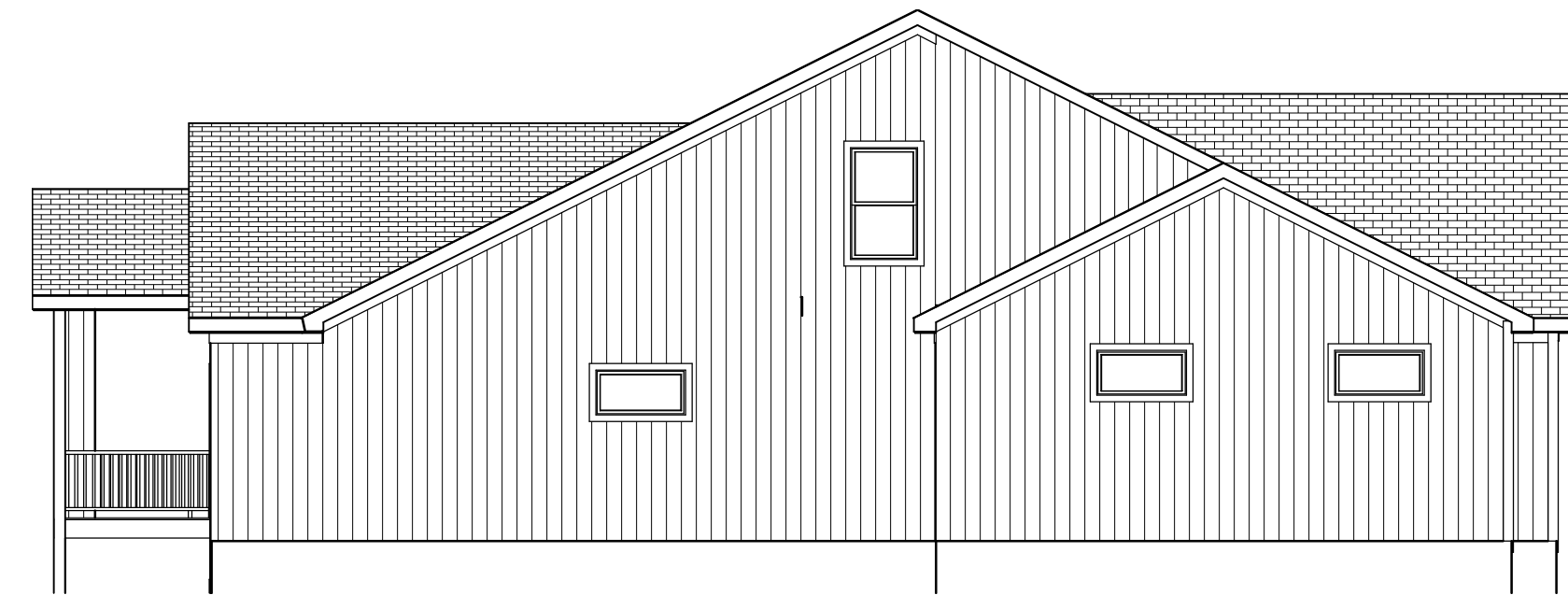


ROOF PLAN  
 1/8" = 1'-0"  
 ROOF PITCHES 6/12 U.N.O.  
 RAFTERS 2 X 6 DF NO 2 @ 16" OC TYP.  
 HIPS AND RIDGES 2 X 8 DF NO 2 TYP.  
 SOFFITS 12" TYP.



GARAGE DOOR TBD BY OWNER

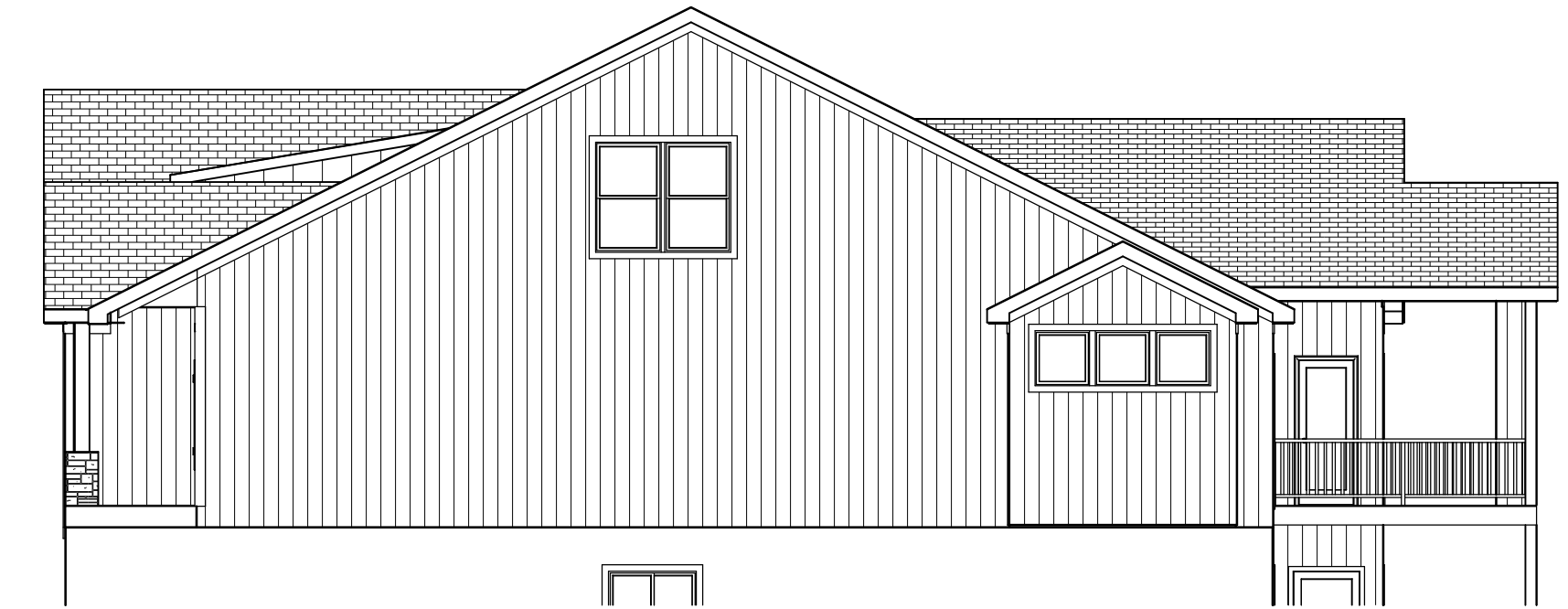
FRONT EL.



