENT OF CONCRETE	X	
X	4. VERIFYING USE OF REQUIRED MIX DESIGN		X
X	5. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLIP & AIR CONTENT TESTS, & DETERMINE THE TEMPERATURE OF THE CONCRETE	X	
X	6. INSPECTION OF CONCRETE & SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES	X	
X	7. INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE & TECHNIQUES		X
X	8. INSPECTION OF PRESTRESSED CONCRETE		X
X	9. ERECTION OF PRECAST CONCRETE MEMBERS		X
X	10. VERIFICATION OF IN-SITU CONCRETE STRENGTH PRIOR TO REMOVAL OF SHORES & FORMS FROM BEAMS & STRUCTURAL SLABS		X
X	11. INSPECT FORMWORK FOR SHAPE, LOCATION, & DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED		X



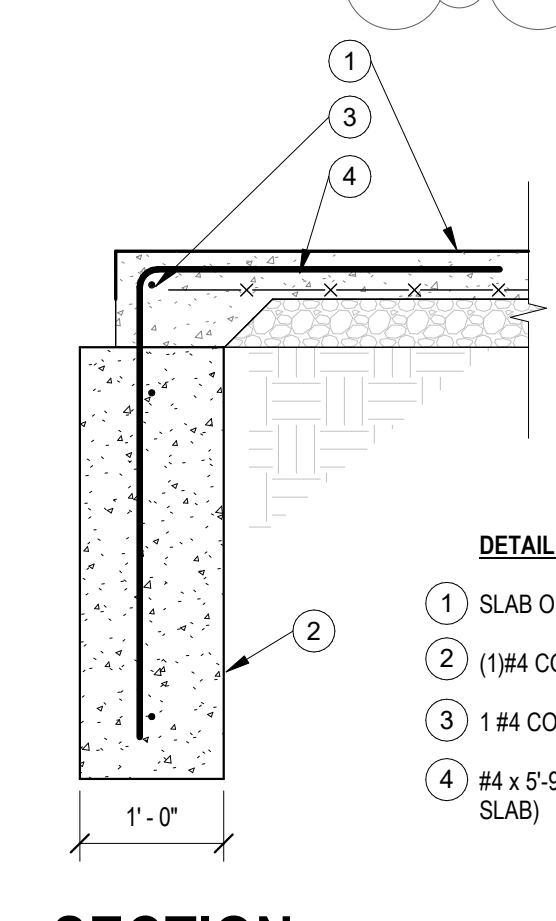
5 HAIRPIN DIMS
3/16" = 1'-0"



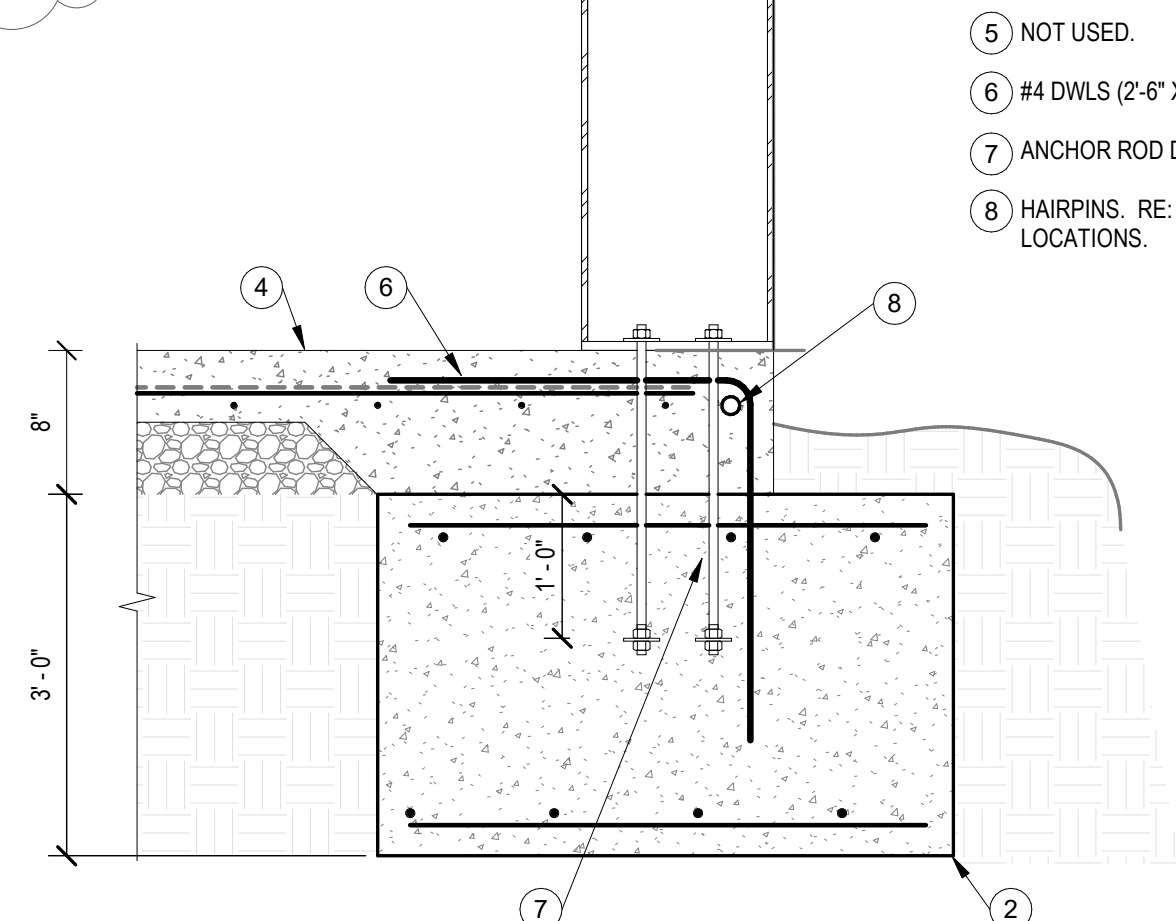
4 ANCHOR ROD
3/4" = 1'-0"



2 SLAB ON GRADE CONTROL JOINTS
3/4" = 1'-0"



6 SECTION
3/4" = 1'-0"



3 EXTERIOR FTG
3/4" = 1'-0"

DEVELOPMENT AND LAP SPlice SCHEDULE												
F _c =3000 psi						F _c =4000 psi						
BAR	EMBEDMENT			LAP SPlice			EMBEDMENT			LAP SPlice		
	COMPRESSION (LCE)	TENSION (LTE)	OTHER	COMPRESSION (LCS)	TENSION (LTS)	HOOK (LDH)	COMPRESSION (LCE)	TENSION (LTE)	OTHER	COMPRESSION (LCS)	TENSION (LTS)	HOOK (LDH)
#3	8	13	12	12	28	21	8	12	12	12	16	7
#4	11	21	16	15	37	28	9	18	14	15	24	9
#5	14	31	24	19	46	36	10	27	21	19	35	12
#6	16	43	33	23	56	43	12	37	28	23	48	14
#7	19	69	53	26	81	62	13	57	46	26	78	17
#8	22	85	66	30	93	71	15	69	57	30	96	19
#9	25	103	80	34	105	80	17	81	69	34	116	21
#10	28	124	96	38	118	90	19	94	83	38	140	24
#11	31	146	112	42	131	100	22	107	97	42	164	27

