



INTERIOR RENOVATION

451 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081



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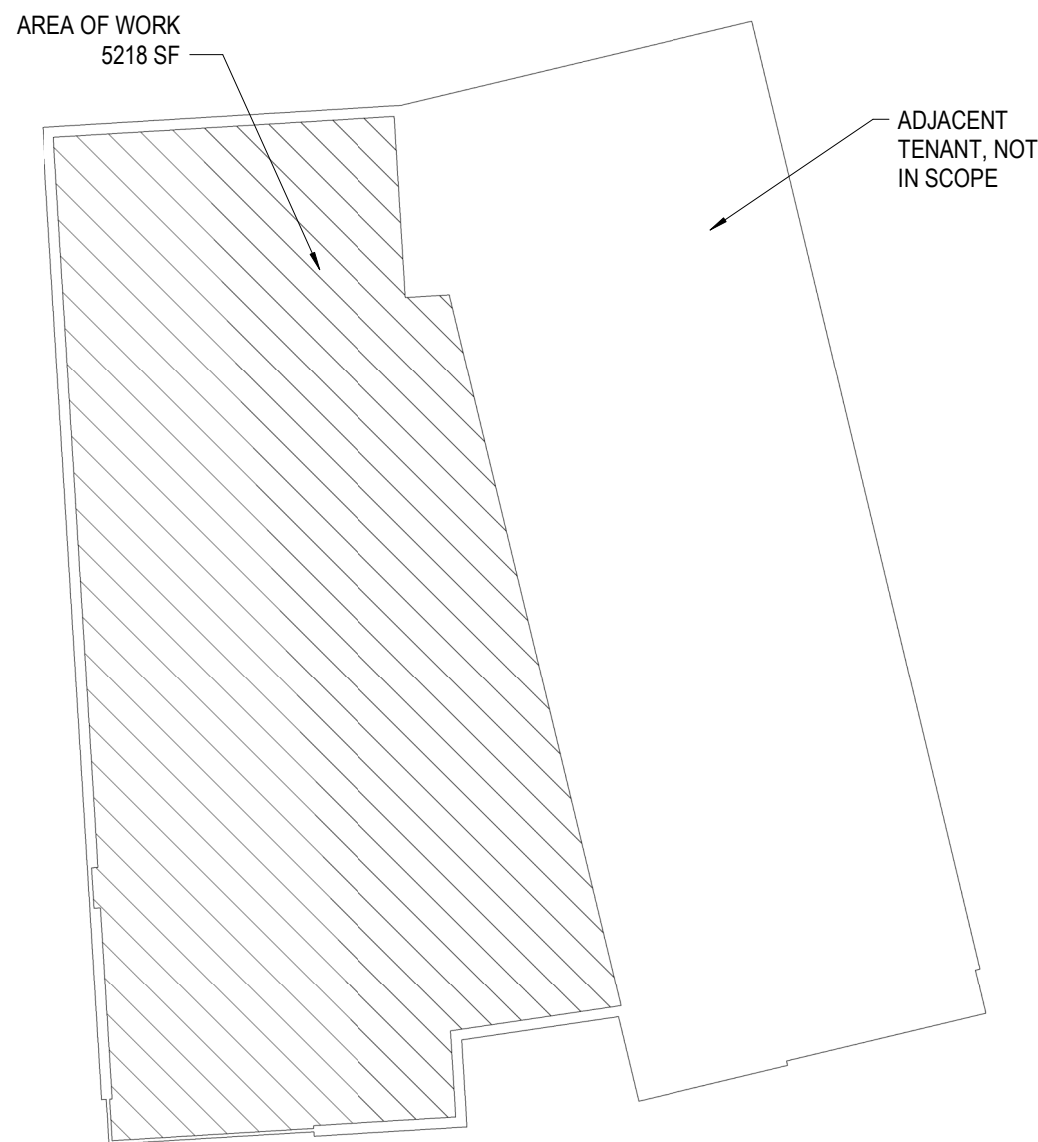
PROJECT TEAM:

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KEY PLAN:



VICINITY MAP:



SHEET INDEX:

CVR	COVER SHEET
G001	GENERAL INFORMATION
G002	ACCESSIBILITY GUIDELINES
G101	LIFE SAFETY PLANS & WALL TYPES
D100	DEMOLITION FLOOR & REFLECTED CEILING PLANS
A101	OVERALL FLOOR PLAN
A150	ENLARGED TOILET PLANS
A400	DOOR & WINDOW INFO & SCHEDULE
A405	DOOR & FRAME DETAILS
A601	OVERALL REFLECTED CEILING PLAN
I201	INTERIOR ELEVATIONS
I200	INTERIOR ELEVATIONS
MP000	MECHANICAL/PLUMBING SPECIFICATIONS
M100	MECHANICAL PLAN
M200	MECHANICAL SCHEDULES
M300	MECHANICAL DETAILS
P100	PLUMBING WASTE & VENT PLAN
P200	PLUMBING WATER PLAN
P300	PLUMBING DETAILS
E000	ELECTRICAL SPECIFICATIONS
E100	ELECTRICAL LIGHTING PLAN
E200	ELECTRICAL POWER PLAN
E300	ELECTRICAL SCHEDULES

PROJECT OVERVIEW:

SCOPE OF WORK: THE RENOVATION OF AN EXISTING TENANT SPACE

JURISDICTION: CITY OF LEE'S SUMMIT, MO

APPLICABLE BUILDING CODES:

All Applicable Codes: All Work Under This Contract Shall Comply With The Provisions Of The Specifications And Drawings, and Shall Satisfy All Applicable Codes, Ordinances And Regulations Of All Governing Bodies Involved. All Permits and Licenses Necessary For The Proper Executions Of The Work Shall Be Secured And Paid For By The Contractor Involved.
Applicable Codes Include But Are Not Limited To The Following:

Applicable Building Code:	2018 International Existing Building Code
Applicable Building Code:	2018 International Building Code
Applicable Plumbing Code:	2018 International Plumbing Code
Applicable Mechanical Code:	2018 International Mechanical Code
Applicable Electrical Code:	2017 National Electrical Code
Applicable Gas Code:	2018 International Fuel Gas Code
Applicable Energy Code:	2018 International Energy Conservation Code
Accessible Code:	ICC/ANSI A117.1 Providing Accessibility and Usability for Physically Handicapped People, 2009 Edition

[Note: Project Owner and Design Professional are responsible for compliance to the federal Americans with Disabilities Act (ADA)]

BUILDING DETAILS:

ZONING:	CP-2
USE AND OCCUPANCY CLASSIFICATION:	B (BUSINESS) PER 2018 IBC, SECTION 304
EXISTING CONSTRUCTION TYPE:	VB (ASSUMED)
EXISTING BUILDING:	1 STORY; OVERALL APPROX. 10,029 SF
AREA OF WORK:	1 STORY; OVERALL APPROX. 5,220 SF
AUTOMATIC SPRINKLERS:	YES
ALARM SYSTEM:	YES

OCCUPANCY CALCS:	BUSINESS*	3042 SF / 150 GROSS =	21 OCC
	STORAGE/MECH-	231 SF / 300 GROSS =	1 OCC
	NON-OCCUPIED-	1947 SF / 0 =	0 OCC
	TOTAL -	5220 SF	22 OCC

* WAITING-100 INCLUDED AS ACCESSORY TO BUSINESS PER IBC2018 303.1.2

EGRESS NOTES:

EXITS REQUIRED: 22 OCC < 50 OCC = 1 EXIT REQUIRED
EXITS PROVIDED: 1 (EXISTING)
MINIMUM EGRESS WIDTH REQUIRED: 22 OCC X 0.2" = 4.4"
MINIMUM EGRESS WIDTH PROVIDED: 34" MINIMUM
MAXIMUM EXIT TRAVEL DISTANCE: IBC 2018, TABLE 1017.2: BUSINESS OCCUPANCY = 300'-0" WITH SPRINKLER SYSTEM

PLUMBING REQUIREMENTS (IBC TABLE 2902.1):

TOILETS REQUIRED: 1 PER 25 FOR 1ST 50 OCC, 1 PER 50 EXCEEDING 50 = 1 REQUIRED, 4 PROVIDED (3 ADA) + 1 URINAL.

LAVATORIES REQUIRED: 1 PER 40 FOR 1ST 80 OCC, 1 PER 80 EXCEEDING 80 = 1 REQUIRED, 6 PROVIDED (3 ADA)

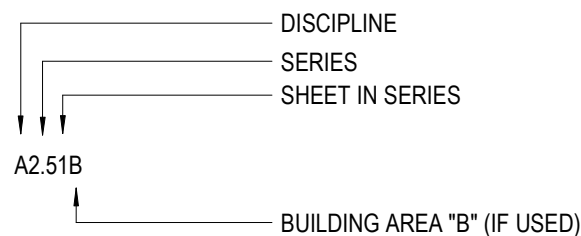
DRINKING FOUNTAINS: 1 REQUIRED, 1 PROVIDED.

SERVICE SINKS : 1 REQUIRED, 1 EXISTING PROVIDED

GENERAL ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	EA	EACH	IN	INCH	PBD	PARTICLE BOARD	T.O.	TOP OF
ACT	ACOUSTICAL CEILING TILE	EF	EXHAUST FAN	INSUL	INSULATION, INSULATE	PL	PLATE	T&B	TOP & BOTTOM
ACOU	ACOUSTICAL	EJ	EXPANSION JOINT	INT	INTERIOR	PLAM	PLASTIC LAMINATE	TBD	TO BE DETERMINED
ADJ	ADJUSTABLE	ELEV	ELEVATION			PLYWD	PLYWOOD	TEMP	TEMPERED
ALUM	ALUMINUM	ELEC	ELECTRICAL	JST	JOIST	PLUMB	PLUMBING	TYP	TYPICAL
AMB	AIR-MOISTURE BARRIER	EQ	EQUAL			PNL	PANEL		
ANC	ANCHOR	EQUIP	EQUIPMENT			PR	PAIR		
ANOD	ANODIZED	ETR	EXISTING TO REMAIN	LAM	LAMINATED	PREP	PREPARATION	UNO	UNLESS NOTED OTHERWISE
ARCH	ARCHITECT (URAL)	EW	EACH WAY	LAV	LAVATORY	PREFIN	PREFINISHED		
ASSY	ASSEMBLY	EWV	ELECTRIC WATER COOLER	LLH	LONG LEG HORIZONTAL	PTD	PAINTED	VCT	VINYL COMPOSITION TILE
		EXIST	EXISTING	LLV	LONG LEG VERTICAL			VWC	VINYL WALL COVERING
		EXP	EXPANSION			QT	QUARRY TILE	VERT	VERTICAL
		EXT	EXTERIOR			QTY	QUANTITY		
		EQD	FURNISHED BY OTHERS						
B.O.	BOTTOM OF BOARD			MFR	MANUFACTURER				
BFG	BELOW FINISHED GRADE			MAX	MAXIMUM				
BFF	BELOW FINISHED FLOOR			MECH	MECHANICAL	RA	RETURN AIR	W/	WITH
BLDG	BUILDING	FBD	FIBER BOARD			RAD	RADIUS	W/O	WITHOUT
BLK	BLOCKING	FBO	FURNISHED BY OTHERS			RCP	REFLECTED CEILING PLAN	WC	WATER CLOSET
BM	BEAM	FD	FLOOR DRAIN			REF	REFER TO	WD	WOOD
BOT	BOTTOM	FE	FIRE EXTINGUISHER	MIN	MINIMUM	REF	REFERENCE	WH	WATER HEATER
BRG	BEARING	FEC	FIRE EXTINGUISHER & CABINET	MIR	MIRROR	RECPT	RECEPTACLE	WDW	WINDOW
BS	BOTH SIDES	FFE	FURNITURE, FIXTURES & EQUIPMENT	MISC	MISCELLANEOUS	REFL	REFLECTED, REFLECTING	WP	WATERPROOFING, WATERPROOF
BIT	BETWEEN	FIN	FINISH	MLD	MOLDING	REIN	REINFORCED, REINFORCING	WT	WEIGHT
		FLR	FLOOR	MO	MASONRY OPENING	RELOC	RELOCATE	WWF	WELDED WIRE FABRIC
CAB	CABINET	FLUOR	FLUORESCENT	MTD	MOUNTED	REQD	REQUIRED		
CFCI	CONTRACTOR FURNISHED & INSTALLED	FRT	FIBERGLASS REINFORCED PLASTIC	MUL	MULLION	REV	REVISION, REVERSED		
CJ	CONTROL JOINT	FS	FIRE RETARDANT TREATED			RO	ROUGH OPENING		
CL	CENTER LINE	FSE	FLOOR SINK	NIC	NOT IN CONTRACT	RTU	ROOF TOP UNIT		
CLG	CEILING	FT	FOOD SERVICE EQUIPMENT	NOM	NOMINAL				
CLO	CLOSET	FV	FIELD VERIFY	NTS	NOT TO SCALE	SC	SOLID CORE		
CLR	CLEAR					SF	SQUARE FOOT		
CMU	CONCRETE MASONRY UNIT					SHIT	SHEET		
COL	COLUMN	GA	GAUGE	OC	ON CENTER	SHTH	SHEATHING		
CONC	CONCRETE	GALV	GALVANIZED	OFCD	OUTSIDE DIAMETER	SS	STAINLESS STEEL		
CONST	CONSTRUCT(I)ON	GC	GENERAL CONTRACTOR	OFCD	OWNER FINISHED, CONTRACTOR INSTALLED	SCHED	SCHEDULE		
CT	CERAMIC TILE	GL	GLASS	OFCD	OWNER FINISHED, OWNER INSTALLED	SIM	SIMILAR		
		GWB	GYPSSUM WALL BOARD	OFVI	OWNER FINISHED, VENDOR INSTALLED	SM	SHEET METAL		
DBL	DOUBLE			OPNG	OPENING	SPEC'D	SPECIFIED		
DEMO	DEMOLITION			OPT	OPTIONAL	STD	STANDARD		
DIA	DIAMETER	HC	HOLLOW CORE	OTS	OPEN TO STRUCTURE	STL	STEEL		
DN	DOWN	HM	HOLLOW METAL			STRUCT	STRUCTURAL		
DR	DOOR	HT	HEIGHT			SUSP	SUSPENDED		
DS	DOWNSPOUT	HDWD	HARDWOOD						
DTL	DETAIL	HR	HOUR						
DWG	DRAWING	HORZ	HORIZONTAL						
		HVAC	HEATING, VENTILATION, & AIR CONDITIONING						

SHEET NUMBER GUIDE:



DISCIPLINE ABBREVIATIONS:

A	ARCHITECTURAL	F	FURNITURE & EQUIPMENT
AS	ARCHITECTURAL SITE	G	GENERAL
C	CIVIL	K	KITCHEN
D	DEMOLITION	L	LANDSCAPE
E	ELECTRICAL	M	MECHANICAL
EL	ELECTRICAL - LIGHTING	P	PLUMBING
EP	ELECTRICAL - POWER	S	STRUCTURAL
		T	TECHNOLOGY

INTERIOR RENOVATION

BLUE SKY FERTILITY

451 NW MURRAY ROAD

LEE'S SUMMIT, MO 64081

REVISIONS

DESCRIPTION

DATE

REV. #

PERMIT SET

PROJ. NO.
2146
DRAWING TITLE

SCALE:
As indicated

COVER SHEET

DRAWING NUMBER

CVR

26. EXT LIGHTS - STANDARD WALL MOUNTED
 - A. 2" MIN. BELOW CEILING.
 - B. 2" MIN. ABOVE DOOR FRAME.
 - C. EQUAL SPACE - CEILING TO TOP OF FRAME.
27. FIRE EXTINGUISHERS (MEASURED AFF.)
 - A. GROSS WT. 40 LBS OR LESS = 60" MAX.
 - B. GROSS WT. MORE THAN 40 LBS = 42" MAX. TO TOP
 - C. ADA REACH RANGES = 48" MAX. & 15" MIN.
28. FIRE ALARM PULL STATIONS (AFF. TO LEVER)
 - A. STANDARD MOUNTING
 - B. ADA FORWARD REACH = 48" MAX. & 15" MIN.
 - C. ADA SIDE REACH = 48" MAX. & 15" MIN.
29. SMOKE AND/OR HEAT DETECTORS
 - A. STANDARD = CEILING HEIGHT
30. HORN/ SPEAKER/ VISUAL SIGNALS
 - A. STANDARD = 80" AFF. OR 6' BELOW CEILING
 - WHICHEVER IS LOWER

ACCESSIBILITY GUIDELINES

GENERAL SYMBOLS LEGEND

THE WORK UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, FEES, INSURANCE, TAXES, ETC. FOR GENERAL CONSTRUCTION, INCLUDING MECHANICAL, ELECTRICAL AND PLUMBING WORK FOR THE COMPLETE CONSTRUCTION OF THIS PROJECT.

2. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY - WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. WHEN PREPARED WITH DUE CARE AND DILIGENCE, PERFECTION IS NOT POSSIBLE. DESIGN AND CONSTRUCTION ARE COMPLEX - EVERY POSSIBLE CONDITION OR CONTINGENCY CANNOT BE ANTICIPATED OR FULLY INDICATED WITHIN THE DOCUMENTS.

3. CAREFULLY STUDY AND COMPARE ALL DRAWINGS (INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL) AND OTHER CONTRACT DOCUMENTS WITH THE EXISTING CONDITIONS AT THE PROJECT-SITE. REPORT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED FOR CLARIFICATION BY THE ARCHITECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR REPAIR OR CORRECTION COSTS IF WORK IS EXECUTED WITH KNOWLEDGE THAT IT INVOLVES AN ERROR, INCONSISTENCY OR OMISSION - WITHOUT THE ABOVE NOTICE.

4. CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF ANY AND ALL DRAWINGS INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, MECHANICAL, ELECTRICAL. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT PRIOR TO EXECUTION OF WORK.

5. IN THE EVENT OF CONFLICT OR AMBIGUITY WITHIN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR WILL BE DEEMED TO HAVE AGREED TO PROVIDE THE GREATER QUANTITY AND / OR BETTER QUALITY OF MATERIALS AND / OR WORK. OMISSIONS IN THE DESCRIPTION OF THE WORK DO NOT RELIEVE THE CONTRACTOR FROM PROVIDING A COMPLETE PROJECT.

6. TO ENSURE COORDINATION BETWEEN DISCIPLINES, CONTRACTOR SHALL SUPPLY EACH SUBCONTRACTOR OR AGENT WITH A FULL SET OF CONSTRUCTION DOCUMENTS FOR THEIR USE.

7. CONTRACTOR AND HIS SUBCONTRACTORS AND AGENTS SHALL HOLD ALL APPLICABLE AND REQUIRED LICENSES FOR THE JURISDICTION WHERE THE WORK WILL BE PERFORMED.

8. ALL WORK LISTED, SHOWN OR IMPLIED IN THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS AND VENDORS PROVIDING LABOR, MATERIALS, ETC. ON THE PROJECT TO ASSURE THAT ALL SCHEDULES ARE MET WITHOUT CONFLICT OR DELAY. THE SEQUENCE OF INSTALLATION OF ALL ELEMENTS SHALL BE EFFICIENT AND ORDERLY WITH PROVISIONS FOR ACCOMMODATING ITEMS TO BE INSTALLED LATER. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE MANUFACTURER'S REQUIREMENTS.

9. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.

10. DEVELOPER COORDINATION: OBTAIN AND COMPLY WITH THE DEVELOPER'S CONSTRUCTION RULES & REGULATIONS AND COMPLY WITH THEIR APPROVED DRAWINGS OF THIS WORK, IF APPLICABLE. MAINTAIN PRINTED COPIES OF RULES, REGULATIONS AND APPROVED DRAWINGS AT THE SITE AND ACKNOWLEDGE RECEIPT TO THE OWNER.

11. COMPLY WITH APPLICABLE LOCAL, STATE, AND NATIONAL LAWS OR REGULATIONS, CODES AND ORDINANCES, AND WITH ALL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION (AHJ). PROVIDE ALL REQUIRED NOTICES TO THE AHJS FOR THEIR INSPECTION AND APPROVALS OF THE WORK. THE MOST RESTRICTIVE REQUIREMENTS WILL APPLY IN THE EVENT OF ANY CONFLICT.

12. UNLESS OTHERWISE INDICATED IN THE AGREEMENT, SECURE AND PAY FOR THE BUILDING PERMIT AND ALL OTHER PERMITS OR UTILITY HOOK-UP CHARGES REQUIRED TO PERFORM THE WORK - INCLUDING BUT NOT LIMITED TO SEPARATE TRADE PERMITS, SEWER AND WATER SERVICE TAP-FEES, UTILITY-SEPARATION CONNECTION FEES, AS APPLICABLE. OBTAIN ALL LICENSES (BUSINESS OR TRADE) REQUIRED FOR EXECUTION OF THE WORK.

13. CONTRACTOR SHALL PROTECT THE EXISTING CONSTRUCTION AND REPAIR ANY DAMAGE OCCURRING AS A RESULT OF THEIR OPERATIONS. THE CONTRACTOR SHALL PROTECT THE REMAINDER OF THE DEVELOPMENT MALL. BARRIERS TO NOISE, DUST AND SECURITY BETWEEN CONSTRUCTION AREAS AND PUBLIC AREAS SHALL BE ERRECTED, MAINTAINED AND REMOVED PER THE DEVELOPMENT CRITERIA BY THE CONTRACTOR.

14. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. FROM LOSS, DAMAGE, FIRE, THEFT, ETC.

15. ALL AREAS OF EXISTING LANDSCAPING DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION.

16. VERIFY LOCATIONS OF EXISTING UTILITY SERVICE CONNECTIONS SERVING THE PROJECT BEFORE STARTING CONSTRUCTION AND PROVIDE ADDITIONAL UTILITY SERVICE AS REQUIRED TO MEET THE SCOPE AND INTENT OF THE WORK. LOCATIONS OF EXISTING UTILITIES NOTED ARE APPROXIMATE, AND MAY BE BASED ON UN-VERIFIED INFORMATION. PROVIDE ALL CONNECTIONS REQUIRED AT UTILITY CONNECTION POINTS AT NO ADDITIONAL COST TO THE OWNER, ANY AND ALL LOSSES OF BUSINESS TO THE LANDLORD, DEVELOPER OR OTHER PARTY RESULTING FROM DAMAGE CAUSED BY CONTRACTOR OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED/REPLACED IMMEDIATELY AT THE SOLE EXPENSE OF THE CONTRACTOR.

17. CONTRACTOR SHALL VERIFY AND PROVIDE ALL UTILITY CONNECTIONS (PLUMBING, ELECTRICAL, GAS, ETC. IN THE FORM OF SUPPLY AND DRAINPIPS, CONDUIT AND PULLING WIRES, ETC.) RELATED TO EQUIPMENT AND APPLIANCES.

18. CONTRACTOR SHALL COORDINATE THE DELIVERY AND STORAGE OF EQUIPMENT WITH EQUIPMENT SUPPLIER AND TAKE MEASURES TO ENSURE THE PROTECTION OF EQUIPMENT FROM DAMAGE DURING THE CONSTRUCTION PHASE PRIOR TO AND AFTER EQUIPMENT INSTALLATION. CONTRACTOR SHALL REVIEW THE DIMENSIONS OF ALL EQUIPMENT IN THE PROJECT REGARDLESS OF THE SOURCE, COORDINATE ACCESS TO THE SPACE, VERIFY THAT EQUIPMENT HAS APPROPRIATE CLEARANCES DURING INSTALLATION INCLUDING MAINTENANCE CLEARANCES, AND VERIFY THOSE WHICH INVOLVE CONFLICTING UTILITIES.

19. NEW WORK AT EXISTING CONDITIONS SHALL ALIGN WITH AND MATCH EXISTING WORK EXCEPT WHERE OTHERWISE DIMENSIONED OR DETAILLED.

20. CONTRACTOR SHALL NEVER SCALE DRAWINGS. LOCATIONS FOR ALL PARTITIONS, WALLS, CEILINGS, ETC. WILL BE DETERMINED BY DIMENSIONS ON THE DRAWINGS. ANY AREA OF THE PLANS MISSING REQUIRED DIMENSIONS MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.

21. WHERE A CONDITION IS NOTED "TYPICAL" (TYP) IT IS UNDERSTOOD THAT ALL SIMILAR CONDITIONS BE CONSTRUCTED OF THE SAME MATERIAL AND/OR DIMENSIONS. PARTS OF DETAILS THAT MAY BE CONSIDERED TYPICAL CONSTRUCTION ARE NOT REPEATED.

22. NOT ALL MATERIALS ARE NOTED OR KEED THROUGHOUT THE DRAWINGS. PLEASE CONTACT ARCHITECT FOR ANY MATERIALS NOT NOTED.

23. CONTRACTOR SHALL PROVIDE DRAFT/FIRE STOPS, AS RECD BY GOVERNING CODES AND JURISDICTIONS. NEW AND EXISTING PENETRATIONS IN FIRE-RATED PARTITIONS OR DRAFT STOPS SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY.

24. PROVIDE FIRE EXTINGUISHERS PER APPLICABLE CODES. VERIFY FINAL LOCATION WITH AHJ.

25. CONTRACTOR SHALL COORDINATE ALL WORK THAT AFFECTS THE ROOF WITH THE LANDLORD AND, IF REQUIRED BY THE LANDLORD, HIRE THE SHELL ROOFING SUBCONTRACTOR TO PERFORM ALL WORK OF PENETRATING THE ROOF FOR ANY AND ALL ITEMS ADDED ON THE ROOF AND PATCHING/SEALING OF SUCH PENETRATIONS DURING AND AFTER EQUIPMENT INSTALLATION.

26. ALL JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED IN ACCORDANCE WITH THE BUILDING CODE AND ENERGY CODE.

27. ALL CONSTRUCTION WORK MUST BE OF GOOD QUALITY - FREE FROM DEFECTS AND IN ACCORDANCE WITH REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS - OR THE WORK MAY BE CONSIDERED DEFECTIVE - AND SUBJECT TO CORRECTION OR REPLACEMENT BY THE CONTRACTOR.

28. FINISH ALL NEW EXPOSED SURFACES OF MATERIALS (UNLESS PRE-FINISHED) WITH PAINT OR OTHER FINISH COATING AS INDICATED, OR IF NOT INDICATED, PROVIDE A FINISH SIMILAR TO OTHER ADJACENT MATERIALS UNLESS OTHERWISE INDICATED. COMPLY WITH TYPICAL COMMERCIAL QUALITY INDUSTRY STANDARDS AND PROVIDE ALL APPLICABLE SURFACE PREPARATION OR TREATMENTS, SANDING, PRIMING, AND FINISHES IN STRICT-ACCORDANCE WITH FINISH MANUFACTURER'S RECOMMENDATIONS.

29. AT PROJECTIONS OF FINISHED SURFACES, INCLUDING PILASTERS OR THICKENED WALLS, RETURN ALL EXPOSED SURFACE FINISHES BACK TO THE PRIMARY SURFACE EVEN IF NOT SPECIFICALLY NOTED.

30. PERFORM CUTTING AND PATCHING TO ACCOMMODATE CONSTRUCTION WORK AND TO ACHIEVE THE INTENT OF THE CONSTRUCTION DOCUMENTS. CUT & PATCH PARTITIONS FOR INSTALLATION OF PLUMBING OR ELECTRICAL SERVICES AND FOR INSTALLATION OF WALL BLOCKING, IF NECESSARY. PROVIDE ESCUTCHEONS, GROMMETS AND SIMILAR SURFACE CLOSURE OR FINISHED TRIMS AT EXPOSED PENETRATIONS OF FINISHED SURFACES.

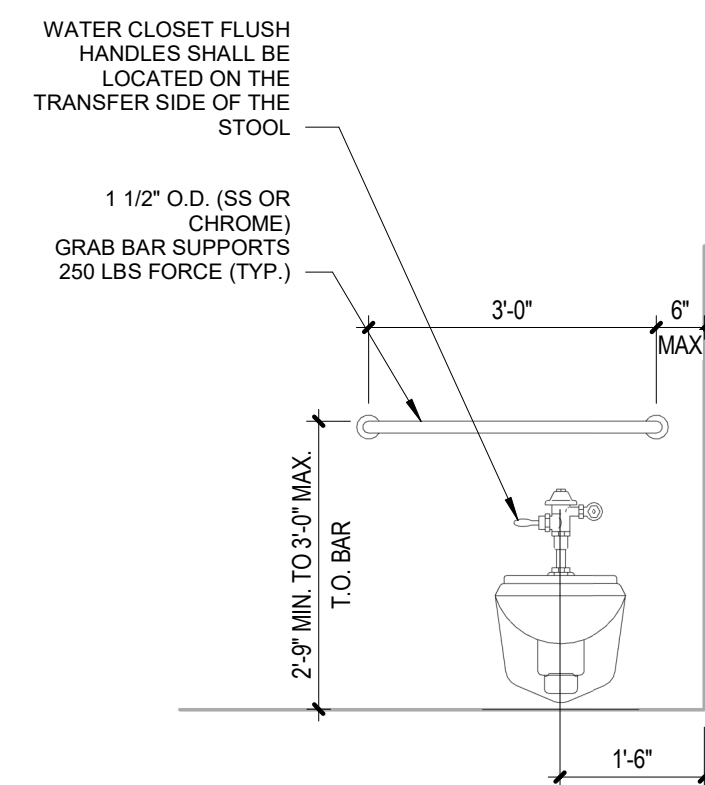
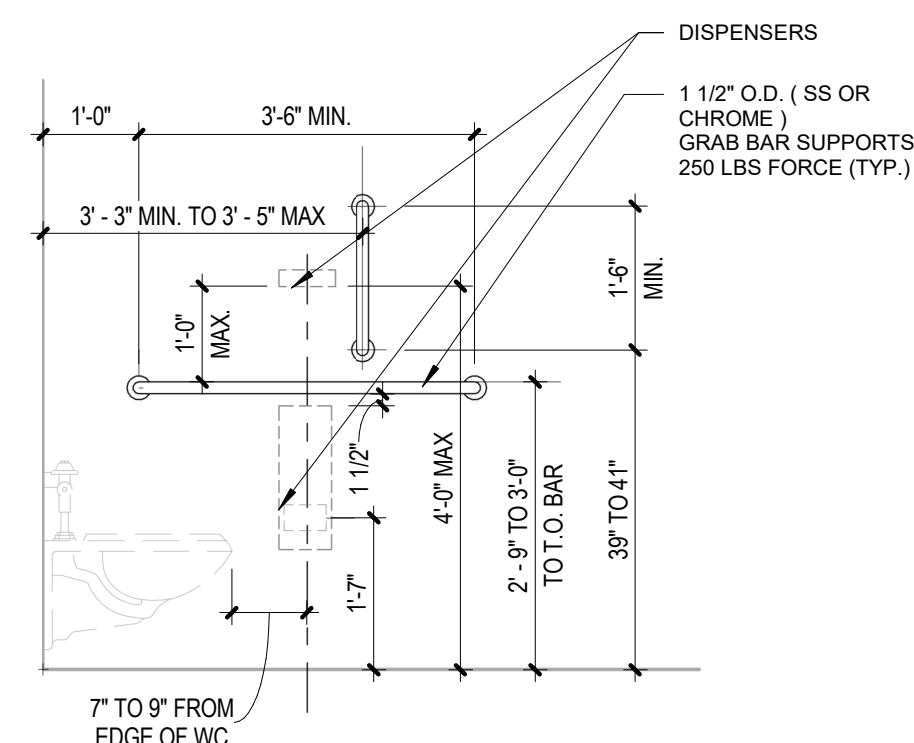
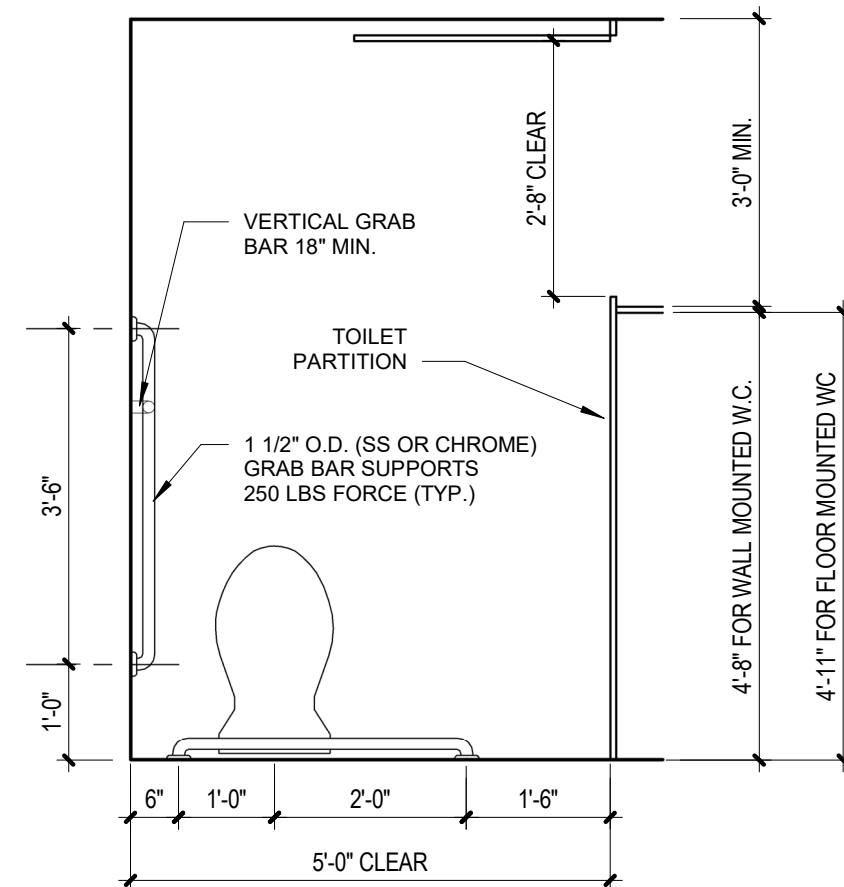
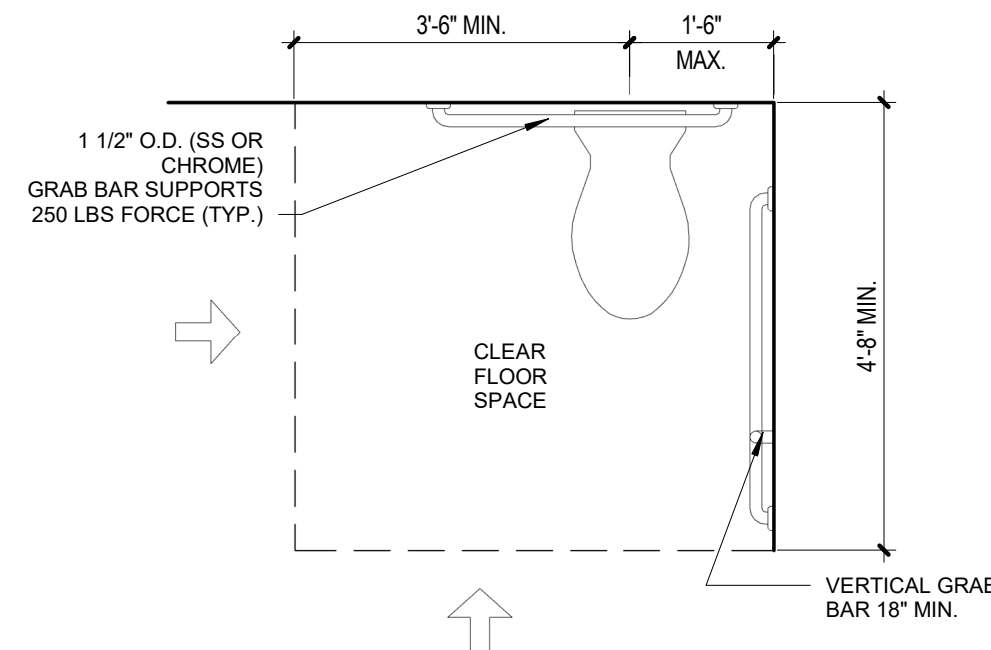
31. CONTRACTOR SHALL KEEP ALL AREAS CLEAN OF CONSTRUCTION DEBRIS. DISPOSE OF CONSTRUCTION DEBRIS AT THE END OF EACH DAY AND LEAVE OCCUPIED SPACES CLEAN. CLEAN THE PROJECT SITE OF RUBBISH, LITTER AND OTHER FOREIGN SUBSTANCES. BROOM CLEAN PAVED AREAS AND REMOVE STAINS, SPILLS AND OTHER FOREIGN DEPOSITS. RAKE GROUNDS THAT ARE NEITHER PAVED NOR PLANTED, TO A SMOOTH EVEN-TEXTURED SURFACE.

