

SQUARE FOOTAGE TABLE	
FINISHED SQUARE FOOTAGE	
MAIN LEVEL	1526
UPPER LEVEL	1749
STAIRS TO LOWER LEVEL	34
TOTAL	3309
UNFINISHED SQUARE FOOTAGE	
GARAGE	678
BASEMENT - UNFINISHED	1386
COVERED PATIO	196

SHEET INDEX

- A1. FRONT AND REAR ELEVATION
- A2. LEFT AND RIGHT ELEVATION
- A3. FOUNDATION FLOOR PLAN
- A4. MAIN LEVEL PLAN
- A5. UPPER LEVEL PLAN
- A6. ROOF PLAN

FRONT ELEVATION (2)

SCALE: 1/4" = 1'-0"

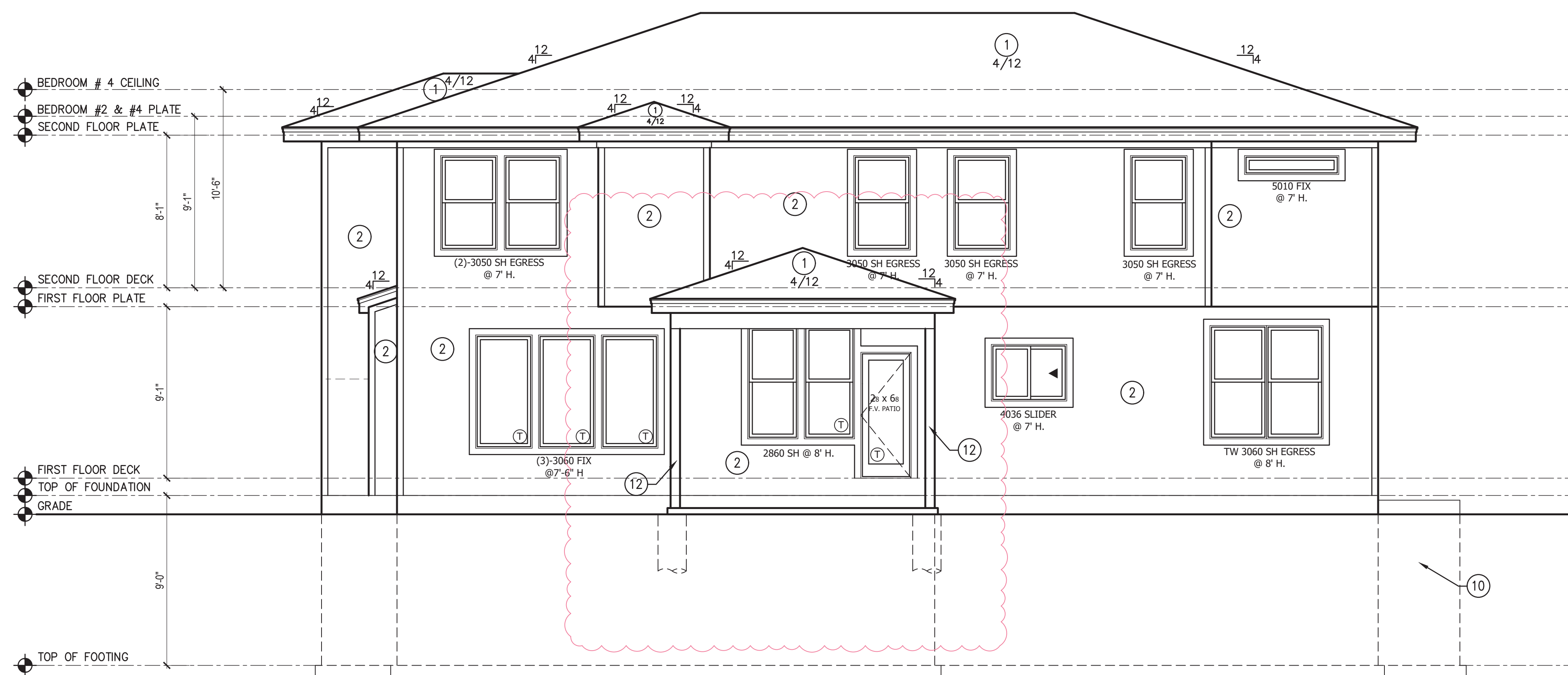
NOTE:

ALL CONSTRUCTION SHALL CONFORM TO 2018
INTERNATIONAL RESIDENTIAL CODE OR ATTACHED
ENGINEER SPECIFICATIONS WHERE APPLICABLE.