1 SPLICE & DEVELOPMENT SCHEDULE
3/4" = 1'-0"

POWELL C W M
ARCHITECTURE/ENGINEERING/SURVEYING
3200 S. State Route 297, Bldg. 1, Independence, MO 64057
(816) 373-4800 | powellcwm.com

Certificates of Authority
Architecture: MO 310 / KS 73
Engineering: MO 31 / KS 241
Land Surveying: MO 123 / KS 36

CLIENT
DAVID WARD
WARD DEVELOPMENT
1120 EAGLE RIDGE BLVD
GRAIN VALLEY, MO 64029
david@safetyminstorage.com

LOT 10 LAKEWOOD BUSINESS PARK
LOT 10 I-470 BUSINESS PARK
LEE'S SUMMIT, MO 64064

STANDARD STRUCTURAL ENGINEERING
8234 Robinson Street
Overland Park, KS 66204
913-254-2169
std-nsd.com

REV. NO.	DATE	DESCRIPTION
1	12/16/2021	City Comments

DRAWN BY: TJS
CHECKED BY: JF
PROJECT #: 21094
ISSUE DATE: 08/09/2021
ISSUED FOR: PERMIT

STRUCTURAL GENERAL NOTES
S001

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN BY: TJS
 CHECKED BY: JF
 PROJECT #: 21094
 ISSUE DATE: 08/09/2021
 ISSUED FOR: PERMIT

FOUNDATION PLAN

SHEET NOTES:

- A. REFERENCE SHEET S00x FOR STRUCTURAL GENERAL NOTES, REVIEW NOTES & DETAILS FOR APPLICABILITY.
- B. SEE ARCHITECTURAL DRAWING FOR DETAILS & DIMENSIONS NOT SHOWN.
- C. REFER TO S0xx FOR TYPICAL DETAILS.
- D. TOP OF SLAB ELEVATION = 100'-0" UNO.
- E. TOP OF TRENCH FOOTING ELEVATION = 99'-4" UNO. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 3'-0" MIN BELOW GRADE. DEEPEN FOOTINGS AS REQUIRED. GRADE IS GENERALLY 6" BELOW FINISH FLOOR ELEVATION (COORDINATE WITH CIVIL).
- F. SPREAD FOOTINGS DENOTED ON PLAN BY "Fxx". REFER TO SCHEDULE ON THIS SHEET FOR SIZE AND REINFORCING.

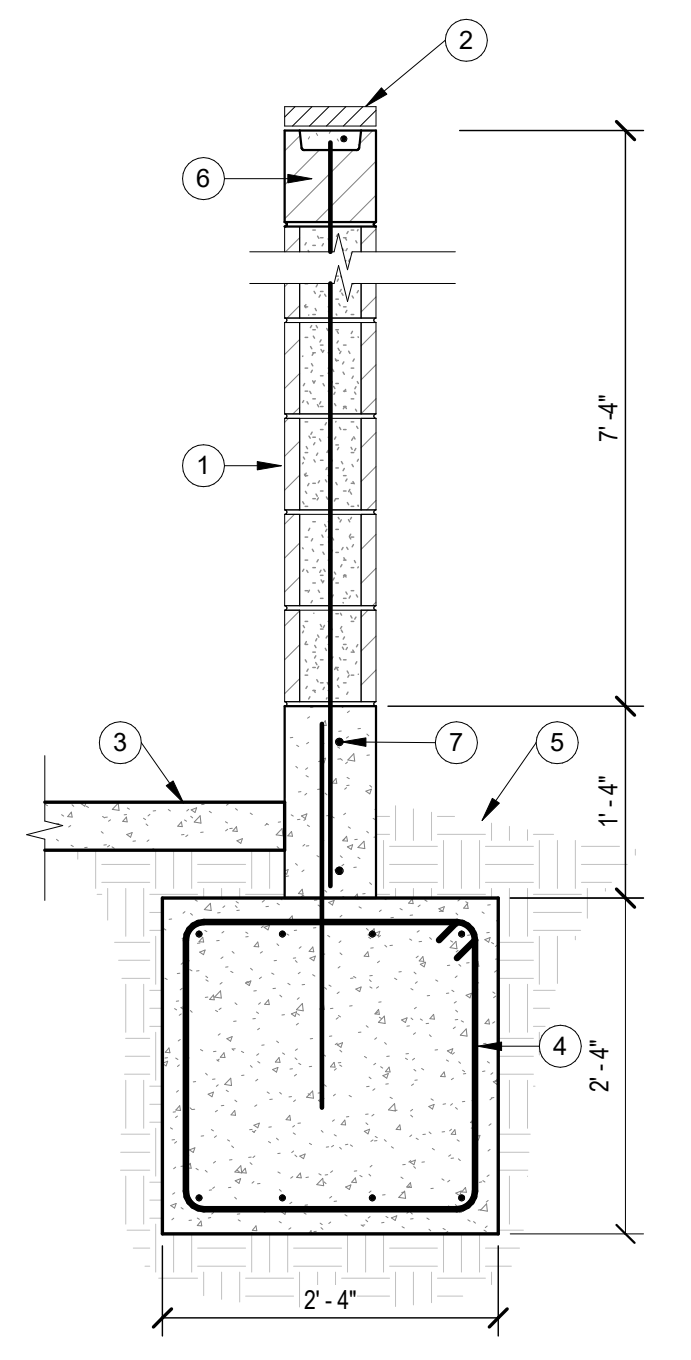
PLAN NOTES:

- ① 4" CONCRETE SLAB ON GRADE, RE: GENERAL NOTES FOR REINFORCING, GRANULAR FILL, VAPOR BARRIER AND JOINTING REQUIREMENTS
- ② PROVIDE #5 HAIR-PIN BARS @ ALL PEMB COLUMNS RE: 5/S001