32. EASE EXPOSED EDGES OF METAL WORK TO A RADIUS OF APPROX. 1/4" UNLESS OTHERWISE SHOWN. WELD ALL CORNERS AND SEAMS CONTINUOUSLY, COPING CONNECTIONS TYPICALLY. GRIND EXPOSED WELDS SMOOTH AND FLUSH TO MATCH AND BLEND WITH ADJOINING SURFACES.

33. FORM EXPOSED CONNECTIONS WITH HARLINE JOINTS. FLUSH AND SMOOTH, USING CONCEALED FASTENERS WHEREVER POSSIBLE AND WHEN NECESSARY USE PHILLIPS FLAT-HEADED (COUNTERSUNK) SCREWS OR BOLTS.

34. PROVIDE PRESERVATIVE-TREATED WOOD AT ROOFS OR WHEN WOOD IS IN DIRECT CONTACT WITH CONCRETE OR MASONRY.

35. PROVIDE FIRE-RETARDANT TREATED PLYWOOD BACKING AT ALL ELECTRICAL, PHONE AND SECURITY SYSTEM PANELS.



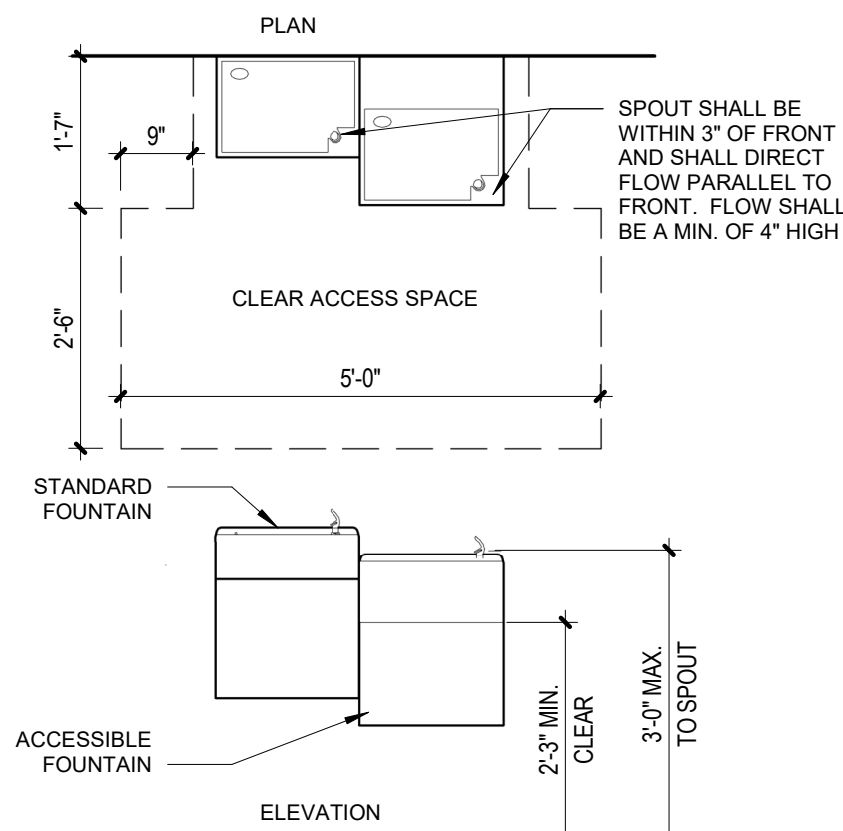
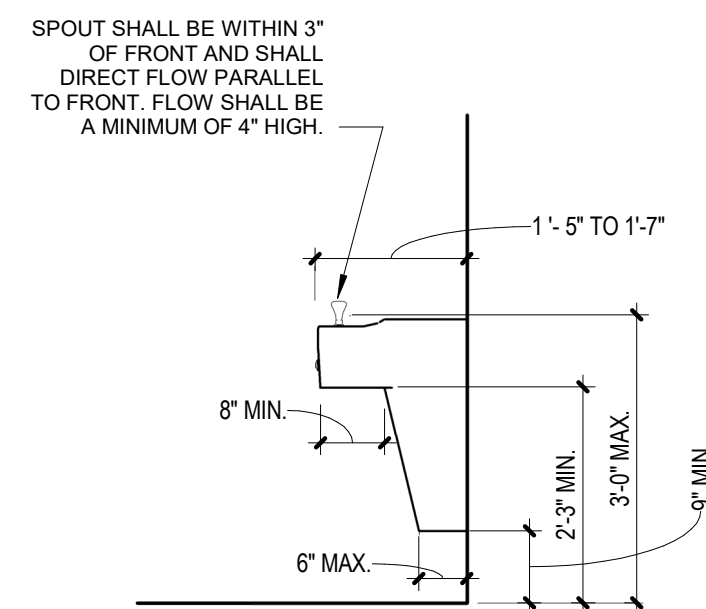
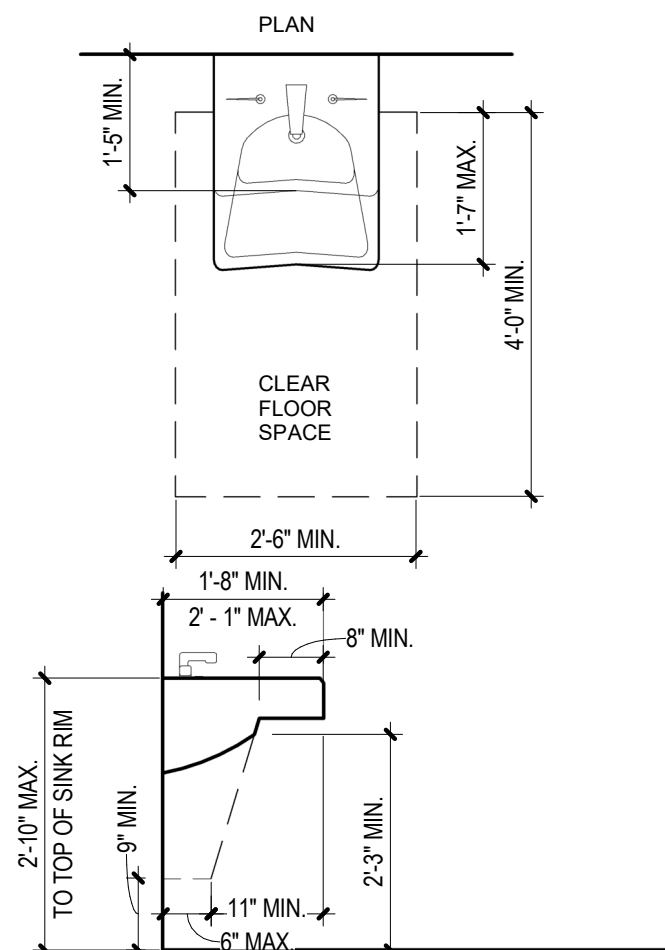
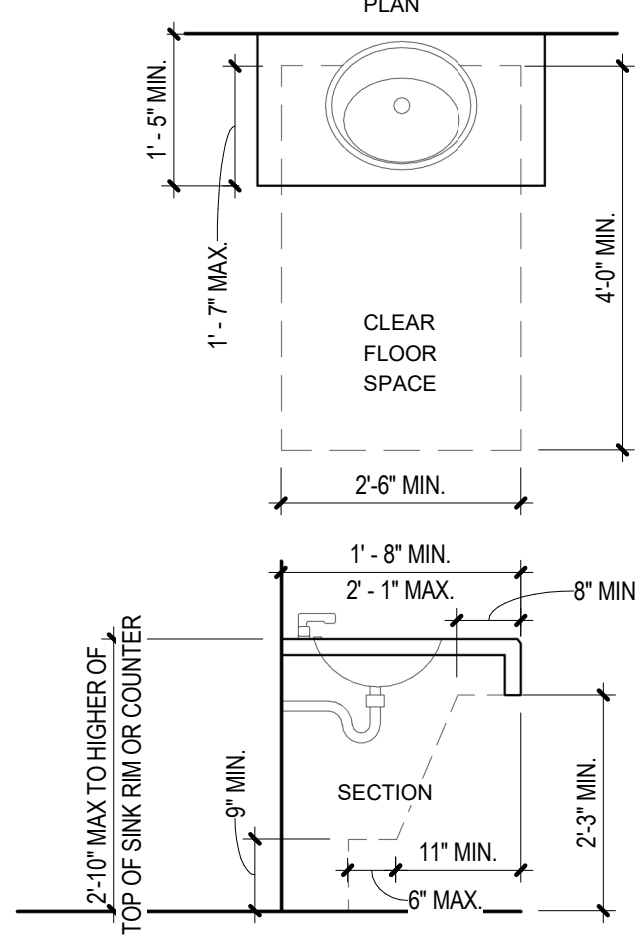
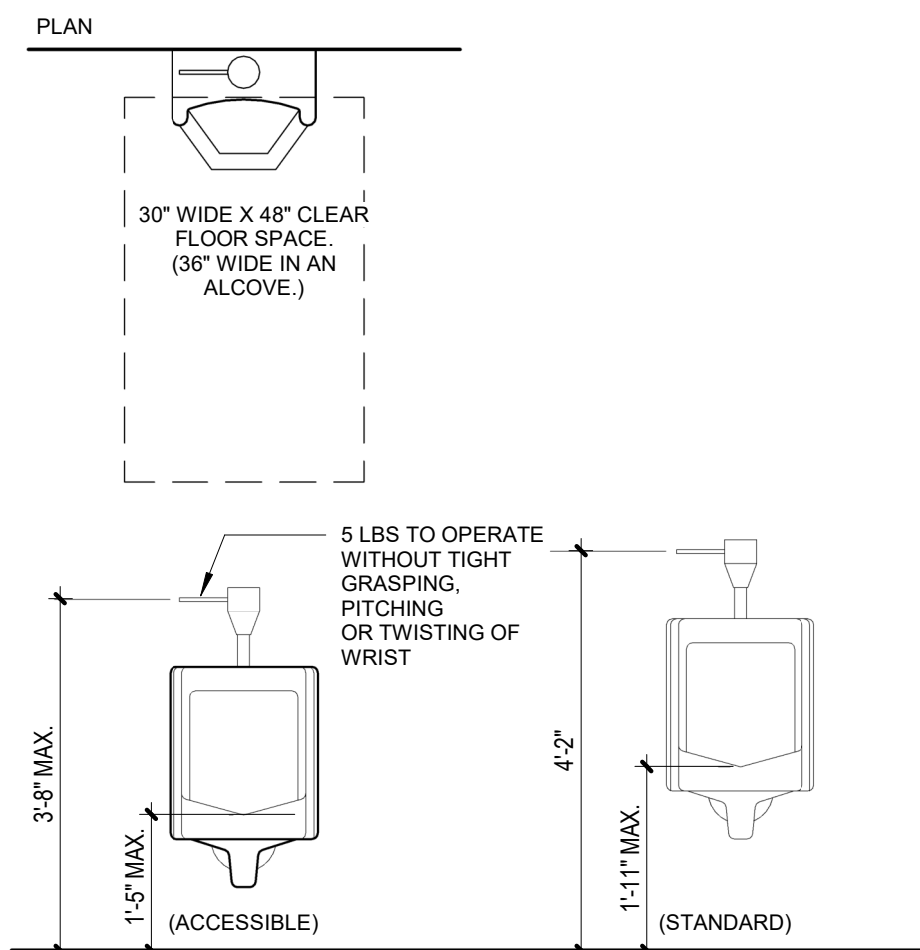
SHOWER CLEARANCES <small>1/2" = 1'-0"</small>	16
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ACCESSIBLE CLEAR FLOOR SPACE 1/2" = 1'-0"	15
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ACCESSIBLE TOILET STALL 1/2" = 1'-0"	14
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ELEVATION- WC SIDE 1/2" = 1'-0"	13
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ELEVATION- WC 1/2" = 1'-0"	12
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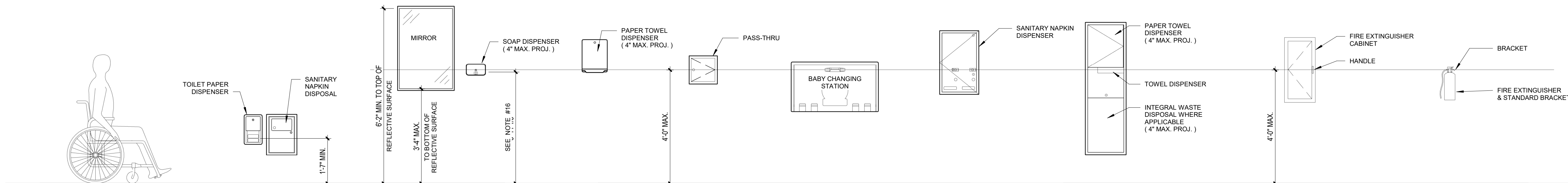
URINAL PLAN/ELEVATIONS 1/2" = 1'-0"	11
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SINK IN COUNTER CLEARANCES $1\frac{1}{2}'' = 1'-0''$ 10

WALL HUNG SINK CLEARANCES

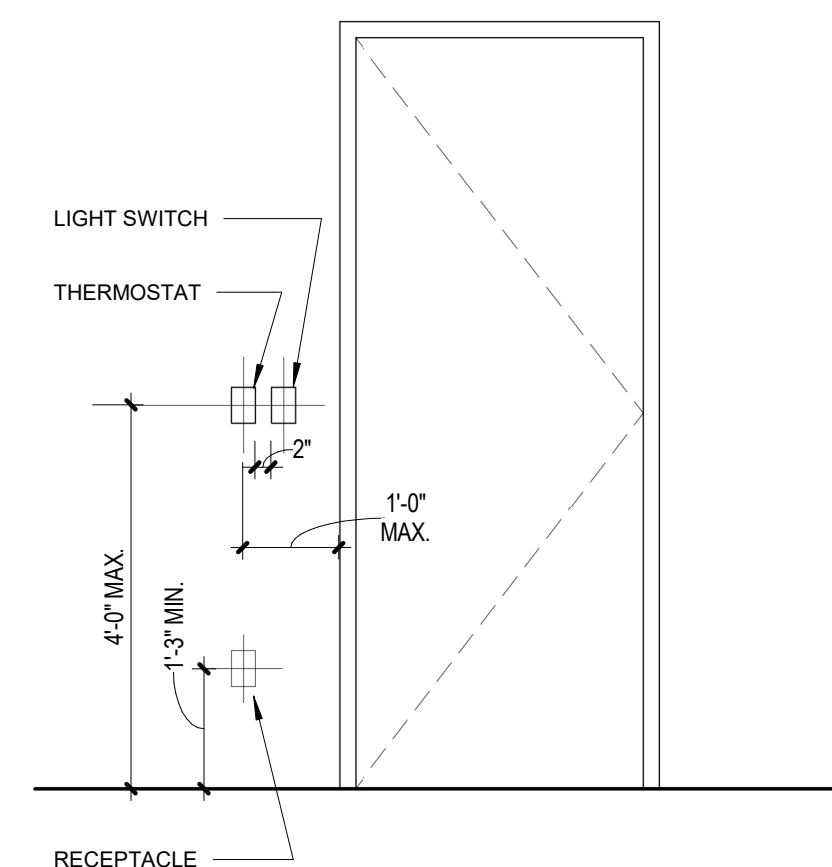
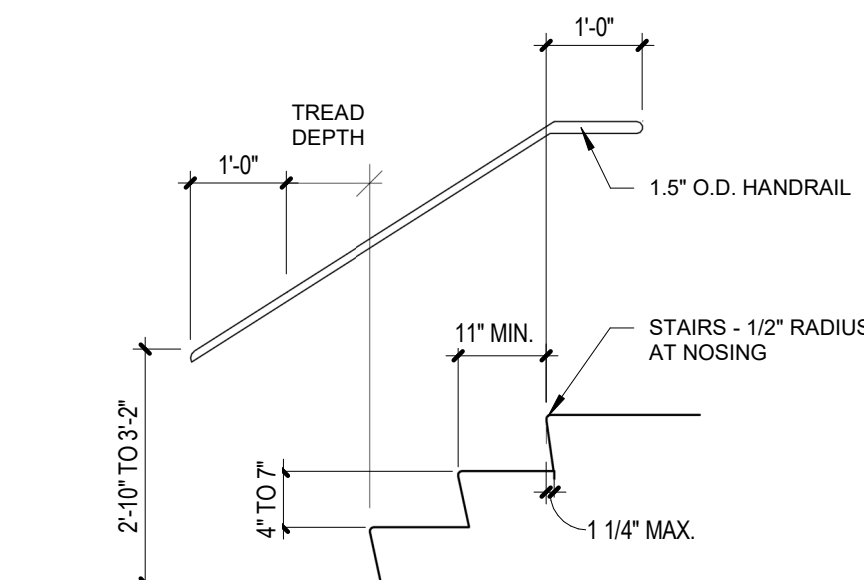
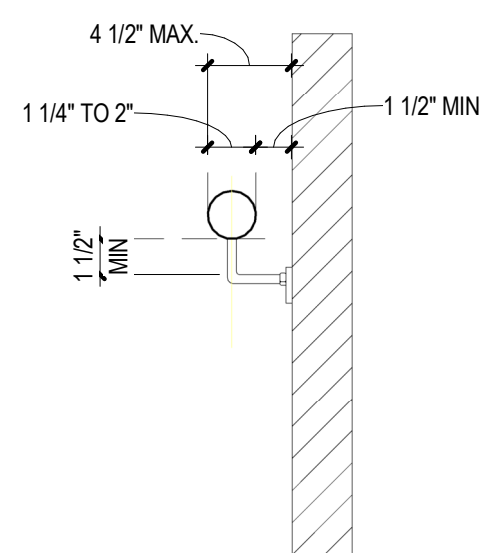
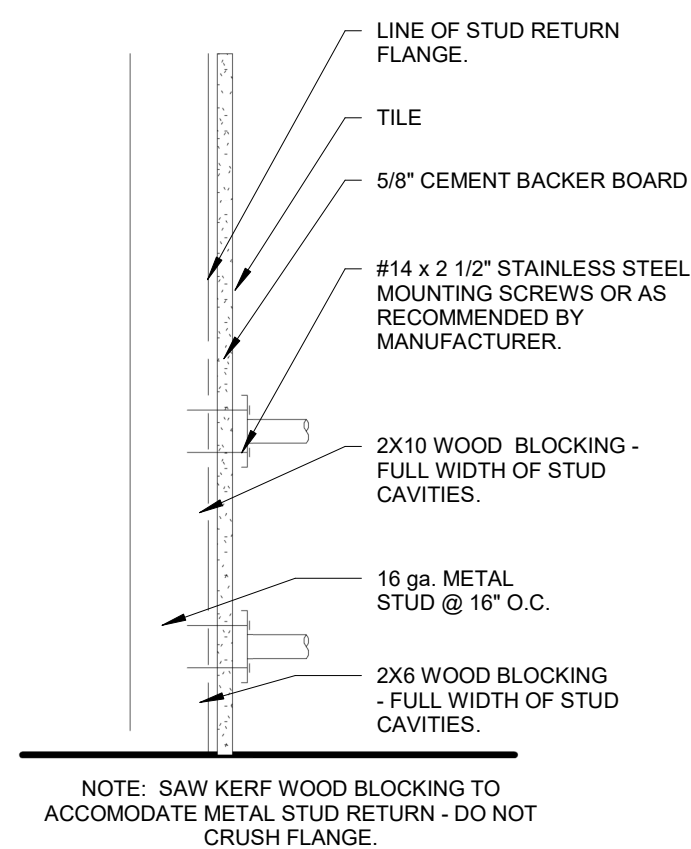
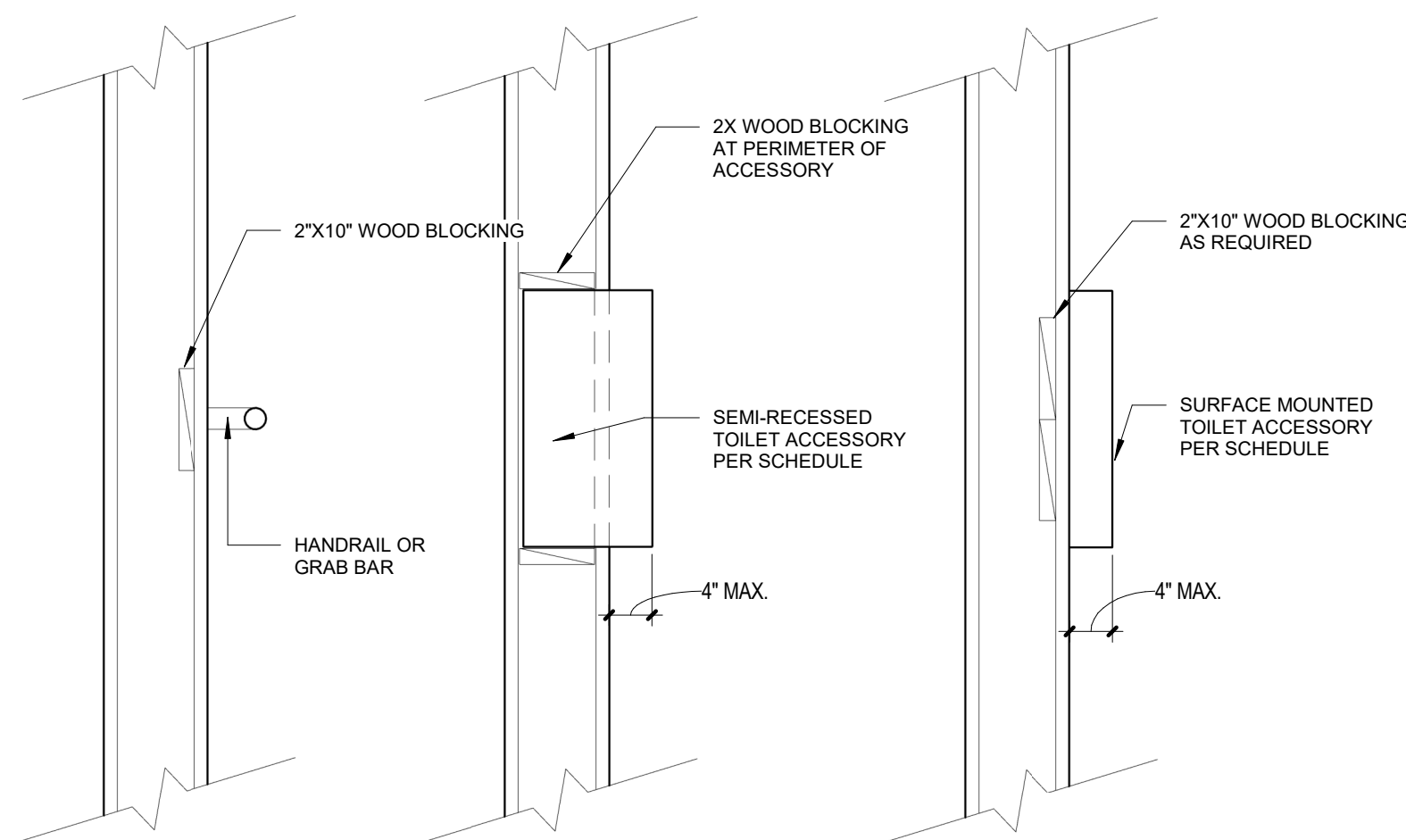
E.W.C. - SECTION
1/2" = 1'-0"

E.W.C. - PLAN/ELEVATION
1/2" = 1'-0"



**RE: ACCESSIBILITY GUIDELINE NOTES, G001

TOILET/LIFE SAFETY ACCESSORIES	6
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TYPICAL BLOCKING DETAILS

SHOWER BLOCKING 1 1/2" = 1'-0"	4
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HANDRAIL CLEARANCES

HANDRAIL @ STAIRS 1/2" = 1'-0"	2
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SWITCH @ DOOR	1
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INTERIOR RENOVATION

BLUE SKY FERTILITY
451 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081

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PERMIT SET

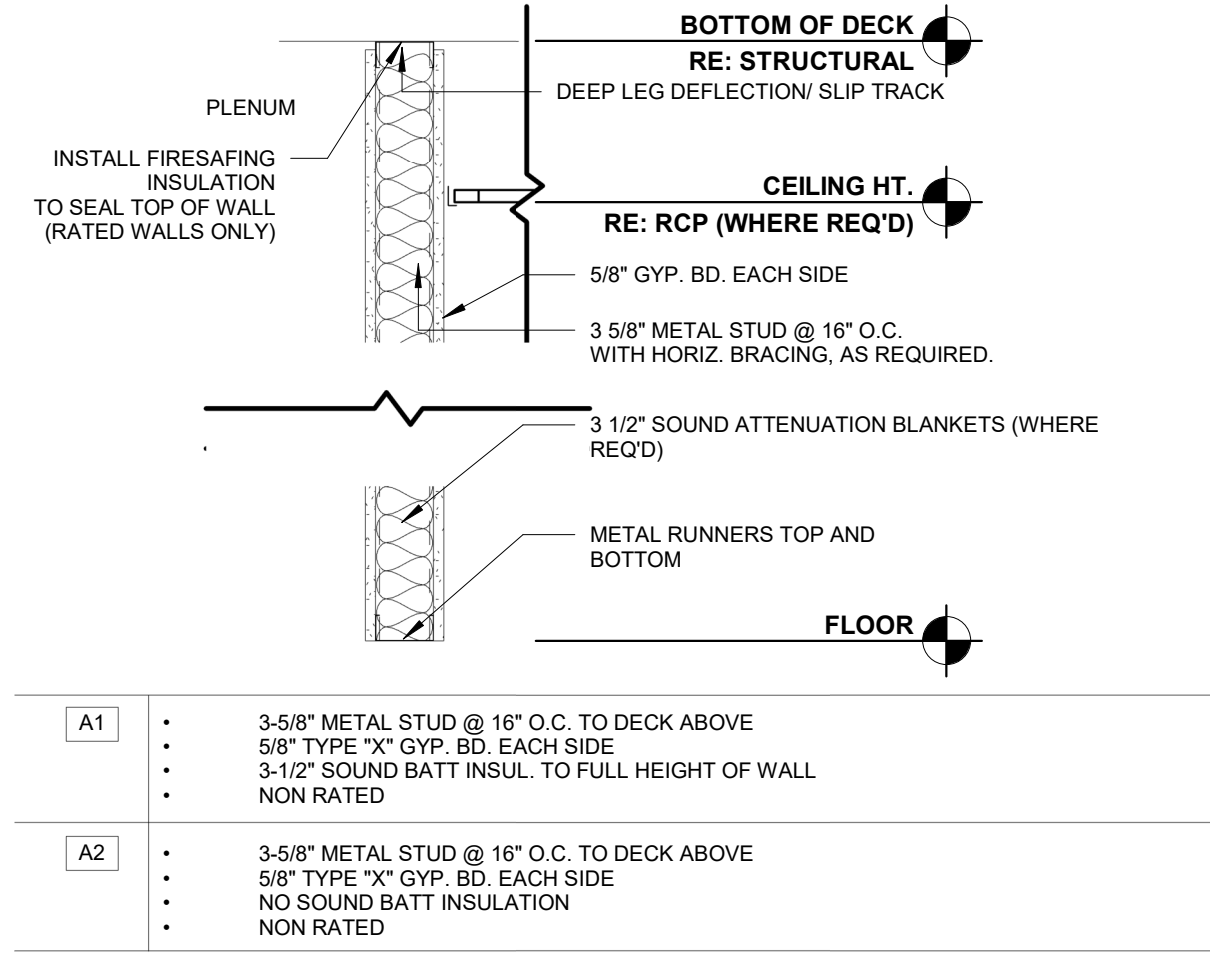
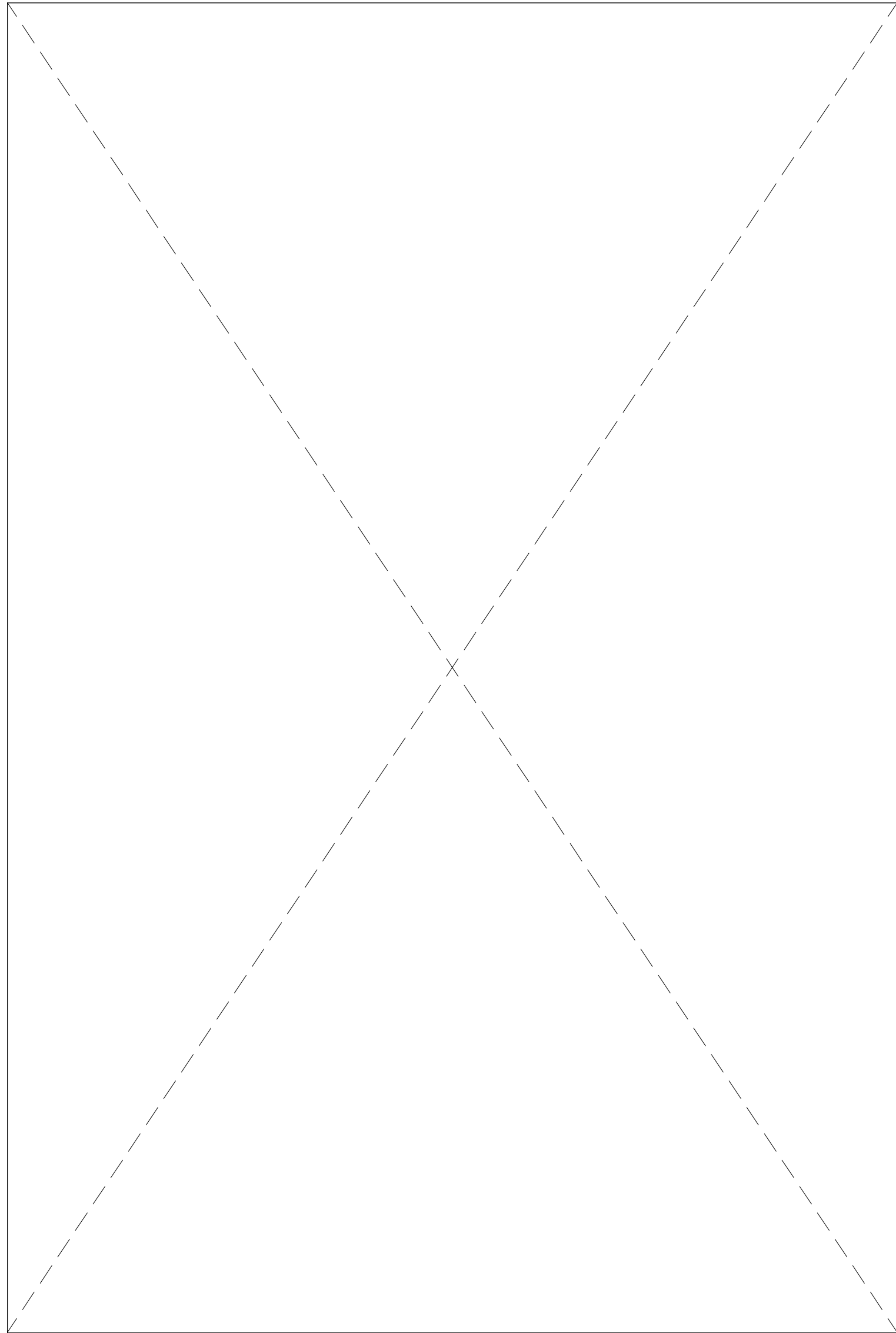
PROJ. NO.	2146
DRAWING	