ELEVATIONS:
GARAGE DOORS SHALL MEET DASHA FOR ULTIMATE DESIGN WIND SPEED OF 115 MPH REQUIREMENTS.
WALL FRAMING SHALL BE DOUGLAS FIR LARCH #2 UNLESS OTHERWISE NOTED.
IN BEARING WALLS, STUDS WHICH ARE NOT MORE THAN TEN FEET IN LENGTH SHALL BE SPACED NOT MORE THAN IS SPECIFIED BY IRC TABLE R602.3(5) FOR CORRESPONDING STUD SIZE.
WATER-RESISTIVE EXTERIOR WALL BARRIER IN WALL SECTION SHALL COMPLY WITH IRC R703.2.
WHEN APPLICABLE, CONTINUOUS STUDS BETWEEN FLOOR AND ROOF/CEILING DIAPHRAGM SHALL COMPLY WITH IRC R602.3.

ALL UNMARKED HEADERS SHALL BE A MINIMUM #2 DOUGLAS FIR LARCH (2) 2 X 10 ON LOAD BEARING WALLS.

SHIPLAP SIDING MUST BE FASTENED AT BOTH UNDERLAP AND OVERLAP.



REAR ELEVATION (1)

SCALE: 1/4" = 1'-0"

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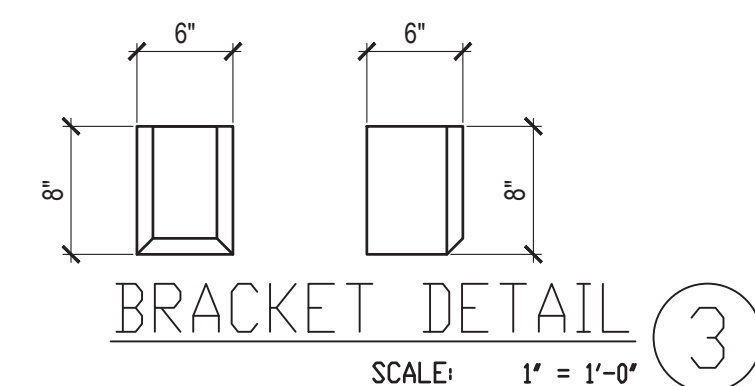
ELEVATION NOTES

1. MINIMUM ROOFING COMPOSITION— 30 YR. COMPOSITE SHINGLES ON 15# FELT ON $\frac{1}{2}$ " OSB SHEATHING OR AS REQUIRED BY CODE.
 2. SIDES AND REAR TO BE LP SMART PANEL SIDING WITH 3/4x4 L.P. SMART TRIM AROUND DOORS, WINDOWS, AND CORNERS UNLESS NOTED OTHERWISE. BOTTOM OF SIDING SHALL BE A MINIMUM OF 6" ABOVE GRADE.
 3. FRONT FACADE TO BE STUCCO, SHEATHED WITH $\frac{1}{2}$ " THICK OSB RATED 24/0 SHEATHING. EXTEND STUCCO TO BE WITHIN 8" OF FINISHED GRADE. 5/4x6 L.P. SMART TRIM AROUND WINDOWS AND DOORS UNLESS NOTED OTHERWISE.
 4. NOT USED.
 5. MANUFACTURED STONE VENEER.
 6. CAST STONE CAP
 7. CEDAR BRACKETS, RE: 3/A1— INSTALL CEDAR BRACKETS PRIOR TO FASCIA BOARD INSTALLATION.
 8. 5/4x8" L.P. SMART TRIM. 1 1/2" ARCH ON GARAGE DOOR TRIM UNLESS NOTED OTHERWISE ON ELEVATION. DOUBLE TRIM ADJACENT TO STONE.
 9. NOT USED.
 10. CONCRETE WINDOW WELL FOR EGRESS WITH LADDER. PROVIDE SLEEVE THROUGH WALL FOR FOUNDATION DRAIN. TOP OF WINDOW WELL TO BE 3" BELOW TOP OF FOUNDATION.
 11. 2X6 STUD WALL WRAPPED IN STONE ON FRONT AND STUCCO ON SIDES ABOVE FINISHED PORCH. ALLOW MINIMUM 2" FOR STONE/STUCCO TO FIT WITHIN BOUNDARY OF STOOP CONCRETE. SEE PLAN FOR SIZE.
 12. 6x6 CEDAR POST
 13. BUILD CRICKET VALLEY AWAY FROM INTERSECTION FOR POSITIVE DRAINAGE. SEE FRAMING SPECIFICATIONS FOR DETAILS.
- GENERAL NOTES:**
- DIMENSIONAL LUMBER IS LABELED PER INDUSTRY STANDARD TERMINOLOGY. ACTUAL LUMBER SIZING IS EXPECTED TO VARY PER VENDOR.
- WINDOW SIZES ARE WRITTEN IN FEET AND INCHES PER INDUSTRY STANDARDS. EX: 3050 SH = 3'-0" X 5'-0" SINGLE HUNG, 3066 FX = 3'-0" X 6'-6" FIXED.