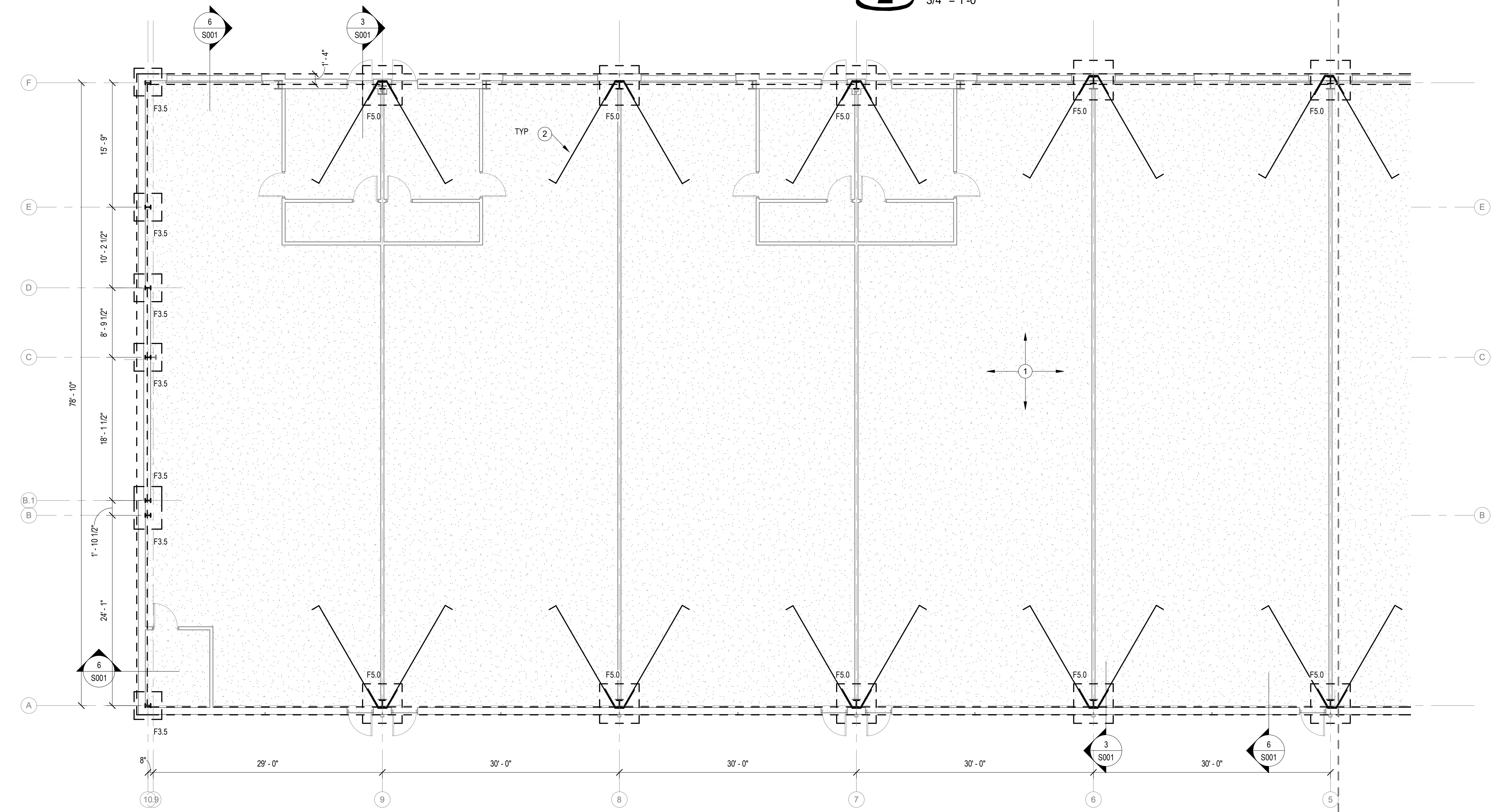
SCHEDULE - SPREAD FOOTING				
TYPE MARK	LENGTH	WIDTH	THICKNESS	REINF
F3.5	3'-6"	3'-6"	3'-0"	(5) #4 EW TOP & BOT
F5.0	5'-0"	5'-0"	3'-0"	(8) #4 EW TOP & BOT

DETAIL NOTES:

- ① 8" CMU WALL, FULLY GROUTED, REINF W/ #4 VERT @ 24" O.C.
- ② CAP STONE, RE: ARCH
- ③ CONC SLAB RE: CIVIL
- ④ CONC FTG W/ (4) #6 TOP & BOT & #3 TIES @ 24" OC
- ⑤ GRADE RE: CIVIL
- ⑥ 8" CMU BOND BM W/ (1) #4 CONT
- ⑦ (2) #4 CONT HOR & #4 @ 24" OC VERT



2 TRASH ENCLOSURE SECTION
 3/4" = 1'-0"



1 FOUNDATION PLAN
 1/8" = 1'-0"

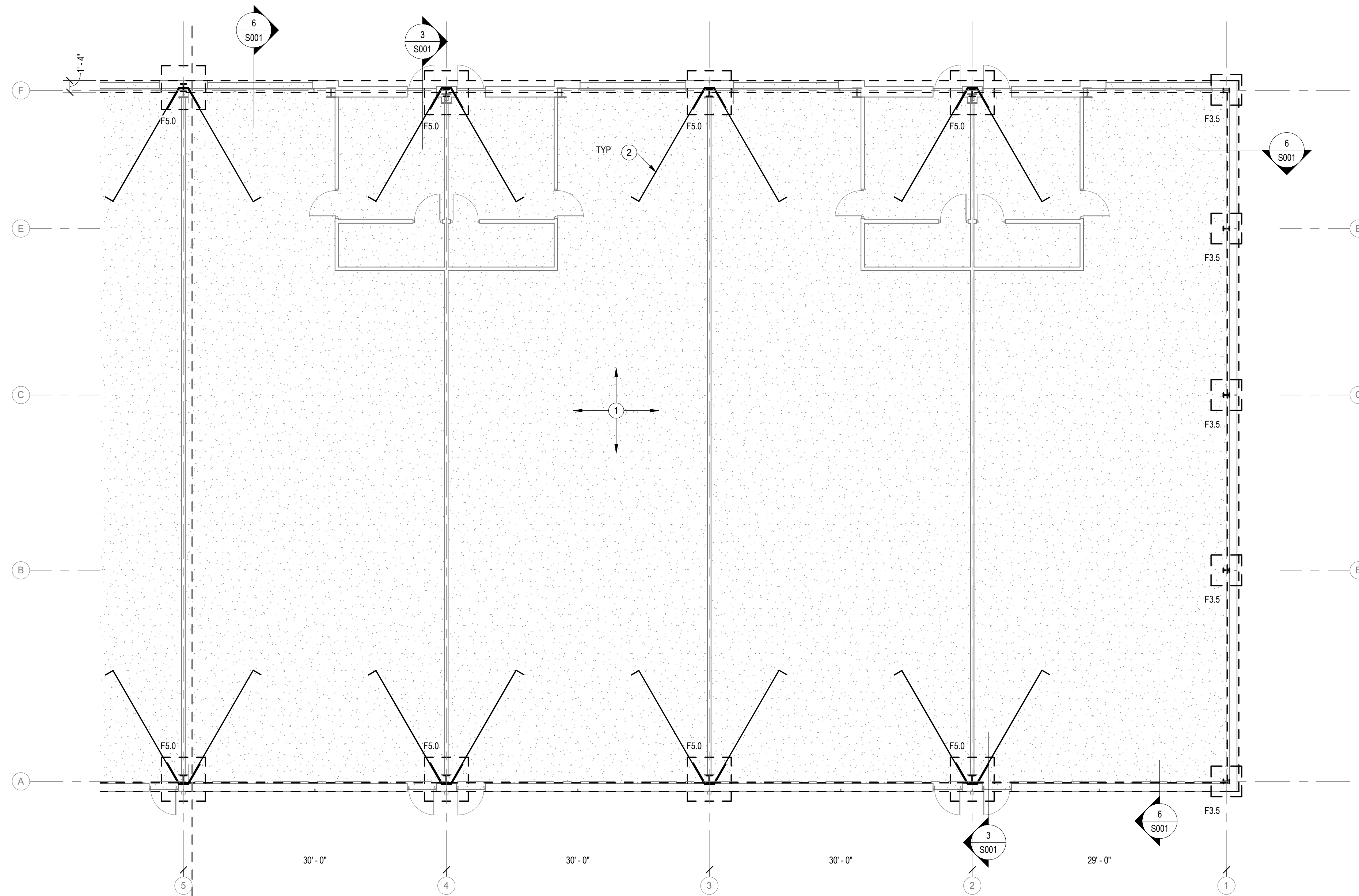
SHEET NOTES:

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- B. SEE ARCHITECTURAL DRAWING FOR DETAILS & DIMENSIONS NOT SHOWN.
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- F. SPREAD FOOTINGS DENOTED ON PLAN BY "Fxx". REFER TO SCHEDULE ON THIS SHEET FOR SIZE AND REINFORCING.