SCALE:
As indicated

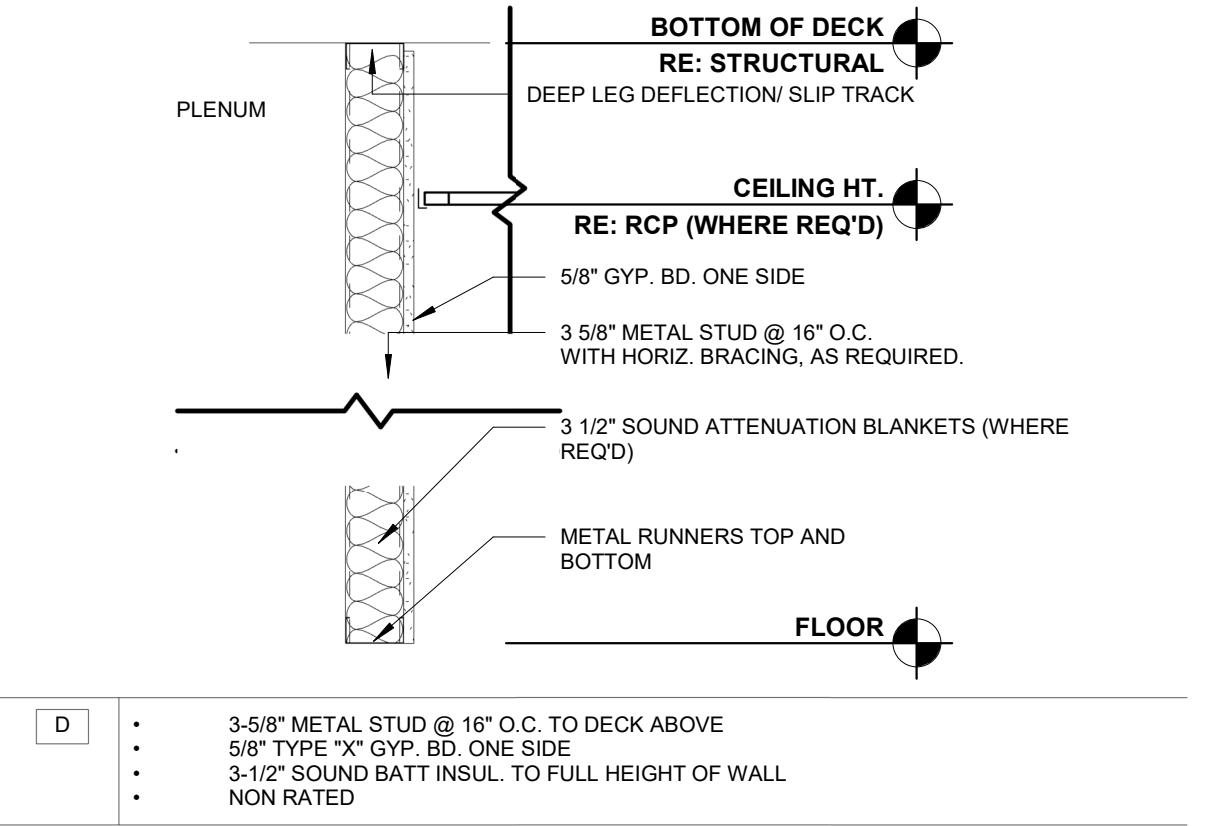
ACCESSIBILITY GUIDELINES

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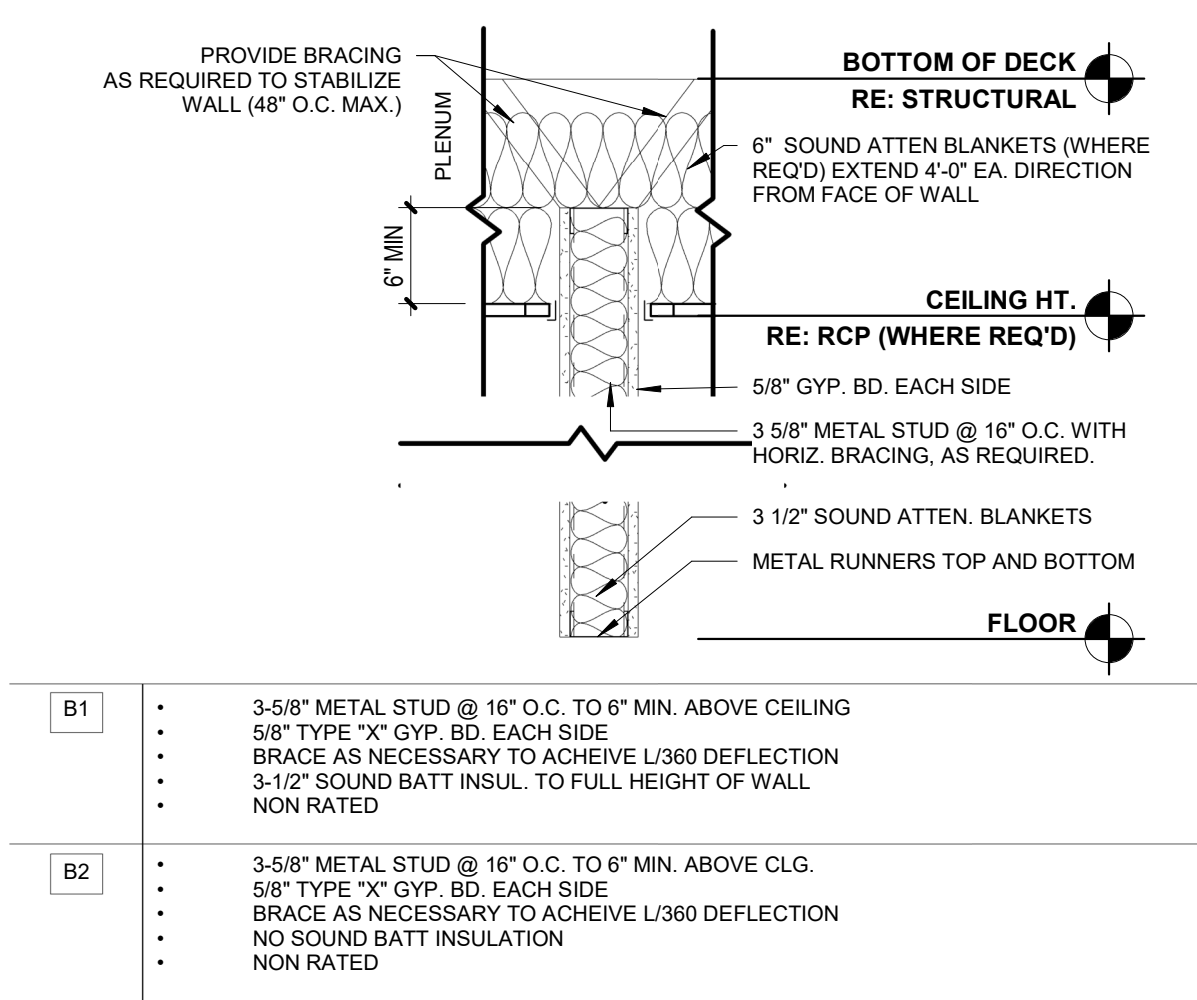
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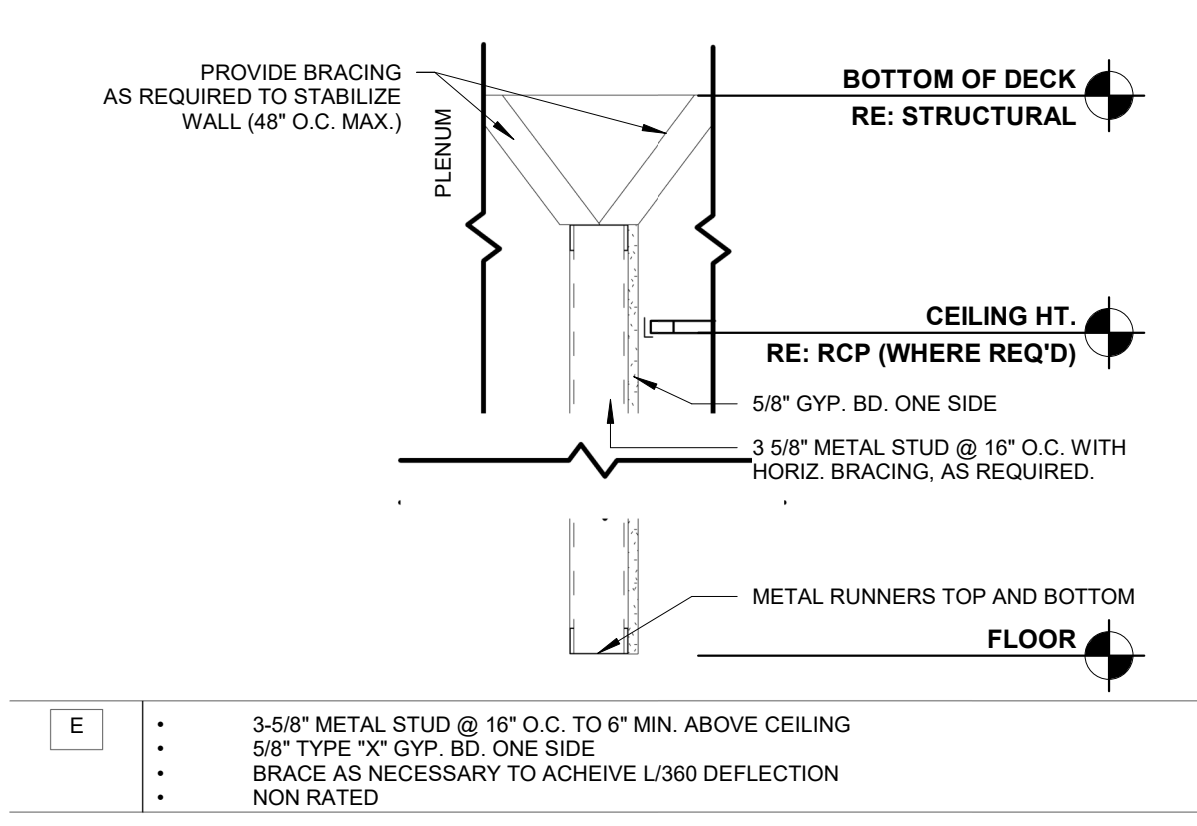
WALL TYPE A



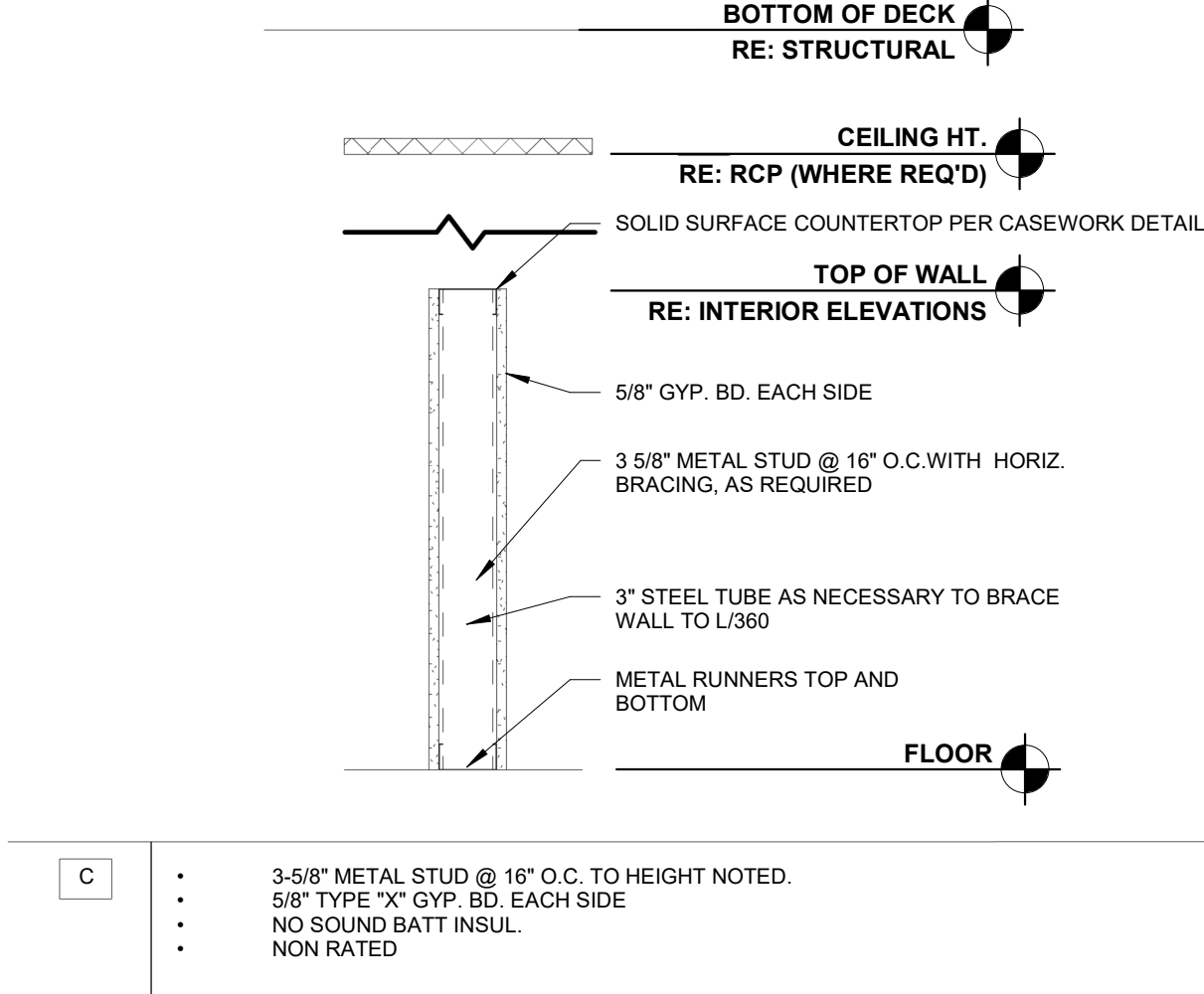
WALL TYPE D



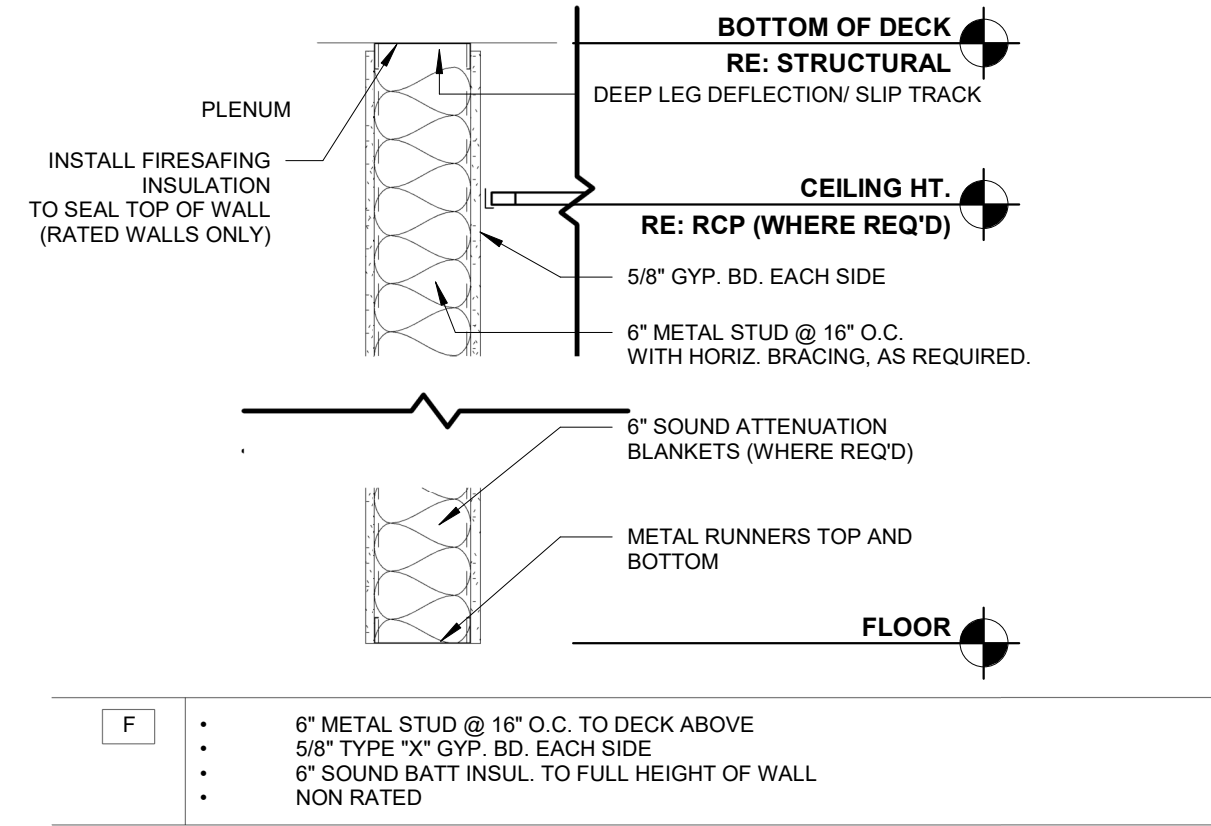
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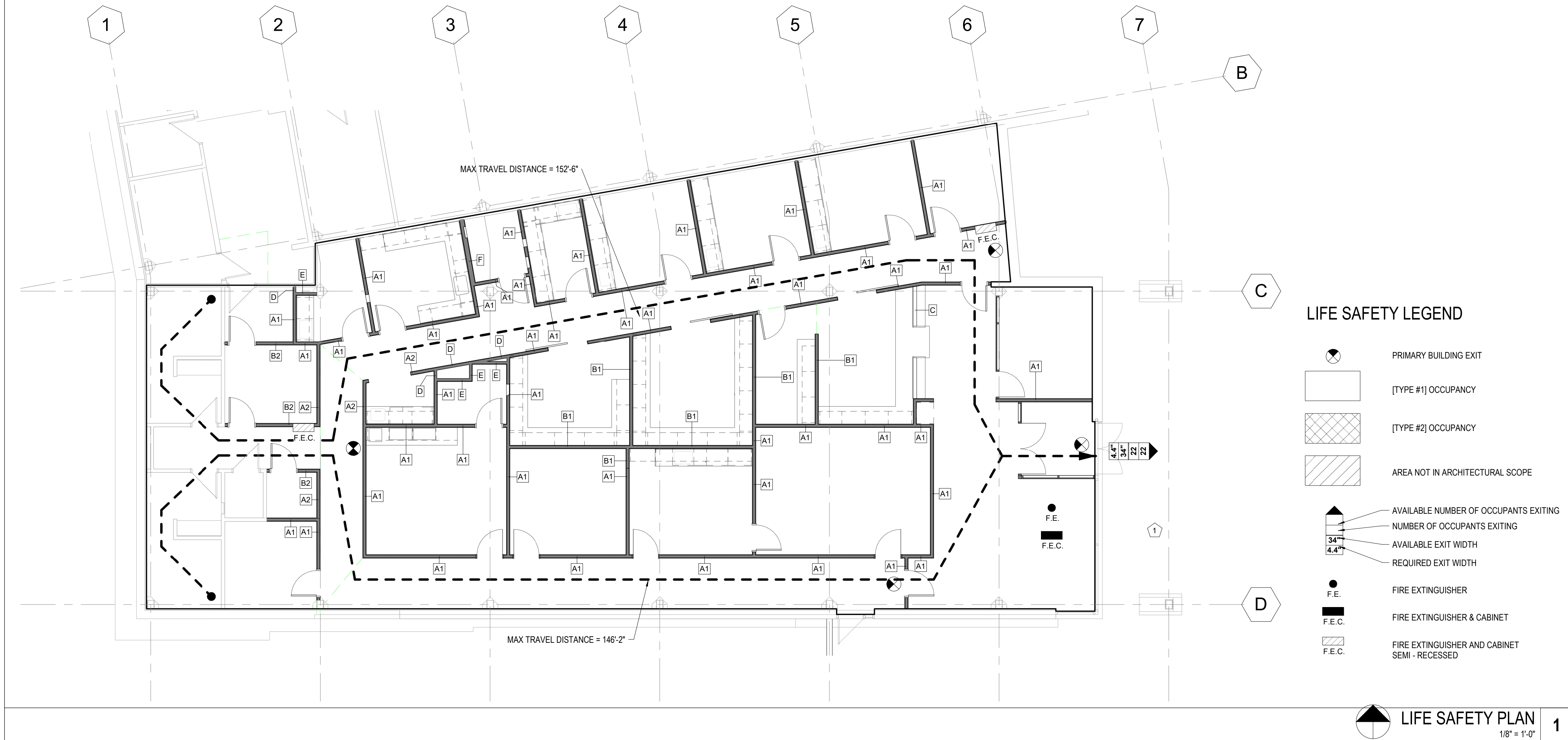
WALL TYPE E



WALL TYPE C



WALL TYPE F



PROJECT OVERVIEW

SCOPE OF WORK: THE RENOVATION OF AN EXISTING TENANT SPACE

JURISDICTION: CITY OF LEE'S SUMMIT, MO

APPLICABLE BUILDING CODES:

All Applicable Codes: All Work Under This Contract Shall Comply With The Provisions Of The Specifications And Drawings, and Shall Satisfy All Applicable Codes, Ordinances And Regulations Of All Governing Bodies Involved. All Permits and Licenses Necessary For The Proper Executions Of The Work Shall Be Secured And Paid For By The Contractor Involved.
Applicable Codes Include But Are Not Limited To The Following:

Applicable Building Code:	2018 International Existing Building Code
Applicable Building Code:	2018 International Building Code
Applicable Plumbing Code:	2018 International Plumbing Code
Applicable Mechanical Code:	2018 International Mechanical Code
Applicable Electrical Code:	2017 National Electrical Code
Applicable Gas Code:	2018 International Fuel Gas Code
Applicable Energy Code:	2018 International Energy Conservation Code
Accessible Code:	ICC/ANSI A117.1 Providing Accessibility and Usability for Physically Handicapped People, 2009 Edition

[Note: Project Owner and Design Professional are responsible for compliance to the federal Americans with Disabilities Act (ADA)]

BUILDING DETAILS:

ZONING:	CP-2
USE AND OCCUPANCY CLASSIFICATION:	B (BUSINESS) PER 2018 IBC, SECTION 304
EXISTING CONSTRUCTION TYPE:	VB (ASSUMED)
EXISTING BUILDING:	1 STORY, OVERALL APPROX. 10,029 SF
AREA OF WORK:	1 STORY, OVERALL APPROX. 5,220 SF
AUTOMATIC SPRINKLERS:	YES
ALARM SYSTEM:	YES

OCCUPANCY CALCS:	BUSINESS*	3042 SF / 150 GROSS =	21 OCC
	STORAGE/MECH-	231 SF / 300 GROSS =	1 OCC
	NON-OCCUPIED-	1947 SF / 0 =	0 OCC
	TOTAL -	5220 SF	22 OCC

* WAITING-100 INCLUDED AS ACCESSORY TO BUSINESS PER IBC2018 303.1.2

EGRESS NOTES:

EXITS REQUIRED: 22 OCC < 50 OCC = 1 EXIT REQUIRED
EXITS PROVIDED: 1 (EXISTING)
MINIMUM EGRESS WIDTH REQUIRED: 22 OCC X 0.2' = 4.4'
MINIMUM EGRESS WIDTH PROVIDED: 34" MINIMUM
MAXIMUM EXIT TRAVEL DISTANCE: IBC 2018, TABLE 1017.2: BUSINESS OCCUPANCY = 300'-0" WITH SPRINKLER SYSTEM

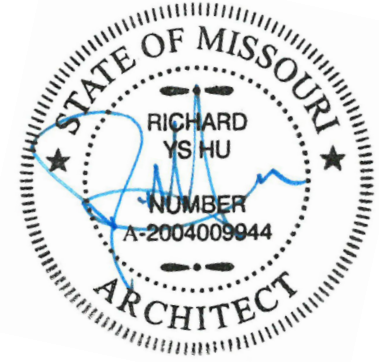
PLUMBING REQUIREMENTS (IBC TABLE 2902.1):

TOILETS REQUIRED: 1 PER 25 FOR 1ST 50 OCC, 1 PER 50 EXCEEDING 50 = 1 REQUIRED, 4 PROVIDED (3 ADA) + 1 URINAL.

LAVATORIES REQUIRED: 1 PER 40 FOR 1ST 80 OCC, 1 PER 80 EXCEEDING 80 = 1 REQUIRED, 6 PROVIDED (3 ADA)

DRINKING FOUNTAINS: 1 REQUIRED, 1 PROVIDED.

SERVICE SINKS : 1 REQUIRED, 1 EXISTING PROVIDED



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INTERIOR RENOVATION

BLUE SKY FERTILITY
451 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081

REVISIONS

REV. #	DATE	DESCRIPTION

PERMIT SET

PROJ. NO.

2146

DRAWING TITLE

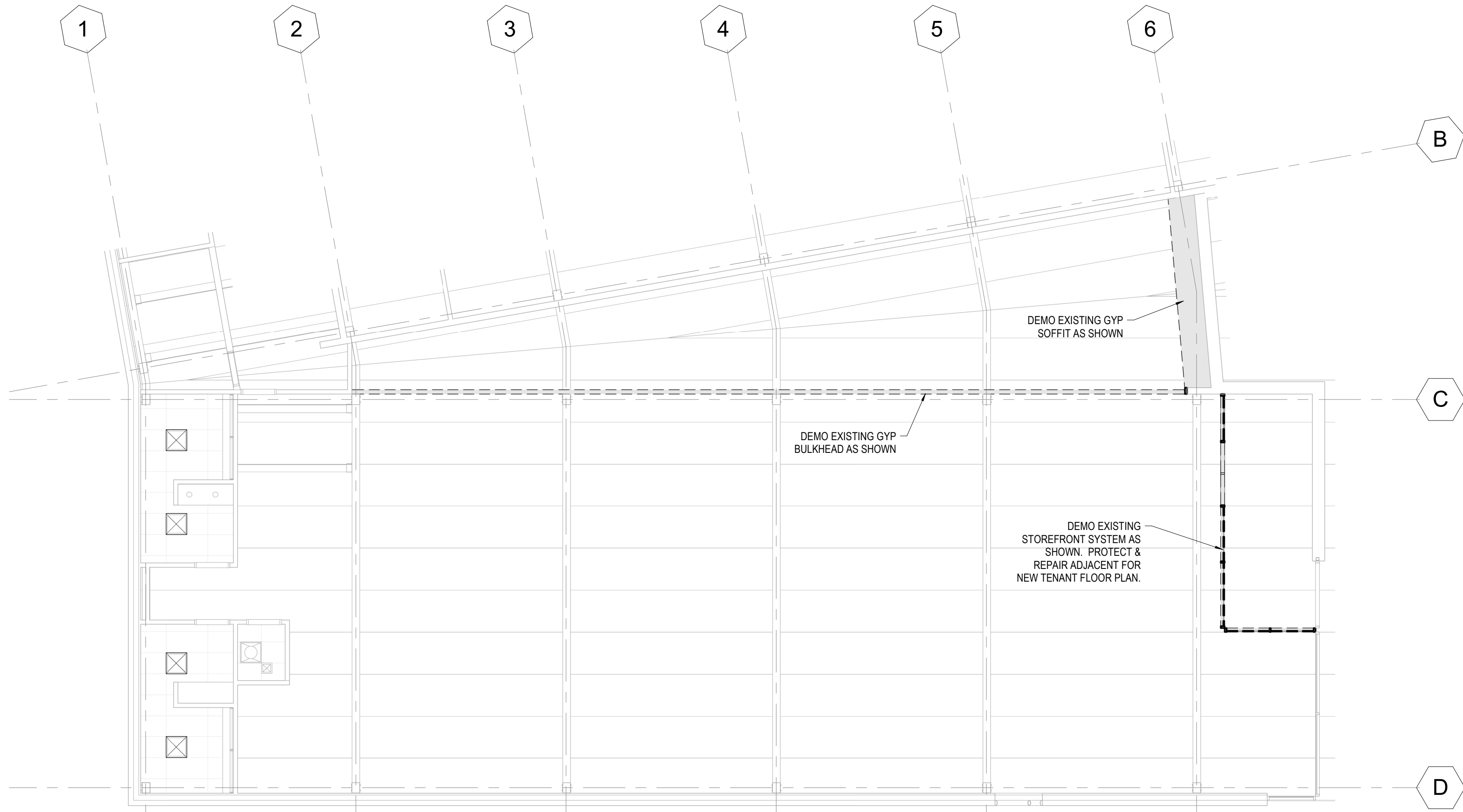
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As indicated

LIFE SAFETY PLANS & WALL TYPES

DRAWING NUMBER

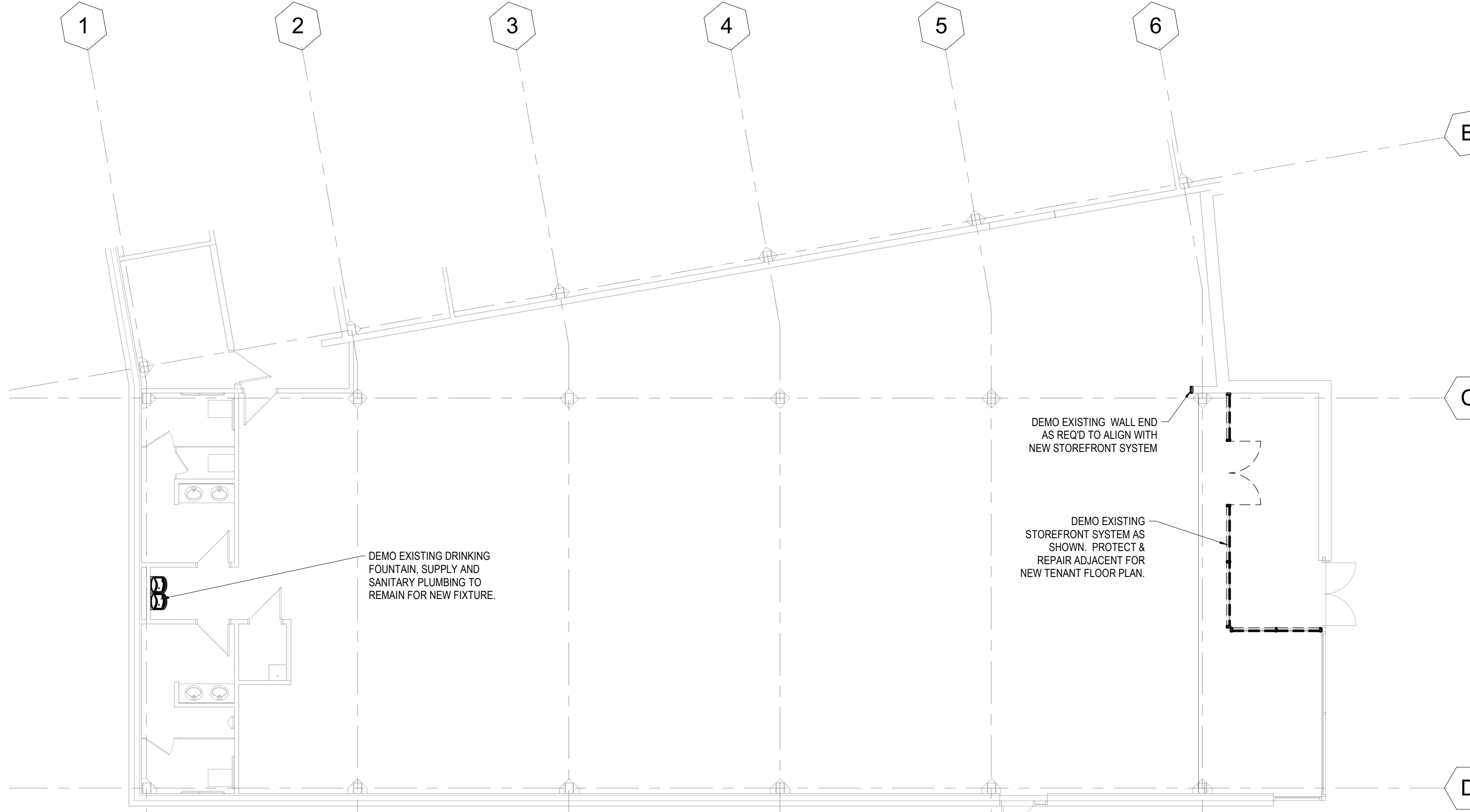
G101



DEMO REFLECTED CEILING PLAN

1/8" = 1'-0"

2



DEMOLITION PLAN

1/8" = 1'-0"

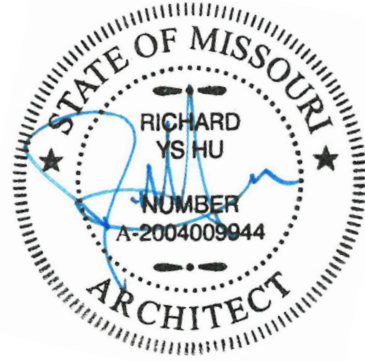
1

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	KEYNOTE, RE: DEMO KEYNOTE LEGEND