LEFT EL.  
 1/8" = 1'-0"



REAR EL.  
 1/8" = 1'-0"



RIGHT EL.  
 1/8" = 1'-0"

Review and Approval  
 Structural Only  
 David Mezger Engineering LLC  
 212 NE Circle Dr.  
 Kansas City, MO 64116



BUILD IN ACCORDANCE WITH  
 2018 INTERNATIONAL  
 RESIDENTIAL CODE AND  
 LOCAL CODES.

BEHOME LLC  
 NOELLE PLAN  
 SHADE RES.  
 LOT 32 HOOK FARM  
 2051 SW HOOK FARM DR  
 LEE SUMMIT MO

SCALE  
 1/4" = 1'-0"

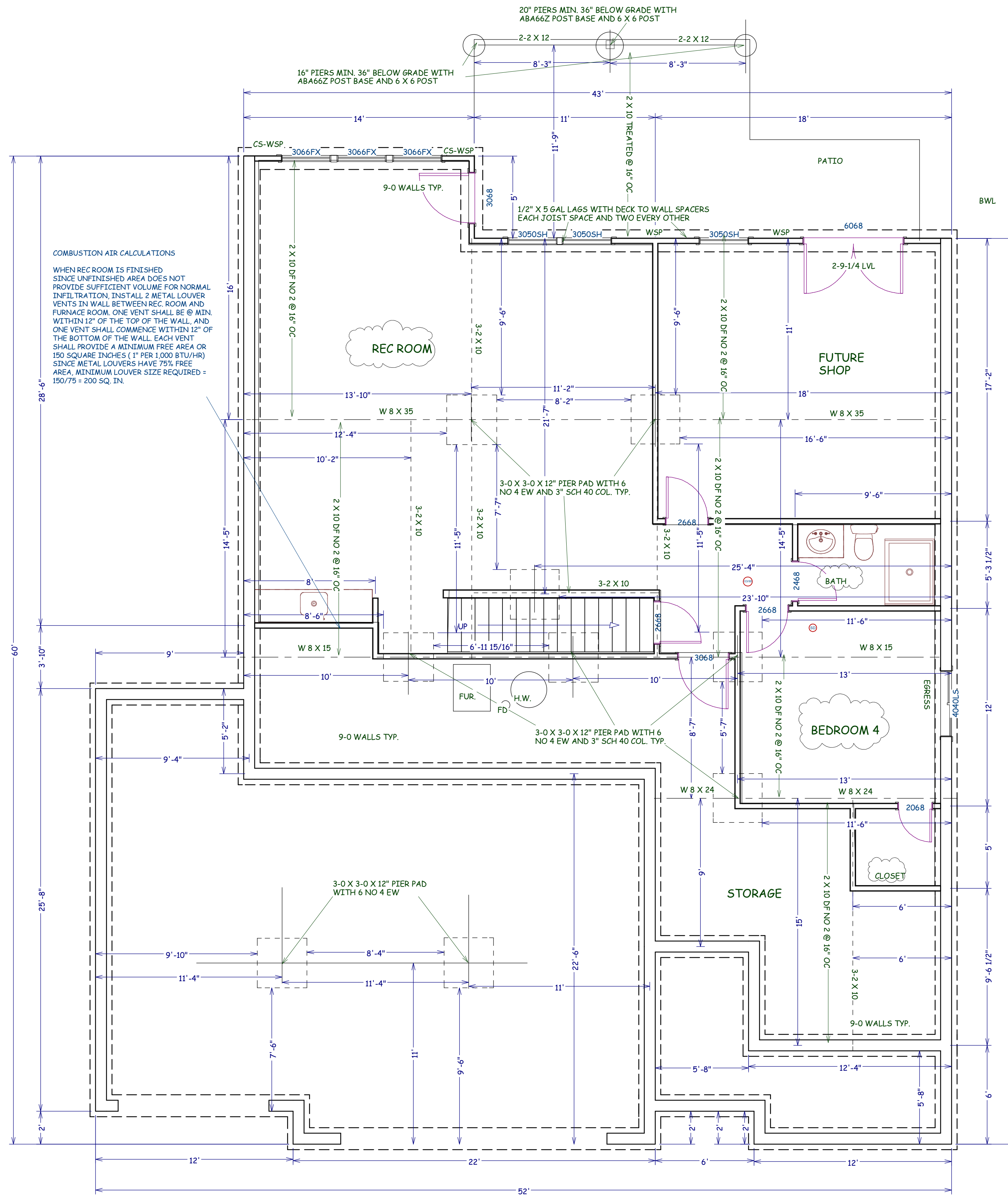
DATE  
 11-15-21

PLAN NO.

3618

SHEET NO.

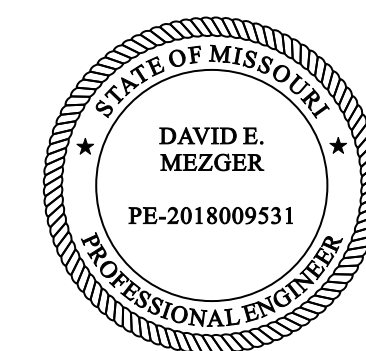
1 OF 5



FOUNDATION PLAN  
 861 SF FINISHED  
 706 SF UNFINISHED

COMBUSTION AIR CALCULATIONS  
