

Memorandum

8 November 2021

City of Lee's Summit – Planning and Development Services Department
Plan Reviewer – Joe Frogge

Project: Plan Review Comments #1 / Revision #2.
FIT Muscle and Joint Clinic
413 NW Murray Road
Lee's Summit, MO 64081

Dear Mr. Frogge,

Below are our responses to the Plan Review Comments.

Licensed Contractor

1. Lee's Summit Code of Ordinance, Section 7-130.10 - Business License. It shall be unlawful for any person to engage in the construction contracting business without first obtaining a business license as required under the applicable provisions of Chapter 28 of the Lee's Summit Code of Ordinances.

Action required: Either a Class A or Class B license is required. Provide the name of the licensed general contractor and an email address for the on-site contact.

2. Lee's Summit Code of Ordinance, Section 7-130.4 - Business License. (excerpt)

No person, other than a licensed contractor or employees of a licensed contractor, shall engage in electrical, plumbing or mechanical business, construction, installation or maintenance unless duly licensed in accordance with this section.

Action required: MEP subcontractors are required to be listed on permit. Provide company names of licensed MEP contractors.

1) Response: This information is to be provided by the General Contractor.

BUILDING SAFETY DIVISION

1. 2018 IBC 1109.11 Seating at tables, counters and work surfaces. Where seating or standing space at tables, counters or work surfaces is provided in accessible spaces, at least 5 percent of the seating and not less than one, shall be accessible. (see code for exception)

Action required: Modify plans to show that coffee bar and break room counters will be maximum 34" high.

1) Response: ADA Counter Height for the coffee bar and ADA Approach notes have been added to A2/A101

design | performance | collaboration

P.O. Box 414986
Kansas City, Missouri 64111
Telephone 913 205 5649

2. 2018 IBC 1209.2 Finish Materials. Walls, Floors and partitions in toilet and bathrooms shall comply with Sections 209.2.1 through 1209.2.4.

2018 1209.2.1 Floors and wall bases. In other than dwelling units, toilet, bathing and shower room floor finish materials shall have a smooth, hard, nonabsorbent surface. The intersections of such floors with walls shall have a smooth, hard, nonabsorbent vertical base that extends upward onto the walls not less than 4 inches.

2018 1209.2.2 Walls and partitions. Walls and partitions within 2 feet of service sinks, urinals and water closets shall have a smooth, hard, nonabsorbent surface, to a height of not less than 4 feet above the floor, and except for structural elements, the materials used in such walls shall be of a type that is not adversely affected by moisture. (See code section for possible exceptions.)

Action required: Specify compliant wall finish material at restroom 208. If Paint is used it must be epoxy based.

- 2) Response: Full Height Tile for all walls in Restroom 208 has been indicated on A101

3. 2018 IMC 502.1 General. An exhaust system shall be provided, maintained and operated as specifically required by this section and for all occupied areas where machines, vats, tanks, furnaces, forges, salamanders and other appliances, equipment and processes in such areas produce or throw off dust or particles sufficiently light to float in the air, or emit heat, odors, fumes, spray, gas or smoke in such quantities so as to be irritating or injurious to health or safety.

Action required: Provide exhaust in all restrooms.

- 3) Response: Refer to M101 for note provided that existing exhaust fans shall be used in the public restrooms. EF-1 is already indicated in Restroom 208.

FIRE PLAN REVIEW

1. 2018 IFC 907.1.1- Construction documents. Construction documents for fire alarm systems shall be submitted for review and approval prior to system installation. Construction documents shall include, but not be limited to, all of the following: 1. A floor plan which indicates the use of all rooms. 2. Locations of alarm-initiating and notification appliances. 3. Alarm control and trouble signaling equipment. 4. Annunciation. 5. Power connection. 6. Battery calculations. 7. Conductor type and sizes. 8. Voltage drop calculations. 9. Manufacturers, model numbers and listing information for equipment, devices and materials. 10. Details of ceiling height and construction. 11. The interface of fire safety control functions.

(Action Required)

Any modifications to the fire alarm system, provide PE stamped electronic shop drawings to mike.weissenbach@cityofls.net

- 1) Response: This will be deferred submittal by the contractor(s).