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BRACKET DETAIL

SCALE: 1' = 1'-0"



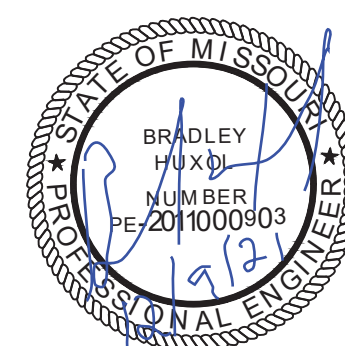
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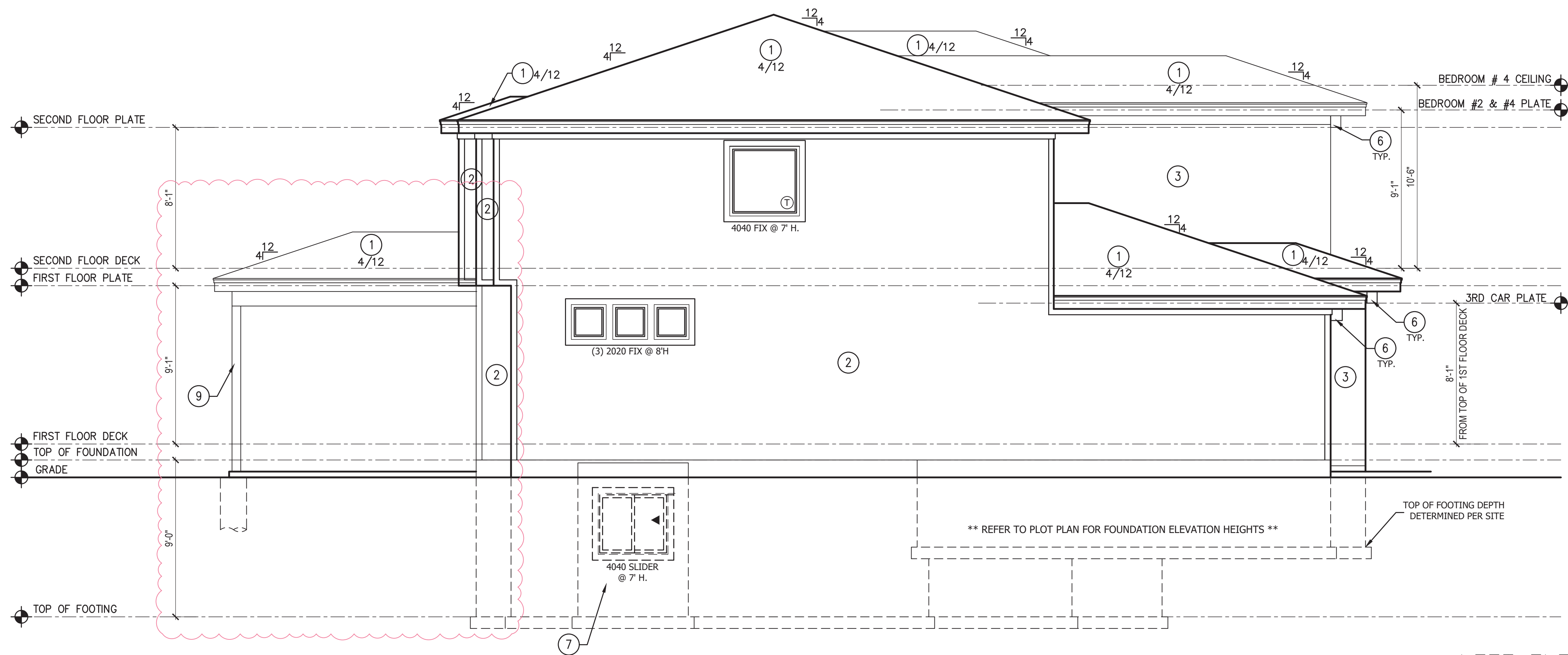
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LEFT ELEVATION ②
SCALE: 1/4" = 1'-0"