DEMOLITION PLAN LEGEND

- COORDINATE W/ OWNER REGARDING SALVAGED EQUIPMENT & MATERIALS. RE SALVAGE NOTES ON DRAWINGS.
- EXISTING CONDITIONS SHOWN ON DWGS ARE FOR INFORMATIONAL PURPOSES ONLY AND DO NOT SHOW ALL CONDITIONS THAT MAY AFFECT THE WORK OF THIS CONTRACT. FIELD VERIFY ALL EXISTING CONDITIONS.
- REMOVE EXISTING (EXIST) CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS AND TO THE EXTENT REQUIRED TO FACILITATE NEW CONSTRUCTION. PROTECT ALL OTHER EXISTING CONSTRUCTION FROM DAMAGE THROUGHOUT CONSTRUCTION.
- SHOULD ANY DAMAGE OCCUR TO ANY EXIST CONSTRUCTION TO REMAIN ON SITE, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO THE SATISFACTION OF THE OWNER. THE CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFETY OF THE EXISTING STRUCTURE AND ARCHITECTURAL ELEMENTS DURING THE ENTIRE DEMO AND SHALL TAKE ADEQUATE PRECAUTIONS TO PREVENT DAMAGE TO ANY PART OF THE REMAINING STRUCTURE OR ANY COMPONENTS THAT ARE TO BE SALVAGED FOR LATER REUSE. ANY DAMAGE, IF INCURRED, SHALL BE RECTIFIED TO THE SATISFACTION OF THE OWNER AT NO EXTRA COST TO THE OWNER.
- PROTECT ALL EXISTING CONSTRUCTION NOTED TO REMAIN FROM DAMAGE AND SOILING DURING DEMO. REMOVE DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREETS, WALKS, OTHER ADJACENT FACILITIES AND AREAS TO REMAIN AS-IS AND/OR IN USE OR OCCUPIED BY THE OWNER.
- EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE SALVAGED OR OTHERWISE INDICATED TO REMAIN THE OWNER'S PROPERTY, DEMO MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE SITE.
- ALL DEMO MATERIALS SHALL BE DISPOSED OF PROMPTLY OFF SITE IN ACCORDANCE W/ ALL RELEVANT LAWS AND REGULATIONS. DO NOT ALLOW DEMO MATERIALS TO ACCUMULATE ON SITE. BURNING IS NOT ALLOWED.
- WHEN MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS CONFLICT W/ THE INTENDED FUNCTION OF DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY ARCHITECT IMMEDIATELY FOR RESOLUTION. THE CONTRACTOR SHALL PREPARE THE NECESSARY SKETCHES OF THE DISCREPANCIES AND SUBMIT TO THE ARCHITECT. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ARCH PRIOR TO PROCEEDING W/ THE DEMO TO THE AREA IN QUESTION.
- ALL WORK MUST BE COORDINATED W/ THE OWNER REGARDING THE SCHEDULE AND DISRUPTION OF BUSINESS HOURS.
- COORDINATE DEMO WORK W/ NEW CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES IN THE CONTRACT DOCUMENTS THAT IMPACT THE DESIGN INTENT.
- DO NOT INTERRUPT EXISTING UTILITIES EXCEPT WHEN AUTHORIZED IN WRITING BY THE OWNER. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXIST UTILITIES, AS ACCEPTABLE TO THE OWNER. PROVIDE 72 HOUR NOTIFICATION.
- WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMO. CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN AND PERMITTING OF ALL TEMPORARY UTILITY WORK.
- CONTACT ALL UTILITY COMPANIES INCLUDING THE FOLLOWING: ELECTRICAL, GAS, WATER, TELEPHONE, STORM SEWER AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES.
- UNLESS NOTED OTHERWISE, WALLS AND PARTITIONS INDICATED TO BE REMOVED ARE ASSUMED TO BE NON-STRUCTURAL. ALL NECESSARY SHORING, BRACING AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED AND ADJACENT STRUCTURE OR ELEMENT SHOWN TO REMAIN SHALL BE DESIGNED BY CONTRACTOR'S PROFESSIONAL ENGINEER LICENSED IN THE APPLICABLE JURISDICTION. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, SHEETING, BRACING AND/OR TEMPORARY SUPPORT WHEREVER REQUIRED TO THE EXISTING STRUCTURE DURING THE ENTIRE DEMO AND CONSTRUCTION PERIOD.
- WHERE FINISHES ARE SHOWN TO BE REMOVED FROM EXISTING CONSTRUCTION, REPAIR AND PATCH REMAINING SUBSTRATE AND PREPARE FOR NEW FINISH.
- ALL INFILL OR REPLACEMENT WORK SHALL MATCH EXISTING CONDITIONS IN MATERIALS, CONSTRUCTION AND FINISH, UNLESS SPECIFICALLY NOTED ELSEWHERE IN THE CONSTRUCTION DOCUMENTS. PROVIDE ALL CUTTING AND PATCHING OF EXISTING CONSTRUCTION TO ACCOMMODATE NEW CONSTRUCTION WORK.
- DO NOT REMOVE STRUCTURAL MEMBERS UNLESS NOTED OTHERWISE.
- REMOVE EXISTING PARTITIONS, CEILINGS, SOFFITS AND ASSOCIATED FRAMING AND BRACING BACK TO STRUCTURE WHERE THESE ITEMS OCCUR AT AREAS SHOWN TO BE DEMO.
- REMOVE ALL EXISTING FINISH MATERIALS BACK TO EXPOSED FRAMING OR STUDS, CONCRETE OR MASONRY WALLS OR STRUCTURAL ELEMENTS INDICATED TO REMAIN WHERE INDICATED.
- MAINTAIN EXISTING EXITS TO REMAIN, EXIT ACCESS AND PROVIDE APPROPRIATE FIRE PREVENTION PROCEDURES DURING CONSTRUCTION.
- PROVIDE TEMPORARY DUST PROOF ENCLOSURE BETWEEN THE CONSTRUCTION AREA AND EXISTING OCCUPIED SPACES.
- REQUIREMENTS FOR DEMO INCLUDE ALL ITEMS NECESSARY TO MAINTAIN STABILITY OF THE FACILITY AND ITS COMPONENTS FROM THE TIME DEMO AND CONSTRUCTION BEGINS TO THE TIME OF COMPLETION OF RENOVATION CONSTRUCTION.
- ALL INFORMATION RELATING TO THE EXISTING STRUCTURE SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL PERFORM A COMPLETE SURVEY OF ALL THE NECESSARY ITEMS REQUIRED TO PERFORM THE WORK PROPERLY, SUCH AS LOCATIONS OF EXISTING COLUMNS, ETC.
- EXACT EXTENT OF DEMO TO BE DONE SHALL BE FIELD VERIFIED AT THE SITE. DETERMINE THE NATURE AND EXTENT OF DEMO THAT WILL BE NECESSARY BY COMPARING THE DRAWINGS W/ THE EXISTING CONDITIONS.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE MEANS AND METHODS OF DEMO AND THE SAFETY AND INTEGRITY OF THE EXISTING STRUCTURE.
- MATERIALS AND EQUIPMENT SHALL BE STORED AND TRANSPORTED IN A MANNER COMPATIBLE W/ THE ALLOWABLE FLR DESIGN LIVE LOAD.
- DO NOT DETAIL, ORDER OR FABRICATE ANY MATERIAL W/O COORDINATING THE SAME WITH ACTUAL FIELD CONDITIONS. THE CONTRACTOR ALONE IS RESPONSIBLE FOR THE PROPER FITTING AND CONSTRUCTION OF THE NEW CONSTRUCTION TO THE EXISTING CONSTRUCTION.
- ALL EXISTING PIPES, DUCTS AND UTILITIES SHALL BE TEMPORARILY SUPPORTED, PROTECTED AND REPLACED, AS REQUIRED, IN THE AREAS WHERE EXISTING STRUCTURE IS TO BE REMOVED.
- ALL SPECIAL INSPECTIONS SHALL BE BY AN INDEPENDENT TESTING AGENCY HIRED BY THE OWNER.
- NO PORTIONS OF THE STRUCTURE SHALL BE PERMITTED TO FALL NOR SHALL ANY DEBRIS BE DROPPED EXCEPT BY METHODS WHICH WILL ENSURE SAFETY AND MINIMIZE DUST, NOISE AND OTHER NUISANCES.
- EXISTING BUILDING ELEMENTS OR CONSTRUCTION TO REMAIN IS SHOWN W/ SCREENED LINES.
- VERIFY ALL QUANTITIES OF ITEMS TO BE DEMOLISHED OR SALVAGED.

GENERAL NOTES- DEMOLITION



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INTERIOR RENOVATION

BLUE SKY FERTILITY
451 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081

REVISIONS		DESCRIPTION
REV. #	DATE	

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DRAWING TITLE
**DEMOLITION FLOOR &
REFLECTED CEILING
PLANS**

DRAWING NUMBER

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OVERALL FLOOR PLAN









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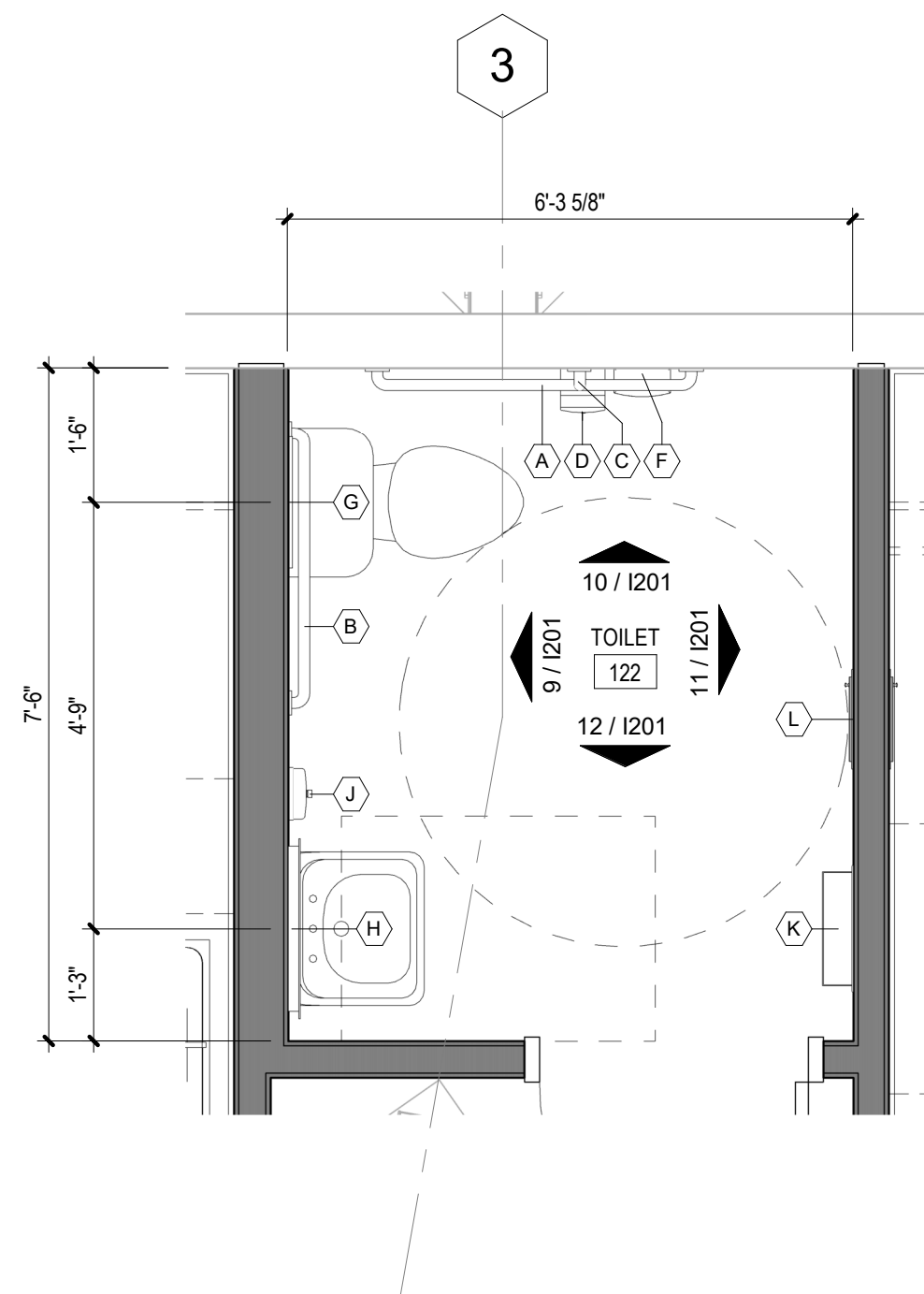
1. REFER TO SHEET CS FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
2. ARCHITECTURAL ELEVATION 100'-0" = CIVIL ELEVATION
3. DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF GYP. BOARD AND COLUMN GRID LINES, UNLESS NOTED OTHERWISE (U.N.O.)
4. NOTE: WALL THICKNESSES ARE NOMINAL DIMENSIONS, NOT ACTUAL DIMENSIONS. ALL STUD WALL THICKNESSES ARE 5 INCHES, UNLESS DIMENSIONED OTHERWISE.
5. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE LOCATED IN WALL SHOWN OR LOCATED 4 INCHES FROM FINISH WALL TO FINISH JAMB, ALWAYS ALLOWING MINIMUM OF 18" FROM THE PULL SIDE OF THE DOOR TO THE INTERSECTING WALL.
6. ALL PUBLIC SPACES: THE WALLS WILL BE FINISHED WITH 5/8" GYP. BD. TO A LEVEL 4 FEET AND PAINTED, UNLESS NOTED OTHERWISE.
7. REFER TO FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS FOR DOOR AND DOOR FRAME FINISHES

GENERAL NOTES- FLOOR PLAN

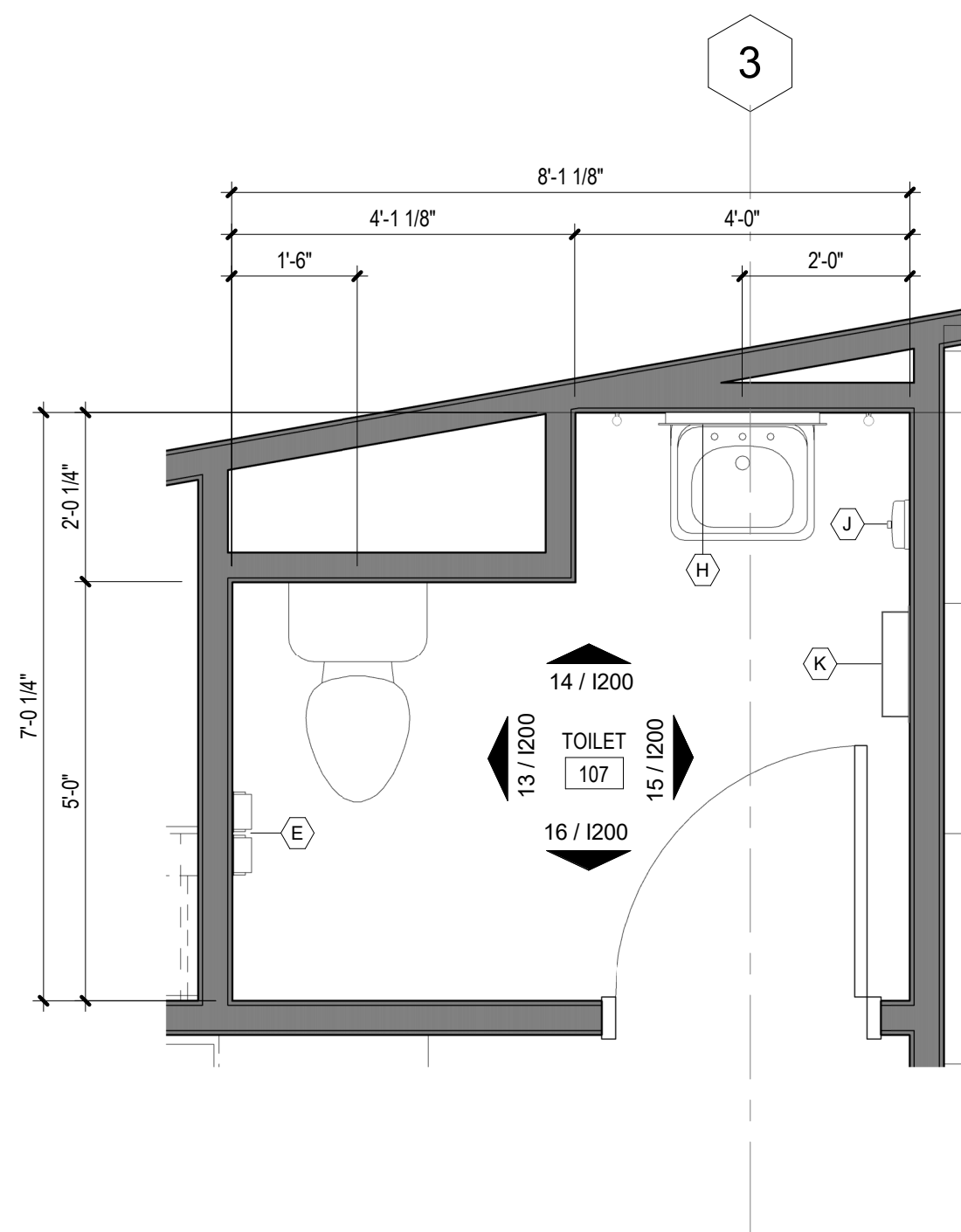
	EXISTING WALL TO REMAIN
	PROPOSED WALL
	EXISTING DOOR TO REMAIN
	PROPOSED DOOR
	KEYNOTE, RE: KEYNOTE LEGEND
	EQUIPMENT TAG
	WALL TAG
	FLOOR DRAIN

FIRST FLOOR 3/16" = 1'-0"	1
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FLOOR PLAN LEGEND



ENLARGED TOILET PLAN-122
1/2" = 1'-0"



ENLARGED TOILET PLAN-107
1/2" = 1'-0"






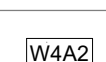


TOILET ACCESSORY SCHEDULE					
TYPE MARK	MFG	DESCRIPTION	MODEL	FINISH	COMMENTS
A	BOBRICK	42" GRAB BAR	B-6806x42	SATIN SS	3, 7
B	BOBRICK	36" GRAB BAR	B-6806x36	SATIN SS	3, 7
C	BOBRICK	18" GRAB BAR	B-6806x18	SATIN SS	3, 7
D	BOBRICK	SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER	B-4289	SATIN SS	3, 6, 7
E	BOBRICK	RECESSED MULTI-ROLL TOILET TISSUE DISPENSER	B-6997	SATIN SS	1, 6, 7
F	BOBRICK	SANITARY NAPKIN DISPOSAL	B-270	SATIN SS	3, 7
G	BOBRICK	RECESSED TOILET SEAT-COVER DISPENSER	B-3013	SATIN SS	1, 4
H	BOBRICK	LED BACKLIT MIRROR	B-164 2442	SATIN SS	3, 5, 7
I	BOBRICK	SURFACE MOUNTED SOAP DISPENSER	B-4112	SATIN SS	3, 7
K	BOBRICK	RECESSED COMBOW TOWEL AND WASTE UNIT	B-3944	SATIN SS	1, 7
L	BRADLEY	RECESSED SPECIMEN PASS-THROUGH CABINET	9813	SATIN SS	1, 7, 8

1. RECESSED
2. SEMI-RECESSED
3. SURFACE MOUNTED
4. INSTALL C/L OF UNIT AT 48" A.F.F.
5. CENTER ON SINK
6. TOILET PAPER DISPENSER SHALL BE 7" MIN. TO 9" MAX. IN FROM EDGE OF W.C.
7. MOUNT PER ACCESSIBILITY GUIDELINES, RE: G002
8. FOR WALL WITH 6" METAL STUDS

TOILET ACCESSORY SCHEDULE & REMARKS

- A. REFER TO G.02 AND MANUFACTURER SPECIFICATIONS FOR MOUNTING HEIGHTS.
- B. COORDINATE ALL MOUNTING HEIGHTS W/ PLUMBING FIXTURES TO ALLOW PROPER OPERATION & INFORM ARCHITECT IN WRITING OF ANY CONFLICTS.
- C. REFER TO ELEVATIONS AND GUIDE SHEETS FOR ANY ACCESSORIES THAT MAY NOT SHOW UP ON THE PLANS.
- D. G. C. TO COORDINATE DIRECTLY W/ OWNER TO DETERMINE IF ANY ITEMS WILL BE OWNER PROVIDED, CONTRACTOR INSTALLED, VERIFY ALL ITEMS W/ OWNER PRIOR TO PURCHASING.
- E. ALL TOILET ACCESSORIES LOCATIONS BASED ON PLAN LAYOUT.

GENERAL NOTES - ENLARGED PLAN

	EXISTING WALL TO REMAIN
	PROPOSED WALL
	EXISTING DOOR TO REMAIN
	PROPOSED DOOR
	KEYNOTE, RE: KEYNOTE LEGEND
	EQUIPMENT TAG
	WALL TAG
	FLOOR DRAIN

FLOOR PLAN LEGEND

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INTERIOR RENOVATION

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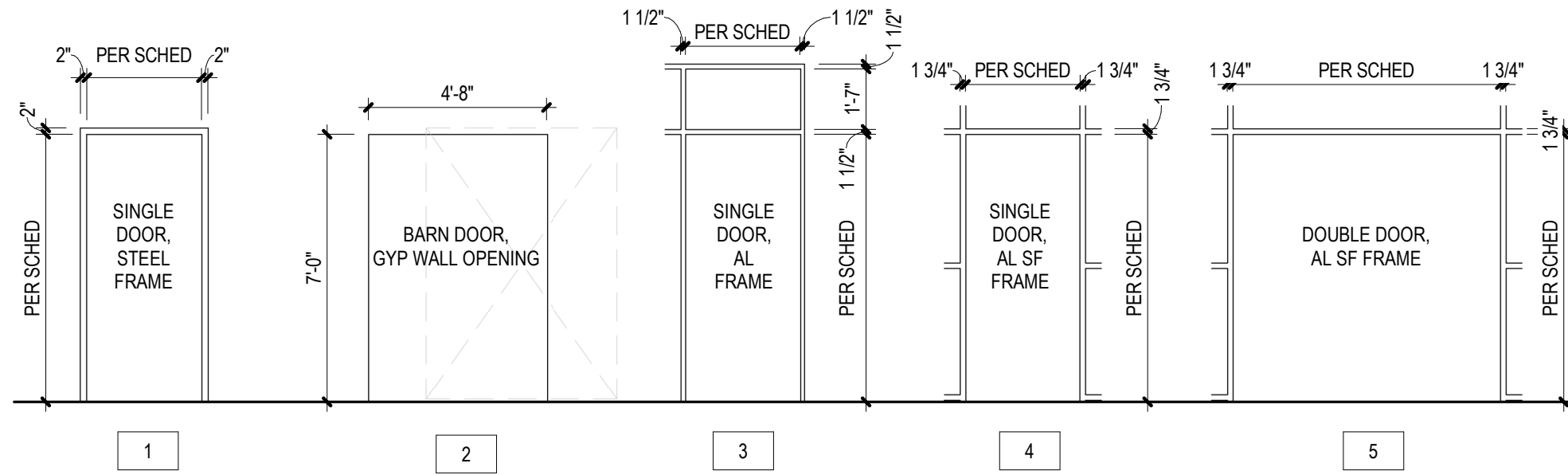
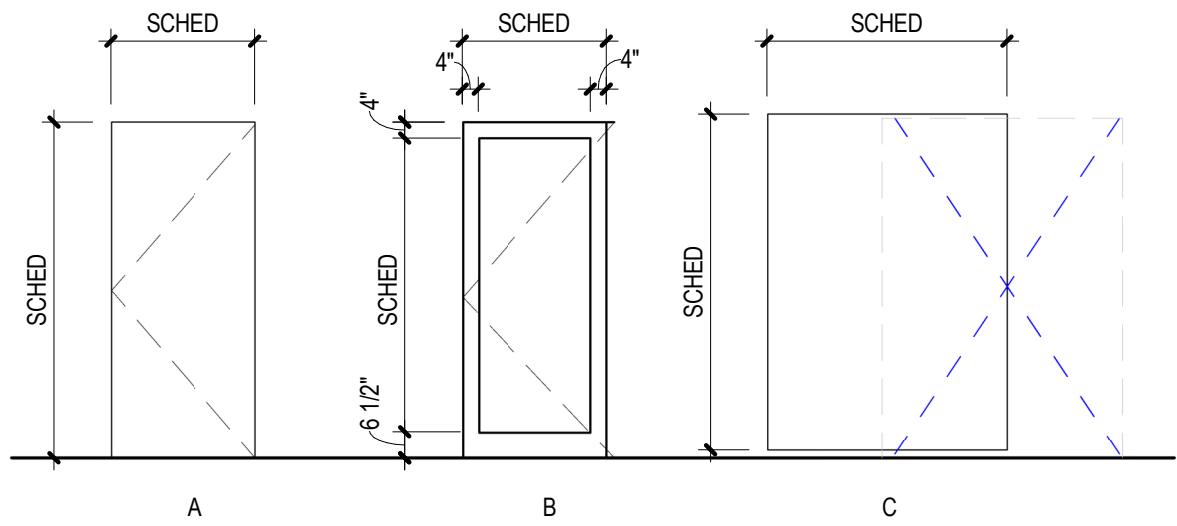
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ENLARGED TOILET PLANS

DRAWING NUMBER

A150

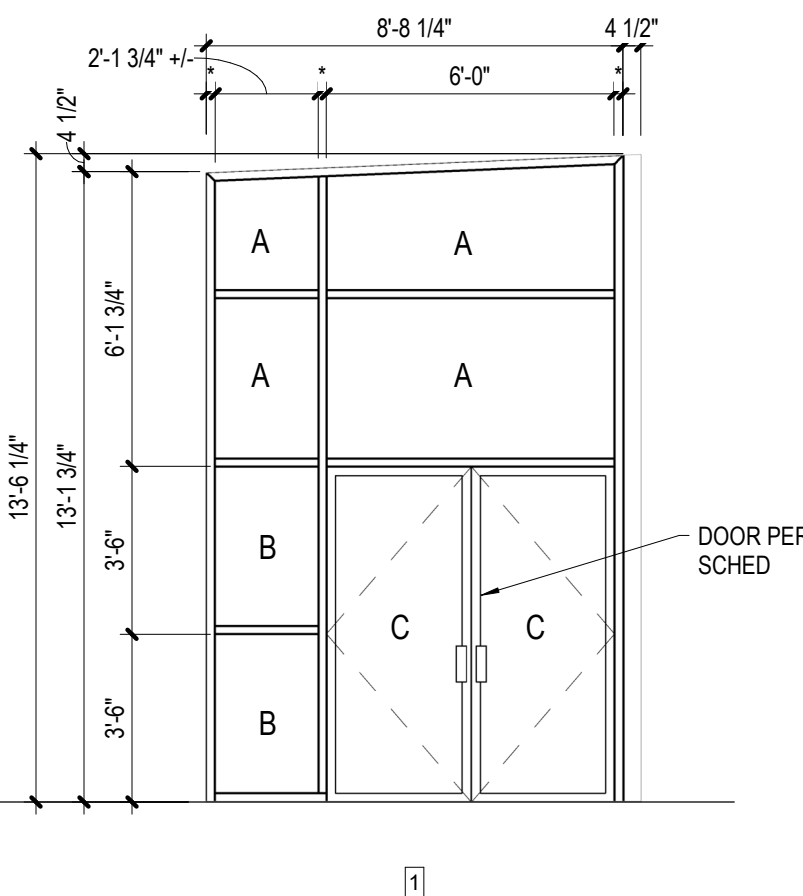
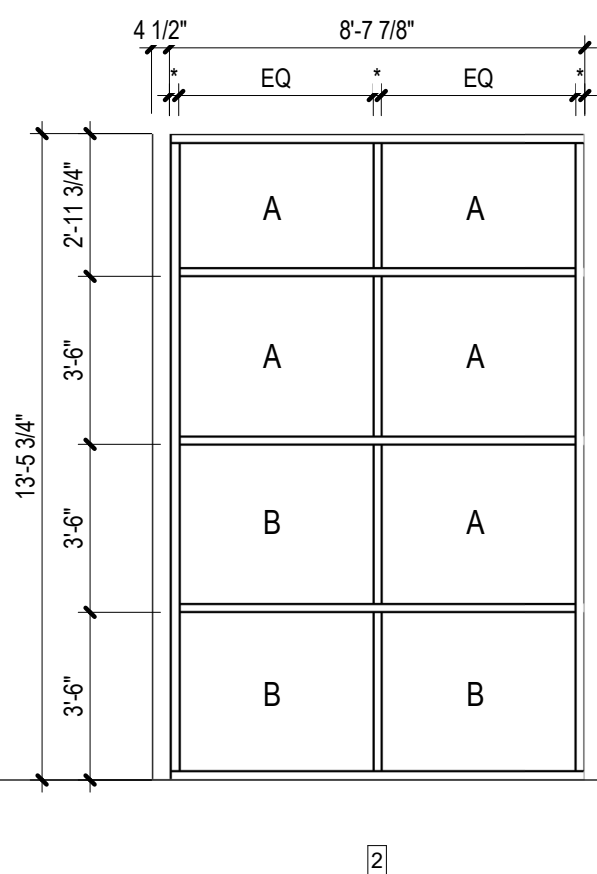
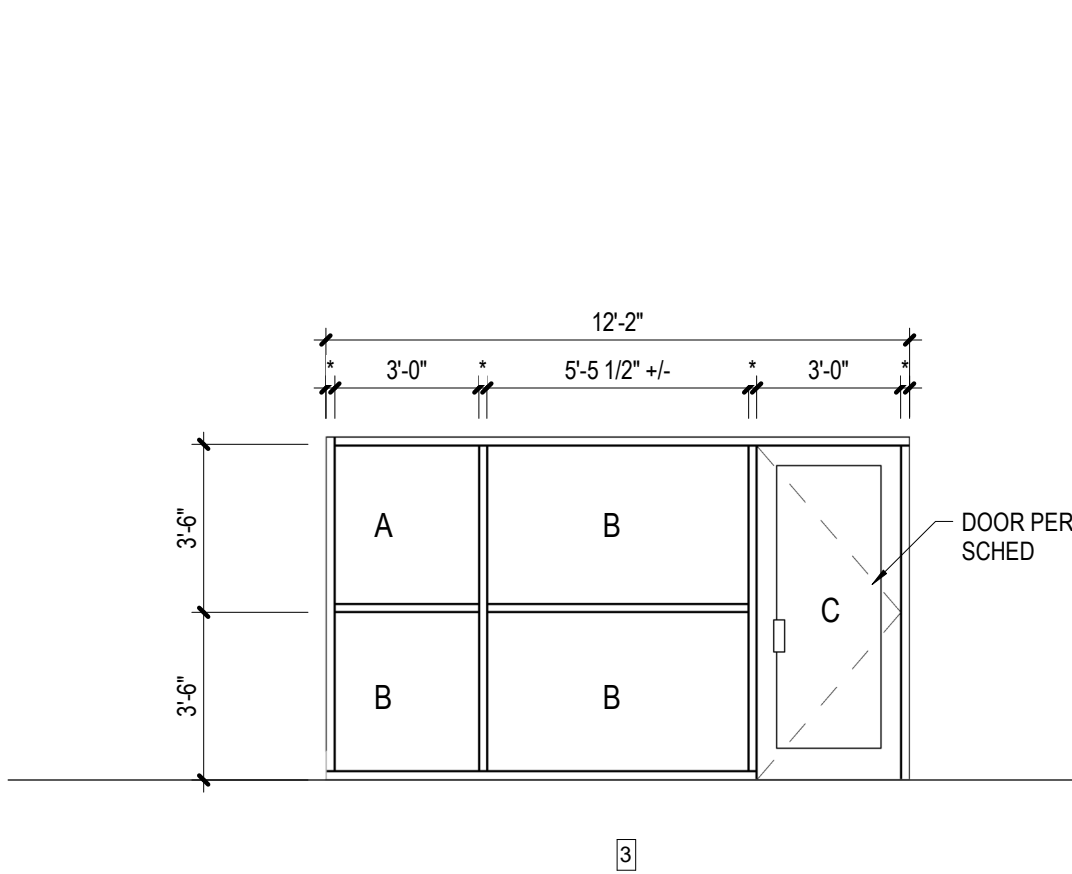
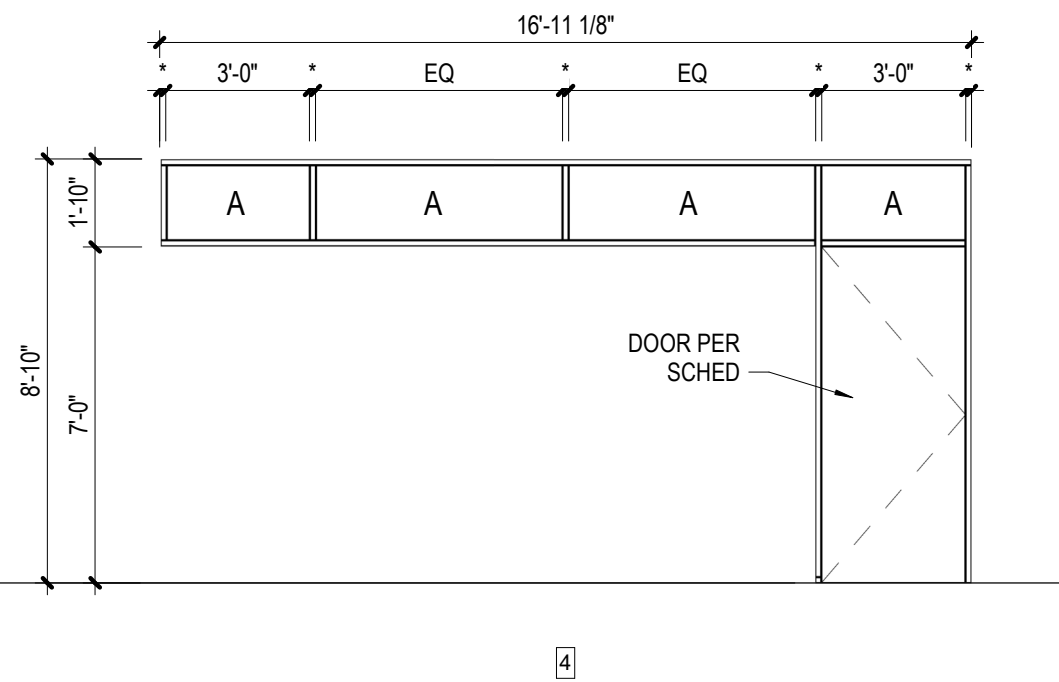
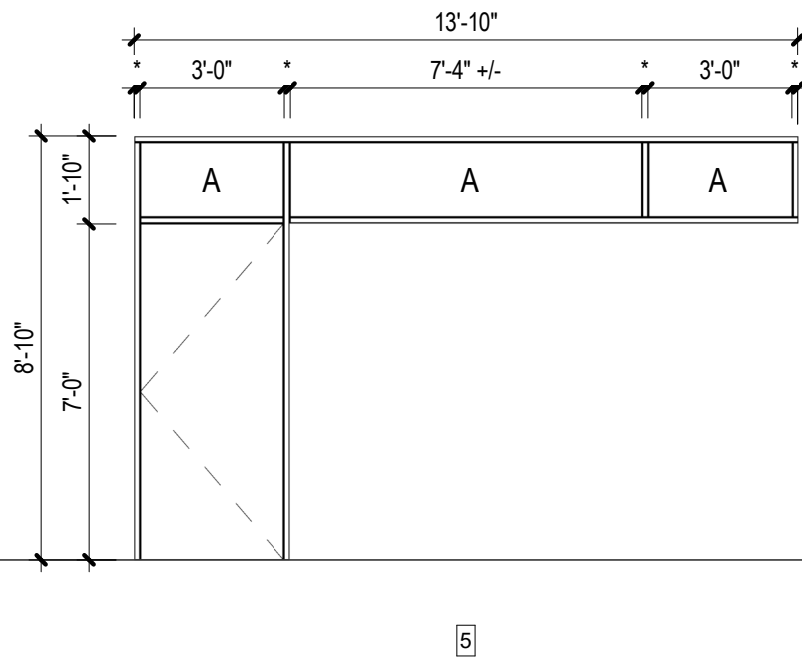
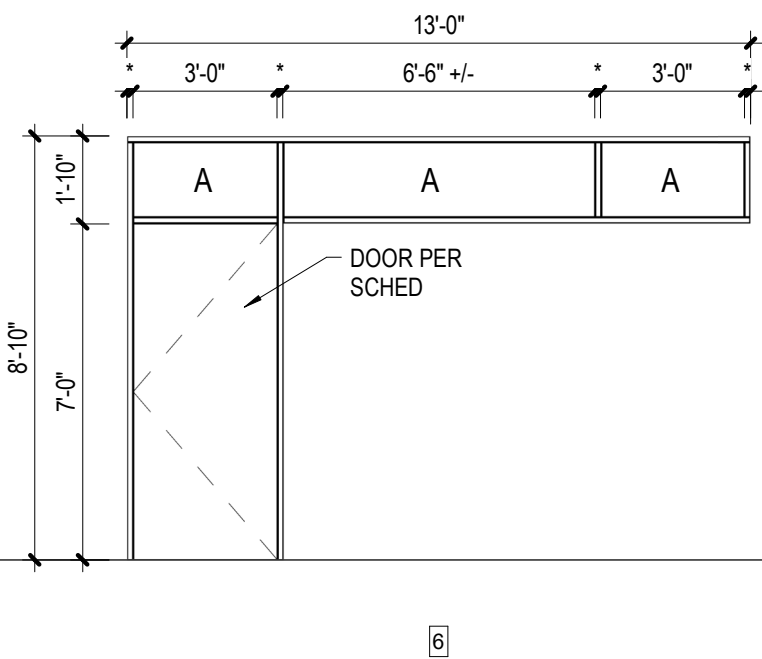
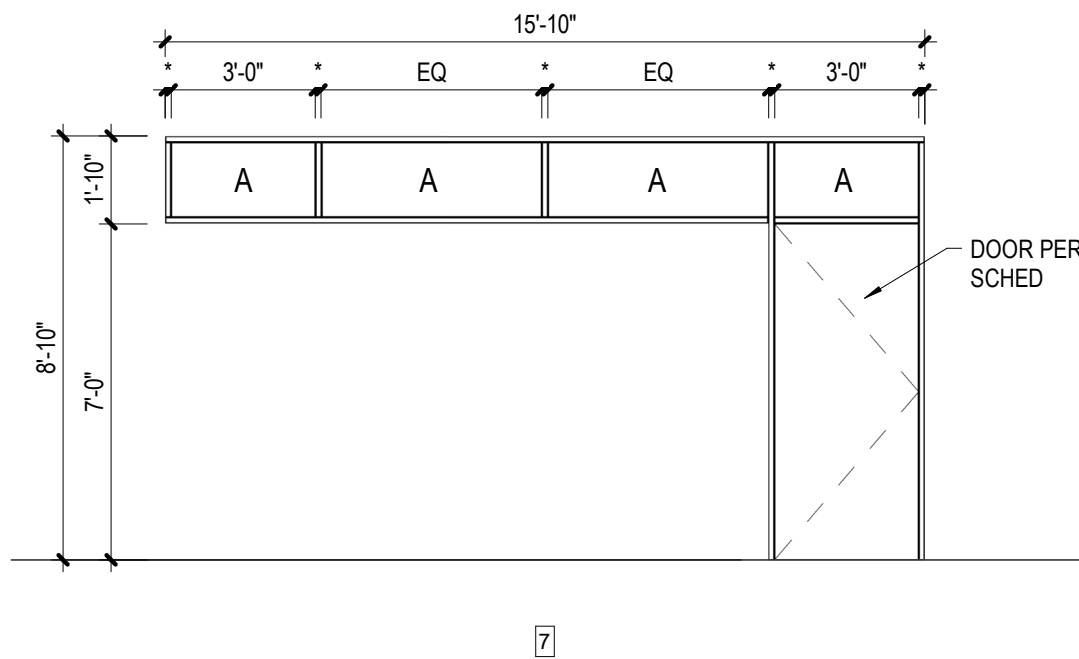
#	ROOM INTERIOR	ROOM EXTERIOR
1	FREE OPERATION PASSAGE	FREE OPERATION
2	FREE OPERATION ENTRANCE/ CLASSROOM	KEY LOCK
3	THUMB TURN LOCK OFFICE	KEY LOCK
4	FREE OPERATION STORAGE	KEY TO OPEN FIXED LEVER
5	PUSH BUTTON LOCK PRIVACY	EMERG. LOCK RELEASE