2. 2018 IFC 901.2- Construction documents. The fire code official shall have the authority to require construction documents and calculations for all fire protection systems and to require permits be issued for the installation, rehabilitation and modification of any fire protection system. Construction documents for fire protection systems shall be submitted for review and approval prior to system installation.

(Action Required)

Any modifications to the fire sprinkler system, provide PE stamped electronic shop drawings to mike.weissenbach@cityofls.net

- 2) Response: This shall be the responsibility of the Contractor.

design | performance | collaboration

P.O. Box 414986
Kansas City, Missouri 64111
Telephone 913 205 5649

3. 2018 IFC 901.5- Installation acceptance testing. Fire detection and alarm systems, fire-extinguishing systems, fire hydrant systems, fire standpipe systems, fire pump systems, private fire service mains and all other fire protection systems and appurtenances thereto shall be subject to acceptance tests as contained in the installation standards and as approved by the fire code official. The fire code official shall be notified before any required acceptance testing. The fire code official shall be notified 48 hours before any required acceptance test.

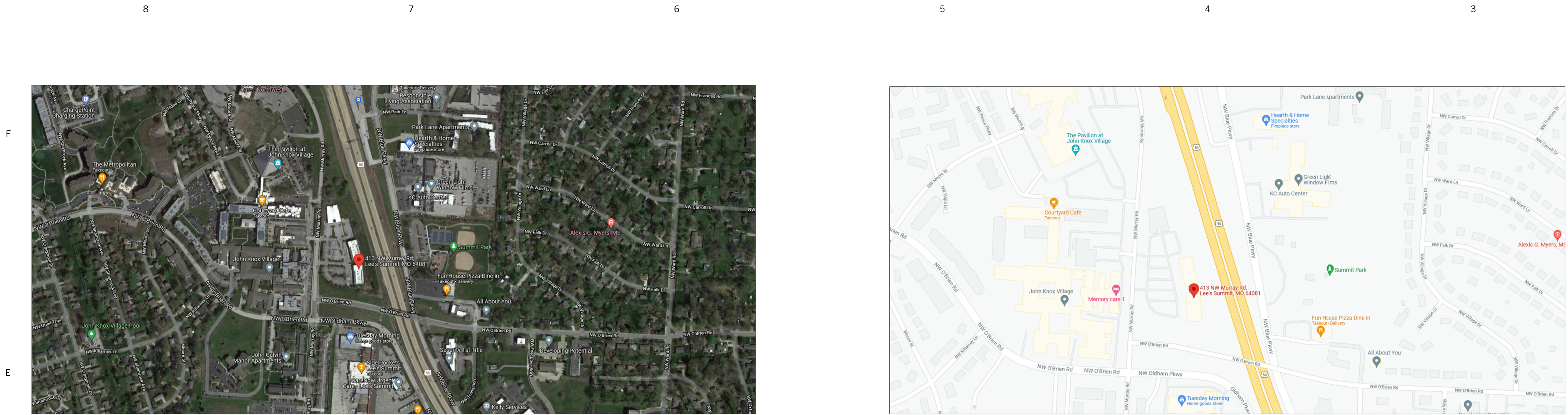
3) Response: This shall be the responsibility of the Contractor.

4. 2018 IFC 1008.1 Illumination required. The means of egress, shall be illuminated at all times the building space served by the means of egress is occupied.

(Action Required)

Provide exterior emergency lighting at the exit doors.

4) Response: Emergency Exit lighting has been updated on A102, A200 and E101.



E7 SATELLITE VIEW
N.T.S.

E4 VICINITY MAP
N.T.S.

DRAWING INDEX	
COVER SHEET	
A000	PROJECT INFORMATION
A001	CODE INFORMATION
A100	OVERALL FLOOR PLAN
A101	TENANT FINISH FLOOR PLAN
A102	REFLECTED CEILING FLOOR PLAN
A103	FINISH FLOOR PLAN
A200	EXTERIOR ELEVATIONS
A201	INTERIOR ELEVATIONS
A300	SCHEDULES / STRUCTURAL DETAILS
A301	SCHEDULES
M101	MECHANICAL FLOOR PLAN
M200	MECHANICAL SCHEDULES AND DETAILS
E101	ELECTRICAL FLOOR PLAN
E200	ELECTRICAL SCHEDULES AND DETAILS
ME100	MECHANICAL / ELECTRICAL SPECIFICATIONS
ME101	MECHANICAL / ELECTRICAL SPECIFICATIONS