 WHEN REC ROOM IS FINISHED  
 SINCE UNFINISHED AREA DOES NOT  
 PROVIDE SUFFICIENT VOLUME FOR NORMAL  
 INFILTRATION, INSTALL 2 METAL LOUVER  
 VENTS IN WALL BETWEEN REC. ROOM AND  
 FURNACE ROOM. ONE VENT SHALL BE @ MIN.  
 WITHIN 12" OF THE TOP OF THE WALL, AND  
 ONE VENT SHALL COMMENCE WITHIN 12" OF  
 THE BOTTOM OF THE WALL. EACH VENT  
 SHALL PROVIDE A MINIMUM FREE AREA OR  
 150 SQUARE INCHES (1" PER 1000 BTU/HR)  
 SINCE METAL LOUVERS HAVE 75% FREE  
 AREA, MINIMUM LOUVER SIZE REQUIRED =  
 150/75 = 200 SQ. IN.

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SCALE  
 1/4" = 1-0

DATE  
 11-15-21

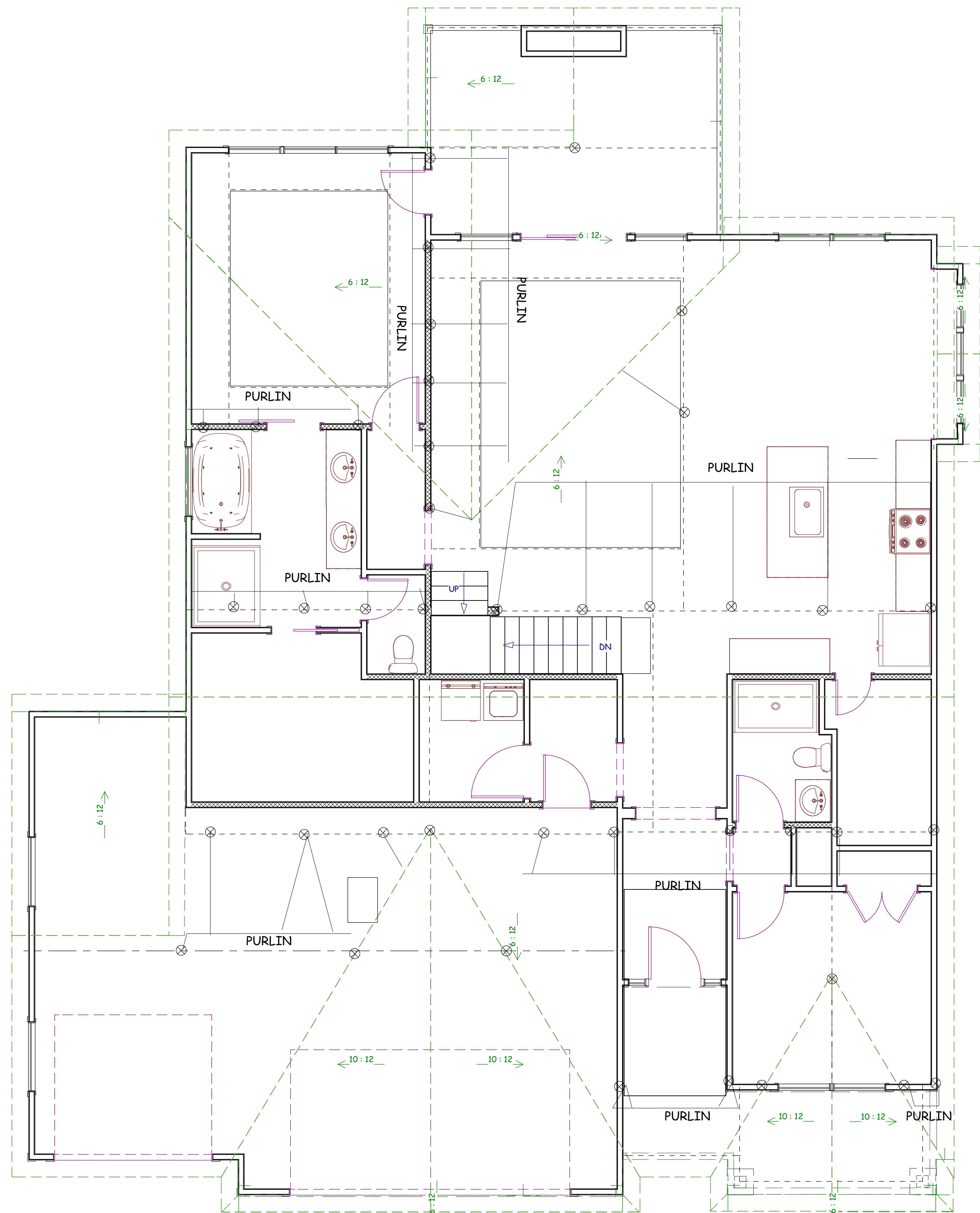
PLAN NO.