DOOR LOCKSET GUIDE

DOOR TYPE LEGEND

FRAME TYPE LEGEND



WINDOW TYPE LEGEND

GLASS TYPE LEGEND	
DESIGNATION LETTER	DESCRIPTION
A	INSULATED GLASS COLOR: CLEAR
B	INSULATED TEMPERED GLASS COLOR: CLEAR
C	TEMPERED GLASS COLOR: CLEAR

GLAZING TYPES

- ALL DIMENSIONS ARE TO PRECAST OPENING, ROUGH OPENING, OR TO CENTERLINE, UNLESS SHOWN OTHERWISE.
- RE: PLANS AND ELEVATIONS FOR WINDOW LOCATIONS.

WINDOW GENERAL NOTES

DOOR, FRAME, & HARDWARE SCHEDULE NOTES

- DOOR NUMBER AND LOCATION NOTES:**
 - THE DOOR NUMBER MATCHES THE ROOM NUMBER. WHEN MORE THAN ONE DOOR EXISTS PER ROOM, THE FIRST DOOR NUMBER IS FOLLOWED WITH '1', THE SECOND WITH '2', ETC.
 - ROOM NAMES ARE INCLUDED AS A REFERENCE AND DO NOT INDICATE DOOR SWING DIRECTION
- DOOR SIZE NOTES:**
 - OVERALL AND LEAF WIDTH AND HEIGHT ARE NOMINAL; FIELD VERIFY OPENINGS.
 - ALL SWINGING DOORS ARE 1-3/4" THICK WITH 3/4" UNDERCUT UNLESS OTHERWISE NOTED IN REMARKS COLUMN
 - ALL 'C' STYLE DOORS ARE 1-3/4" THICK UNLESS OTHERWISE NOTED IN REMARKS COLUMN
- DOOR TYPE (DT-XX) NOTES:**
 - SEE DOOR TYPE SCHEDULE ON SHEET A400
- DOOR MATERIAL NOTES:**
 - INDICATES THE BASE DOOR CONSTRUCTION MATERIAL
 - ABBREVIATIONS:
 - (AL) ALUMINUM
 - (FAB) MFR.'S STANDARD 'FABRIC' FINISH
 - (FGL) FIBERGLASS
 - (GL) GLASS
 - (GALV) GALVANIZED STEEL
 - (HM) HOLLOW METAL
 - (SS) STAINLESS STEEL
 - (STL) STEEL
 - (WD) WOOD
- DOOR FINISH NOTES:**
 - INDICATES THE SPECIFIC VISIBLE DOOR FINISH; REFER TO FINISH MATERIAL SCHEDULE ON SHEET XXX (TBD)
 - ABBREVIATIONS:
 - (MFR) BY DOOR MANUFACTURER
- GLAZING NOTES:**
 - FOR GLASS DESCRIPTIONS, REFER TO INTERIOR GLAZING TYPE SCHEDULE ON SHEET A400
 - ABBREVIATIONS:
 - (F) FIRE-RESISTANT GLASS
 - (IGU) INSULATED GLASS UNIT
 - (STD) STANDARD GLASS
 - (SG) SECURITY GLASS
 - (T) TEMPERED GLASS
 - (W) WIRE GLASS
- FRAME TYPE (FT-XX) NOTES:**
 - INDICATES FRAME CONFIGURATION; REFER TO FRAME TYPE SCHEDULE ON SHEET A400
- FRAME MATERIAL NOTES:**
 - INDICATES THE BASE FRAME CONSTRUCTION MATERIAL
 - ABBREVIATIONS: REFER TO DOOR MATERIAL NOTES ABOVE
 - (MFR) BY DOOR MANUFACTURER
- FRAME FINISH NOTES:**
 - INDICATES THE SPECIFIC VISIBLE FRAME FINISH; REFER TO FINISH MATERIAL SCHEDULE ON SHEET XXX (TBD)
- DETAIL NOTES:**
 - INDICATES DESIGNATIONS (H-X, J-X, S-X) FOR HEAD, JAMB AND SILL DETAILS. REFER TO SHEET A400
- ELECTRIFICATION NOTES:**
 - ACCESS CONTROL PANEL, DEVICES AND POWER SUPPLIES BY SECURITY CONTRACTOR (LOCATE PANELS/POWER SUPPLIES IN NEAREST ELECTRICAL OR DATA ROOM). COORDINATE HARDWARE AND INSTALLATION WITH SECURITY CONTRACTOR
 - USE OF CARD KEYS OR KEYPADS SHALL NOT BE REQUIRED TO EXIT ANY SPACE
 - VERRIDE BUTTONS SHALL NOT BE REQUIRED FOR NORMAL OPERATION OF DOORS
 - FOR INTERLOCK WIRING DIAGRAMS AND SEQUENCE OF OPERATIONS, SEE ELECTRICAL DRAWINGS
 - ABBREVIATIONS:
 - (ALRM) ALARM
 - (CR) CARD READER
 - (DB) DOOR BELL
 - (DC) DOOR CONTACT
 - (FP) FINGERPRINT READER
 - (ER) EMERGENCY RELEASE
 - (I-X) INTERLOCK; NUMBER SHOWN INDICATES GROUP OF DOORS TO BE INTERLOCKED. LIMIT (1) DOOR IN EACH GROUP TO BE OPEN AT A TIME.
 - (KP) KEYPAD
 - (PB) PUSH BUTTON
 - (REX) REQUEST TO EXIT MOTION SENSOR
 - (RLB) REMOTE LOCK BUTTON
- HARDWARE SET NOTES:**
 - HARDWARE SETS ARE DEFINED ON SHEET AXXX (TBD)
- SIGNAGE NOTES:**
 - SIGNAGE TO BE PROVIDED BY SIGNAGE VENDOR; COORDINATE INSTALLATION WITH DOOR, FRAME, AND HARDWARE CONTRACTOR.
 - ABBREVIATIONS:
 - (ADA) ACCESSIBILITY:
 - (EX) EXIT:
 - (MFR) BY DOOR MANUFACTURER
- MISCELLANEOUS NOTES:**
 - ABBREVIATIONS:
 - (FIRE) FIRE DETECTION DEVICE:
 - (SMK) SMOKE DETECTION DEVICE:
- REMARKS:**
 - DOOR FRAME TO HAVE 4" HIGH HOSPITAL/SANITARY STOPS
 - DOOR FRAME TO BE KNOCK-DOWN TYPE
 - DOOR FRAME TO BE FULLY WELDED
 - DOOR TO HAVE UNDERCUT OF 1"
 - AUTOMATIC DOOR
 - DOOR TO BE PROVIDED BY STOREFRONT MFR.
 - LEAF 2 IS AN 'INACTIVE' LEAF
 - FACE OF FRAME HEAD TO BE 4" DEEP



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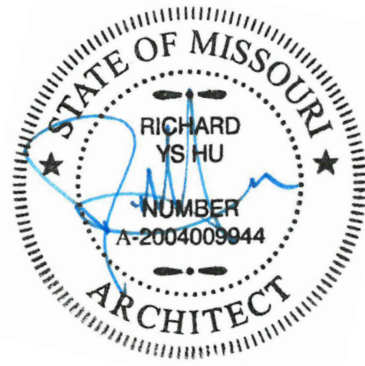
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DOOR & WINDOW INFO & SCHEDULE

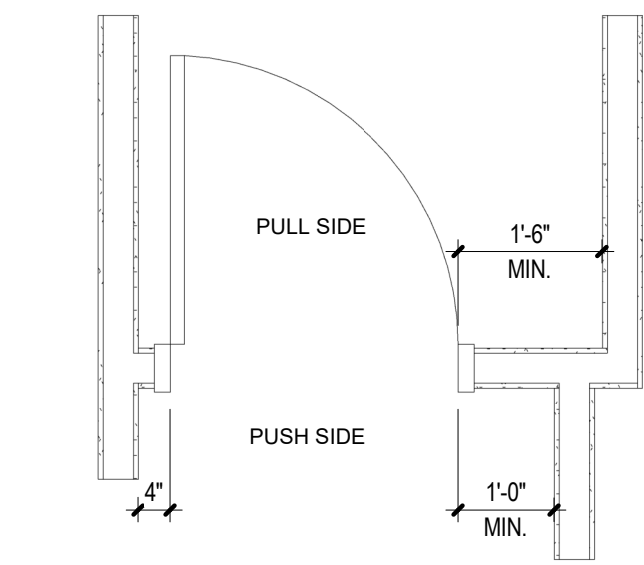
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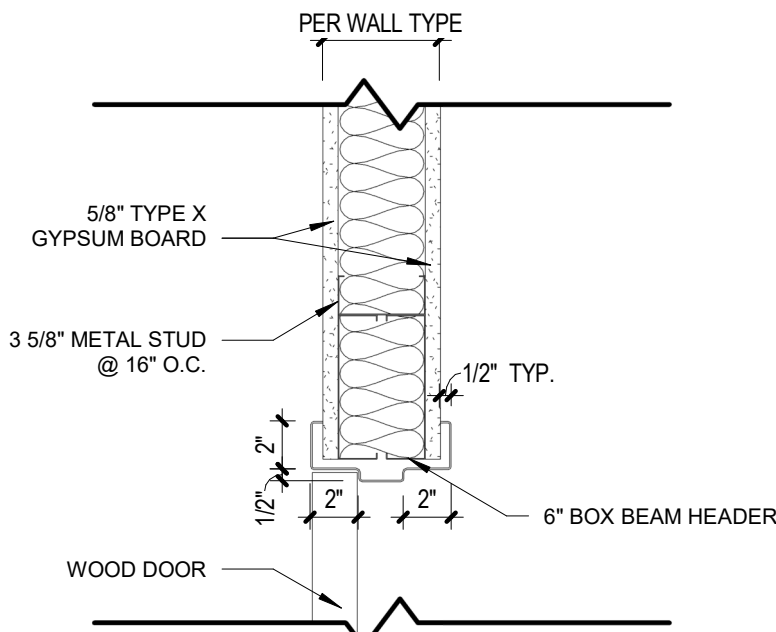


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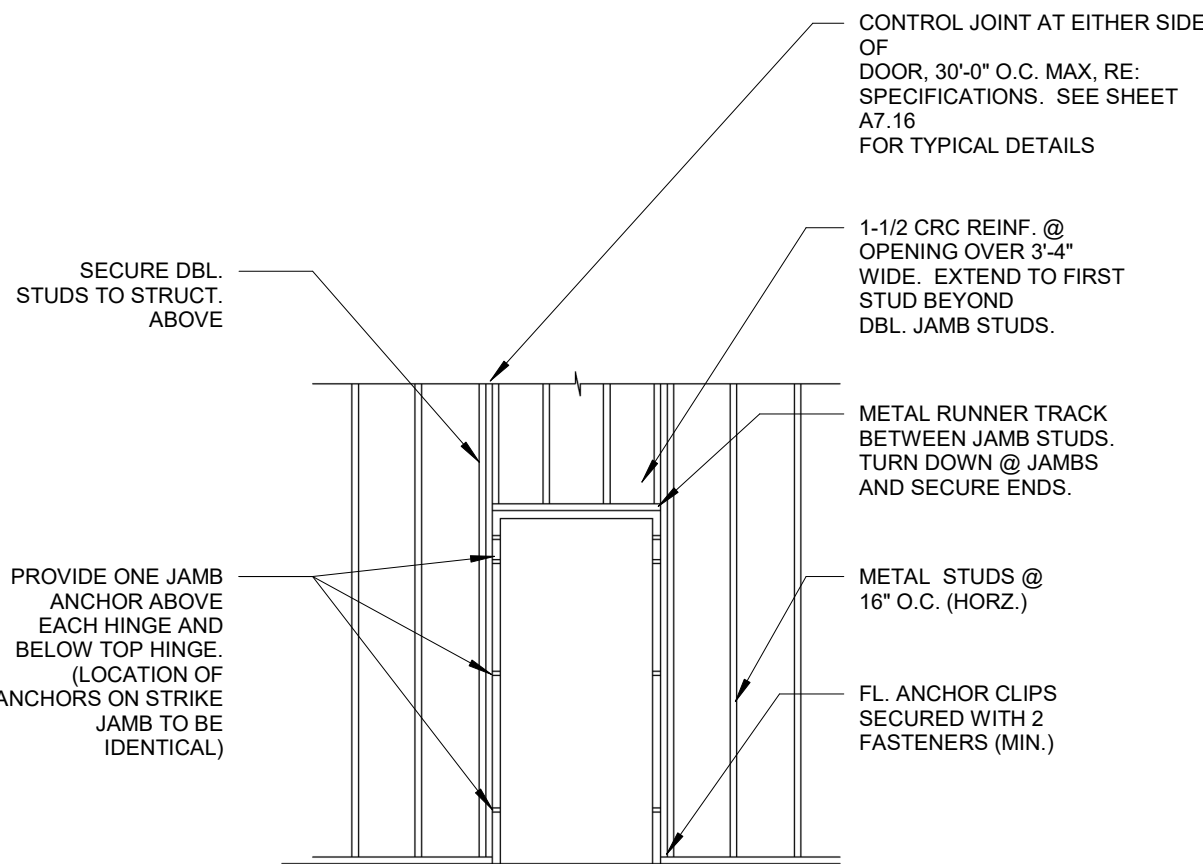
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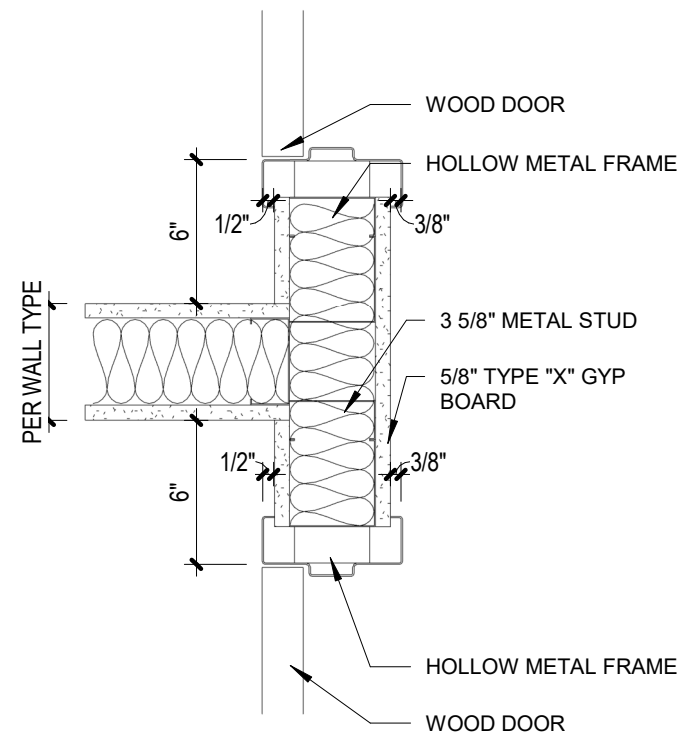
TYP. DOOR JAMB & FOOR APPROACH CLEARANCE
1/2" = 1'-0" 10



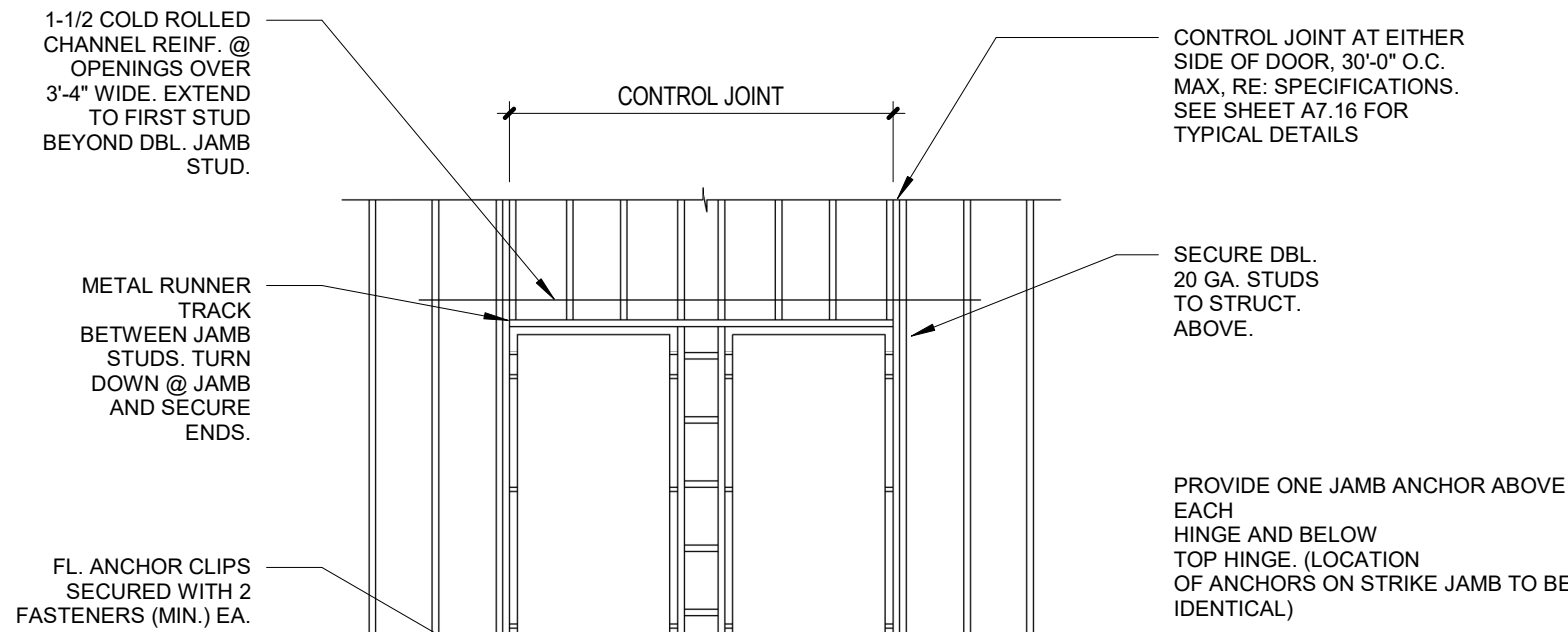
HEAD - HM DOOR - TYP.
1 1/2" = 1'-0" 7



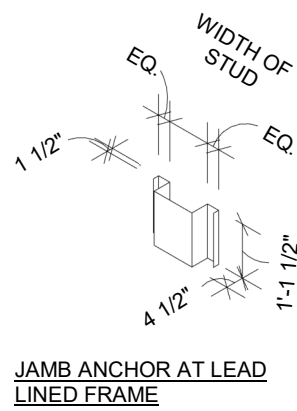
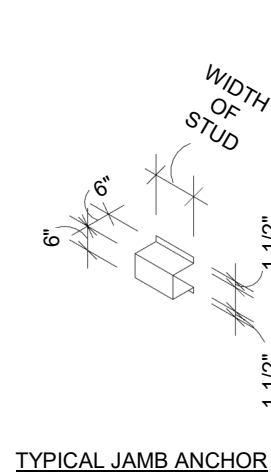
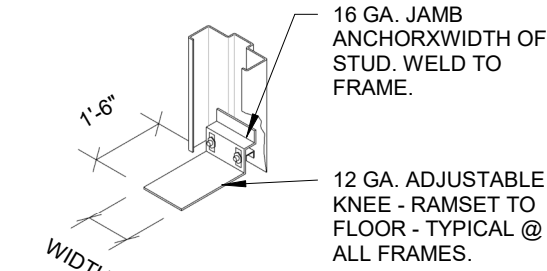
SINGLE DOOR FRAMING DETAIL
1/4" = 1'-0" 3



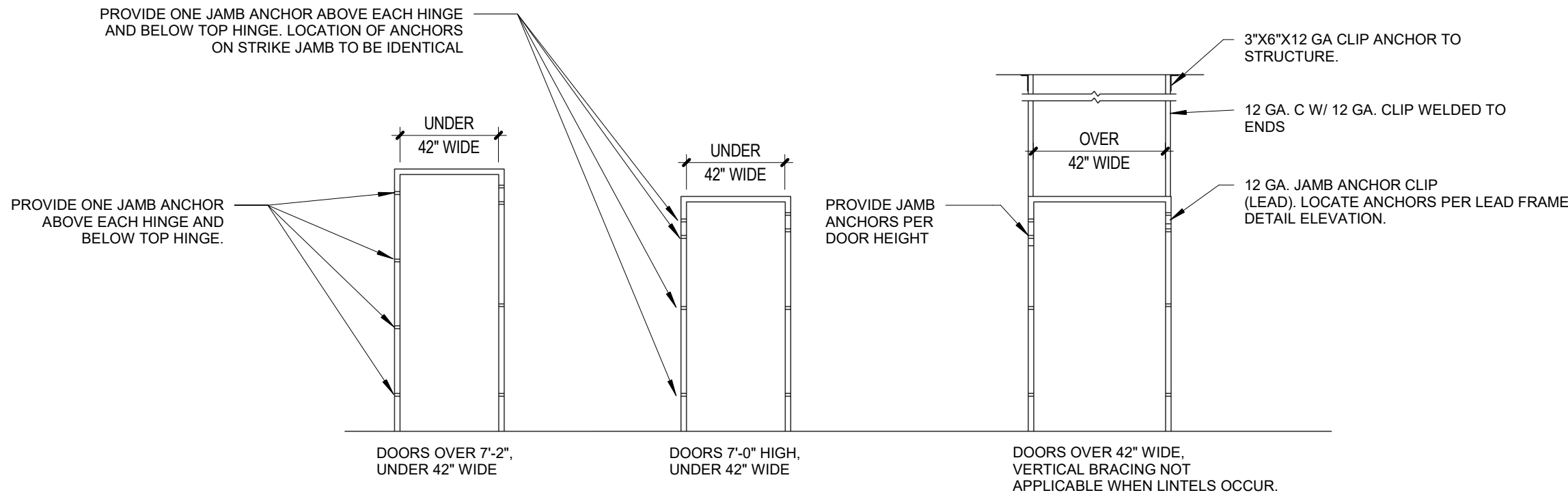
DOUBLE JAMB - TYP.
1 1/2" = 1'-0" 9



ADJACENT DOOR FRAMING
1/4" = 1'-0" 2



JAMB ANCHORS



FRAMING DETAILS
1/4" = 1'-0" 1

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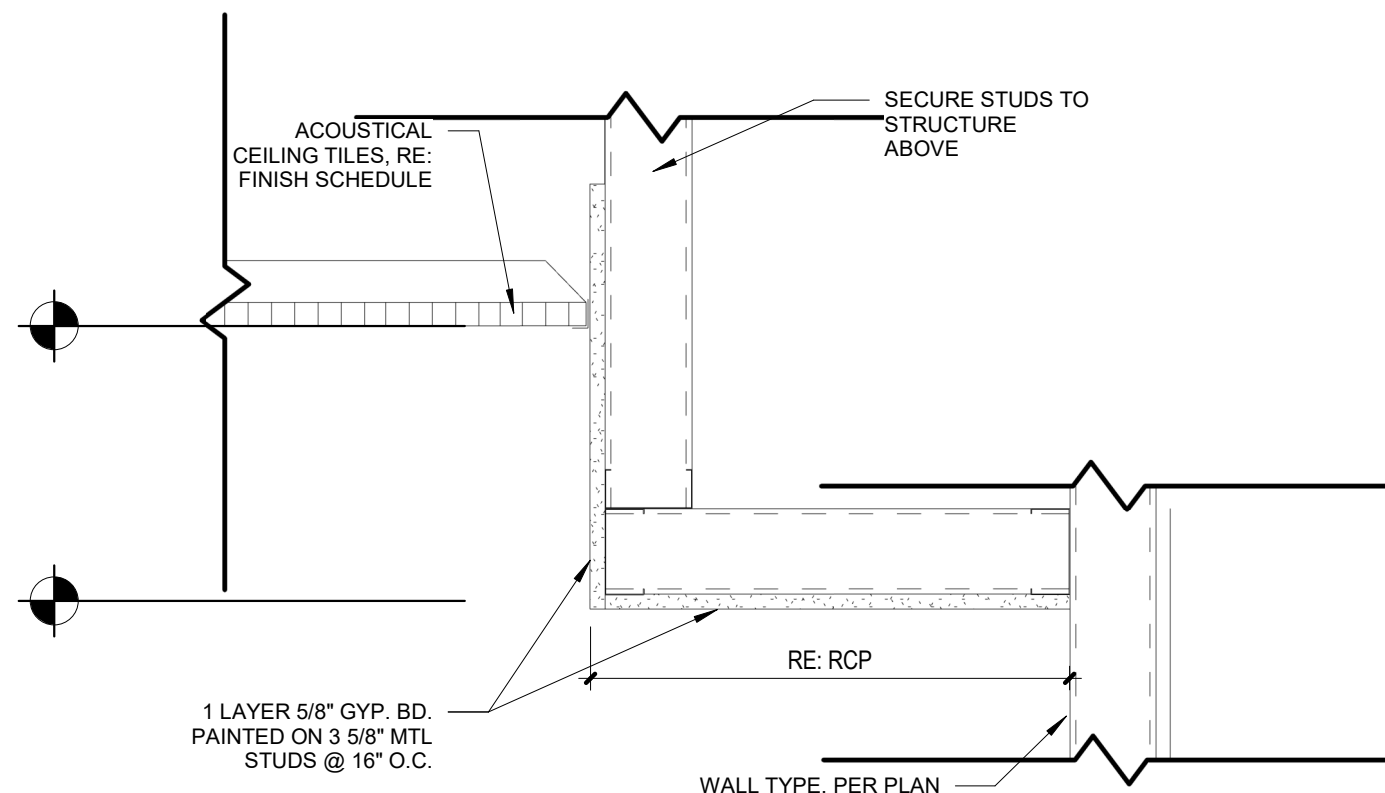
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DOOR & FRAME DETAILS

DRAWING NUMBER

A405



TYPICAL SOFFIT DETAIL 1 1/2" = 1'-0"	2
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1. REFER TO FINISH LEGEND AND FINISH SCHEDULE FOR ROOM CEILING FINISHES
2. ACOUSTICAL CEILING TILES, GRID, & LIGHTS TO BE CENTERED IN ROOM, U.N.O.
3. ALL ACT CEILINGS TO BE 9'-0" AFF, U.N.O.
4. REFER TO DETAILS FOR ADDITIONAL CONDITIONS AND CEILING HEIGHT INFORMATION.
5. REFER TO ELECTRICAL SHEETS FOR DETAILED INFORMATION ON LIGHT FIXTURES.
6. REFER TO MECHANICAL SHEETS FOR DETAILED INFORMATION ON DIFFUSERS.
7. COORDINATE ALL CEILING MOUNTED EQUIPMENT WITH CASEWORK BELOW.