NOTES

- DEMO NOTES:
- 1) THE DRAWINGS ARE BASED ON VISUAL OBSERVATIONS AND FIELD MEASUREMENTS AND EVERY EFFORT HAS BEEN MADE TO ACCURATELY PORTRAY EXISTING CONDITIONS. HOWEVER, SOME DISCREPANCIES MAY EXIST AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS AND SUB-CONTRACTORS TO VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE WORK AND TO REPORT ANY DISCREPANCIES DISCOVERED TO THE OWNER, ARCHITECT AND ENGINEER.
 - 2) CARE SHALL BE TAKEN NOT TO DISTURB ANY MATERIAL OR UTILITY SYSTEMS TO BE INCORPORATED INTO THE NEW WORK. DAMAGE TO ANY MATERIAL TO REMAIN SHALL BE PATCHED AND REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
 - 3) DO NOT REMOVE ANY ITEMS OF STRUCTURAL NATURE SUPPORTING THE ROOF STRUCTURE WITHOUT AMPLE SHORING.
 - 4) REMOVE AND LAWFULLY DISPOSE OF ALL MATERIALS.
 - 5) PROTECT ALL ELEMENTS TO REMAIN, WHILE PATCHING AS REQUIRED TO MATCH EXISTING FINISHES.
 - 6) DO NOT SCALE DRAWINGS.
 - 7) GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL APPLICABLE CODES, MUNICIPAL ORDINANCES, AND BUILDING REGULATIONS.
 - 8) THE CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY WHICH DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS. WORK AFFECTED BY DISCREPANCIES SHALL CEASE UNTIL THEY ARE RESOLVED.
 - 9) ALL SUBSTITUTIONS AND CHANGES TO THESE DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT AND / OR OWNER FOR APPROVAL.
 - 10) GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ARE RESPONSIBLE TO OBTAIN ALL REQUIRED BUILDING PERMITS AND LICENSES AS REQUIRED BY THE MUNICIPALITY TO PERFORM CONSTRUCTION ACTIVITIES REQUIRED TO COMPLETE THIS WORK.
 - 11) THE CONTRACTOR SHALL BE HELD ENTIRELY RESPONSIBLE FOR SAFETY REGULATIONS, PROCEDURES AND POLICIES.
 - 12) GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ADDITIONAL CONSTRUCTION REQUIRED TO SUCCESSFULLY COMPLETE THIS WORK, INCLUDING, BUT NOT LIMITED TO: CUTTINGS AND PATCHINGS OF EXISTING CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION WHERE REQUIRED TO PERFORM NEW CONSTRUCTION AND THE REPAIR OF ANY DAMAGE TO THE EXISTING BUILDING EXTERIOR, OR SITE THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
 13. THIS WORK IS PRIMARILY FOR INTERIOR FINISH AND BUILDING PERMIT SUBMITTAL ONLY AND DOES NOT INCLUDE MEANS AND METHODS FOR CONSTRUCTION. PER THE OWNER'S DIRECTION, THIS IS TO BE DESIGN-BUILD CONSTRUCTION WHEREAS THE EXISTING BUILDING'S CURRENT AND FUTURE STRUCTURAL INTEGRITY, EXTERIOR ENVELOPE, ROOFING, FLASHING AND THERMAL AND MOISTURE PROTECTION ARE THE RESPONSIBILITY OF THE OWNER AND THEIR CONTRACTOR. THE EXISTING BUILDING ENVELOPE, INCLUDING FOUNDATIONS, BUILDING SUPERSTRUCTURE, ROOF STRUCTURE AND DECK, AND THE BUILDING ENVELOPE ARE NOT TO BE AFFECTED IN ANY WAY BEYOND WHAT IS COVERED IN THESE DOCUMENTS. THE EXISTING STRUCTURAL SYSTEM IS TO REMAIN AS IS. ANY MODIFICATIONS TO THE ORIGINAL STRUCTURAL SYSTEM, BUILDING ENVELOPE, ROOFING AND FLASHING IS NOT A PART OF THIS DOCUMENTATION AND IS THE SOLE RESPONSIBILITY OF THE BUILDING OWNER AND THEIR CONTRACTOR.
 14. ANY NEW ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL ELECTRIC CODE, SHALL BE INSTALLED AS INDICATED, AND SHALL BE PROPERLY GROUNDED AND SHIELDED.
 15. THE CONTRACTOR (AND SUBCONTRACTORS) SHALL MAINTAIN A CLEAN PROJECT SITE AND SHALL CLEAN UP ALL DEBRIS AND SURPLUS MATERIAL UPON COMPLETION OF THE JOB.
 16. THE ARCHITECT WILL NOT HAVE CONTROL OF AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK. FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND SHALL BE HELD HARMLESS FROM ALL DAMAGES WITH RESULT THEREFROM.
 17. THE PROPERTY OWNER IS FULLY RESPONSIBLE FOR AND REQUIRED TO DISCLOSE ANY PAST, PRESENT AND FUTURE CONTAMINATION OR ENVIRONMENTAL HAZARDS. THE PROPERTY OWNER IS RESPONSIBLE FOR ANY TESTING, REMOVAL AND HARM THAT MAY BE CAUSED AS A RESULT OF THE BUILDING'S PREVIOUS USE. THE ARCHITECT AND CONSULTANTS SHALL BE INDEMNIFIED & HELD HARMLESS FOR ANY ISSUES OR DAMAGES RELATED TO ITEMS BEYOND THE SCOPE OF THE CONSTRUCTION DOCUMENTS.