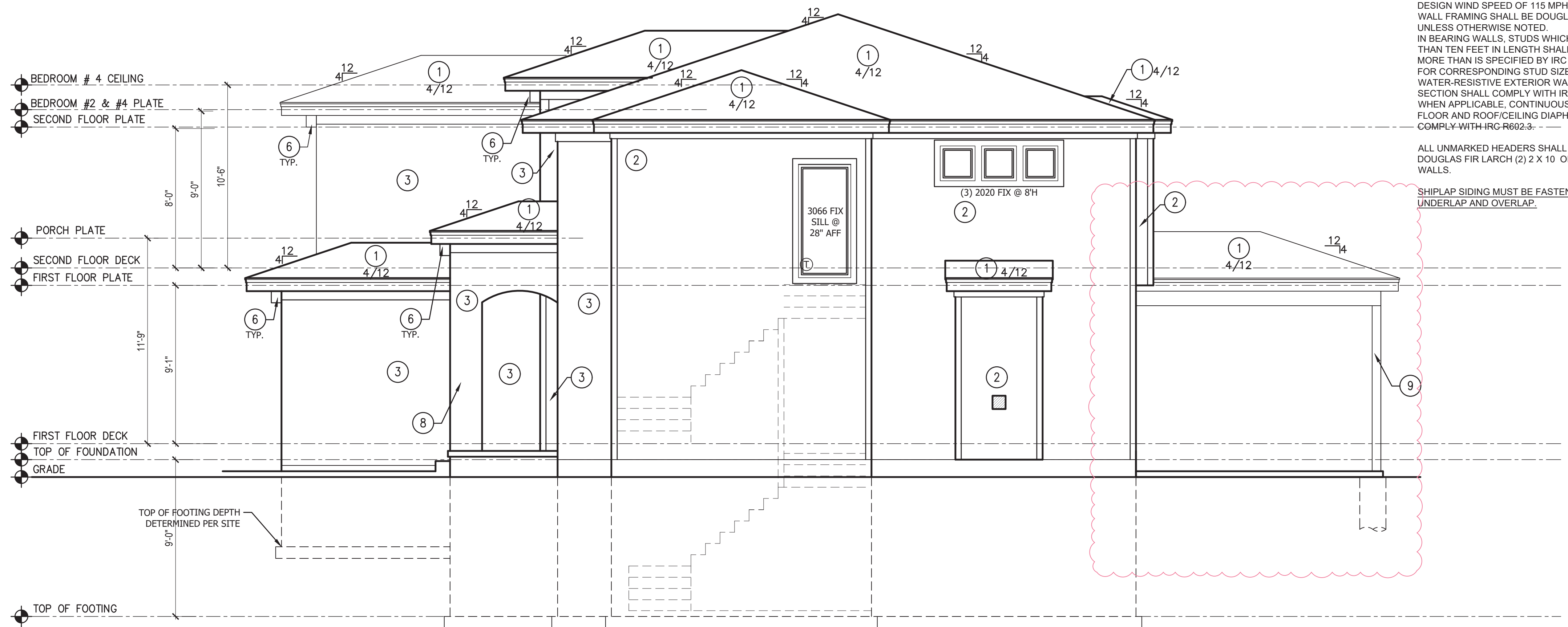
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RIGHT ELEVATION ①
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ELEVATION NOTES

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GENERAL NOTES:

DIMENSIONAL LUMBER IS LABELED PER INDUSTRY STANDARD TERMINOLOGY. ACTUAL LUMBER SIZING IS EXPECTED TO VARY PER VENDOR.