PLAN NOTES:

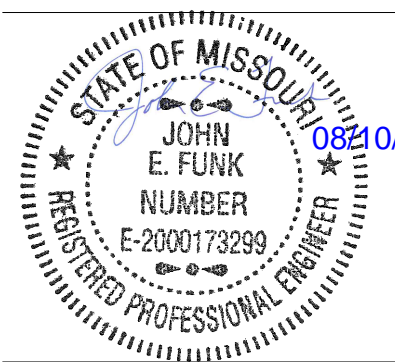
- ① 4" CONCRETE SLAB ON GRADE. RE-GENERAL NOTES FOR REINFORCING, GRANULAR FILL, VAPOR BARRIER AND JOINTING REQUIREMENTS
- ② PROVIDE #5 HAIR-PIN BARS @ ALL PEMB COLUMNS RE: S/S001

SCHEDULE - SPREAD FOOTING					
TYPE MARK	LENGTH	WIDTH	THICKNESS	REINF	
F3.5	3'-6"	3'-6"	3'-0"	(5) #4 EW TOP & BOT	
F5.0	5'-0"	5'-0"	3'-0"	(8) #4 EW TOP & BOT	



1 FOUNDATION PLAN
 1/8" = 1'-0"

**LOT 10 LAKEWOOD
 BUSINESS PARK**
 LOT 10 I-470 BUSINESS PARK
 LEE'S SUMMIT, MO 64064

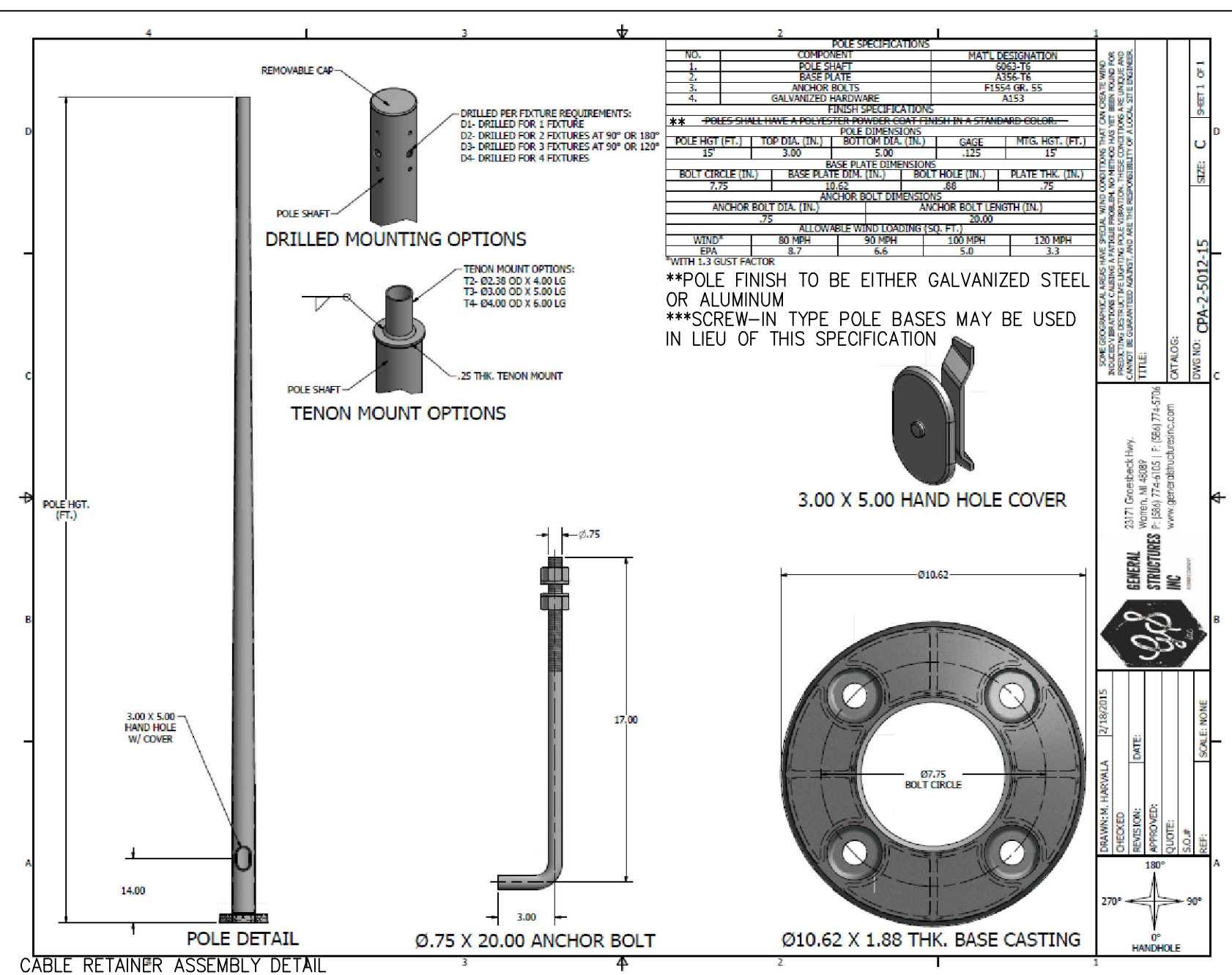


REVISIONS NO.	DATE	DESCRIPTION

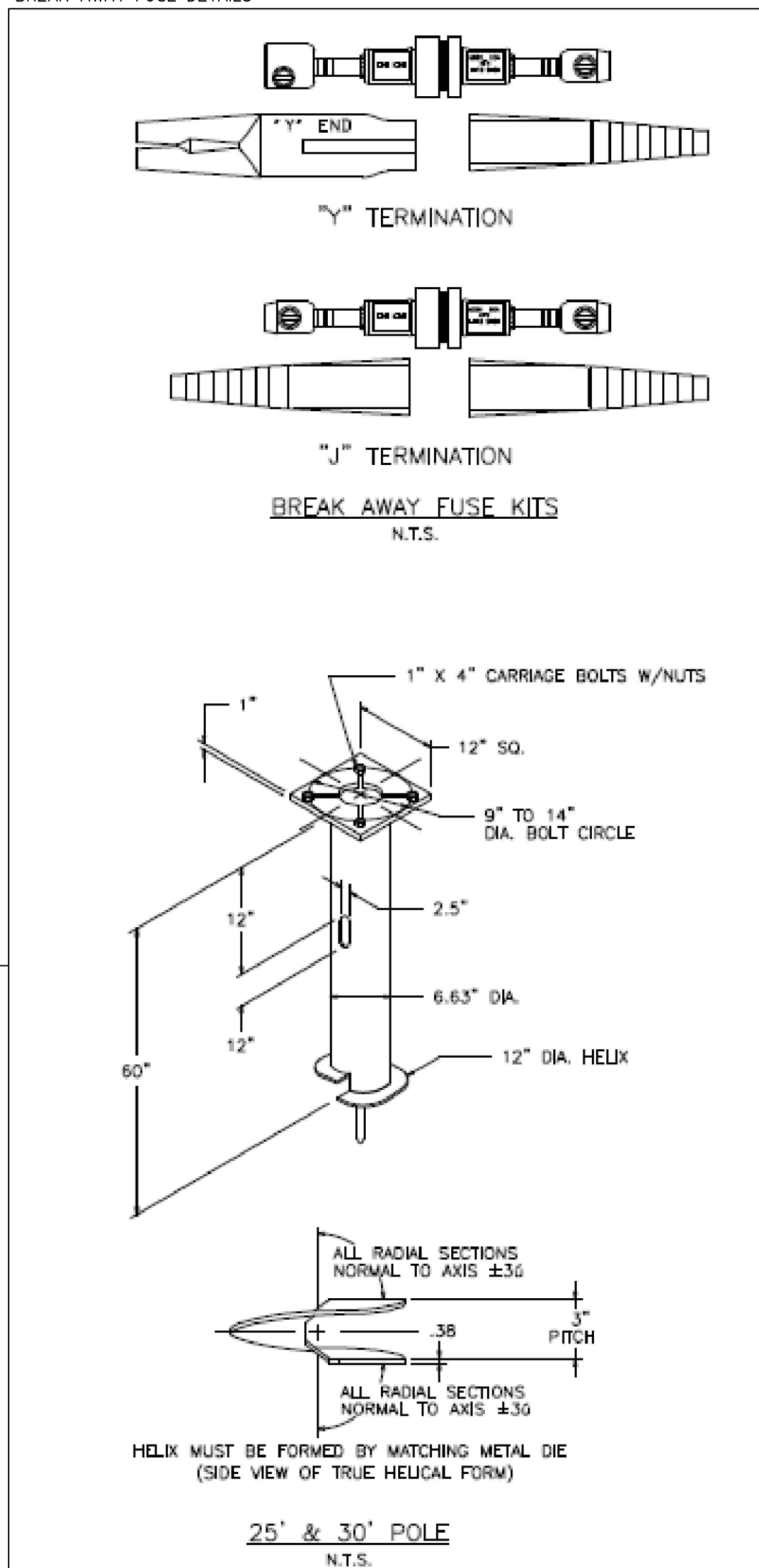
DRAWN BY: TJS
 CHECKED BY: JF
 PROJECT #: 21094
 ISSUE DATE: 08/09/2021
 ISSUED FOR: PERMIT