PROJECT DESCRIPTION		TENANT IMPROVEMENT	
BUILDING CODE	2018 INTERNATIONAL BUILDING CODE		
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE		
PLUMBING CODE	2018 INTERNATIONAL PLUMBING CODE		
MECHANICAL CODE	2018 INTERNATIONAL MECHANICAL CODE		
ENERGY CODE	2018 INTERNATIONAL ENERGY CONSERVATION CODE		
FUEL AND GAS CODE	2018 INTERNATIONAL FUEL AND GAS CODE		
FIRE CODE	2018 INTERNATIONAL FIRE CODE		
CONSTRUCTION TYPE	TYPE 2B		
FULLY SPRINKLED	YES		
MULTIPLE STORIES	NO		
SEISMIC ZONE	NO		
OCCUPANCY TYPE	[B] BUSINESS		
MIXED OCCUPANCY	NO		
BRAIN BALANCE (NOT IN SCOPE)	2957 SF / 150 GROSS	20 OCCUPANTS	
HARKRADER CONSTRUCTION	1640 SF / 150 GROSS	11 OCCUPANTS	
FIT MUSCLE AND JOINT CLINIC	5113 SF / 150 GROSS	35 OCCUPANTS	
BUILDING COMMON AREA (RESTROOMS, JAN, ELECTRICAL)	380 SF / 150 GROSS	3 OCCUPANTS	
GROSS BUILDING AREA TOTAL OCCUPANT LOAD	10,090 GSF	69 OCCUPANTS	
MAXIMUM TRAVEL DISTANCE	300 FEET		
EXITS - BRAIN BALANCE	1 REQUIRED	2 PROVIDED	
EXITS - HARKRADER CONSTRUCTION	1 REQUIRED	1 PROVIDED	
EXITS - FIT MUSCLE AND JOINT CLINIC	2 REQUIRED	2 PROVIDED	
WATER CLOSETS - HARKRADER	1 REQUIRED	1 PROVIDED	
LAVATORIES - HARKRADER	1 REQUIRED	1 PROVIDED	
WATER CLOSETS (MEN) - FIT M&J	1 REQUIRED	2 PROVIDED	
LAVATORIES (MEN) - FIT M&J	1 REQUIRED	2 PROVIDED	
WATER CLOSETS (WOMEN) - FIT M&J	1 REQUIRED	3 PROVIDED	
LAVATORIES (WOMEN) - FIT M&J	1 REQUIRED	2 PROVIDED	
DRINKING FOUNTAINS - HARKRADER	1 REQUIRED	0 PROVIDED	
DRINKING FOUNTAINS - FIT M&J	1 REQUIRED	1 PROVIDED	
UTILITY SINKS (SHARED JANITOR CLOSET)	1 REQUIRED	1 PROVIDED	