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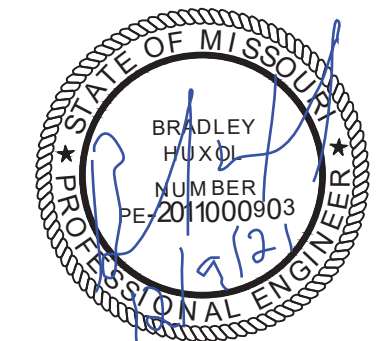
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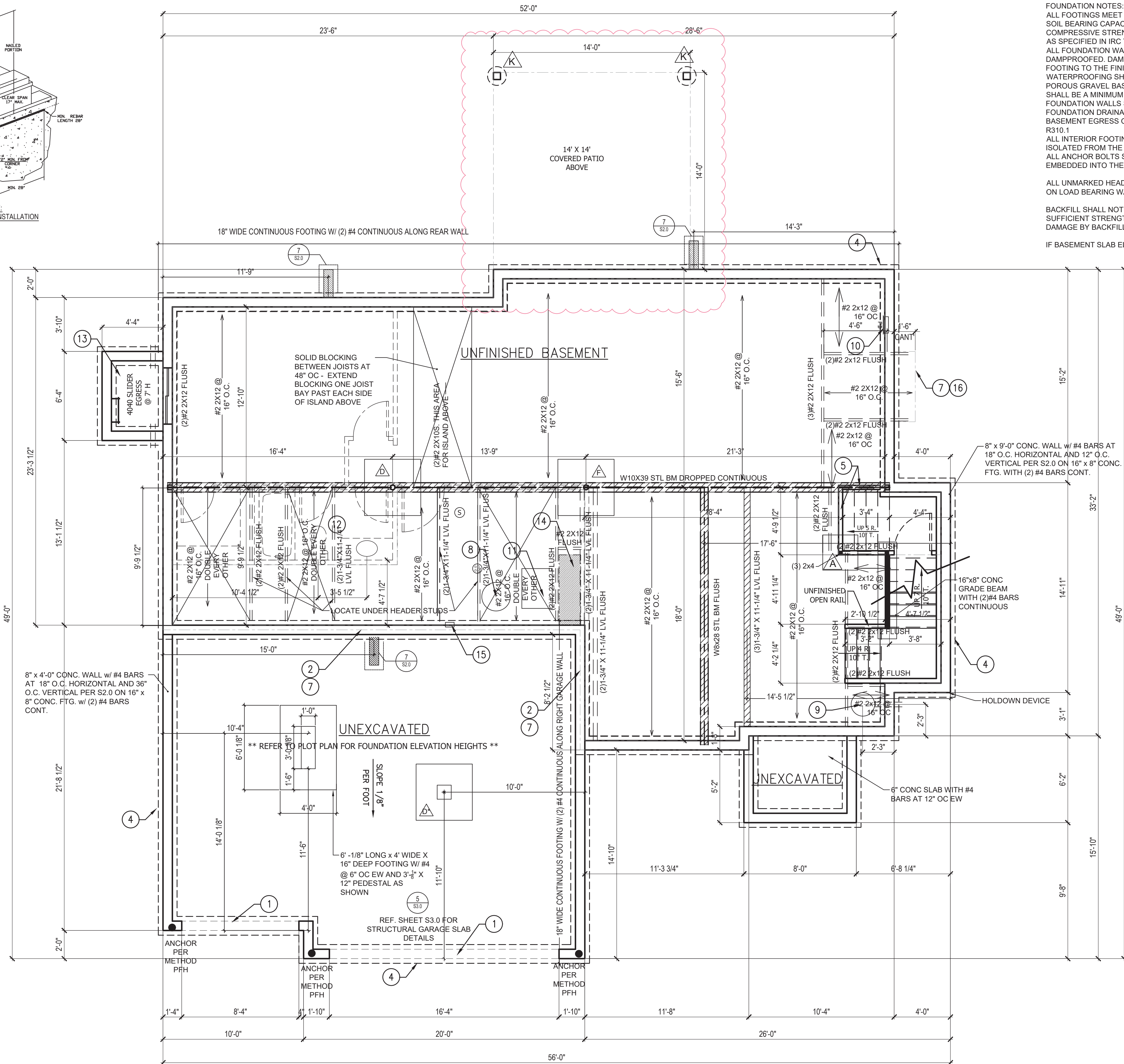
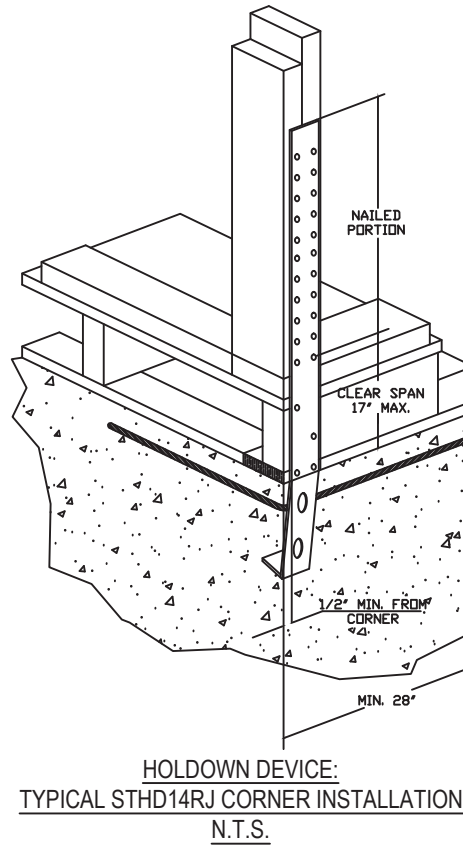
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***ALL INTERIOR NON-LOAD BEARING, NON-BRACED, NON-CABINET WALLS ARE ALLOWED AT 24" OC.