FOUNDATION PLAN

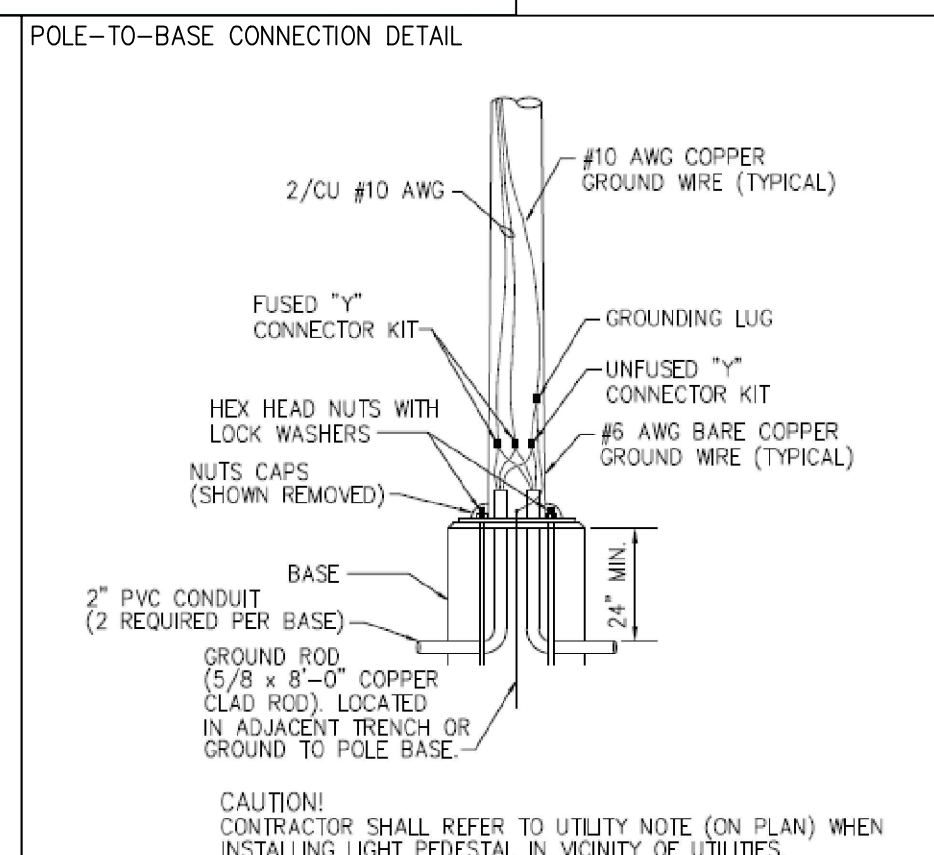
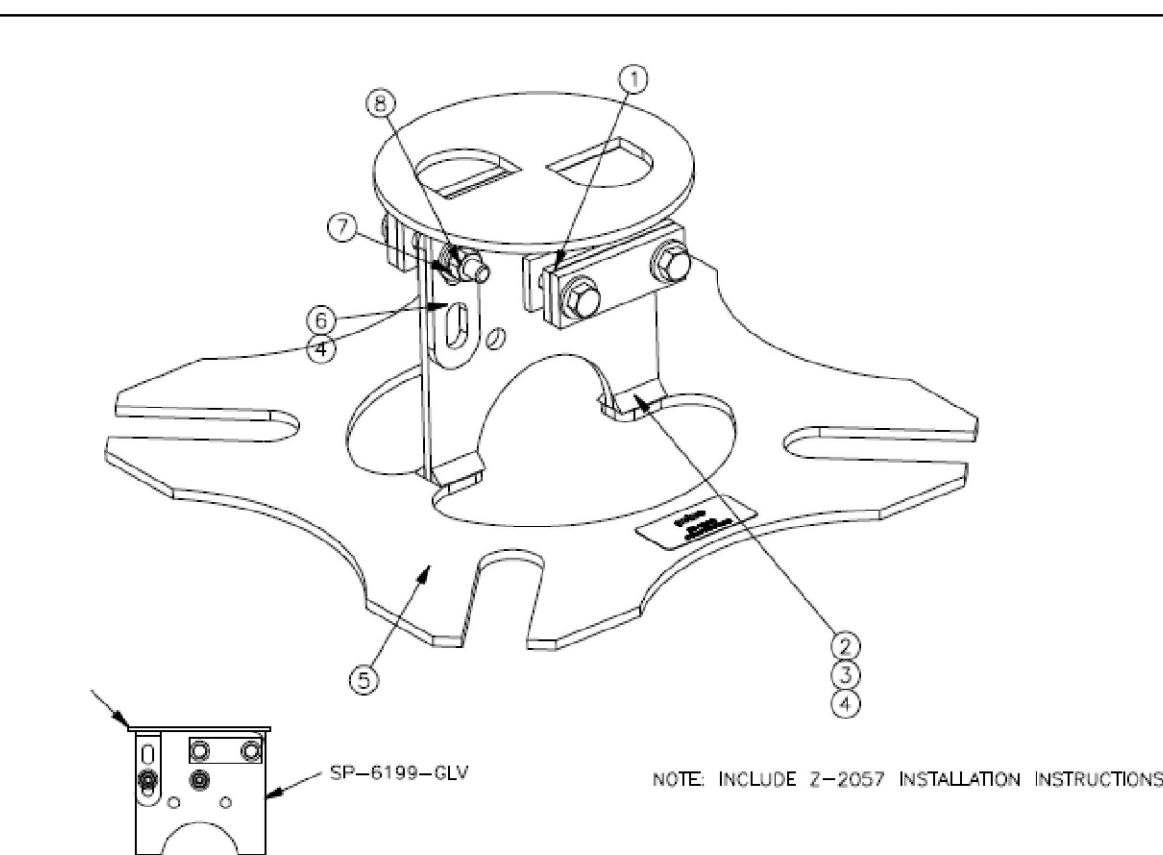
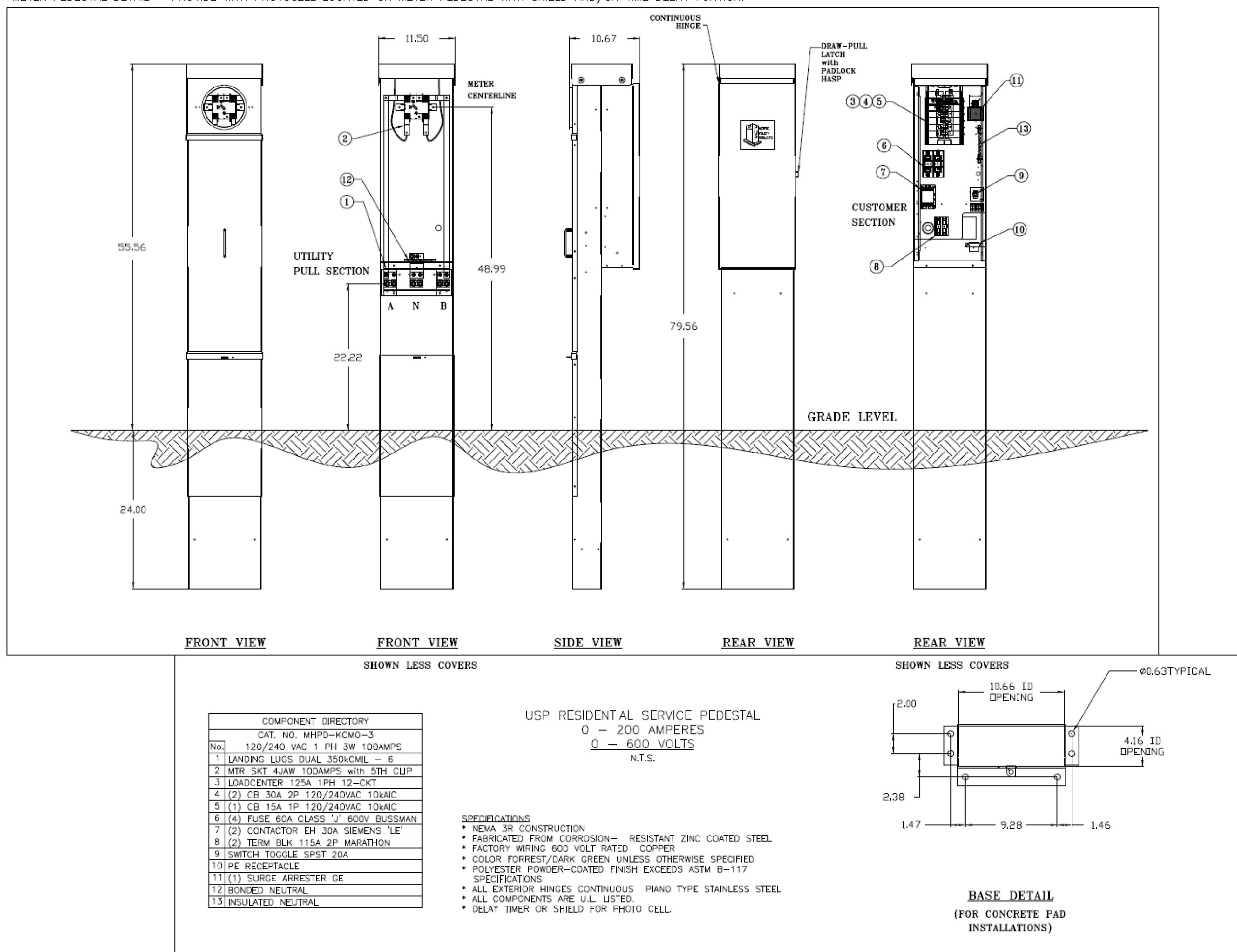
FIXTURE POLE SPECIFICATION