A4 LIFE SAFETY PLAN
1/8" = 1'-0"

herron + partners

ARCHITECT OF RECORD	STRUCTURAL ENGINEER	MECHANICAL ENGINEER	CODE CONSULTANT
herron + partners p.o. box 414986 kansas city, missouri 64111 phone 816.832.4647 www.herronandpartners.com	Structura Logica 18901 E 299th Street harrisonville, missouri 64701 phone 816.872.4883 www.bdc-engrs.com	BGR Engineers 8908 W 106th Street Overland Park, Kansas 66212 phone 816.842.2800 www.bgrengineers.com	Vorthmann Consulting, LLC P.O. Box 3712 Eagle, Colorado 81631 phone 816.806.3729 www.fpc-consultants.com

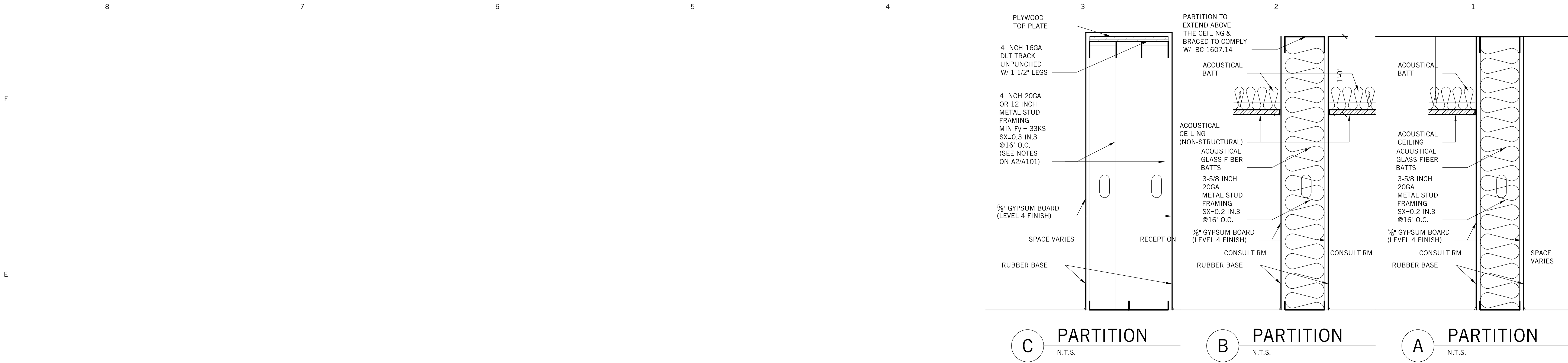
David Herron - Architect
Missouri License #A-2013022824

F.I.T. MUSCLE AND JOINT CLINIC
413 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081
OWNER
F.I.T. MUSCLE & JOINT CLINIC, LLC | 16.2111