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SHEET NO.

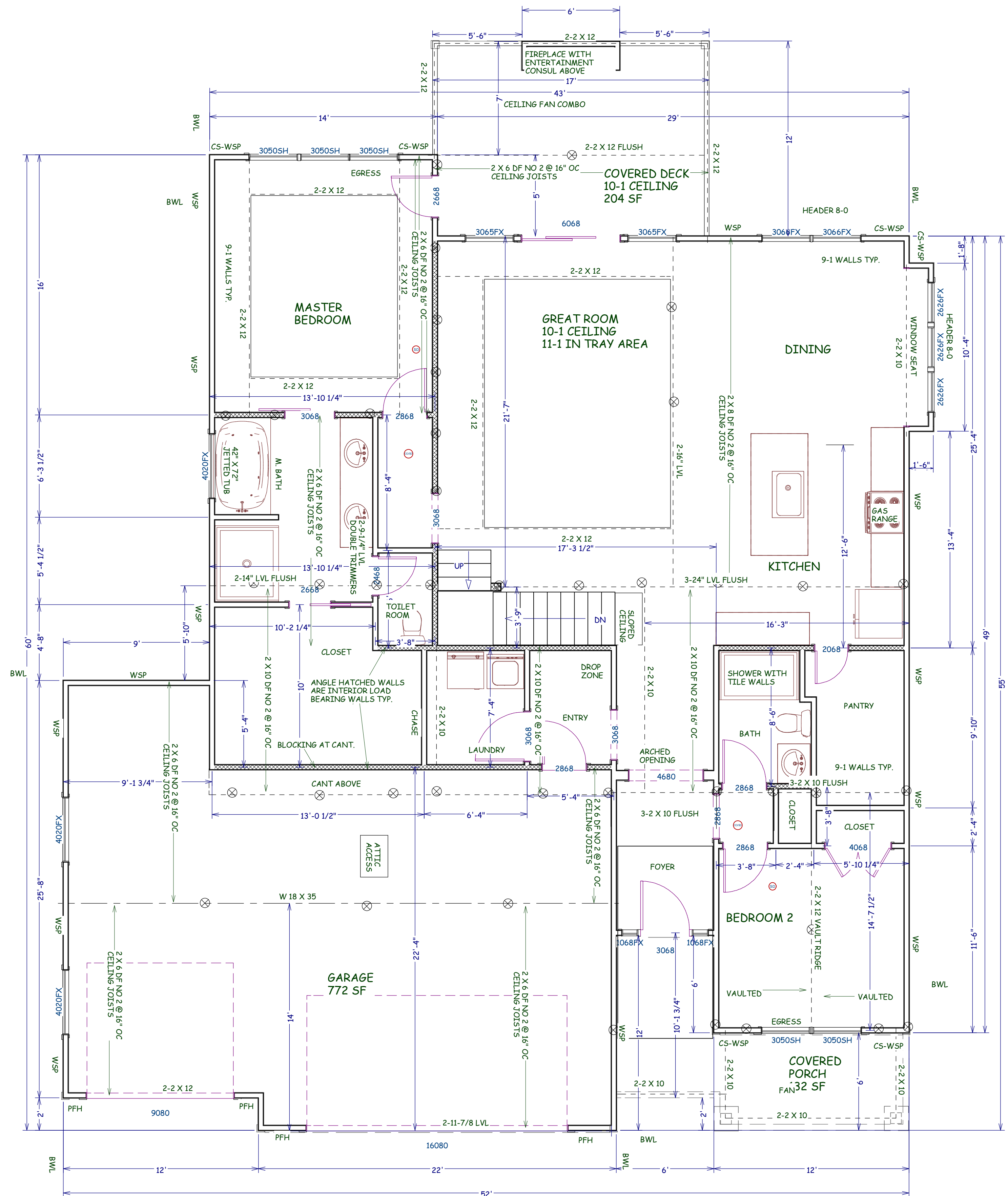
2 OF 5





PURLIN PLAN  
 ROOF PITCHES 6/12 U.N.O.  
 RAFTERS 2 X 6 DF NO 2 @ 16" OC TYP.  
 HIP AND RIDGES 2 X 8 DF NO 2 TYP.  
 SOFFITS 12" TYP.