BREAK AWAY FUSE DETAILS

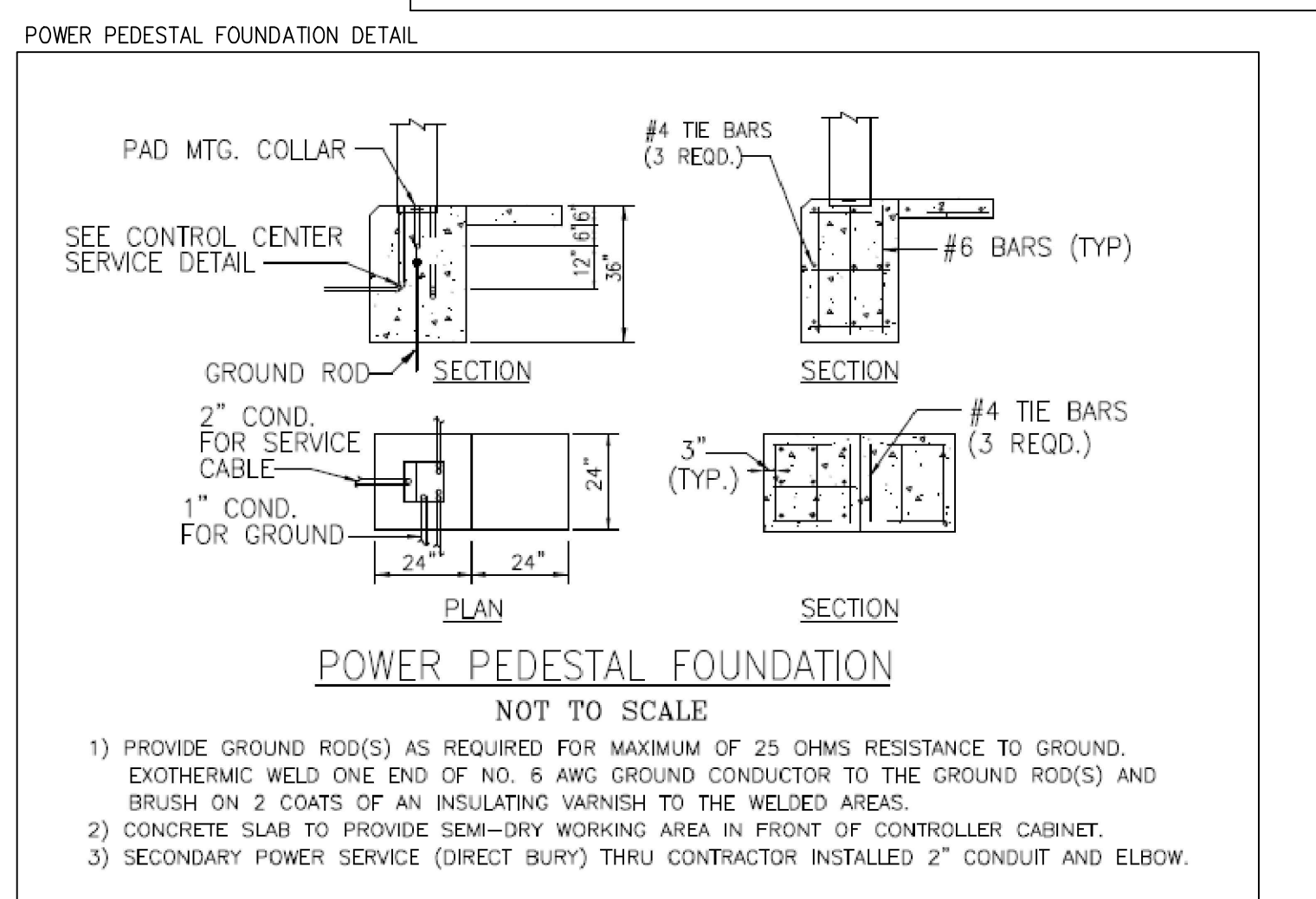
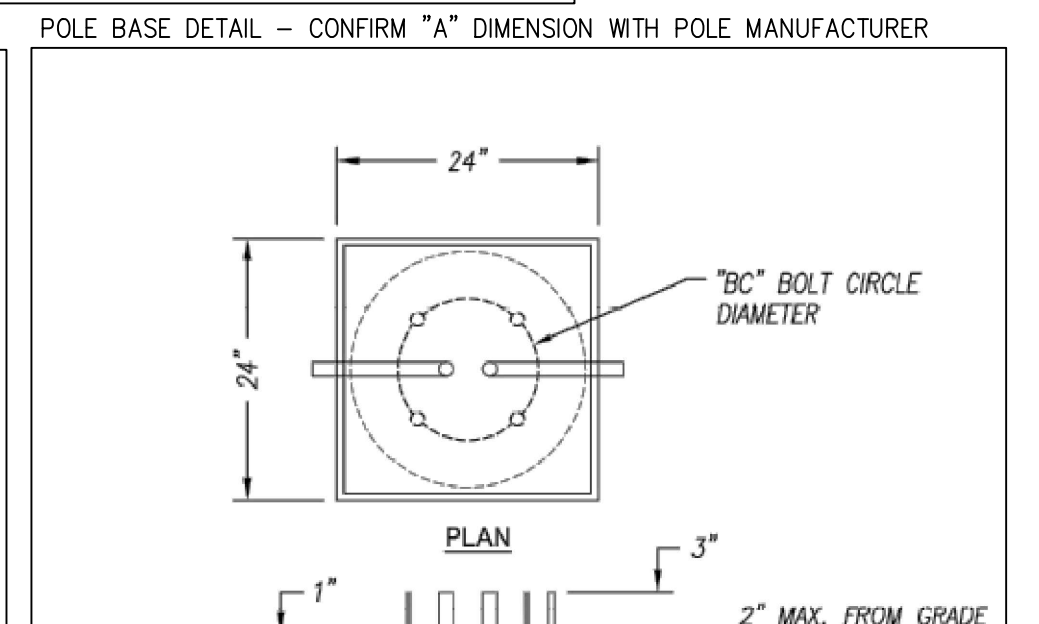