PROJECT INFORMATION

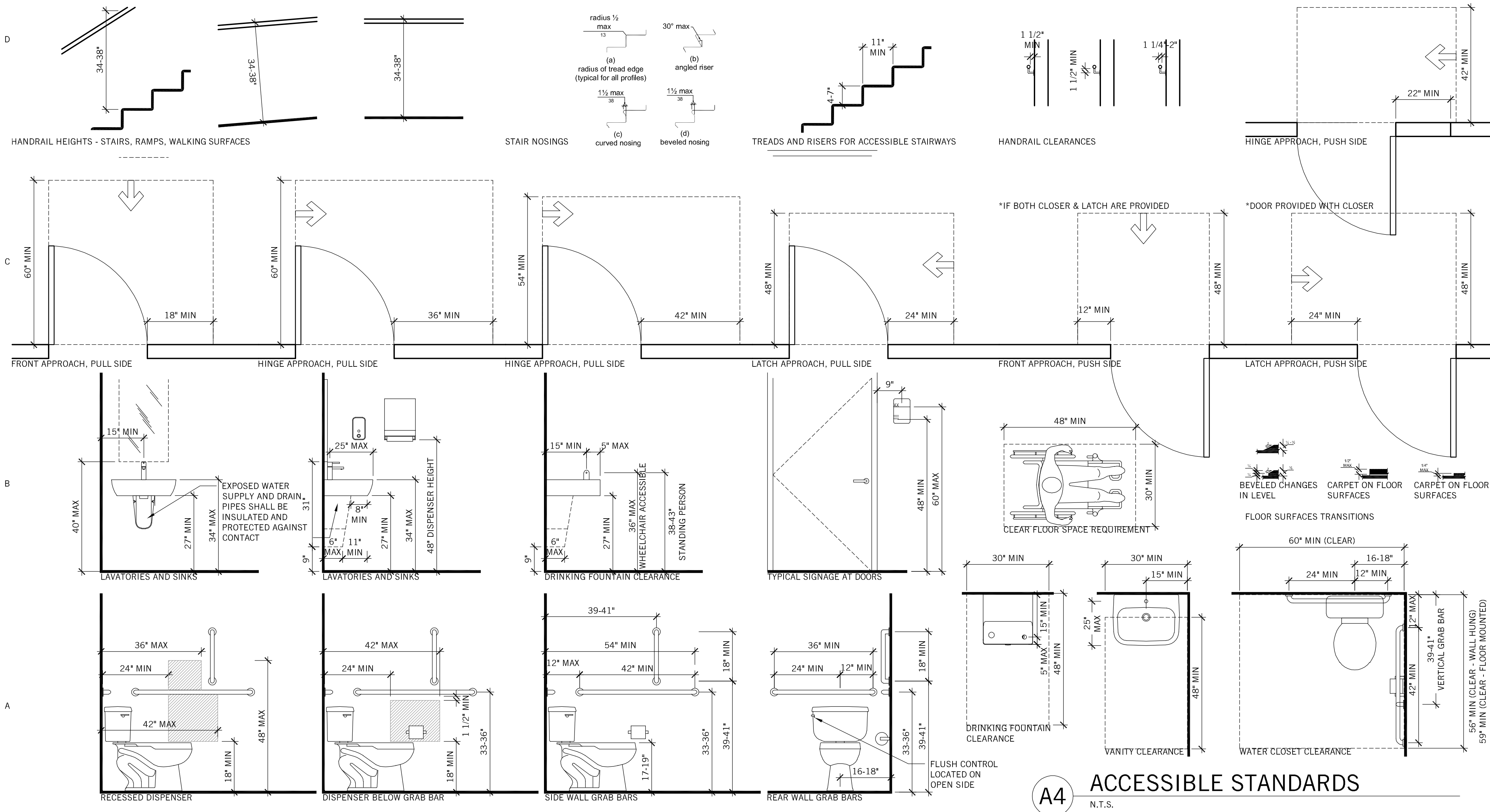
A000

110.25.21

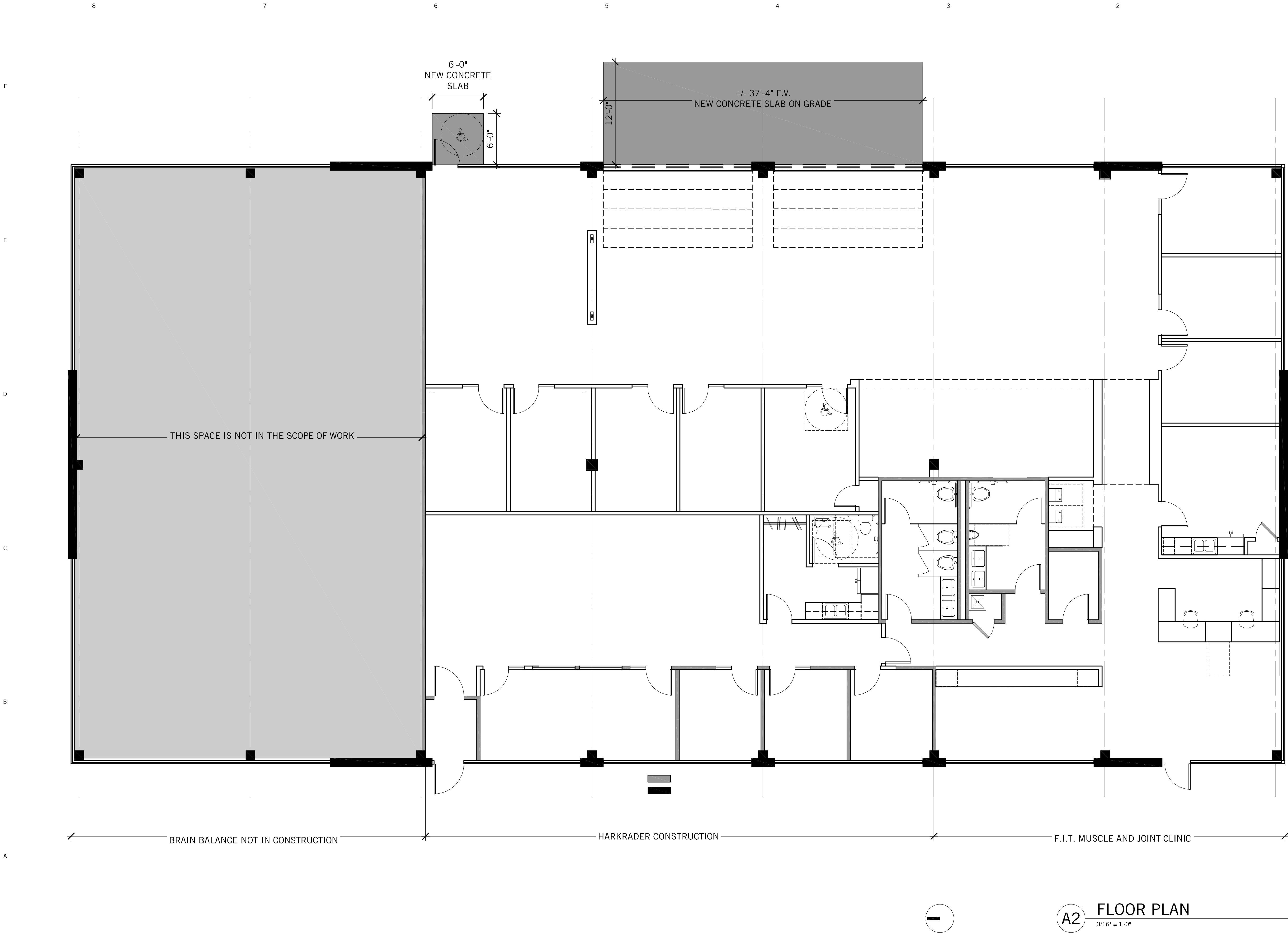


NOTES

- DEMO NOTES:
- 1) THE DRAWINGS ARE BASED ON VISUAL OBSERVATIONS AND FIELD MEASUREMENTS AND EVERY EFFORT HAS BEEN MADE TO ACCURATELY PORTRAY EXISTING CONDITIONS. HOWEVER, SOME DISCREPANCIES MAY EXIST AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS AND SUB-CONTRACTORS TO VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE WORK AND TO REPORT ANY DISCREPANCIES DISCOVERED TO THE OWNER, ARCHITECT AND ENGINEER.
 - 2) CARE SHALL BE TAKEN NOT TO DISTURB ANY MATERIAL OR UTILITY SYSTEMS TO BE INCORPORATED INTO THE NEW WORK. DAMAGE TO ANY MATERIAL TO REMAIN SHALL BE PATCHED AND REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
 - 3) DO NOT REMOVE ANY ITEMS OF STRUCTURAL NATURE SUPPORTING THE ROOF STRUCTURE WITHOUT AMPLE SHORING.
 - 4) REMOVE AND LAWFULLY DISPOSE OF ALL MATERIALS.
 - 5) PROTECT ALL ELEMENTS TO REMAIN, WHILE PATCHING AS REQUIRED TO MATCH EXISTING FINISHES.
 - 6) DO NOT SCALE DRAWINGS.
 - 7) GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL APPLICABLE CODES, MUNICIPAL ORDINANCES, AND BUILDING REGULATIONS.
 - 8) THE CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY WHICH DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS. WORK AFFECTED BY DISCREPANCIES SHALL CEASE UNTIL THEY ARE RESOLVED.
 - 9) ALL SUBSTITUTIONS AND CHANGES TO THESE DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT AND / OR OWNER FOR APPROVAL.