REFLECTED CEILING PLAN 1

RCP GENERAL NOTES

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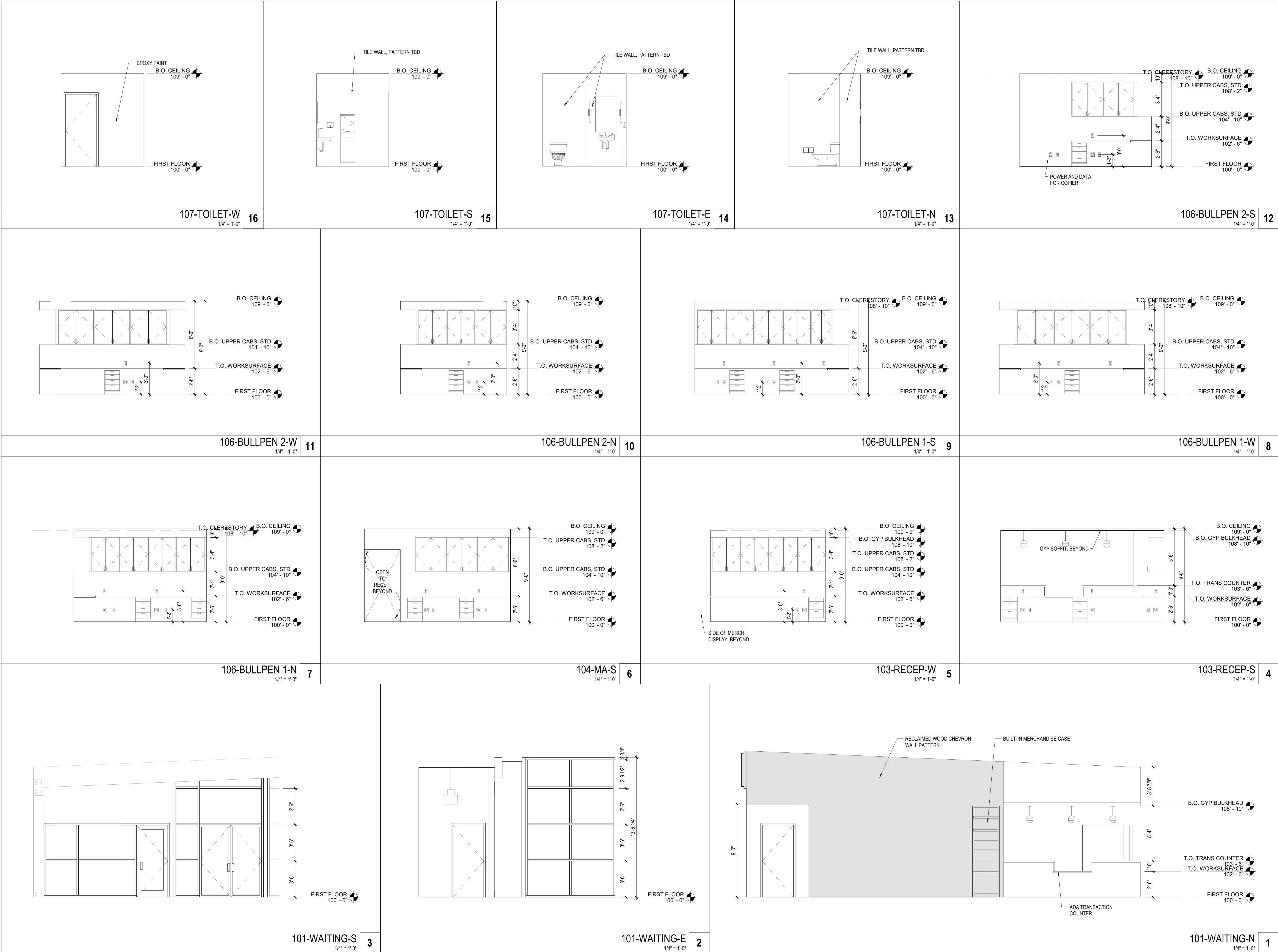
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OVERALL REFLECTED
CEILING PLAN

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A601



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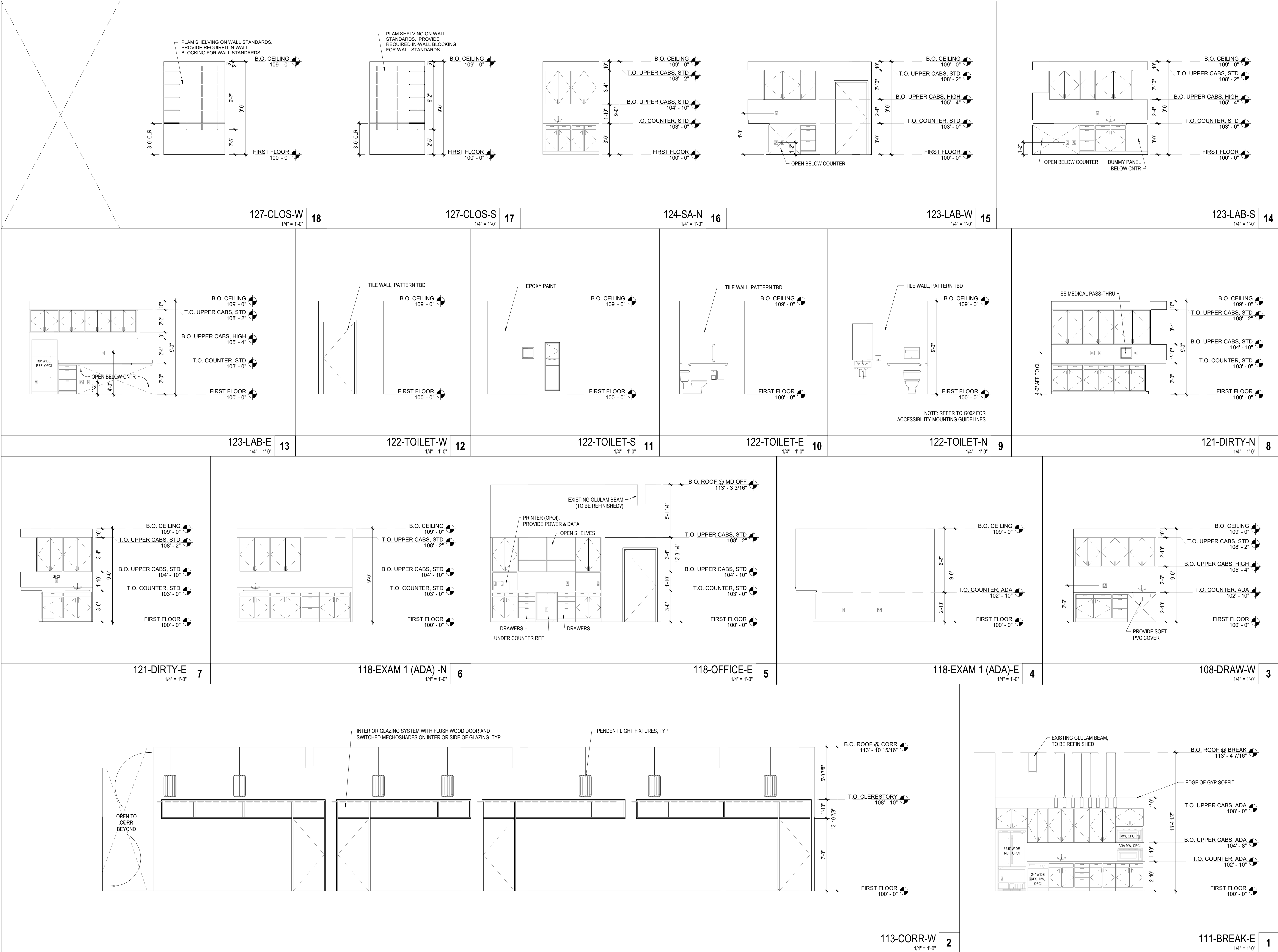
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INTERIOR ELEVATIONS

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DRAWING NUMBER 1201	

MECHANICAL SPECIFICATIONS (CONTINUED)

J. ELECTRIC HEATING COILS

1. ELECTRICAL COILS SHALL BE SUPPLIED AND INSTALLED ON THE TERMINAL BY THE TERMINAL MANUFACTURER. COIL SHALL BE INTEGRAL WITH THE TERMINAL. ELEMENTS SHALL BE 80/20 NICKEL CHROME, SUPPORTED BY CERAMIC ISOLATORS A MAXIMUM OF 1/32 INCHES APART. STAGGERED FOR MAXIMUM THERMAL TRANSFER AND ELEMENTS SHALL BE SPACED TO ENSURE EQUAL CUTOFF PER STEP. THE INTEGRAL CONTROL PANEL SHALL BE HOUSED IN A NEMA 1 ENCLOSURE, WITH HINGED ACCESS DOOR FOR ACCESS TO ALL CONTROLS AND SAFETY DEVICES.
2. ELECTRICAL COILS SHALL CONTAIN A PRIMARY AUTOMATIC RESET THERMAL CUTOFF PER ELEMENT. DIFFERENTIAL THERMAL RESET SWITCH FOR PROOF OF FLOW AND LINE THERMAL BLOCK. COIL SHALL INCLUDE AN INTEGRAL DUCT INTERLOCK TYPE DISCONNECT SWITCH, WHICH WILL NOT ALLOW THE ACCESS DOOR TO BE OPENED WHILE POWER IS ON. NON-INTERLOCKING TYPE DISCONNECTS ARE NOT ACCEPTABLE. ALL MECHANICAL COMPONENTS SHALL BE LISTED OR RECOGNIZED.
- VARIABLE AIR VOLUME TERMINALS**
- A. FURNISH AND INSTALL SINGLE DUCT, VARIABLE AIR VOLUME TERMINALS OF THE SIZES AND CAPACITIES SHOWN ON THE PLANS.
- B. TERMINALS SHALL BE CERTIFIED UNDER THE ARI STANDARD 580 CERTIFICATION PROGRAM AND CARRY THE ARI SEAL.
- C. THE TERMINAL CASING SHALL BE MINIMUM 22-GAUGE GALVANIZED STEEL, INTERNALLY LINED WITH 1/2-INCH DUAL DENSITY INSULATION WHICH COMPLIES WITH UL 181 AND NFPA 90A. ALL EXPOSED INSULATION EDGES SHALL BE COATED WITH NFPA 90A APPROVED SEALANT TO PREVENT ENTRAPMENT OF FIBERS IN THE AIRSTREAM. THE DISCHARGE CONNECTION SHALL BE SLIP AND DRIVE CONNECTION FOR ATTACHMENT TO METAL DUCTWORK. THE CASING SHALL BE CONSTRUCTED TO HOLD LEAKAGE TO THE MAXIMUM VALUES SHOWN IN THE CASING LEAKAGE TABLE.
- D. THE DAMPER SHALL BE HEAVY GAUGE STEEL WITH SHAFT ROTATING IN DELRIN SELF-LUBRICATING BEARINGS. NYLON BEARINGS ARE NOT ACCEPTABLE. SHAFT SHALL BE CLEARLY MARKED ON THE END TO INDICATE DAMPER POSITION. STICKERS OR OTHER REMOVABLE MARKINGS ARE NOT ACCEPTABLE. THE DAMPER SHALL NGC/FORM A SEAL TO PREVENT AIR FROM LEAKING THROUGH THE DAMPER. A SYNTHETIC SEAL TO LIMIT GLOBE-OFF LEAKAGE TO THE MAXIMUM VALUES SHOWN IN THE DAMPER LEAKAGE TABLE.
- E. ACTUATORS SHALL BE CAPABLE OF SUPPLYING AT LEAST 35-INCH LBS. OF TORQUE TO THE DAMPER SHAFT AND SHALL BE MOUNTED EXTERNALLY FOR SERVICE ACCESS. TERMINALS WITH INTERNAL ACTUATOR MOUNTING OR GASKET CONNECTION MUST INCLUDE GASKETED ACCESS PANEL, REMOVABLE WITHOUT DISTURBING DUCTWORK. CASING WITH ACCESS PANEL SHALL BE CONSTRUCTED TO HOLD LEAKAGE TO THE MAXIMUM VALUES SHOWN IN THE CASING LEAKAGE TABLE.
- F. AT AN INLET VELOCITY OF 2000 FPM, THE MINIMUM STATIC PRESSURE REQUIRED TO OPERATE ANY TERMINAL SIZE SHALL NOT EXCEED 0.13-INCH WG FOR THE BASIC TERMINAL.
- G. SOUND RATINGS FOR THE TERMINAL SHALL NOT EXCEED 30 NC AT 1.5" STATIC PRESSURE. SOUND PERFORMANCE SHALL BE ARI CERTIFIED.
- SMOKE DETECTORS:**
- UNITS MOUNTED IN THE DUCTWORK SHALL BE A DUCT MOUNTED UL LISTED PHOTO-ELECTRIC SELF-CONTAINED SMOKE DETECTOR WITH HOUSING. UNITS SHALL BE EQUAL TO SIMPLEX 4404B-76B7. THE SENSING TUBE SHALL BE 1000'-1000' LENGTH AS REQUIRED FOR DUCT.
- DUCT-ON DETECTOR REMOTE TEST STATION SHALL BE SIMPLEX 4404B-76A21 WITH REMOTE ALERT INDICATOR, POWER-ON INDICATOR, TONE-ALERT, TONE-ALERT BUILT-IN SWITCH, AND TEST/RESET SWITCH.
1. DEVICES SHALL BE MOUNTED IN APPROVED LOCATION AS INDICATED ON THE FLOOR PLANS OR AS DERIVED BY LOCAL AUTHORITY HAVING JURISDICTION.
2. PROVIDE AND INSTALL A PHOTO-ELECTRIC SMOKE DETECTOR IN THE RETURN AIR DUCT FOR EACH HVAC UNIT AS INDICATED ON THE FLOOR PLANS. DETECTORS ARE TO BE PROVIDED WITH A SUB-BASIN RELAY CONNECTION TO THE CONTROL PANEL. DETECTORS SHALL BE WIRED INTO UNIT CONTROL WIRING, SO AS TO SHUT UNIT DOWN IN THE CASE OF SMOKE DETECTION. PROVIDE ALL CONTROL WIRING. ELECTRICAL CONTRACTOR SHALL PROVIDE 120 VOLT POWER TO EACH DETECTOR.
3. SMOKE DETECTORS SHALL BE INTERLOCKED. IN ALARM CONDITION OF A SINGLE DETECTOR ALL UNITS SHALL SHUT DOWN.
- CONTROL WIRING:**
1. ELECTRICAL WIRING AND WIRING CONNECTIONS REQUIRED FOR THE INSTALLATION OF THE TEMPERATURE CONTROL, PROVIDED BY THIS CONTRACTOR, UNLESS SPECIFICALLY SHOWN ON THE ELECTRICAL DRAWINGS OR SPECIFICATIONS.
2. INSTALL CONTROL WIRING, WITHOUT SPLICES BETWEEN TERMINAL POINTS, COLOR CODED. INSTALL IN NEAT WORKMANLIKE MANNER, SECURELY FASTENED. INSTALL IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE AND THE ELECTRICAL SPECIFICATIONS.
- 1) INSTALL CIRCUITS OVER 25 VOLT WITH COLOR CODED NUMBER 12 WIRE.
- 2) INSTALL CIRCUITS UNDER 25 VOLT WITH COLOR CODED NUMBER 18 WIRE WITH 0.031 INCH HIGH TEMPERATURE 190 DEGREES F PLASTIC INSULATION ON EACH CONDUCTOR AND PLASTIC SHEATH OVER ALL.
- 3) INSTALL ELECTRONIC CIRCUITS WITH COLOR CODED NUMBER 22 WIRE WITH 0.023 INCH POLYETHYLENE INSULATION ON EACH CONDUCTOR WITH PLASTIC JACKETED COPPER SHIELD OVER ALL.
- 4) INSTALL LOW VOLTAGE CIRCUITS, LOCATED IN CONCRETE SLABS AND MASONRY WALLS, OR EXPOSED IN OCCUPIED AREAS, TO BE ELECTRIFIED IN CONDUIT.
- 5) ALL WIRING IN AREAS USED AS AIR PLenums SHALL BE IN ELECTRIC CONDUIT EXCEPT THAT LOW VOLTAGE WIRING MAY BE TEFLON COATED, ALUMINUM SHEATHED CABLE OR OTHER NRC SPECIFICALLY APPROVED FOR INSTALLATION IN AIR PLenums, WHERE ACCEPTABLE BY LOCAL CODES.
- 6) ALL WIRING IN AREAS NOT USED FOR AIR MOVEMENT SHALL BE IN ELECTRIC METALLIC TUBING EXCEPT LOW VOLTAGE WIRING MAY BE IN APPROVED SIGNAL CABLE WHERE ACCEPTED BY LOCAL CODES.
- THERMOSTATIC CONTROLS TO HAVE A 5°F DEADBAND AND SETPOINT OVERLAP RESTRICTIONS.**
- 1) TEMPERATURE CONTROLS SETBACK TO BE 35°F (HEAT) AND 05° (COOL), 2-HOUR OCCUPANT OVERRIDE, 10-HOUR BACKUP.
- REMODELING WORK:**
- DEMOLITION, DISCONNECT, DEMOLISH, AND REMOVE ABANDONED MECHANICAL MATERIALS AND EQUIPMENT INDICATED TO BE REMOVED AND NOT INDICATED TO BE SALVAGED OR REMAIN.
- EQUIPMENT TO BE SALVAGED:**
- 1) DISCONNECT AND REMOVE EXISTING MECHANICAL EQUIPMENT INDICATED TO BE REMOVED AND SALVAGED. DELIVER EQUIPMENT TO THE LOCATION DESIGNATED BY THE OWNER FOR STORAGE.
- 2) ALL MATERIALS AND EQUIPMENT DESIGNATED TO BE REUSED OR RELOCATED SHALL BE CAREFULLY REMOVED, AND STORED UNTIL NEEDED FOR REMODELING WORK. ALL ITEMS SHALL BE RESTORED TO THE NEW CONDITION. REPAIR OR RECONSTRUCTION REQUIRED TO REPAIR OR RELOCATE ITEMS OR REPAINTED AS REQUIRED TO MATCH NEW CONSTRUCTION, AND THOROUGHLY CLEANED AND INSPECTED. ITEMS WHICH BECOME DAMAGED BEYOND REPAIR AS A RESULT OF CONSTRUCTION OR DEMOLITION ACTIVITY SHALL BE REPLACED WITH NEW MATERIAL EQUIVALENT IN EVERY RESPECT.
- DISPOSAL AND CLEANUP:** REMOVE FROM THE SITE AND LEGALLY DISPOSE OF DEMOLISHED MATERIALS AND EQUIPMENT NOT INDICATED TO BE SALVAGED.

MP000

MECHANICAL GENERAL NOTES:

- COORDINATE ALL WORK WITH OTHER TRADES AND EXISTING CONDITIONS AS REQUIRED TO PROPERLY INSTALL ALL SYSTEMS AS INTENDED, WITHIN THE CONFINES OF THE SPACES AVAILABLE, AND WITHOUT INTERFERENCES.
- THIS CONTRACTOR SHALL PERFORM ALL WORK INDICATED AND/OR AS REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE MECHANICAL SYSTEMS.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DIFFUSERS.
- INSTALL ALL DUCT, PIPE, ETC. AS HIGH AS POSSIBLE.
- DUCT SIZES SHOWN ARE ACTUAL SHEET METAL SIZES AND INCLUDE AN ALLOWANCE FOR DUCT LINER WHERE APPLICABLE.
- PROVIDE FLEXIBLE CONNECTION BETWEEN DUCTWORK AND ROOFTOP UNITS, EXHAUST FANS, AND OTHER MOTORIZED EQUIPMENT.
- NO DUCT SHALL BE ROUTED OVER THE TOP OF ELECTRICAL PANELS.
- ALL MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84.
- ALL MECHANICAL SYSTEMS SHALL BE BALANCED BY A CERTIFIED BALANCING CONTRACTOR. REFER TO SPECIFICATIONS FOR DETAILS.
- ALL EXPOSED DUCT TO BE DOUBLE-WALL INSULATED.

MECHANICAL PLAN NOTES:

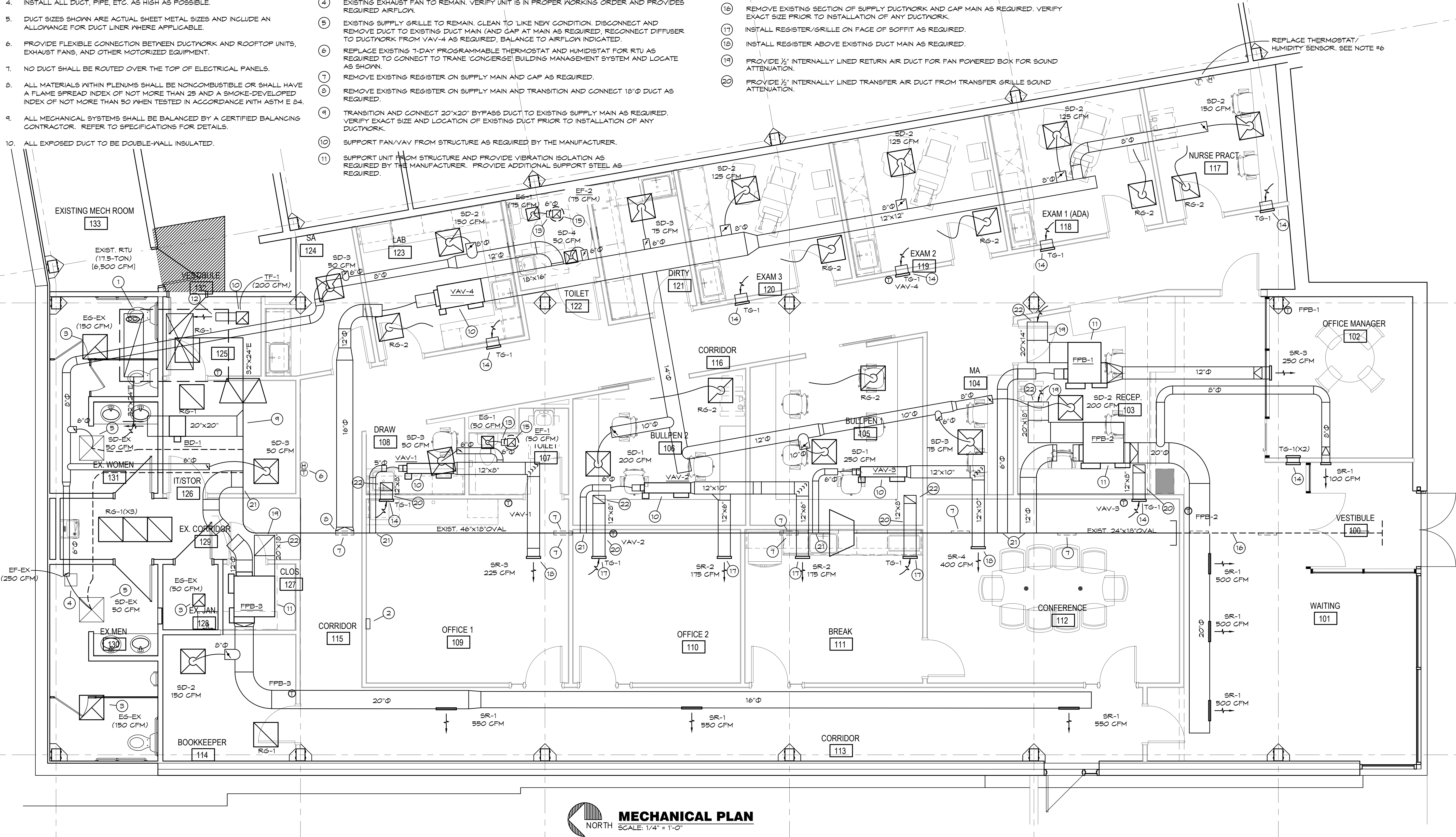
- EXISTING ROOFTOP UNIT TO REMAIN. REFER TO PREVENTATIVE MAINTENANCE CHECK-UP FOR ADDITIONAL INFORMATION. ADJUST OUTDOOR AIR DAMPER ON UNIT AS PER SCHEDULE. PROVIDE TRANCE UC 400' CONTROLLER TO CONNECT TO TRANCE 'CONCERGE' BUILDING MANAGEMENT SYSTEM. VERIFY SMOKE DETECTOR LOCATED IN RETURN AIR.
- PROVIDE TRANE 'CONCERGE' BUILDING MANAGEMENT SYSTEM AND CONNECT RTU, VAV, FFB, BYPASS DAMPERS AS REQUIRED FOR A COMPLETE OPERATIONAL SYSTEM. COORDINATE WITH TENANT FOR EXACT LOCATION OF TRANE 'CONCERGE' CONTROL PANEL AND DISPLAY.
- EXISTING EXHAUST GRILLE TO REMAIN. CLEAN TO 'LIKE NEW' CONDITION AND BALANCE TO AIRFLOW INDICATED.
- EXISTING EXHAUST FAN TO REMAIN. VERIFY UNIT IS IN PROPER WORKING ORDER AND PROVIDES REQUIRED AIRFLOW.
- EXISTING SUPPLY GRILLE TO REMAIN. CLEAN TO 'LIKE NEW' CONDITION. DISCONNECT AND REMOVE DUCT TO EXISTING DUCT MAIN (AND CAP AT MAIN AS REQUIRED, RECONNECT DIFFUSER TO DUCTWORK FROM VAV-4 AS REQUIRED, BALANCE TO AIRFLOW INDICATED).
- REPLACE EXISTING 7-DAY PROGRAMMABLE THERMOSTAT AND HUMIDISTAT FOR RTU AS REQUIRED TO CONNECT TO TRANE 'CONCERGE' BUILDING MANAGEMENT SYSTEM AND LOCATE AS SHOWN.
- REMOVE EXISTING REGISTER ON SUPPLY MAIN AND CAP AS REQUIRED.
- REMOVE EXISTING REGISTER ON SUPPLY MAIN AND TRANSITION AND CONNECT 18"Ø DUCT AS REQUIRED.
- TRANSITION AND CONNECT 20"x20" BYPASS DUCT TO EXISTING SUPPLY MAIN AS REQUIRED. VERIFY EXACT SIZE AND LOCATION OF EXISTING DUCT PRIOR TO INSTALLATION OF ANY DUCTWORK.
- SUPPORT FAN/VAV FROM STRUCTURE AS REQUIRED BY THE MANUFACTURER.
- SUPPORT UNIT FROM STRUCTURE AND PROVIDE VIBRATION ISOLATION AS REQUIRED BY THE MANUFACTURER. PROVIDE ADDITIONAL SUPPORT STEEL AS REQUIRED.

MECHANICAL PLAN NOTES:

- DISCHARGE 8"Ø TRANSFER AIR FROM FAN ABOVE CEILING AS REQUIRED.
- CONNECT 6"Ø EXHAUST TO EXHAUST GRILLE AND ROUTE UP THRU ROOF TO EXHAUST FAN AS REQUIRED. VERIFY 10'-0" CLEARANCE FROM ALL OUTDOOR AIR INTAKES, SEAL PENETRATION WEATHERTIGHT.
- INSTALL TRANSFER AIR GRILLES AS HIGH AS POSSIBLE.
- CUT EXISTING ROOF AND FLASH INTO ROOF AS REQUIRED. ALL ROOFING WORK SHALL BE PERFORMED BY BUILDING OWNER'S ROOFING CONTRACTOR (AT THIS CONTRACTOR'S EXPENSE) TO MAINTAIN EXISTING ROOF WARRANTY. VERIFY APPROVED ROOFING CONTRACTOR WITH BUILDING OWNER PRIOR TO PERFORMING WORK.
- REMOVE EXISTING SECTION OF SUPPLY DUCTWORK AND CAP MAIN AS REQUIRED. VERIFY EXACT SIZE PRIOR TO INSTALLATION OF ANY DUCTWORK.
- INSTALL REGISTER/GRILLE ON FACE OF SOFFIT AS REQUIRED.
- INSTALL REGISTER ABOVE EXISTING DUCT MAIN AS REQUIRED.
- PROVIDE 1/2" INTERNALLY LINED RETURN AIR DUCT FOR FAN POWERED BOX FOR SOUND ATTENUATION.
- PROVIDE 1/2" INTERNALLY LINED TRANSFER AIR DUCT FROM TRANSFER GRILLE SOUND ATTENUATION.

MECHANICAL PLAN NOTES:

- CONNECT BRANCH DUCT TO EXISTING DUCT MAIN AS REQUIRED. VERIFY EXACT SIZE AND LOCATION OF EXISTING MAIN PRIOR TO INSTALLATION OF ANY DUCTWORK.
- OPEN RA DUCT ABOVE CEILING.



MECHANICAL PLAN
SCALE: 1/4" = 1'-0"

BC PROJECT #: 21759
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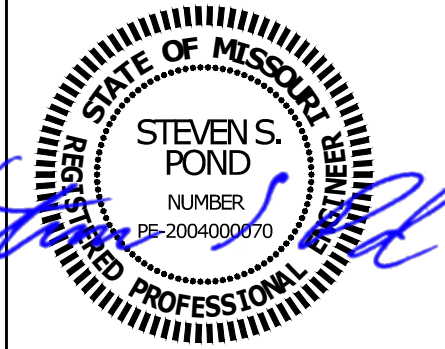
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TENANT SPACE RENOVATION
BLUE SKY FERTILITY
451 NW MURRAY ROAD
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MECHANICAL
SCHEDULES

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EXHAUST/TRANSFER FAN SCHEDULE

MARK	MFGR	MODEL	CFM	EXTERNAL STATIC P. IN. WG.	RPM	ELECTRICAL		FAN TYPE	CONTROLS	NOTES
						VOLT/Ø/HZ	FWR			
EF-1	COOK	TOC10D	50	0.1	1160	120/1/60	69 W	ROOF EXHAUST	SWITCH	2
EF-2		TOC10D	75		1160		69 W		SWITCH	2
TF-1		GC-182	200		1,400		167 W	CEILING EXHAUST	T-STAT	1

- NOTES: 1. PROVIDE CEILING GRILLE, INTEGRAL BACK DRAFT DAMPER, AND VARI-SPEED CONTROLLER (NEAR FAN AND ABOVE CEILING) AND COOLING ONLY THERMOSTAT SET TO 60°F.
2. PROVIDE INSULATED 18" HIGH (AT LOWEST POINT) PREFABRICATED ROOF CURB, BACKDRAFT DAMPER, BIRD SCREEN, UNIT MOUNTED VARIABLE SPEED CONTROLLER.

FAN POWERED TERMINAL SCHEDULE

MARK	MFGR	MODEL NO.	INLET SIZE	BOX SIZE	MAX CFM	MIN CFM	Δ P (IN WG)	CFM RANGE	MAX S.P. SEE NOTE # 2	ELECTRIC HEATING COIL				ELECTRICAL		REMARKS
										FAN CFM	KV	MBH	STAGES	VOLT/Φ/HZ	FAN HP	
FPB-1	TRANE	VPEF	6"	02	250	80	0.05	60 - 500	0.5	150	2.0	6.8	1	208/1/60	1/8	-
FPB-2			12"	07	1600	240		240 - 2000		960	10.0	34.1	2	208/3/60	1	-
FPB-3			12"	07	1800	240		240 - 2000		1140	12.0	40.9	2	208/3/60	1	-

- NOTES: 1. ALL BOXES SHALL BE PRESSURE INDEPENDENT.
2. MAXIMUM STATIC PRESSURE DOWNSTREAM OF BOX OUTLET.
3. ALL BOXES SHALL HAVE A MINIMUM OF 3 INLET DIAMETERS OF STRAIGHT DUCT AT BOX INLET.
4. REFER TO DETAIL FOR TEMPERATURE CONTROL SEQUENCE.
5. PROVIDE 24 VOLT CONTROL TRANSFORMER & WALL MOUNTED TEMPERATURE SENSOR/THERMOSTAT FOR EACH UNIT.
6. MAXIMUM RADIATED SOUND PRESSURE LEVEL (Lp) NOT TO EXCEED THE FOLLOWING FOR RC 40N PER AHRI STANDARD 885-2008.
7. ACOUSTICAL MATERIAL SHALL BE 3/4" DUAL DENSITY COATED TO PREVENT AIR EROSION & MEETS REQUIREMENTS OF UL 181 & NFPA-90A.
8. PROVIDE 1" THICK THROWAWAY TYPE FILTER WITH HOLDING FRAME ON RA INLET, WITH BOTTOM ACCESS, VIBRATION ISOLATORS & NON-FUSED DISCONNECT FOR EACH UNIT.
9. PROVIDE TRANE UC210 VAV CONTROLLER TO CONNECT TO 'TRANE CONCIERGE' BUILDING CONTROL SYSTEM.

OCTAVE BAND	2	3	4	5	6	7
Lp (RC 40N)	55	50	45	40	35	30

SINGLE DUCT VAV TERMINAL SCHEDULE

MARK	MFGR	MODEL NO.	INLET SIZE	MAX CFM	MIN CFM	Δ P (IN WG)	CFM RANGE	DOWNSTREAM STATIC PRESS. (IN WG)	REMARKS
V-1	TRANE	VCEF	5"	275	60	0.02	40 - 350	0.5	1,2,3,4,5,6,7
V-2			6"	350	80	0.23	60 - 500		1,2,3,4,5,6,7
V-3			6"	400	120	0.23	60 - 500		1,2,3,4,5,6,7
V-4			12"	1600	482	0.08	240 - 2000		1,2,3,4,5,6,7
BD-1		VARA	20"x20"	5200	0	-	0 - 5600	0.1	1,2,3,4,5,6,8

- NOTES: 1. ALL BOXES SHALL BE PRESSURE INDEPENDENT.
2. ALL BOXES SHALL HAVE A MINIMUM OF 3 INLET DIAMETERS OF STRAIGHT DUCT AT BOX INLET.
3. REFER TO DETAIL FOR TEMPERATURE CONTROL SEQUENCE.
4. PROVIDE 24 VOLT CONTROL TRANSFORMER & WALL MOUNTED THERMOSTAT FOR EACH UNIT.
5. MAXIMUM RADIATED SOUND PRESSURE LEVEL (Lp) NOT TO EXCEED THE FOLLOWING FOR RC 40N PER AHRI STANDARD 885-2008.
6. ACOUSTICAL MATERIAL SHALL BE 3/4" DUAL DENSITY COATED TO PREVENT AIR EROSION & MEETS REQUIREMENTS OF UL 181 & NFPA-90A.
7. PROVIDE TRANE UC210 VAV CONTROLLER TO CONNECT TO 'TRANE CONCIERGE' BUILDING CONTROL SYSTEM.
8. PROVIDE TRANE UC210 BYPASS DAMPER CONTROLLER TO CONNECT TO 'TRANE CONCIERGE' BUILDING CONTROL SYSTEM.

ALL EXISTING HVAC UNITS SHOULD HAVE A PREVENTATIVE MAINTENANCE CHECK-UP TO INCLUDE THE FOLLOWING CRITERIA

- CHANGE ALL FILTERS.
- CLEAN ALL CONDENSATE DRAIN PANS AND FLUSH ALL CONDENSATE DRAIN LINES.
- CLEAN ALL EVAPORATOR AND CONDENSER COILS WITH A NON-ACID CLEANER.
- CHECK REFRIGERANT CHARGE (GUAGES OR RETURN/SUPPLY TEMPERATURE VARIANCE).
- PROVIDE COMPLETE LUBRICATION OF ALL SHAFTS AND BEARINGS THAT HAVE LUBRICATION ZERKS.
- THE REPLACEMENT OF ALL BELTS, HOSES AND FABRIC/RUBBER COATED ITEMS THAT ARE SUBJECT TO WEAR.
- CHECK AMPS OF THE INDOOR, OUTDOOR MOTORS, AND COMPRESSORS
- TURN UNIT POWER OFF - TIGHTEN ALL ELECTRICAL CONNECTIONS, CONTACTORS, ETC.
- EXAMINE AND REPAIR ALL ELECTRICAL WIRING, CONTROLS, STARTERS, RELAYS, CAPACITORS AND LIKE ITEMS THAT TEND TO DETERIORATE OVER TIME OR BECOME NON-OPERATIONAL. THIS INCLUDES SMOKE DETECTORS.
- GREASE ALL FITTINGS
- GREASE DUCTWORK CONNECTIONS AND REPAIR AS NEEDED.
- NOTIFY GENERAL CONTRACTOR OF ANY REQUIRED PARTS OR REPAIRS NOT INCLUDED IN THIS LIST. ALL UNITS SHALL BE FUNCTIONING AND COOLING PROPERLY AT COMPLETION OF JOB.
- CHECK THE ECONOMIZER FOR PROPER FUNCTION AND CORRECT OPERATION OF THE SYSTEM WHEN A CALL FOR COOLING COMES FROM THE THERMOSTAT. REPAIR AND ADJUST AS NEEDED.
- VERIFY ANY WORK REQUIRED BY THE LANDLORD PRIOR TO BID.
- ALL FINDINGS AND VALUES TO BE NOTED AND PROVIDED TO TENANT'S CONSTRUCTION MANAGER & OR TENANT'S MAINTENANCE DIRECTOR.