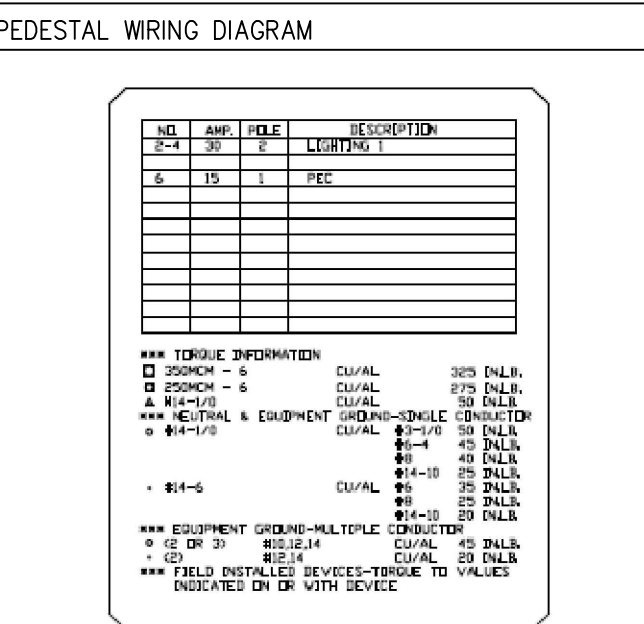
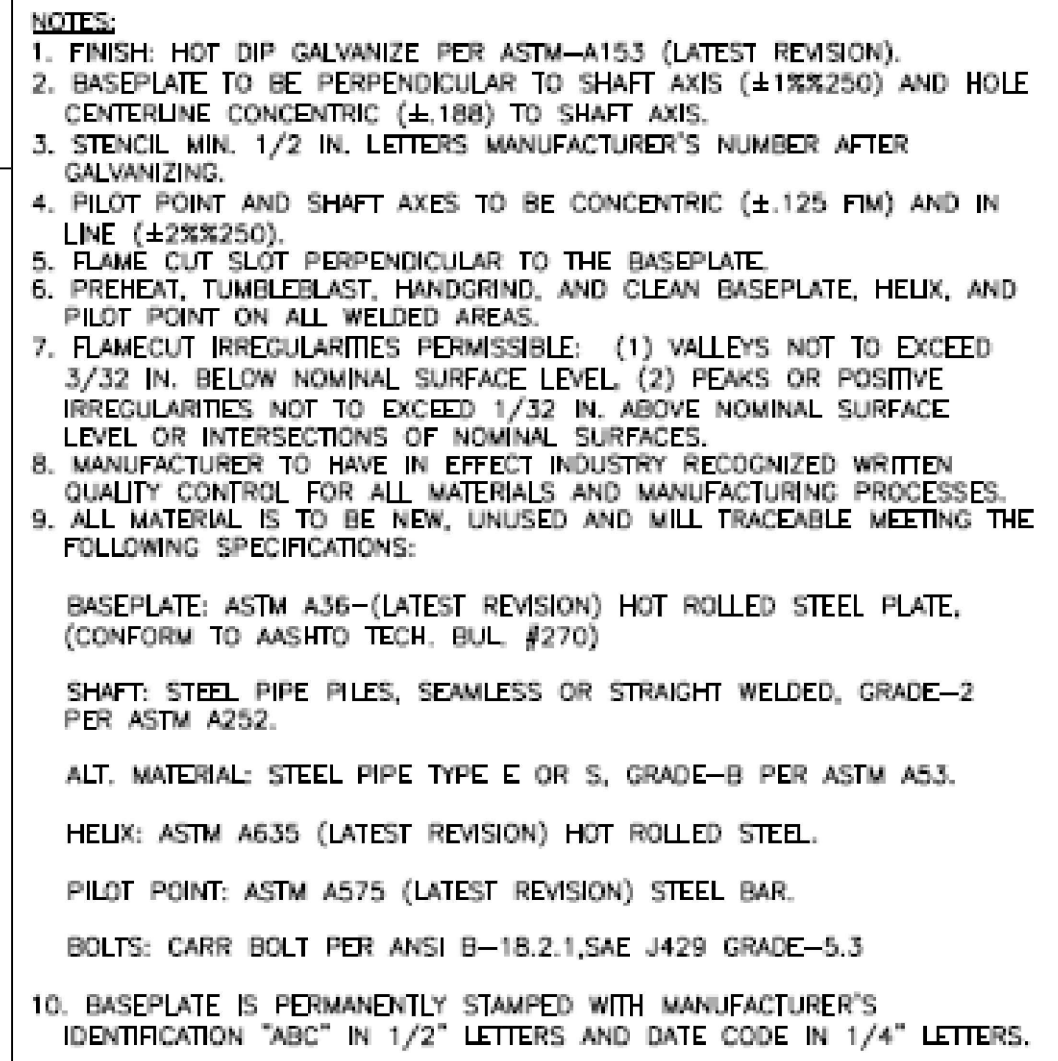
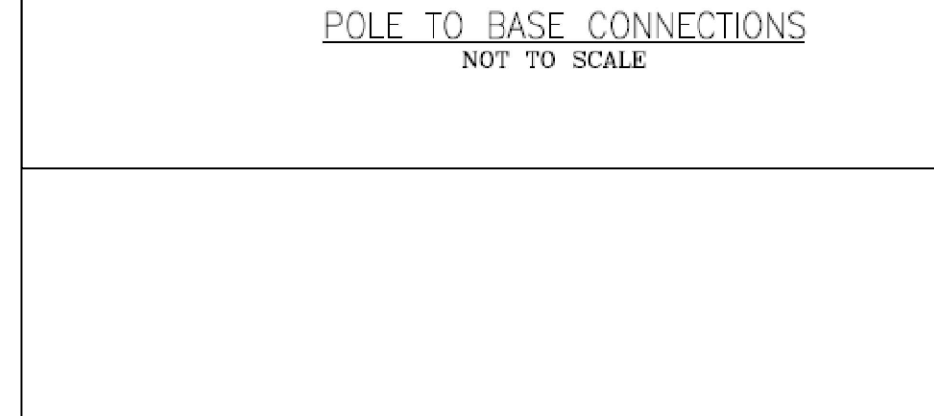