 - 10) GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ARE RESPONSIBLE TO OBTAIN ALL REQUIRED BUILDING PERMITS AND LICENSES AS REQUIRED BY THE MUNICIPALITY TO PERFORM CONSTRUCTION ACTIVITIES REQUIRED TO COMPLETE THIS WORK.
 - 11) THE CONTRACTOR SHALL BE HELD ENTIRELY RESPONSIBLE FOR SAFETY REGULATIONS, PROCEDURES AND POLICIES.
 - 12) GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ADDITIONAL CONSTRUCTION REQUIRED TO SUCCESSFULLY COMPLETE THIS WORK, INCLUDING, BUT NOT LIMITED TO: CUTTINGS AND PATCHINGS OF EXISTING CONSTRUCTION TO MATCH ADJACENT NEW CONSTRUCTION AND THE REPAIR OF ANY DAMAGE TO THE EXISTING BUILDING EXTERIOR, OR SITE THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
 13. THIS WORK IS PRIMARILY FOR INTERIOR FINISH AND BUILDING PERMIT SUBMITTAL ONLY AND DOES NOT INCLUDE MEANS AND METHODS FOR CONSTRUCTION. PER THE OWNER'S DIRECTION, THIS IS TO BE DESIGN-BUILD CONSTRUCTION WHEREAS THE EXISTING BUILDING'S CURRENT AND FUTURE STRUCTURAL INTEGRITY, EXTERIOR ENVELOPE, ROOFING, FLASHING AND THERMAL AND MOISTURE PROTECTION ARE THE RESPONSIBILITY OF THE OWNER AND THEIR CONTRACTOR. THE EXISTING BUILDING ENVELOPE, INCLUDING FOUNDATIONS, BUILDING SUPERSTRUCTURE, ROOF STRUCTURE AND DECK, AND THE BUILDING ENVELOPE ARE NOT TO BE AFFECTED IN ANY WAY BEYOND WHAT IS COVERED IN THESE DOCUMENTS. THE EXISTING STRUCTURAL SYSTEM IS TO REMAIN AS IS. ANY MODIFICATIONS TO THE ORIGINAL STRUCTURAL SYSTEM, BUILDING ENVELOPE, ROOFING AND FLASHING IS NOT A PART OF THIS DOCUMENTATION AND IS THE SOLE RESPONSIBILITY OF THE BUILDING OWNER AND THEIR CONTRACTOR.
 14. ANY NEW ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL ELECTRIC CODE, SHALL BE INSTALLED AS INDICATED, AND SHALL BE PROPERLY GROUNDED AND SHIELDED.