DIFFUSER SCHEDULE

MARK	MFGR	MODEL	BORDER TYPE	NECK SIZE	FACE SIZE	FINISH	DAMPER	ACCESSORIES	NOTES
SD-1	TITUS	TMS	3	10"Ø	24"x24"	WHITE	-	-	-
SD-2				8"Ø			-	-	-
SD-3				6"Ø			-	-	-
SD-4		TMS			12"x12"		-	TRM FRAME	-
RG-1		PAR		22"x22"	24"x24"		-	-	-
RG-2				10"Ø	24"x24"		-	-	1
SR-1		SSOOF	-	18"x10"	-	ANODIZED	AIR SCOOP	-	-
SR-2		SOORL	1	12"x6"	-		OPPOSED BLADE	-	-
SR-3				12"x8"	-			-	-
SR-4				12"x10"	-			-	-
EG-1		PAR	3	6"Ø	12"x12"	WHITE	-	TRM FRAME	-
TG-1		3SO RL	1	12"x8"	-	WHITE	-	-	-

- NOTES: 1. PROVIDE TITUS 10"Ø 'FLEXABOOT' (5' LENGTH) FOR SOUND ATTENUATION.

OUTDOOR AIR CALCULATIONS

UNIT	Area (sqft)	OCCUPANCY CLASSIFICATION	Occupant Density #/1000 sqft	People outdoor airflow rate in breathing zone, (Rp) cfm/person	Area outdoor airflow rate in breathing zone, (Ra) cfm/sqft	Exhaust airflow rate cfm/sqft	Breathing zone outdoor airflow (Vbz)	Zone air distribution effectiveness εz (Ez)	Zone outdoor airflow (cfm)
RTU-1		Hospitals, nursing homes							
	430	Patient rooms	10	25	0		108	0.8	134
		Offices							
	310	Conference rooms	50	5	0.06		96	0.8	120
	1300	Office spaces	5	5	0.06		111	0.8	138
	175	Reception areas	30	5	0.06		37	0.8	46
	190	Break Room	25	5	0.06		35	0.8	44
	610	Main entry lobbies	10	5	0.06		67	0.8	84
		Public spaces							
	1080	Corridors	0	0	0.06		65	0.8	81
	375	Toilet rooms public	0	0	0	30%	0	0.8	0
		Storage							
	100	Storage	0	0	0.06		6	0.8	8
Total									655

EXISTING ROOFTOP UNIT SCHEDULE

MARK	MFGR	MODEL NO.	NOM. TONS	EVAP. CFM	EXT. STATIC P. IN. WG.	COOLING					HOT GAS REHEAT	HEATING (GAS)			ELECTRICAL					UNIT CONTROLS	BLOWER DRIVE TYPE	ECONOMIZER + BAROMETRIC RELIEF		MINIMUM OUTDOOR AIR (CFM)	SEER /EER	TOTAL WEIGHT (LBS)	NOTES
						COOLING STAGES	TOTAL BTUH	SENS. BTUH	AMB.	EVAP. EAT DB/WB		BTUH INPUT	BTUH OUTPUT	HEATING STAGES	VOLT/Ø/HZ	BLOWER MOTOR	POWER EXHAUST	MCA (AMPS)	MOCF (AMPS)			TYPE	CONTROLLER				
RTU-1	TRANE	YHD210	17.5	6500	1.0	2	199,360	158,590	105	80/67	Y	350,000	280,000	2	208/3/60	5 HP	N	-	-	-	BELT	ENTHALPY	STANDARD	655	14.0/12.5	-	1,2

- NOTES: 1. UNIT IS EXISTING, LISTED FOR REFERENCE ONLY. REFER TO PREVENTATIVE MAINTENANCE CHECK-UP FOR ADDITIONAL INFORMATION.
2. PROVIDE TRANE UC400 24V/2C CONTROLLER TO CONNECT TO 'TRANE CONCIERGE' BUILDING CONTROL SYSTEM.

BC PROJECT #: 21759
MISSOURI PE COA #2009003629

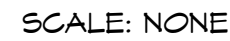
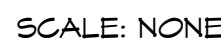
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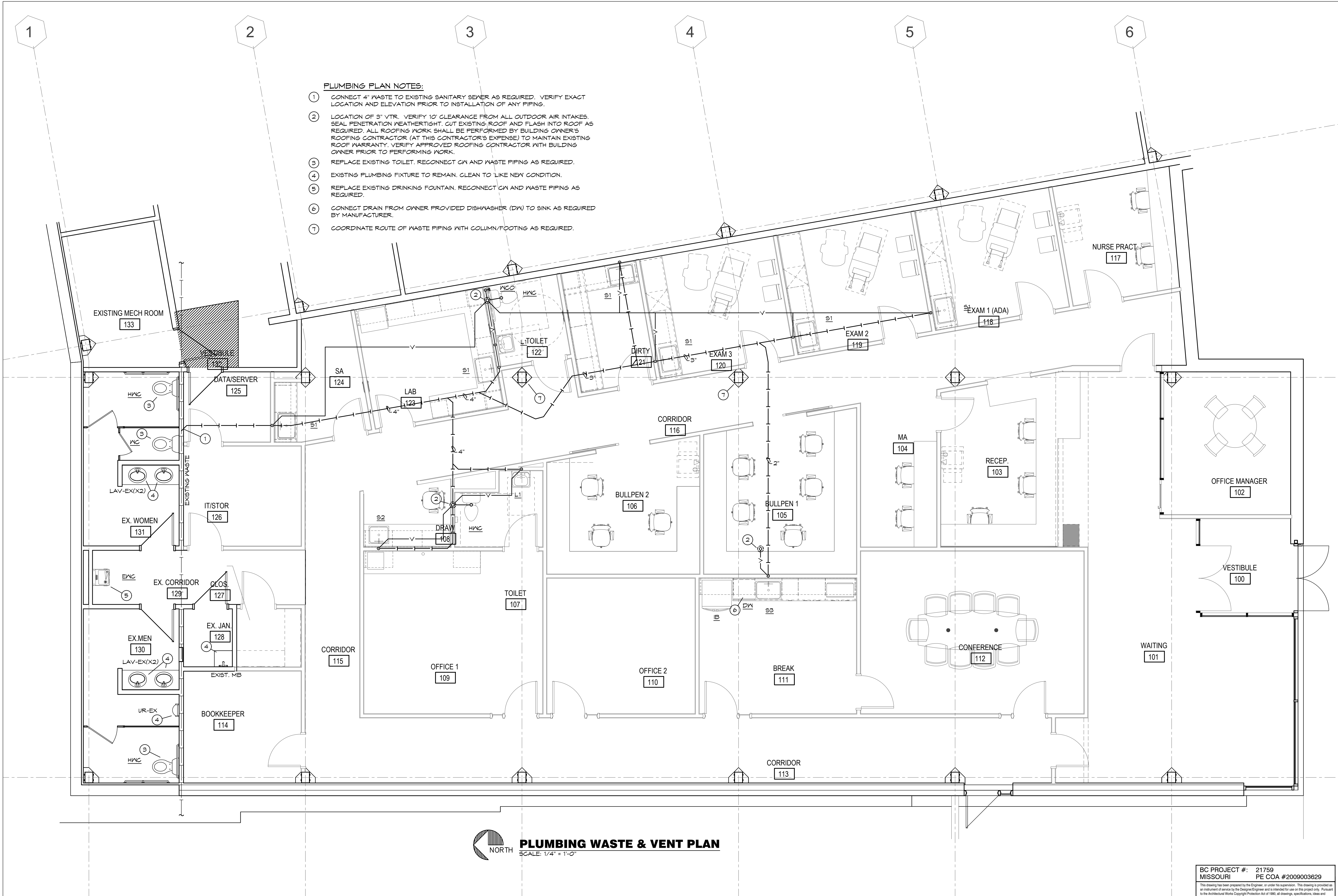
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- PLUMBING PLAN NOTES:**
1. CONNECT 4" WASTE TO EXISTING SANITARY SEWER AS REQUIRED. VERIFY EXACT LOCATION AND ELEVATION PRIOR TO INSTALLATION OF ANY PIPING.
 2. LOCATION OF 3" VTR. VERIFY 10' CLEARANCE FROM ALL OUTDOOR AIR INTAKES. SEAL PENETRATION WEATHERTIGHT. CUT EXISTING ROOF AND FLASH INTO ROOF AS REQUIRED. ALL ROOFING WORK SHALL BE PERFORMED BY BUILDING OWNER'S ROOFING CONTRACTOR (AT THIS CONTRACTOR'S EXPENSE) TO MAINTAIN EXISTING ROOF WARRANTY. VERIFY APPROVED ROOFING CONTRACTOR WITH BUILDING OWNER PRIOR TO PERFORMING WORK.
 3. REPLACE EXISTING TOILET. RECONNECT CM AND WASTE PIPING AS REQUIRED.
 4. EXISTING PLUMBING FIXTURE TO REMAIN. CLEAN TO LIKE NEW CONDITION.
 5. REPLACE EXISTING DRINKING FOUNTAIN. RECONNECT CM AND WASTE PIPING AS REQUIRED.
 6. CONNECT DRAIN FROM OWNER PROVIDED DISHWASHER (DW) TO SINK AS REQUIRED BY MANUFACTURER.
 7. COORDINATE ROUTE OF WASTE PIPING WITH COLUMN/FOOTING AS REQUIRED.

PLUMBING WASTE & VENT PLAN
SCALE: 1/4" = 1'-0"

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REVISIONS		DESCRIPTION
REV. #	DATE	

PERMIT SET

PROJ. NO. 2146
DRAWING TITLE
SCALE: As indicated

PLUMBING WASTE & VENT PLAN

DRAWING NUMBER
P100

PLUMBING WATER PLAN

SCALE: 1/4" = 1'-0"

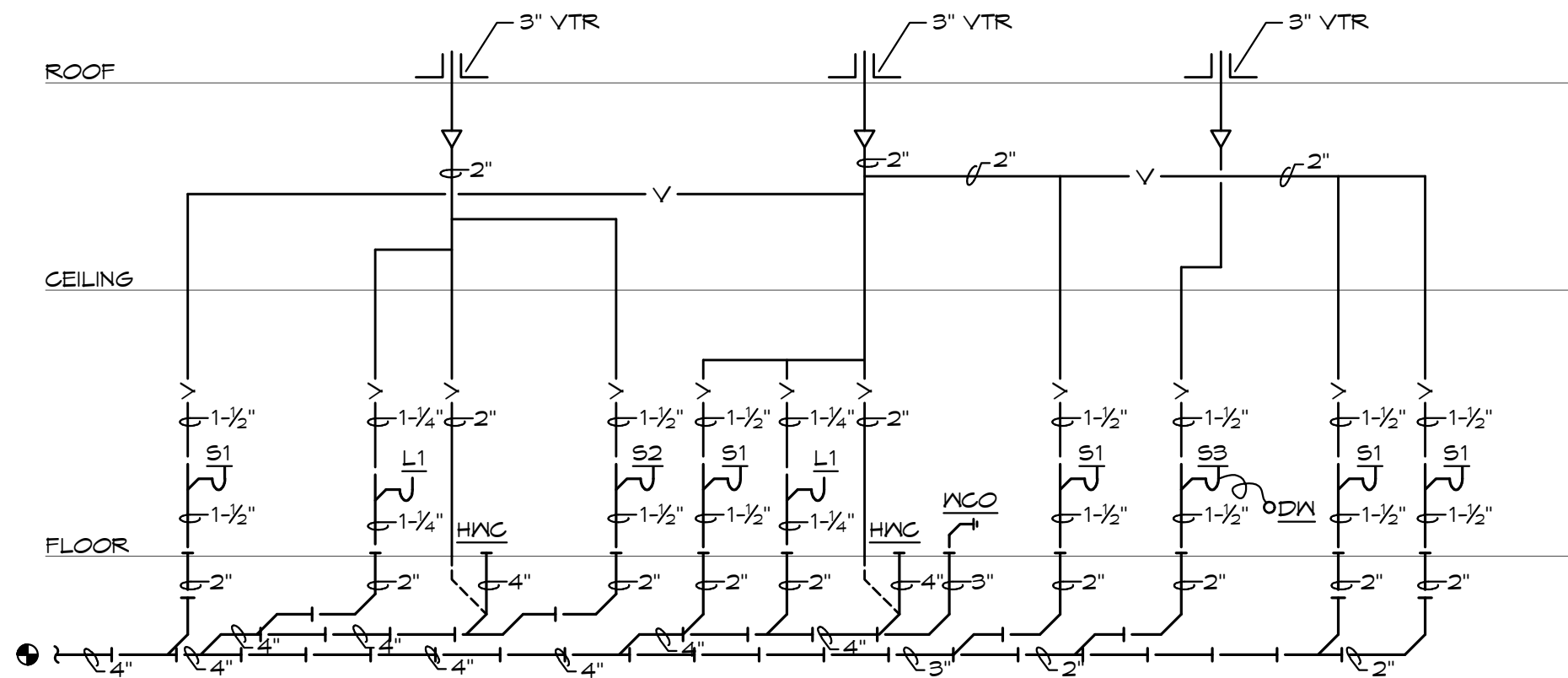
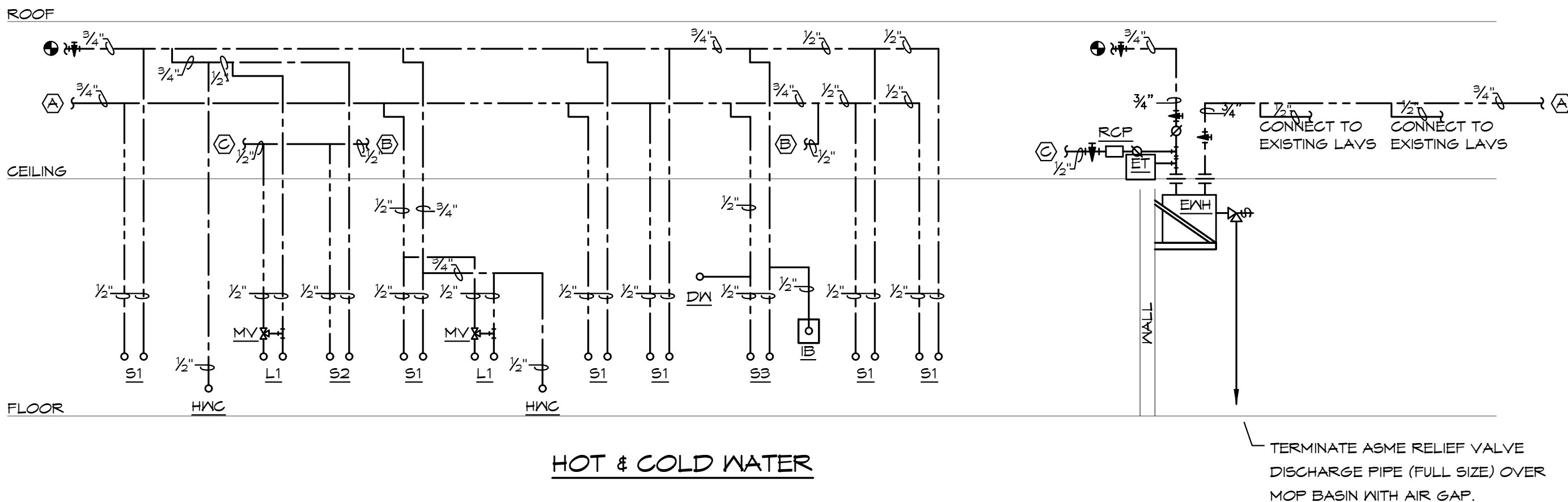
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P200

1. INSTALL ALL PIPE, ETC. AS HIGH AS POSSIBLE.
2. COORDINATE ALL WORK WITH OTHER TRADES AND EXISTING CONDITIONS AS REQUIRED TO PROPERLY INSTALL ALL SYSTEMS AS INTENDED, WITHIN THE CONFINES OF THE SPACES AVAILABLE, AND WITHOUT INTERFERENCES.
3. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND MOUNTING HEIGHTS OF FIXTURES.
4. REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR SUPPORTING PIPING, EQUIPMENT, ETC. FROM THE STRUCTURE. PROVIDE ADDITIONAL STEEL AS REQUIRED TO PROPERLY SUPPORT SYSTEMS FROM THE STRUCTURE.
5. SAW/CUT EXISTING FLOOR AS REQUIRED FOR INSTALLATION OF UNDERFLOOR PIPING. PATCH FLOOR TO MATCH EXISTING.
6. NO PIPING SHALL BE ROUTED OVER THE TOP OF ELECTRICAL PANELS.
7. ALL MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84.
9. CONTRACTOR TO TEST WATER PRESSURE ON SITE AND PROVIDE PRESSURE REDUCING VALVE ON WATER SERVICE IF PRESSURE IS OVER 80 PSI.
9. ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.

	SOIL AND WASTE PIPING BELOW FLOOR/GRADE
	SOIL AND WASTE PIPING ABOVE FLOOR/GRADE
	SANITARY VENT PIPING ABOVE GRADE
	SANITARY VENT PIPING BELOW GRADE
	DOMESTIC COLD WATER PIPING
	DOMESTIC HOT WATER PIPING
	DOMESTIC HOT WATER RECIRCULATION PIPING
	GAS PIPING
	EQUIPMENT DRAIN LINE
	PIPING TURNING DOWN
	PIPING TURNING UP
	TEE TOP CONNECTION
	UNION
	BACKFLOW PREVENTER
	FLOOR DRAIN
	FLOOR CLEAN OUT
	WALL CLEAN OUT
	VALVE
	BALANCING VALVE
	SOLENOID VALVE
	PRESSURE REGULATOR
	CHECK VALVE
	CONNECT TO EXISTING
	I.E. INVERT ELEVATION OF PIPE
	MATCH MARKS ON PLUMBING RISER DIAGRAM

1. THE EXISTING SPACE IS PROTECTED WITH AN EXISTING MET PIPE SPRINKLER SYSTEM. RELOCATE AND PROVIDE ADDITIONAL SPRINKLER HEADS AND PIPING AS REQUIRED FOR THE NEW CONSTRUCTION. SPRINKLER HEADS IN FINISHED CEILINGS SHALL BE SEMI-RECESSED PENDENT TYPE (VERIFY FINISH). SPRINKLER HEADS IN ROOMS WITHOUT CEILINGS SHALL BE UPRIGHT BRASS TYPE HEADS.
2. SPRINKLER WORK SHALL BE PERFORMED BY A LICENSED SPRINKLER CONTRACTOR PRE-APPROVED BY THE OWNER/LANDLORD.
3. REFER TO THE ARCHITECTURAL DRAWINGS FOR NEW WALL CONSTRUCTION.
4. SPRINKLER PIPING SHALL MATCH EXISTING AND COMPLY WITH NFPA 13.
5. SPRINKLER SYSTEM (SHOP DRAWINGS) SHALL BE APPROVED BY THE LOCAL FIRE AUTHORITY AND OWNERS/LANDLORD'S INSURANCE CARRIER PRIOR TO START OF WORK.



WASTE & VENT

PLUMBING RISER DIAGRAMS

SCALE: NONE

N/C HANDICAP WATER CLOSET: TOTO, #C5T454CE(R)(G), "DRAKE CLOSE COUPLED TOILET", 1/28 GALLON TORNADO FLUSH, 16-1/2" HIGH ELONGATED BOWL, FLOOR MOUNTED, FLOOR OUTLET, TANK TYPE, VITREOUS CHINA, SIPHON-JET ACTION, #5C534 OPEN FRONT SEAT WITH CHECK HINGE AND LESS COVER, CHROME PLATED ANGLE STOP AND RISER, HANDLE ON WIDE SIDE OF FIXTURE. NO EXCEPTIONS

N/C WATER CLOSET: TOTO, #C5T176CE(R)(G), "DRAKE CLOSE COUPLED TOILET", 1/28 GALLON TORNADO FLUSH, ELONGATED BOWL, FLOOR MOUNTED, FLOOR OUTLET, TANK TYPE, VITREOUS CHINA, SIPHON-JET ACTION, #5C534 OPEN FRONT SEAT WITH CHECK HINGE AND LESS COVER, CHROME PLATED ANGLE STOP AND RISER. NO EXCEPTIONS

L1 HANDICAP LAVATORY, COUNTERTOP: TOTO, #LT501, VITREOUS CHINA 20"x17" OVAL BASIN, DELTA #127 FAUCET WITH SINK METAL LEVER HANDLE, #P5ET SPOT DRAIN WITH 2-1/4" TAILPIPE, CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT, #11" WALL, CHROME PLATED ANGLE STOPS AND RISERS, INSULATE EXPOSED DRAIN, WATER SUPPLIES, AND VALVES WITH PROMAR SEAMLESS MOLDED CLOSED CELL VINYL INSULATION.

S1 SINK (LAB): ELKAY, #DLR312210, 28"x16"x10-1/8" DEEP BOWL, SINGLE COMPARTMENT, SELF-RIMMING STAINLESS STEEL SINK WITH SATIN FINISH AND SOUND DAMPENING UNDERCOATING, DELTA TRISIC #D5P-K-1159-D2 FAUCET, SPING SPOUT, AERATOR, SINGLE LEVER HANDLE, CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT, CHROME PLATED ANGLE STOPS AND RISERS.

S2 SINK (EXAM): ELKAY, #LRAD-2222, 19"x16"x6 1/2" DEEP BOWL 21-3/8"x 21-3/8" CUT-OUT, ADA COMPLIANT, SINGLE COMPARTMENT, SELF-RIMMING STAINLESS STEEL SINK WITH SATIN FINISH AND SOUND DAMPENING UNDERCOATING, #LK-1000CR FAUCET, SPING SPOUT, AERATOR, SINGLE LEVER HANDLE, CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT, CHROME PLATED ANGLE STOPS AND RISERS.

S3 SINK, DOUBLE COMPARTMENT: ELKAY, #LR-9322, 20 1/2"x21"x6"x8" DEEP BOWL, 32-3/8"x8-3/8" CUT-OUT, SELF-RIMMING STAINLESS STEEL SINK WITH SATIN FINISH AND SOUND DAMPENING UNDERCOATING, FAUCET #LK41041 PULL-DOWN FAUCET, SPING SPOUT, AERATOR, SINGLE HANDLE, #LK-35 BASKET STRAINER WITH 1-1/2" TAILPIPE, CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT, CHROME PLATED ANGLE STOPS AND RISERS, IN-SINK-ERATOR #HDSGR1 IHP DISPOSAL, 1 HP, 120 VOLT, SINK CUT-OUT IN CASEWORK SHALL BE BY CASEWORK CONTRACTOR.

D/N DISHWASHER: OWNER FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. CONNECT TO HW AND DRAIN PIPING UNDER SINK AS REQUIRED. PROVIDE HOSE, PIPING AND SHUT-OFF VALVES AS REQUIRED TO MAKE CONNECTIONS.

ENH HOT WATER HEATER: AO SMITH #DEL-30, 30 GALLON STORAGE, 208 VOLT, 1 PHASE, (2) 4500 WATT ELEMENTS (NON-SIMULTANEOUS), ASME TEMPERATURE AND PRESSURE RELIEF VALVE. SET AT 140°F.

ET HOT WATER EXPANSION TANK: AMTROL, #5T-5, 2 GALLON EXPANSION TANK WITH DIAPHRAGM.

RCF HOT WATER REGICULATING PUMP: BELL & GOSSETT, #SERIES NBF-10, 3 GPM @ 7 FT. HEAD, 1/12 HP, 120 VOLT, WITH HONEYWELL #L6006C1019 AQUASTAT 4 TACO #265-3 TWD DIGITAL TIMER, 120V-125V/F, 1/2" O.P.F.

MV MIXING VALVE: WATTS, #LFUS-B, THERMOSTATIC CONTROLLED MIXING VALVE, LEAD FREE BRONZE BODY, LOCKED TEMPERATURE ADJUSTMENT CAP (VANDAL RESISTANT), COPPER ENCAPSULATED THERMOSTAT ASSEMBLY WITH BRASS SHUTTLE, STAINLESS STEEL SPRINGS, INTEGRAL CHECK VALVES ON HOT AND COLD INLETS, (SET TO 110°F). ASSE 1010 LISTED.

MV1 MIXING VALVE: WATTS, #LFMV THERMOSTATIC CONTROLLED MIXING VALVE, LEAD FREE BRONZE BODY, LOCKED TEMPERATURE ADJUSTMENT CAP (VANDAL RESISTANT), SOLID MAX HYDRAULIC PRINCIPLE THERMOSTAT, INTEGRAL FILTER WASHERS AND CHECK VALVES ON HOT AND COLD INLETS. (SET TO 110°F) ASSE #1017, #1069, #1070

IB ICE BOX: GUY GRAY #AB-9100, ICE BOX WITH 1/2" CONNECTION AND 1/4-TURN SHUT OFF VALVE.

WCO VINYL TILE FLOOR: JR SMITH #4140, OR EQUAL.
QUARRY TILE FLOOR: JR SMITH #4200, OR EQUAL.
CARPETED FLOOR: JR SMITH #4020-Y, OR EQUAL.
UNFINISHED FLOOR: JR SMITH #4020, OR EQUAL.
WALL: JR SMITH #4472, OR EQUAL, 24" ABOVE THE FLOOR.

ENC HANDICAPPED ELECTRIC WATER COOLER WITH BOTTLE FILLER: ELKAY, #Z366BNSLK, BARRIES FREE WATER COOLER WITH EXH20 BOTTLE FILLING STATION, 8.0 GPH, 30 DEGREES F WATER WITH 90 DEGREES AIR TEMPERATURE, 120 VOLT, CORD TO BE SELECTED BY ARCHITECT. WATER COOLER CONTRACTOR TO INSTALL, FRONT AND SIDE PUSH BARS, CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT, CHROME PLATED LOOSE KEY ANGLE STOP, AND FLOOR MOUNTED CARRIER.

FIXTURE	WASTE	VENT	G/N	H/A
WATER CLOSET (TANK TYPE)	4"	2"	1/2"	" - "
LAVATORY	1-1/4"	1-1/4"	1/2"	1/2"
SINK	1-1/2"	1-1/2"	1/2"	1/2"

NOTE: INDIVIDUAL VENTS FOR FIXTURES ON PLANS AND RISER DIAGRAMS HAVE BEEN INCREASED WHERE HORIZONTAL VENT LENGTH IS IN EXCESS OF THE MAXIMUM DISTANCE INDICATED BY THE CODE.

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BLUE SKY FERTILITY
451 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081

ELECTRICAL SPECIFICATIONS (CONTINUED)

- BUS BAR BRAGNS SHALL BE UL LISTED AS INDICATED ON DRAWINGS. ADDITIONAL BRAGNS SHALL BE PROVIDED AS REQUIRED TO MEET OR EXCEED INDICATED AVAILABLE FAULT CURRENT.
- F. DIRECTORY CARDS SHALL BE COMPLETELY FILLED IN BY TYPEWRITER, LISTING CIRCUIT NUMBERS AND LOAD SERVED, INCLUDING EXISTING CIRCUITS. CIRCUIT BREAKERS SHALL BE PROVIDED WITH CIRCUIT NUMBER LABELS AS HEREINAFORE SPECIFIED.
11. DISCONNECTS:
- A. DISCONNECTS SHALL BE EXTERNALLY OPERATED, QUICK-MAKE, QUICK-BREAK, SAFETY, WITH PROVISIONS FOR PAD LOCKING. FUSED AND NON-FUSED DISCONNECT SWITCHES SHALL BE PROVIDED AS INDICATED.
- B. INDOOR SWITCHES SHALL BE NEMA 1 AND OUTDOOR SWITCHES SHALL BE NEMA 3R, UNLESS INDICATED OTHERWISE.
12. FUSES:
- A. FUSES PROTECTING CIRCUIT BREAKER PANELS SHALL BE CURRENT LIMITING UL CLASS RK-1 FUSES WITH 200,000 AMPERES RMS SYM INTERRUPTING CAPACITY. FUSING ELEMENTS SHALL BE SILVER FOR RATINGS ABOVE 60 AMPERES.
- B. ALL OTHER FUSES SHALL BE UL CLASS RK-5, DUAL-ELEMENT WITH A MINIMUM TIME-DELAY OF 10 SECONDS AT 800% RATING. FUSES SHALL HAVE CURRENT-LIMITING SHORT-CIRCUIT LINKS AND 200,000 AMPERES RMS SYM INTERRUPTING CAPACITY. FUSING ELEMENTS SHALL BE COPPER.
13. LIGHT FIXTURES:
- A. WHERE LIGHT FIXTURES ARE MOUNTED IN A LAY-IN CEILING, PROVIDE A MINIMUM OF 2 SUPPORT WIRES ATTACHED DIRECTLY BETWEEN EACH LIGHT FIXTURE AND THE BUILDING STRUCTURE. SUPPORT WIRES SHALL BE A MINIMUM OF 12 GAUGE GALVANIZED STEEL WIRE, SPOUT ANNEALED.
- B. FIXTURES ARE REQUIRED AT ALL LIGHTING OUTLETS SHOWN ON THE DRAWINGS. APPROVED LIGHTING FIXTURE WIRE IS REQUIRED IN ALL FIXTURES AND FIXTURE RACINGS. WEATHERPROOF WIRING IS REQUIRED FOR EXTERIOR FIXTURES. ALL PARTS OF FIXTURES AND WIRING SHALL BE IN ACCORDANCE WITH NEC REQUIREMENTS.
- C. ALL FIXTURES SHALL CARRY UL AND ETL LABELS.
14. SLEEVES:
- A. PROVIDE, SET, AND PROPERLY LOCATE PIPE SLEEVES AS REQUIRED FOR THIS WORK.
- B. INTERIOR PARTITIONS: 16 GAUGE GALVANIZED STEEL, PACK BETWEEN CONDUIT AND SLEEVE WITH FIRE SAVING AND CAULK AT EACH END WITH FIRE RESISTANT SEALANT.
- C. ROOF: PROSET OR EQUAL, MANUFACTURED FV3 SCHEDULE 40 PIPE SLEEVE WITH WEATHERPROOF SEAL. COORDINATE WITH ROOFING CONTRACTOR AND FLASH AS REQUIRED TO MAINTAIN ROOF WARRANTY.
15. GROUNDING:
- A. GROUND ALL ELECTRICAL APPARATUS IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC) 250, AND ANY LOCAL REQUIREMENTS. INSURE CONTINUOUS BOND WHERE FLEXIBLE CONDUIT IS USED. PROVIDE BONDING JUMPER INSIDE ALL FLEXIBLE CONDUIT.
- B. BOND METAL FINISH SYSTEMS IN COMPLIANCE WITH NEC 250.4(A)(4).
16. REMODELING WORK:
- A. DEMOLITION, DISCONNECT, DEMOLISH AND REMOVE ABANDONED ELECTRICAL MATERIALS AND EQUIPMENT INDICATED TO BE REMOVED AND NOT INDICATED TO BE SALVAGED OR REMAIN.
- B. EQUIPMENT TO BE SALVAGED:
- 1) DISCONNECT AND REMOVE EXISTING ELECTRICAL EQUIPMENT INDICATED TO BE REMOVED AND PUT BACK IN WORKING EQUIPMENT TO THE LOCATION DESIGNATED BY THE OWNER FOR STORAGE.
- 2) ALL MATERIALS AND EQUIPMENT DESIGNATED TO BE REUSED OR RELOCATED SHALL BE CAREFULLY REMOVED AND STORED UNTIL NEEDED FOR REMODELING WORK. ALL ITEMS SHALL BE RESTORED TO "LIKE NEW" CONDITION WITH RUST OR CORROSION REMOVED, SURFACE PAINT TOUCHED UP OR REPAINTED AS REQUIRED TO MATCH NEW CONSTRUCTION, AND THOROUGHLY CLEANED AND INSPECTED. ANY ITEMS WHICH BECOME DAMAGED BEYOND REPAIR AS A RESULT OF CONSTRUCTION OR DEMOLITION ACTIVITY SHALL BE REPLACED WITH NEW MATERIAL EQUIVALENT IN EVERY RESPECT.
- C. DISPOSAL AND CLEANUP: REMOVE FROM THE SITE AND LEGALLY DISPOSE OF DEMOLISHED MATERIALS AND EQUIPMENT NOT INDICATED TO BE SALVAGED.
- D. PROTECT ADJACENT MATERIALS INDICATED TO REMAIN. INSTALL AND MAINTAIN DUST AND NOISE BARRIERS TO KEEP DIRT, DUST, AND NOISE FROM BEING TRANSMITTED TO ADJACENT AREAS. REMOVE PROTECTION AND BARRIERS AFTER REMODELING OPERATIONS ARE COMPLETE.
- E. PROVIDE ALL ALTERATIONS AND REWORK INDICATED AND/OR REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF ALL EXISTING ELECTRICAL SYSTEMS, INTEGRATING THE NEW AND EXISTING AREAS. LOCATE, IDENTIFY, AND PROTECT ELECTRICAL SERVICES PASSING THROUGH REMODELING AREA AND SERVING OTHER AREAS OUTSIDE THE REMODELING LIMITS. MAINTAIN SERVICES TO AREAS OUTSIDE REMODELING LIMITS. WHEN SERVICES MUST BE INTERRUPTED, INSTALL TEMPORARY SERVICES FOR AFFECTED AREAS.
- 1) ABANDONED CONDUIT SHALL HAVE WIRE REMOVED AND SHALL BE CAPPED. ABANDONED OUTLETS IN WALLS OR PARTITIONS SHALL HAVE DEVICES AND WIRE REMOVED, AND SHALL BE COVERED.
- 2) WHERE EXISTING CONDUITS TERMINATE AT AN EXISTING OUTLET IN A WALL, CEILING, OR FLOOR TO BE REMOVED, DISCONNECT AND REMOVE DEVICE AND WIRE FROM CONDUIT. CONDUIT SHALL BE CUT BACK AND CAPPED (BELOW THE FLOOR OR ABOVE THE CEILING) SO NOT TO CREATE AN OBSTRUCTION. PATCH FLOOR TO MATCH EXISTING.
- 3) WHERE EXISTING CIRCUITS EXTEND BEYOND THE OUTLET IN THE EXISTING WALL, CEILING, OR FLOOR TO BE REMOVED, FURNISH AND INSTALL NEW CONDUIT AND WIRE TO EITHER REROUTE THE CIRCUIT OR FEED THE REMAINING OUTLET(S) FROM ANOTHER ELECTRICAL SOURCE, BUT IN SUCH A MANNER AS NOT TO REUSE THE CIRCUIT. ALL REROUTED CONDUIT SHALL BE APPROVED BY THE ARCHITECT.
- 4) WHERE EXISTING OUTLETS IN A WALL, CEILING, OR FLOOR TO BE REMOVED ARE ESSENTIAL TO MAINTAIN OPERATION OF OTHER REMAINING OUTLETS, RELOCATE THE OUTLET TO A NEW CONVENIENT LOCATION. EXISTING WIRING DEVICES SHALL NOT BE REDUSED, UNLESS OTHERWISE INDICATED.
- 5) WHERE LIGHTING FIXTURES ARE INDICATED TO BE DEMOLISHED, REMOVE ALL WIRE AND MODIFY THE EXISTING CONDUIT (IF APPLICABLE) FOR THE NEW LIGHTING. ALL UNUSED CONDUIT SHALL BE REMOVED.
- 6) WHERE A TELEPHONE CIRCUIT EXTENDS BEYOND AN OUTLET IN AN EXISTING WALL, CEILING, OR FLOOR TO BE REMOVED, PROVIDE NECESSARY EMPTY CONDUIT AND NOTIFY THE OWNER WHO WILL REQUEST THE OWNER TO ARRANGE WITH THE TELEPHONE COMPANY FOR NEW WIRING TO OUTLETS THAT REMAIN.
- 7) WHERE EXISTING CONDUIT AND WIRE RUNS ARE LOCATED IN OR ATTACHED TO AN EXISTING WALL, CEILING OR FLOOR TO BE REMOVED, THEY SHALL BE REROUTED IN EITHER NEW OR EXISTING CONSTRUCTION TO MAINTAIN CONTINUITY OF CIRCUITS UNLESS OTHERWISE INDICATED.
- 8) CONDUIT SHALL BE CONCEALED WITHIN THE EXISTING BUILDING CONSTRUCTION WHEREVER POSSIBLE, EXCEPT WHERE OTHERWISE INDICATED.
- 9) EXISTING WIRE SHALL BE DISCONNECTED AND REMOVED WHEREVER EXISTING CIRCUITS ARE ABANDONED.
17. BOXES IN FIRE RATED ASSEMBLIES:
- A. OUTLET BOXES THAT DO NOT EXCEED 16 SQUARE INCHES AND INSTALLED IN FIRE RATED WALLS SHALL NOT BE INSTALLED CLOSER THAN 4" HORIZONTAL, NOSES TO OTHER OUTLET BOXES.
- B. IF BOXES MUST BE INSTALLED WITHIN 24" OF EACH OTHER, THEN BOTH OUTLET BOXES SHALL BE PROTECTED WITH LISTED PUTTY PADS, 3M FIRE BARRIER FOLDABLE PUTTY, OR EQUAL.
18. FIRE ALARM SYSTEM (AEGS FIRE PROTECTION):
- ELECTRICAL CONTRACTOR SHALL PROVIDE DESIGN BUILD ENGINEERED SHOP DRAWINGS OF FIRE ALARM SYSTEM TO BE INSTALLED. PROVIDE DEVICES, CONDUIT, WIRES, CABLE PROGRAMMING AND TESTING AS DIRECTED BY EQUIPMENT MANUFACTURER AND LOCAL FIRE DEPARTMENT FOR A CODE COMPLIANT FIRE ALARM/DETECTION SYSTEM. MATERIALS, EQUIPMENT, AND WORKMANSHIP SHALL MEET PREVAILING CODES. THE SYSTEM SHALL BE COMPLETE AND OPERABLE. SUBMIT ONE LINE DIAGRAM OF SYSTEM WITH NOTES AND BATTERY CALCULATIONS. EQUIPMENT TO BE NEW AND SHALL BE STAMPED, IN CALIBRATION, AND TESTED BY FACTORY CERTIFIED TECHNICIAN. FIRE ALARM DEVICES ARE SHOWN FOR INTENT ONLY FOR PERMITTING PROCESS. CONTRACTOR IS RESPONSIBLE FOR INCLUDING IN BID/DESIGN ALL NECESSARY DEVICES (ANNUNCIATOR(S), NOTIFICATION APPLIANCES, INITIATING DEVICES, AND ADDITIONAL COMPONENTS).