METER PEDESTAL DETAIL - PROVIDE WITH PHOTOCELL LOCATED ON METER PEDESTAL WITH SHIELD AND/OR TIME DELAY FUNCTION.



ITEM PART NUMBER DESCRIPTION QTY

- SP-6199 WELDMENT, CABLE RETAINER ASSY, FOR 6" FOUNDATION ANCHOR, STEEL 1
- FS-1001-SS INFLI, HELIX 5/16" X 18", STAINLESS 304, WELDED 4
- FS-4201-SS WASHER, LOCK SPLOT, 5/16", STAINLESS 4
- FS-4101-SS WASHER, FLAT, 5/16" X .750" OD STAINLESS 8
- CS-3140 LABEL, 1" X 2", CABLE RETAINER 1
- FS-2016-SS BOLT, HEX HD TAP, 5/16" X 2-1/4", STAINLESS 4
- SP-6199-3 BAR, CABLE RETAINER ASSEMBLY, STEEL 2
- SP-6199-4 PAD, CABLE RETAINER, 3/16" THICK, 90 DURO, RED URETHANE 4



SITE LIGHTING FIXTURE SPECIFICATIONS

FIXTURE "W"

WDGE3 LED Architectural Wall Sconce

Specifications
 Depth (D1): 1.5"
 Depth (D2): 9"
 Height: 13"
 Width: 10"
 Weight: 19.5 lbs
 (without options)

WDGE LED Family Overview

Luminaire	Standard ETC	Color Temp.	Beam	Lumens (lm)	W	D1	D2	H	Wt
WDGE1 LED	4W	—	—	1,200	2,800	—	—	—	—
WDGE2 LED	10W	10W	Standard / slight	1,200	2,800	3,000	4,500	6,000	—
WDGE3 LED	15W	10W	Standard / slight	2,500	8,500	16,000	12,000	—	—
WDGE4 LED	—	—	Standard / slight	12,000	16,000	16,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE3 LED P3 40K 70CRI R3 M3VOLT SRM DBBXD

Series	Package	Color Temperature	CRI	Distribution	Wetproof	Mounting
WDGE3 LED	P1	30K 3000K	70CRI	R2 Type 2	M3VOLT	Shipped included
	P2	40K 4000K	80CRI	R3 Type 3	340°	Shipped separately
	P3	50K 5000K	80CRI	R4 Type 4	480°	Shipped separately
	P4	50K 5000K	80CRI	R5 Forward throw	480°	Shipped separately

Accessories

1) 340° and 480° not available with M3VOLT and E20VOC.
 2) PE not available with M3VOLT and 480°.
 3) DMG option not available with M3VOLT and E20VOC.
 4) PE not available with DMG. Not available with emergency battery backup or non-recycling.

FIXTURES "S1/S2/S3"

D-Series Size 1 LED Area Luminaire

Specifications
 EPA: 1.01 ft² (0.09 m²)
 Length: 33"
 Width: 13"
 Height H1: 7.12"
 Height H2: 3.1/2"
 Weight: 27 lbs (12.2 kg)

Introduction
 The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high-performance, high efficiency, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M M3VOLT SPA NLTAR2 PIRHN DBBXD

Series	LEDs	Color Temperature	Distribution	Wet proof	Mounting
DSX1 LED	P1	30K 3000K	T35 Type 1 short (skirtless)	T3V5 Type 1 very short	M3VOLT SPA
	P2	40K 4000K	T35 Type 1 short	T3V5 Type 1 short	340° 077V-480V ^{1/2}
	P3	50K 5000K	T35 Type 1 short	T3V5 Type 1 short	320°
	P4	50K 5000K	T35 Type 1 short	T3V5 Type 1 short	208°
	P5	50K 5000K	T35 Type 1 short	T3V5 Type 1 short	180°
	P6	50K 5000K	T35 Type 1 short	T3V5 Type 1 short	160°
	P7	50K 5000K	T35 Type 1 short	T3V5 Type 1 short	140°
	P8	50K 5000K	T35 Type 1 short	T3V5 Type 1 short	120°
	P9	50K 5000K	T35 Type 1 short	T3V5 Type 1 short	100°
	P10	50K 5000K	T35 Type 1 short	T3V5 Type 1 short	80°
	P11	50K 5000K	T35 Type 1 short	T3V5 Type 1 short	60°
	P12	50K 5000K	T35 Type 1 short	T3V5 Type 1 short	40°
	P13	50K 5000K	T35 Type 1 short	T3V5 Type 1 short	20°
	P14	50K 5000K	T35 Type 1 short	T3V5 Type 1 short	0°

Control options

Shipped installed

DSX1 LED: High flow, medium ambient sensor, 8-12' mounting height, ambient sensor, ambient sensor, 8-12' mounting height.

Shipped separately

DSX1 LED: High flow, medium ambient sensor, 8-12' mounting height, ambient sensor, ambient sensor, 8-12' mounting height.

POWELL C W M
 ARCHITECTURE/ENGINEERING/SURVEYING
 3200 S. State Route 291, Bldg. 1, Independence, MO 64057
 816.373.4800 | powellcwm.com

Licenses of Authority
 Architecture: MO 117 / KS 73
 Engineering: MO 4 / KS 241
 Land Surveying: MO 123 / KS 36

CLIENT
 DAVID WARD
 WARD DEVELOPMENT
 1120 EAGLE RIDGE BLVD
 GRAIN VALLEY, MO 64029
 david@safetyminstorage.com

MEP ENGINEER

JSC ENGINEERS
 1000 N. 20th Street, Suite 100, Independence, MO 64057
 816.373.4800 | jsc-engineers.com

STATE OF MISSOURI
 AUSTIN R. SMOTHERS
 NUMBER PE-201200368
 PROFESSIONAL ENGINEER
 09-24-2021

LOT 10 LAKEWOOD BUSINESS PARK
 LOT 10 I-470 BUSINESS PARK
 LEE'S SUMMIT, MO 64064

REVISIONS

NO.	DATE / DESCRIPTION
1.	09-24-2021 / PHOTOMETRIC PLAN

PROJECT #: 21-049
 ISSUE DATE: 06/11/2021
 ISSUED FOR: PERMIT

PHOTOMETRIC PLAN

E-003

ENTIRE SHEET ADDED