NOTE:

ALL CONSTRUCTION SHALL CONFORM TO 2018 INTERNATIONAL RESIDENTIAL CODE OR ATTACHED ENGINEER SPECIFICATIONS WHERE APPLICABLE.

FOUNDATION NOTES:
ALL FOOTINGS MEET OR EXCEED MINIMUM FROST DEPTH OF 36".
SOIL BEARING CAPACITY SHALL BE 1500 PSF.
COMPRESSIVE STRENGTH OF CONCRETE F'C COMPRESSIVE STRENGTH SHALL BE AS SPECIFIED IN IRC TABLE R402.2. REQUIRED AIR ENTRAINMENT SHALL BE 5-7%.
ALL FOUNDATION WALLS ENCLOSING BELOW GRADE SPACE SHALL BE DAMPPROOFED. DAMPPROOFING SHALL EXTEND FROM THE EDGE OF THE FOOTING TO THE FINISHED GRADE (R-406.1). METHOD OF DAMPPROOFING OR WATERPROOFING SHALL BE A MINIMUM 6-MIL THICK MOISTURE BARRIER OVER POROUS GRAVEL BASE UNDER BASEMENT FLOOR SLAB PER R405.2.2. LAP JOINTS SHALL BE A MINIMUM 6".
FOUNDATION WALLS SHALL BE DAMPPROOFED PER IRC SECTION R406.
FOUNDATION DRAINAGE WILL BE IN ACCORDANCE WITH IRC SECTION R405.
BASEMENT EGRESS OPENINGS SHALL BE IN ACCORDANCE WITH IRC SECTION R310.1.
ALL INTERIOR FOOTINGS OF LOAD BEARING WALLS AND COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB.
ALL ANCHOR BOLTS SHALL NOT BE SPACED MORE THAN 6' O.C. AND BE EMBEDDED INTO THE CONCRETE A MINIMUM OF 7".

ALL UNMARKED HEADERS SHALL BE A MINIMUM #2 DOUGLAS FIR LARCH (2) 2 X 10 ON LOAD BEARING WALLS.

BACKFILL SHALL NOT BE PLACED AGAINST THE WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY BACKFILL.

IF BASEMENT SLAB ELEVATION IS ABOVE GRADE CONSULT ENGINEER.

STEEL BEAM FLANGE WIDTH:
W8X31 - 8"
W10X39- 7.99"

FOUNDATION PLAN 1
SCALE: 1/4" = 1'-0"

FOUNDATION PLAN NOTES

1. RECESS TOP OF FOUNDATION WALL
2. HOLD SILL PLATE BACK 4"
3. NOT USED
4. CONTINUOUS CONCRETE FOOTING
5. 2X4 STUD WALL WITH TREATED SILL PLATE
6. NOT USED
7. LINE OF FLOOR ABOVE
8. THERMAL EXPANSION CONTROL DEVICE FOR WATER HEATER
9. SUMP PIT AND PUMP. PROVIDE ELECTRICAL GFCI PROTECTION. PROVIDE SLEEVE THROUGH FOOTING.
10. 200 AMP ELECTRICAL PANEL. LOCATION TO BE DETERMINED ON SITE.
11. DIRECT FURNACE, FUEL BURNING APPLIANCES SHALL BE DIRECT VENTED TO EXTERIOR FOR COMBUSTION AIR.
12. DRAIN LINE ONLY FOR FUTURE USE. LOCATION TO BE MARKED WITH REBAR AND CUT FLUSH TO FLOOR FINISH.
13. CONCRETE WINDOW WELL WITH LADDER. PROVIDE SLEEVE THROUGH WALL FOR FOUNDATION DRAIN. TOP OF WELL TO BE 3" BELOW TOP OF FOUNDATION WALL..
14. HVAC CHASE ABOVE
15. 'UFER' GROUND. VERIFY LOCATION WITH PROJECT MANAGER.
16. INSULATE CANTILEVER AS REQUIRED PRIOR TO BLOCKING