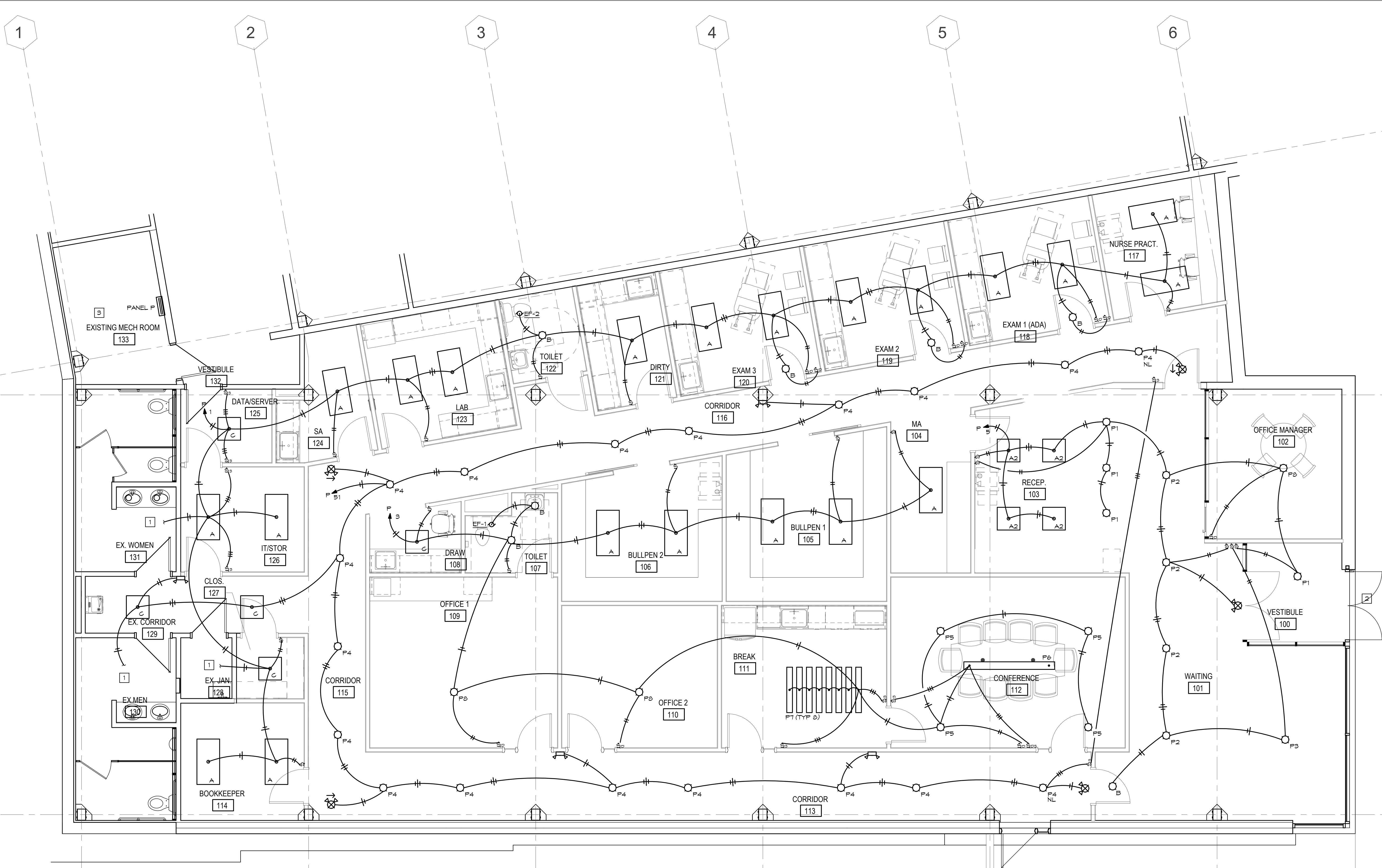
ELECTRICAL SYMBOLS LIST

ELECTRICAL SYMBOLS LIST	
<u>CIRCUITING & NOTES</u>	
+46"	SPECIAL MOUNTING HEIGHT FOR ASSOCIATED DEVICE (CENTERLINE OF DEVICE)
GFI	GROUND FAULT CIRCUIT INTERRUPTER DEVICE
WP	WEATHERPROOF ENCLOSURE ON DEVICE
E	EXISTING DEVICE TO REMAIN
	ELECTRICAL FLOOR PLAN NOTE WITH DESIGNATION
	CONDUIT CONCEALED WHERE POSSIBLE OR AS NOTED, ARROWS INDICATE HOME RUN TO PANEL. CIRCUIT NUMBERS INDICATED
	#12 WIRE IN CONDUIT, UNLESS NOTED OTHERWISE ON DRAWINGS OR SPECIFICATION
	GROUNDING CONDUCTOR, #12 WIRE UNLESS NOTED OTHERWISE ON DRAWINGS OR SPECIFICATION
	CONDUIT ROUTED UNDER FLOOR/GRADE
<u>LIGHTING</u>	
	EMERGENCY TWIN HEAD LIGHT FIXTURE
	EXIT LIGHT WITH DIRECTIONAL ARROWS INDICATED
	STRIP FIXTURE WITH TYPE DESIGNATION
	RECESSED OR SURFACE MOUNTED FIXTURE WITH TYPE DESIGNATION
	NIGHT LIGHT, CONNECT TO UNSWITCHED CIRCUIT
	CEILING OR RECESSED FIXTURE WITH TYPE DESIGNATION
	WALL MOUNTED FIXTURE WITH TYPE DESIGNATION
<u>POWER DEVICES</u>	
	DUPLEX RECEPTACLE, BOTTOM OF BOX AT 16" AFF, UNLESS NOTED OTHERWISE
	FOURPLEX RECEPTACLE, BOTTOM OF BOX AT 16" AFF, UNLESS NOTED OTHERWISE
	DEVICE MOUNTED ABOVE COUNTER AND/OR SPLASH GUARD
	HEAVY DUTY OUTLET - NEMA CONFIGURATION SIZE PER EQUIPMENT MANUFACTURER'S RECOMMENDATION
	PANEL BOARD, TOP OF BOX 6'-0" AFF
	JUNCTION BOX
	NON-FUSED DISCONNECT SWITCH
	FUSED DISCONNECT SWITCH
	MOTOR WITH DESIGNATION
<u>CONTROLS</u>	
S	SINGLE POLE WALL SWITCH, TOP OF BOX AT 48" AFF
S ₂	TWO POLE WALL SWITCH, TOP OF BOX AT 48" AFF
S ₃	THREE-WAY WALL SWITCH, TOP OF BOX AT 48" AFF
S _m	MANUAL MOTOR STARTER WITH OVERLOADS
S _D	DIMMER SWITCH, TOP OF BOX AT 48" AFF. VERIFY DIMMER TYPE AND COMPATIBILITY WITH FIXTURE (0-10V, ELV, LINE VOLTAGE)
S _{3D}	THREE WAY DIMMER SWITCH, TOP OF BOX AT 48" AFF. VERIFY DIMMER TYPE AND COMPATIBILITY WITH FIXTURE (0-10V, ELV, LINE VOLTAGE)
<u>COMMUNICATIONS</u>	
	DATA-TELEPHONE OUTLET WITH MINIMUM 3/4" CONDUIT STUBBED UP TO ABOVE ACCESSIBLE CEILING, BOTTOM OF BOX AT 16", UNLESS NOTED OTHERWISE. PROVIDE WITH PULL STRING
	FLAT SCREEN TELEVISION - PROVIDE AND INSTALL ONE (1) HUBBELL #R1510X RECESSED TAMPER-RESISTANT DUPLEX RECEPTACLE WITH COVERPLATE AND ONE(1) HUBBELL #HBL260 TWO GANG LARGE CAPACITY WALL BOX UP TO 2" (KNOCKOUT) 1/4" MUD RING AND COVERPLATE FOR DATA. PROVIDE 2" C WITH PULL STRING TO ABOVE ACCESSIBLE CEILING FOR DATA CABLES. MOUNT BOX AT 7'-6" AFF UNLESS NOTED OTHERWISE (VERIFY)
FIRE ALARM - FIRE ALARM SYSTEM IS EXISTING TO REMAIN. PROVIDE ADDITIONAL COMPATIBLE DEVICES AND CONNECT TO EXISTING SYSTEM AS REQUIRED.	
	DUCT MOUNT SMOKE DETECTOR
	FIRE ALARM HORN-STROBE COMBINATION SIGNAL, CENTERLINE AT 6'-8" AFF
	FIRE ALARM VISUAL STROBE, CENTERLINE AT 6'-8" AFF
	RELAY TO SHUT DOWN FAN POWERED BOX IN ALARM CONDITION
<u>MISCELLANEOUS</u>	
	COMBINATION POWER AND DATA FLOORBOX
	LINE VOLTAGE THERMOSTAT

1. COORDINATE ALL WORK WITH OTHER TRADES AND EXISTING CONDITIONS AS REQUIRED TO PROPERLY INSTALL ALL SYSTEMS AS INTENDED, WITHIN THE CONFINES OF THE SPACES AVAILABLE, AND WITHOUT INTERFERENCES.
2. WHERE CONDUIT IS SHOWN UNDER FLOOR, SAW CUT EXISTING FLOOR SLAB AS REQUIRED FOR INSTALLATION OF UNDER FLOOR CONDUIT. NO STRUCTURAL ELEMENTS SHALL BE OR SAW CUT. WHEN SAW CUTTING, PATCH FLOOR TO MATCH EXISTING SURFACE AS REQUIRED.
3. IT IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY TO PROPERLY BALANCE ALL BRANCH CIRCUITS BETWEEN THE PHASES OF THE SYSTEM REGARDLESS OF CIRCUITING INDICATED.
4. ALL EXPOSED RACEWAYS SHALL BE IN EMT CONDUIT, MC GABLE IS NOT PERMITTED IN EXPOSED AREAS.
5. ELECTRICAL CONTRACTOR SHALL REMOVE ALL EXISTING ELECTRICAL EQUIPMENT, FIXTURES, SYSTEMS, CONDUIT AND WIRE, ETC. NOT BEING REUSED. DO NOT JUST ABANDON.
6. ELECTRICAL CONTRACTOR TO COORDINATE MANUFACTURER ELECTRICAL REQUIREMENTS FOR HVAC EQUIPMENT BEING FURNISHED WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN. EQUIPMENT DISCONNECTS TO BE PROVIDED BY ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE IN MECHANICAL SCHEDULES.
7. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF LIGHT FIXTURES AND DEVICES.
8. REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR SUPPORTING TRANSFORMERS, EQUIPMENT, ETC. FROM THE STRUCTURE. PROVIDE ADDITIONAL STEEL AS REQUIRED TO PROPERLY SUPPORT SYSTEMS FROM THE STRUCTURE.
9. ALL MATERIALS EXPOSED WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84.
10. EACH BRANCH CIRCUIT SHALL HAVE A DEDICATED NEUTRAL PER NEC 210.4.
11. FIRE ALARM SYSTEM (AEGIS FIRE PROTECTIONS) IS SHOWN FOR SCHEMATIC PURPOSES. THE FIRE ALARM CONTRACTOR IS RESPONSIBLE FOR PROVIDING DESIGN AND SHOP DRAWINGS SUBMITTAL TO FIRE MARSHAL FOR APPROVAL AS REQUIRED BY THE FIRE MARSHAL. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE ADDITIONAL DEVICES, POWER SUPPLIES, ETC. FOR COMPLIANCE WITH CODE.
12. ALL BRANCH CIRCUITS SHALL BE SIZED TO ALLOW FOR A MAXIMUM OF 3% VOLTAGE DROP. ALL FEEDERS SHALL BE SIZED TO ALLOW FOR A MAXIMUM OF 2% VOLTAGE DROP. ELECTRICAL CONTRACTOR SHALL VERIFY WIRING INDICATED IS SUFFICIENT AND INCREASE CONDUCTOR SIZE AS REQUIRED BASED OFF ACTUAL INSTALLED LENGTH OF CONDUCTORS.
13. PROVIDE LOW VOLTAGE WIRING BETWEEN ALL 0-10V DIMMING DRIVERS CONTROLLED BY 0-10V DIMMERS PER MANUFACTURER'S INSTRUCTIONS WHETHER INDICATED ON PLANS OR NOT.
14. REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING HEIGHT OF POWER/DATA OUTLETS.

1. PATIENT AREAS (DRAIN AND ALL EXAM) SHALL COMPLY WITH NEC ARTICLE 317 FOR HEALTH CARE FACILITIES.
2. ALL BRANCH CIRCUITS SUPPLYING PATIENT AREAS (DRAIN AND ALL EXAM) SHALL HAVE REDUNDANT GROUNDING PER NEC 517.19(a) & (b). ALL UNDER FLOOR CONDUITS FOR BRANCH CIRCUITS SHALL BE METALLIC.
3. ALL DEVICES IN PATIENT CARE AREAS (DRAIN AND ALL EXAM) SHALL BE HOSPITAL GRADE, GROUNDING, THREE WIRE TYPE, RATED FOR 20 AMPS, WITH COVER PLATES. HUBBELL #HBL8300-H, OR EQUAL. VERIFY COLOR WITH ARCHITECT.

E000



LIGHTING PLAN NOTES:

- 1 CONNECT TO EXISTING LIGHTING IN THIS ROOM TO REMAIN.
- 2 EXTERIOR LIGHTING BY LANDLORD, VERIFY EXISTING EXTERIOR EGRESS EMERGENCY LIGHT TO REMAIN.
- 3 LIGHTS AND CONTROLS IN LANDLORD ROOM ARE EXISTING TO REMAIN. NO WORK TO BE DONE. VERIFY CODE COMPLIANT EMERGENCY LIGHT FOR PANEL AND PROVIDE AS REQUIRED.



ELECTRICAL LIGHTING PLAN

NORTH SCALE: 1/4" = 1'-0"

BC PROJECT #: 21759
MISSOURI PE COA #2009003629

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TENANT SPACE RENOVATION
BLUE SKY FERTILITY
451 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081

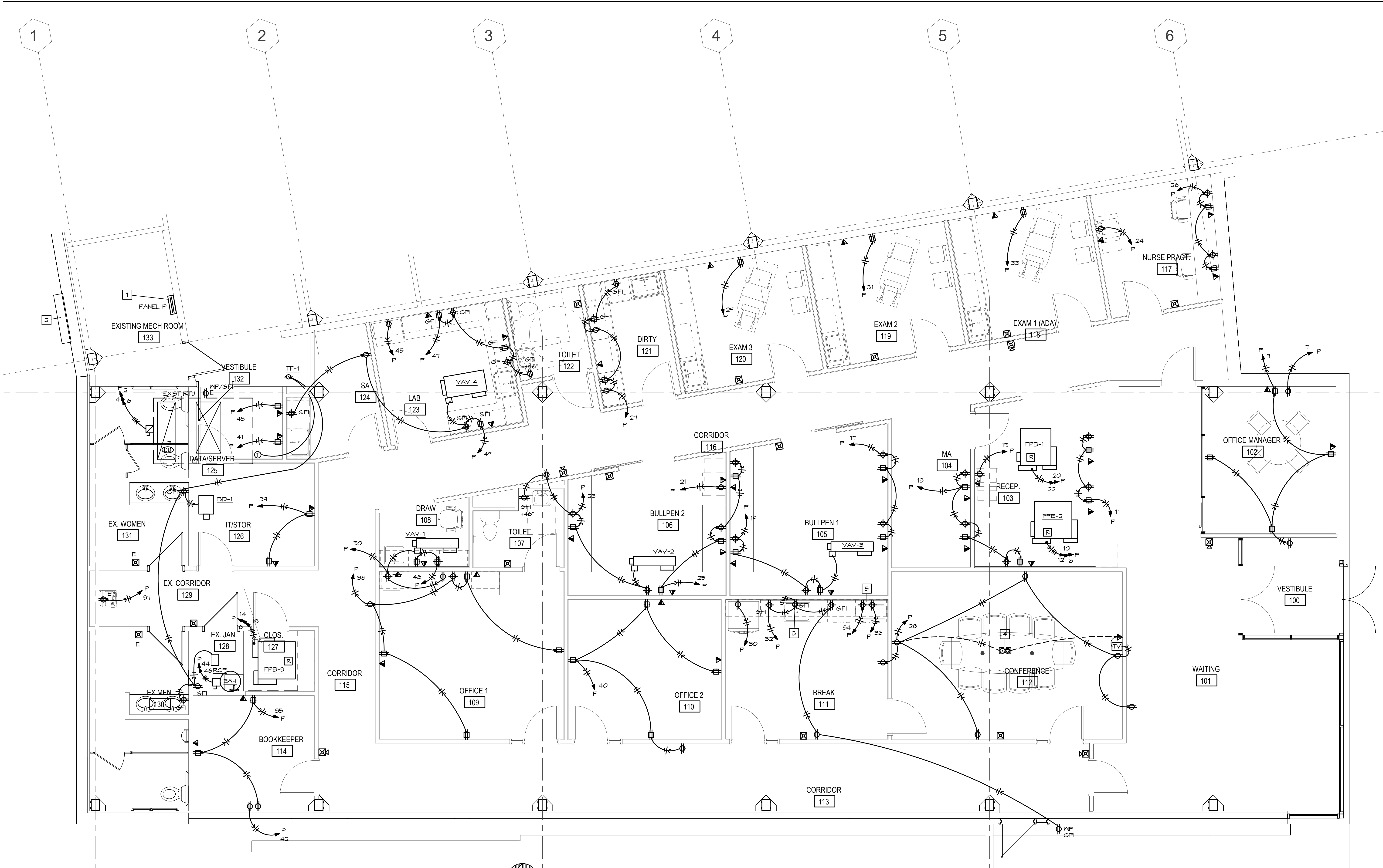
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ELECTRICAL LIGHTING PLAN

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- POWER PLAN NOTES:**
- 1. INSTALL PANEL IN EXISTING COMMON MECHANICAL ROOM. FIELD VERIFY EXACT LOCATION TO INSTALL IN ROOM TO PROVIDE ADEQUATE CLEARANCES PER NEC.
 - 2. APPROXIMATE LOCATION OF EXISTING ELECTRICAL SERVICE METER AND DISCONNECT, FIELD VERIFY LOCATION.
 - 3. SWITCHED DUPLEX RECEPTACLE FOR GARBAGE DISPOSAL.
 - 4. FLUSH SERVICE FLOOR BOX RATED FOR SLAB ON GRADE WITH FOURPLEX RECEPTACLE AND HDMI/DATA PROVISIONS. PROVIDE 1-1/2" CONDUIT FROM FLOOR BOX OVER TO WALL UP TO BOX AT +16" AND FROM BOX AT 16" PROVIDE 1-1/2" CONDUIT UP TO TV BOX. PROVIDE WITH FULL STRING. VERIFY FINISH AND STYLE OF BOX COVER WITH ARCHITECT.
 - 5. REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING HEIGHT OF OUTLETS FOR STACKED MICROWAVE.



ELECTRICAL POWER PLAN

SCALE: 1/4" = 1'-0"

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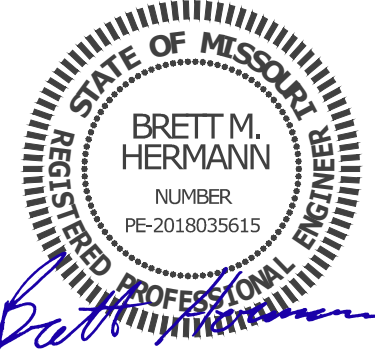
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12/21/2021



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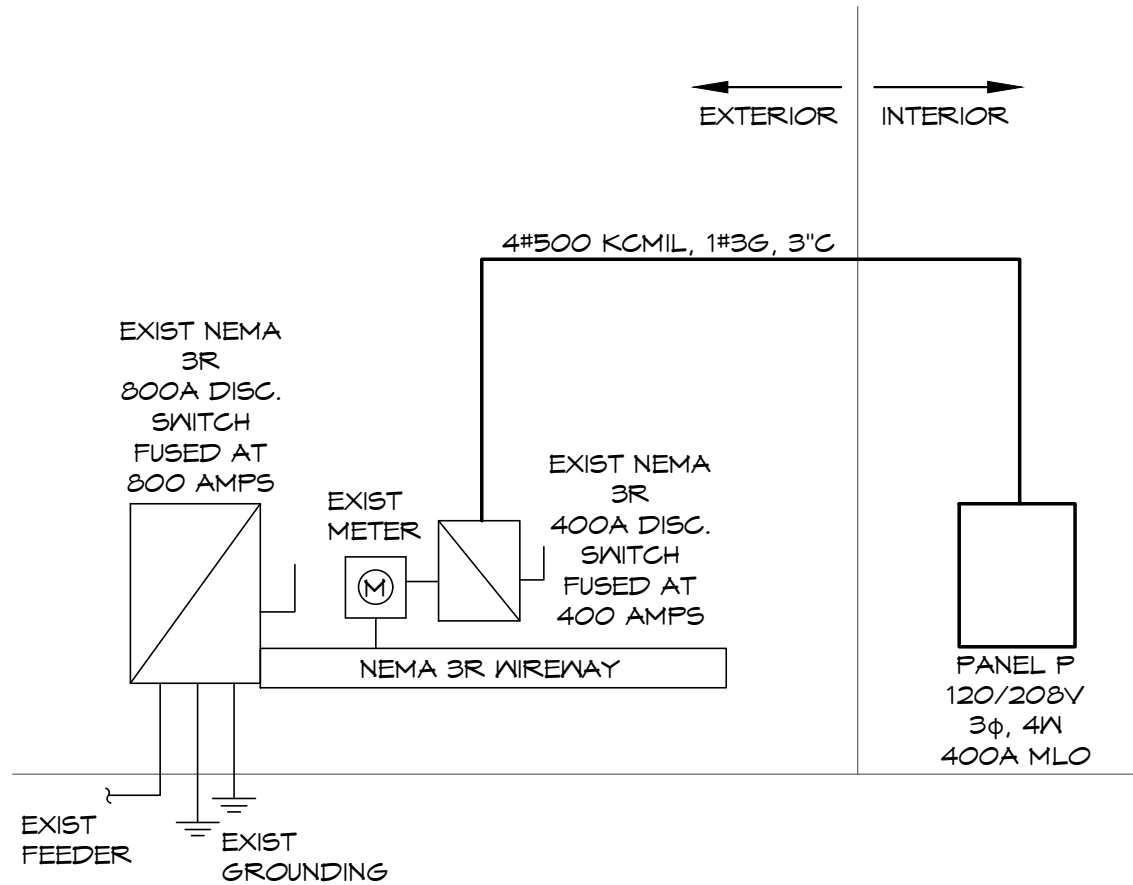
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ELECTRICAL POWER PLAN

DRAWING NUMBER

E200

LIGHT FIXTURE SCHEDULE					
MARK NO.	MANUFACTURER & CATALOG NUMBER	VOLTS WATTS	LIGHT SOURCE	DESCRIPTION	EQUIVALENT MANUFACTURERS
A	H.E. WILLIAMS LP-24-L50/835-DIM- UNV	120 49	LED - 3500K 5000 LUMS	2'X4' GRID LAY-IN LED FLAP PANEL.	COLUMBIA, LITHONIA, SIGNIFY, OR EQUAL
B	H.E. WILLIAMS 6DR-TL-L15/835-DIM- UNV-O-N-OF-CS-N-F1	120 14	LED - 3500K 1500 LUMS	6" LED DOWN LIGHT WITH WIDE DISTRIBUTION, CLEAR SEMI-SPECULAR REFLECTOR/TRIM, AND 0-10V DIMMING.	FRESCOLITE, LITHONIA, SIGNIFY, OR EQUAL
C	H.E. WILLIAMS LP-22-L50/835-DIM- UNV	120 39	LED - 3500K 5000 LUMS	2'X2' GRID LAY-IN LED FLAP PANEL.	COLUMBIA, LITHONIA, SIGNIFY, OR EQUAL
P1-P8	PENDANT FIXTURE SELECTED BY INTERIOR DESIGNER	120	VERIFY	PENDANT, VERIFY DIMMING COMPATIBILITY AND IF TENANT WANTS FIXTURE DIMMED BASED OFF FIXTURE SELECTED. VERIFY WATTAGE PRIOR TO INSTALLATION.	-
⌚	DUAL-LITE EV2	120 1	INCL	EMERGENCY LIGHT WITH TWIN ADJUSTABLE 1 WATT LED HEADS AND BATTERY, MOUNT AT 7'-6"±, TO CLEAR OBSTACLES. (PROVIDES 1 FC AVG. ON 21' CENTER FIXTURE SPACING)	SURE-LITES LITHONIA OR EQUAL
⌚	DUAL-LITE EVC-U-R-V	120 3	INCL	COMBINATION EMERGENCY/EXIT LIGHT WITH LED LAMPS, RED LETTERS ON WHITE BACKGROUND, TWIN LED EMERGENCY LIGHT HEADS, UNIVERSAL MOUNT, BATTERY BACKUP	SURE-LITES LITHONIA OR EQUAL



ELECTRICAL RISER DIAGRAM
SCALE: NONE

PANEL: F		VOLTS: 120/208V			PH: 3Φ		WIRE: 4W		LOCATION:		MECH RM		MOUNTING: SURFACE		
BUS: 400A		MAIN: 400A MLO			IC: 22,000		RMS SYM AMPS						FEEDER: SEE RISER DIAGRAM		
CKT	DESCRIPTION	AMPS	POLE	WIRE	ΦA	ΦB	ΦC	ΦA	ΦB	ΦC	WIRE	POLE	AMPS	DESCRIPTION	CKT NO
1	LIGHTS	20	1	12	1,500			10,560							2
3	LIGHTS	20	1	12		1,500			10,560						4
5	LIGHTS	20	1	12			1,500			10,560					6
7	OFFICE MANAGER OUTLET	20	1	12	100			3,600							8
9	OFFICE MANAGER OUTLETS	20	1	12		1,620			3,600						10
11	RECEPTION OUTLETS	20	1	12			1,000			3,600					12
13	RECEPTION OUTLETS	20	1	12	1,620			4,500							14
15	COPIER	20	1	12		1,200			4,500						16
17	BULLPEN 1 OUTLETS	20	1	12			1,000			4,500					18
19	BULLPEN 1 OUTLETS	20	1	12	1,000			1,400							20
21	COPIER	20	1	12		1,200			1,400						22
23	BULLPEN 2 OUTLETS	20	1	12			1,000			1,200	12	1	20	NURSE PRACT COPIER	24
25	BULLPEN 2 OUTLETS	20	1	12	900			1,000			12	1	20	NURSE PRACT OUTLETS	26
27	DIRTY OUTLETS	20	1	12		1,260			1,440		12	1	20	CONF OUTLETS	28
29	EXAM 3 OUTLETS	20	1	12			360			1,000	12	1	20	REFRIGERATOR (GF)	30
31	EXAM 2 OUTLETS	20	1	12	360			1,200			12	1	20	BREAK COUNTER OUTLETS	32
33	EXAM 1 OUTLETS	20	1	12		360			1,200		12	1	20	MICROWAVE (GF)	34
35	BOOK KEEPER OUTLETS	20	1	12			900			1,200	12	1	20	MICROWAVE (GF)	36
37	DRINKING FOUNTAIN (GF)	20	1	12	200			1,000			12	1	20	OFFICE 1 OUTLETS	38
39	IT/STORAGE OUTLETS	20	1	12		720			1,620		12	1	20	OFFICE 2 OUTLETS	40
41	IT OUTLETS	20	1	12			800			100	12	1	20	BOOK KEEPER	42
43	IT OUTLETS	20	1	12	800			2,250			10	2	30	WATER HEATER	44
45	LAB REFRIGERATOR (GF)	20	1	12		1,000			2,250						46
47	LAB OUTLETS	20	1	12			1,260			720	12	1	20	DRAIN OUTLETS	48
49	LAB OUTLETS	20	1	12	540			800			12	1	20	OFFICE 1 PRINTER/UC REFRIG	50
51	CORRIDOR LIGHTS	20	1	12		400						1	20	SPARE	52
53	SPARE	20	1									1	20	SPARE	54
55	SPARE	20	1									1	20	SPARE	56
57	SPARE	20	1									1	20	SPARE	58
59	SPARE	20	1									1	20	SPARE	60
NOTES:					7,100	9,260	0,060	27,190	26,570	22,960	TOTAL CONNECTED LOAD: 101,220 VA NEG DEMAND LOAD: 94,950 VA				
(GF)-GFCI BRKR 5mA					34,370	35,030		31,020	DEMAND AMPS @ 200 VOLT / 3Φ: 263.55 A						

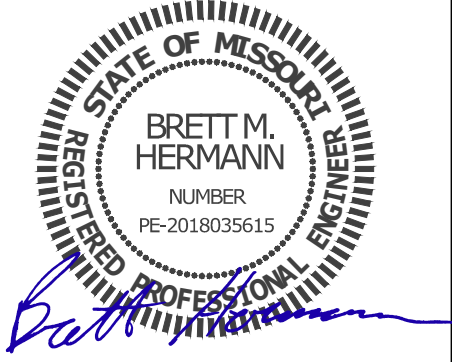
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ELECTRICAL SCHEDULES

DRAWING NUMBER
E300