MAX. RAFTER SPAN 14-4



MAIN FLOOR  
 1756 SF

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BEHOME LLC  
 NOELLE PLAN  
 SHADE RES.  
 LOT 32 HOOK FARM  
 2051 SW HOOK FARM DR  
 LEE SUMMIT MO

SCALE  
 1/4" = 1-0

DATE  
 11-15-21

PLAN NO.

3618

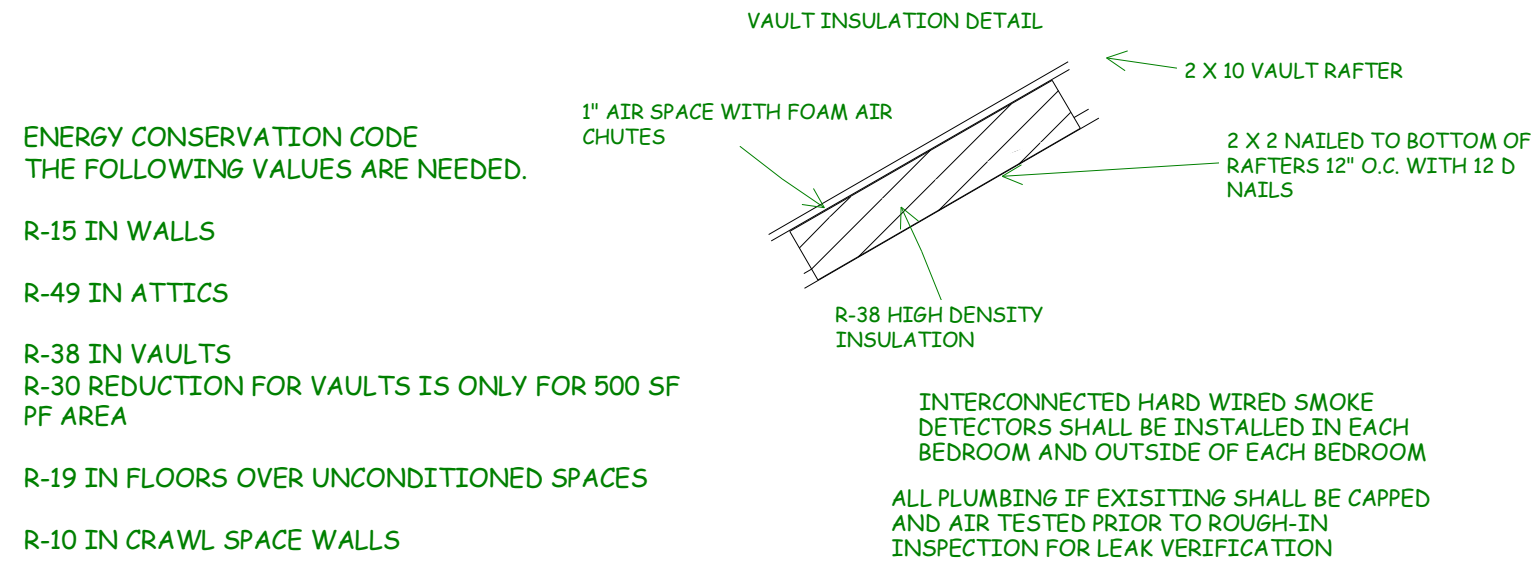
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BUILD IN ACCORDANCE WITH  
2018 INTERNATIONAL  
RESIDENTIAL CODE AND  
LOCAL CODES.