GENERAL NOTES:

BACK WATER VALVES REQUIRED ON ALL BASMENT PLUMBING FIXTURES. PROVIDE MEANS OF CONTROLLING PRESSURE CAUSED BY THERMAL EXPANSION.

SUMP PIT SHALL BE EQUIPPED WITH A PUMP AND RECEPTACLE. IN UNFINISHED PORTIONS OF BASEMENT, RECEPTACLES SHALL HAVE GFI PROTECTION.

ALL SILLS & SLEEPERS SUPPORTED ON CONCRETE OR MASONRY SHALL B OF DECAY-RESISTANT MATERIALS.

DIMENSIONAL LUMBER IS LABELED PER INDUSTRY STANDARD TERMINOLOGY. ACTUAL LUMBER SIZING IS EXPECTED TO VARY PER VENDOR.

NON-BEARING WALLS TO BE BUILT WITH 1" GAP BETWEEN TOP PLATE AND FLOOR JOISTS TO PREVENT HEAVING.

SMOKE AND CARBON MONOXIDE DETECTORS SHOWN ON PLANS ARE TO BE CONSIDERED RECOMMENDATIONS ONLY. FINAL PLACEMENT IS TO BE DETERMINED BY MUNICIPAL REQUIREMENTS.

WINDOW SIZES ARE WRITTEN IN FEET AND INCHES PER INDUSTRY STANDARDS. EX: 3050 SH = 3'-0" X 5'-0" SINGLE HUNG, 3066 FIX = 3'-0" X 6'-6" FIXED.

ISOLATED FOOTINGS AND COLUMN PADS				
SYM	PIER PAD SIZE	DEPTH	MINIMUM REINFORCEMENT GRADE 60 KSI STEEL	SCHEDULE 40 STEEL COLUMN, MIN FY = 35 KSI
▲	ANY SIZE PIER PAD WITH AN (K)			NO COLUMN NEEDED
△	30"x30"	1'-0"	(5) #4 BAR E.W.	3" DIAMETER
△	36"x36"	1'-0"	(6) #4 BAR E.W.	3" DIAMETER
△	42"x42"	1'-2"	(7) #4 BAR E.W.	3" DIAMETER
△	48"x48"	1'-4"	(8) #4 BAR E.W.	3" DIAMETER
△	54"x54"	1'-4"	(9) #4 BAR E.W.	3.5" DIAMETER
△	60"x60"	1'-6"	(10) #4 BAR E.W.	3.5" DIAMETER

ISOLATED FOOTINGS AND COLUMN PADS				
SYM	PIER DIAMETER	DEPTH	MINIMUM REINFORCEMENT GRADE 40 KSI STEEL	
△	12"	3'-0"	(4) VERTICAL #4	
△	16"	3'-0"	(4) VERTICAL #4	
△	18"	3'-0"	(4) VERTICAL #4	
△	24"	3'-0"	(4) VERTICAL #4	
△	28"	3'-0"	(4) VERTICAL #4	

COLUMN AND PAD SIZES ARE FOR A MAXIMUM COLUMN HEIGHT OF 10'. COLUMNS GREATER THAN 10' REQUIRE A SEPARATE ENGINEERED DESIGN. FOOTINGS A-F SPACING OF 6' O.C. WITH 3" CLEAR COVER.

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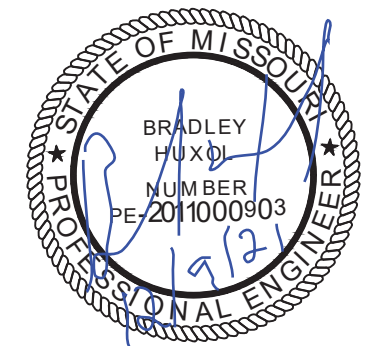


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