BEHOME LLC  
NOELLE PLAN  
SHADE RES.  
LOT 32 HOOK FARM  
2051 SW HOOK FARM DR  
LEE SUMMIT MO

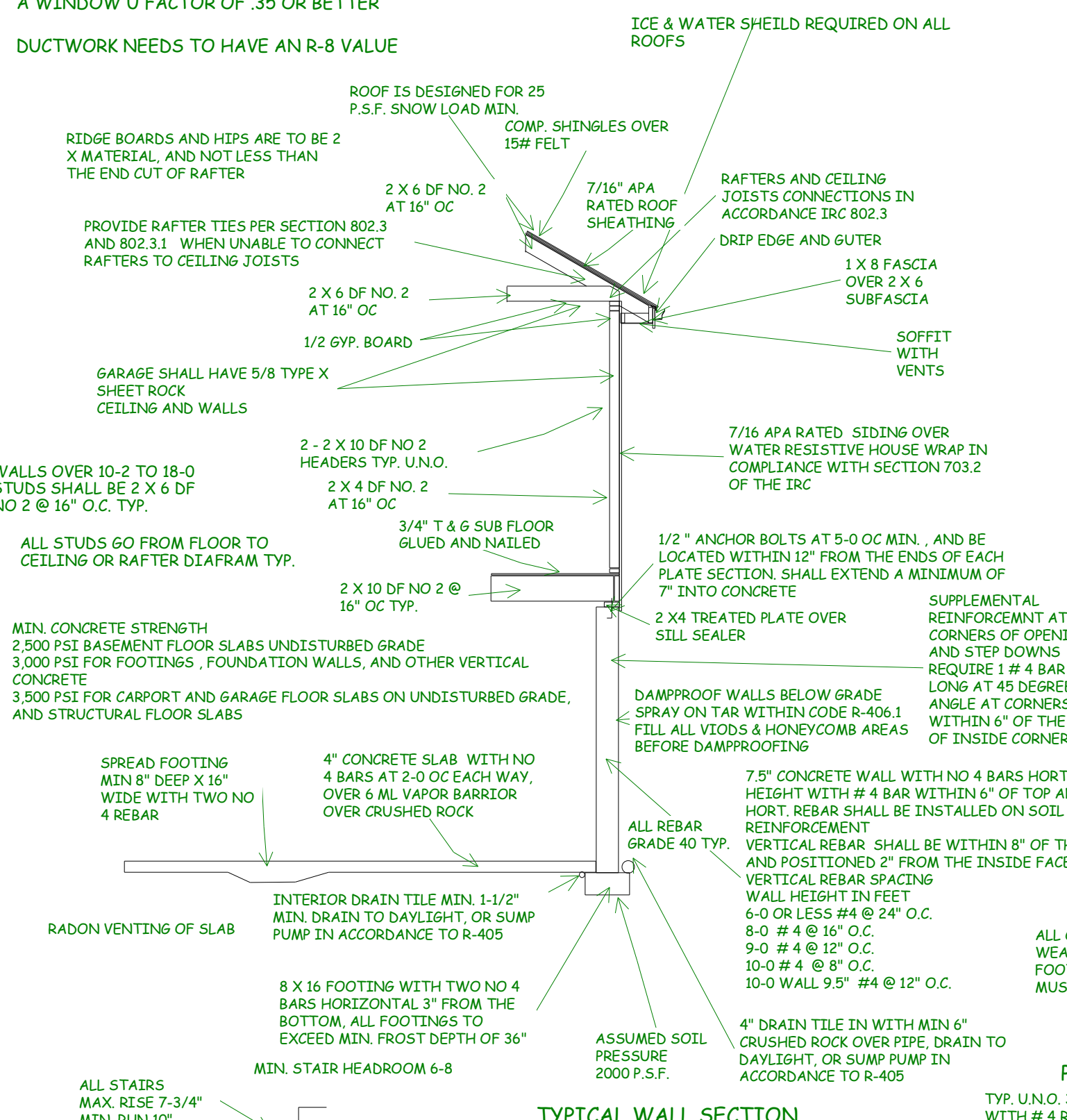


ENERGY CONSERVATION CODE  
THE FOLLOWING VALUES ARE NEEDED.

- R-15 IN WALLS
- R-49 IN ATTICS
- R-38 IN VAULTS
- R-30 REDUCTION FOR VAULTS IS ONLY FOR 500 SF PF AREA
- R-19 IN FLOORS OVER UNCONDITIONED SPACES
- R-10 IN CRAWL SPACE WALLS
- BASEMENT WALLS R-13 CAVITY OR R-10 CONTINUOUS
- SLABS SHALL BE R-10 FOR A DEPTH OF 2 FOOT
- A WINDOW U FACTOR OF .35 OR BETTER
- DUCTWORK NEEDS TO HAVE AN R-8 VALUE

INTERCONNECTED HARD WIRED SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM AND OUTSIDE OF EACH BEDROOM  
ALL PLUMBING IF EXISTING SHALL BE CAPPED AND AIR TESTED PRIOR TO ROUGH-IN INSPECTION FOR LEAK VERIFICATION

1. DWELLING / GARAGE OPENINGS BETWEEN GARAGE AND SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS SHALL BE EQUIPPED WITH SOLID WOOD OR STEEL DOORS NOT LESS THAN 1 3/8" THICK OR 20 MINUTE RATED DOORS, WITH SELF CLOSING DEVICES REQUIRED FOR GARAGE / DWELLING SEPERATION DOORS R302.5.1
2. WHOLE HOUSE MECHANICAL VENTILATION SYSTEM IS REQUIRED FOR ANY DWELLING IN COMPLIANCE WITH IRC M 1505
3. CARBON MONOXIDE DETECTORS REQUIRED IRC R 315
4. STEEL COLUMNS SHALL BE MINIMUM SCHEDULE 40 R407.3
5. DECK SHALL BE BUILT PER TABLES 507.2, 507.2.1, 507.3, 507.6, 507.5.1(1)(2), 507.5, AND 507.6
6. STUDS SHALL BE CONTINUOUS BETWEEN FLOOR, CEILING AND OR ROOF DIAPHRAGMS R602.3
7. ADDED REQUIREMENTS FOR WINDOW FALL PROTECTION R312.2
8. NEW PROVISIONS FOR ATTACHMENT OF RAFTERS, TRUSSES AND ROOF BEAMS R802.3.1, R802.11
9. INSULATION REQUIRED FOR ALL BASEMENT WALLS (INCLUDING UNFINISHED BASEMENTS) N1102.1
10. EXTERIOR WINDOWS/DOORS SHALL HAVE U-FACTOR 0.35 AND GLAZING SHALL HAVE SOLAR HEIGHT GAIN FACTOR OF 0.40 N1102.1
11. HOUSE LEAKAGE AND DUCT LEAKAGE PERFORMANCE STANDARDS EFFECTIVE JANUARY 1, 2014. A SAMPLE TESTING PROGRAM WILL BE IMPLEMENTED OCTOBER 1, 2012 KCBRC N1102.4.1.2 N1103.2.2
12. LIGHTING FIXTURES PENETRATING THE THERMAL ENVELOPE (E.G. CAN LIGHTS IN ATTIC) SHALL BE IC-RATED, LEAKAGE-RATED AND SEALED TO THE GYPSUM WALLBOARD N1102.4.4
13. PROGRAMMABLE THERMOSTAT REQUIRED N1103.1.1
14. AIR HANDLERS SHALL BE RATED FOR MAXIMUM 2 % AIR LEAKAGE RATE N1103.2.2.1
15. BUILDING CAVITIES USED AS RETURN AIR PLENUMS SHALL BE SEALED TO PREVENT LEAKAGE ACROSS THE THERMAL ENVELOPE KCBRC N1103.2.2
16. CERTAIN HOT WATER PIPES SHALL BE INSULATED N1103.4
17. ALL EXHAUST FANS SHALL TERMINATE TO THE BUILDING EXTERIOR M1507.2
18. MAKEUP AIR SYSTEM REQUIRED FOR KITCHEN EXHAUST HOODS THAT EXCEED 400 CFM M1503.4
19. BUILDING CAVITIES IN A THERMAL ENVELOPE WALL (INCLUDING THE WALL BETWEEN THE HOUSE AND GARAGE ) SHALL NOT BE USED AS RETURN AIR PLENUMS
20. AN AIR HANDLING SYSTEM SHALL NOT SERVE BOTH THE LIVING SPACE AND THE GARAGE M1616.4
21. A CONCRETE- ENCASED GROUNDING ELECTRODE ( 'UFER' GROUND ) CONNECTION SHALL BE PROVIDED TO THE ELECTRICAL SERVICE E3408.1
22. COMPLIANCE WITH THE REQUIREMENT AND SHOW CONNECTION AS NEEDED FOR ROOF BEAM, TRUSS, RAFTER, AND GIRDER CONNECTION FOR UPLIFT PER IRC 802.11. ALL RAFTERS BE IN COMPLIANCE WITH IRC 502.11 AMENDED RAYMORE CODE

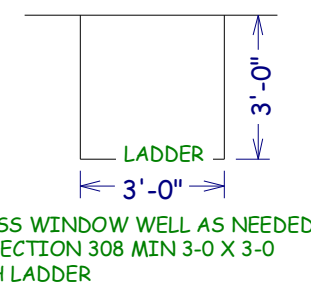


TYPICAL WALL SECTION

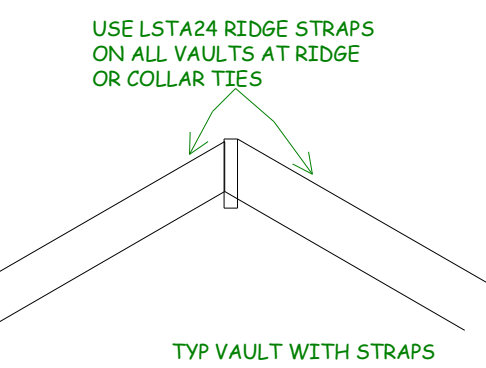
WINDOW EGRESS REQUIREMENTS

**WINDOW SAFETY GLAZING PER 308**  
SAFETY GLAZING REQUIRED ALONG WALKING SURFACES AND STAIRS LOCATED WITHIN 36 INCHES HORIZONTALLY OF THE STEPS.  
SAFETY GLAZING REQUIRED IF EXPOSED SINGLE PANEL IS IN EXCESS OF 9 SQUARE FEET OR THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FINISHED FLOOR.  
SAFETY GLAZING REQUIRED WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24 INCHES OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE. SAFETY OR TEMPERED GLAZING IS REQUIRED.

BEDROOM WINDOW EGRESS MINIMUM FOR A DOUBLE HUNG WINDOW IS 34 INCH CLEAR WIDTH MIN. AND 24 INCH CLEAR HEIGHT MIN. WITH A CLEAR OPENABLE AREA OF 5.7 SQUARE FEET MIN.  
A CASEMENT OR SLIDER WINDOW MINIMUMS ARE 20 INCH CLEAR WIDTH MINIMUM AND 41 INCH CLEAR HEIGHT MINIMUM WITH A MINIMUM 5.7 SQUARE FOOT OF OPENABLE AREA.  
OPENINGS OF EGRESS WINDOW NOT MORE THAN 42" FROM THE FLOOR.



EGRESS WINDOW WELL AS NEEDED PER SECTION 308 MIN 3-0 X 3-0 WITH LADDER



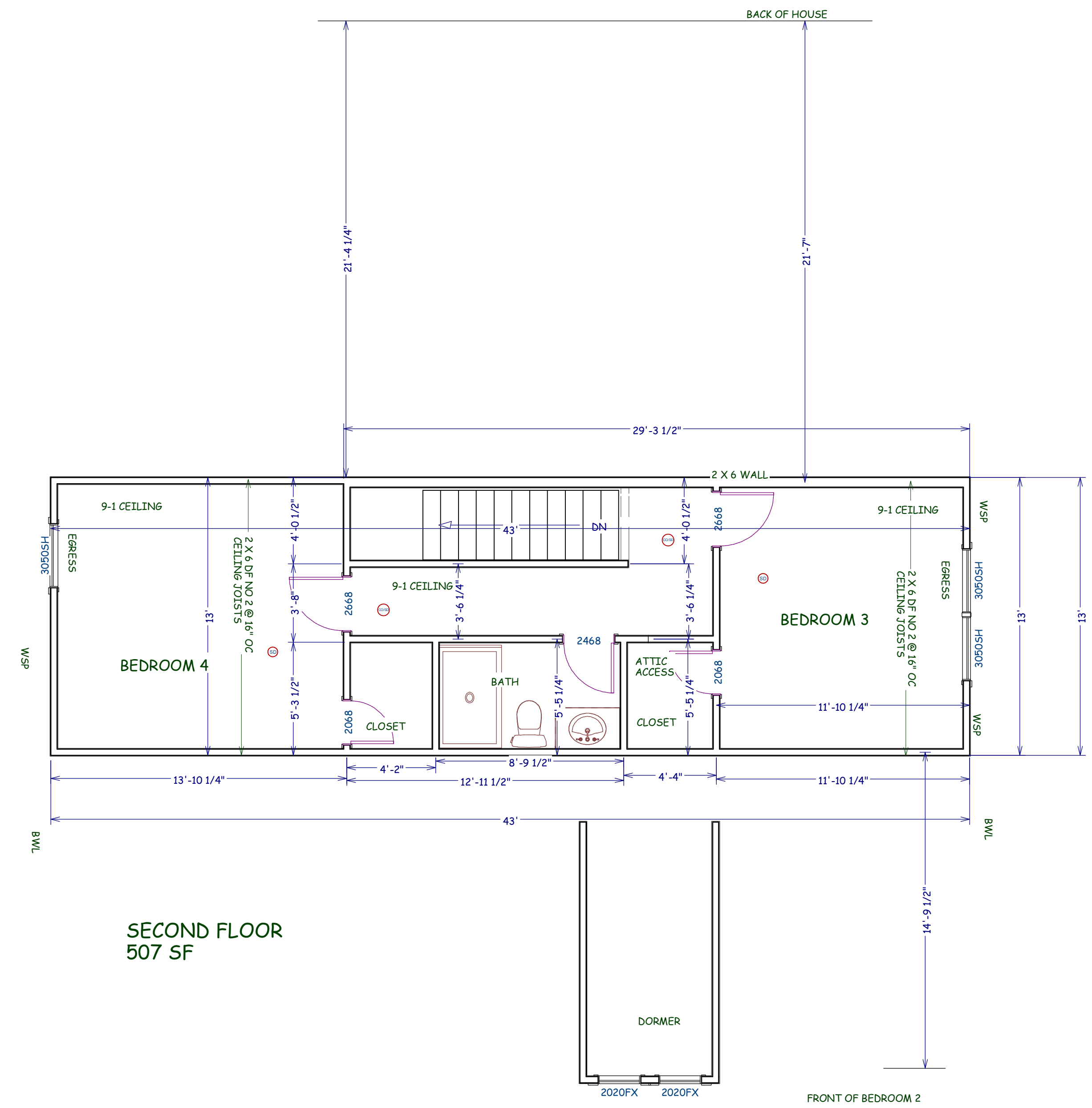
TYP VAULT WITH STRAPS

PIER PADS  
TYP. U.N.O. 3-0 X 3-0 X 12" PETR PADS. MIN. WITH # 4 REBAR, 6 EACH WAY

ALL CONCRETE EXPOSED TO WEATHER GARAGE SLABS FOOTINGS WALLS AND FLATWORK MUST HAVE 6% AIR ENTRAINMENT

USE LSTA24 RIDGE STRAPS ON ALL VAULTS AT RIDGE OR COLLAR TIES

STUDS OVER 10-0 SHALL HAVE BLOCKING ALONG WALL MAX OF 6-0 O.C.



SECOND FLOOR 507 SF

ALL POINT LOADS SHALL HAVE A MINIMUM OF 2 STUDS UNLESS NOTED OTHERWISE

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