 15. THE CONTRACTOR (AND SUBCONTRACTORS) SHALL MAINTAIN A CLEAN PROJECT SITE AND SHALL CLEAN UP ALL DEBRIS AND SURPLUS MATERIAL UPON COMPLETION OF THE JOB.
 16. THE ARCHITECT WILL NOT HAVE CONTROL OF AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK. FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND SHALL BE HELD HARMLESS FROM ALL DAMAGES WITH RESULT THEREFROM.
 17. THE PROPERTY OWNER IS FULLY RESPONSIBLE FOR AND REQUIRED TO DISCLOSE ANY PAST, PRESENT AND FUTURE CONTAMINATION OR ENVIRONMENTAL HAZARDS. THE PROPERTY OWNER IS RESPONSIBLE FOR ANY TESTING, REMOVAL AND HARM THAT MAY BE CAUSED AS A RESULT OF THE BUILDING'S PREVIOUS USE. THE ARCHITECT AND CONSULTANTS SHALL BE INDEMNIFIED & HELD HARMLESS FOR ANY ISSUES OR DAMAGES RELATED TO ITEMS BEYOND THE SCOPE OF THE CONSTRUCTION DOCUMENTS.



herron + partners



NOTES

- DEMO NOTES:
- 1) THE DRAWINGS ARE BASED ON VISUAL OBSERVATIONS AND FIELD MEASUREMENTS AND EVERY EFFORT HAS BEEN MADE TO ACCURATELY PORTRAY EXISTING CONDITIONS. HOWEVER, SOME DISCREPANCIES MAY EXIST AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS AND SUB-CONTRACTORS TO VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE WORK AND TO REPORT ANY DISCREPANCIES DISCOVERED TO THE OWNER, ARCHITECT AND ENGINEER.
 - 2) CARE SHALL BE TAKEN NOT TO DISTURB ANY MATERIAL OR UTILITY SYSTEMS TO BE INCORPORATED INTO THE NEW WORK. DAMAGE TO ANY MATERIAL TO REMAIN SHALL BE PATCHED AND REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
 - 3) DO NOT REMOVE ANY ITEMS OF STRUCTURAL NATURE SUPPORTING THE ROOF STRUCTURE WITHOUT AMPLE SHORING.
 - 4) REMOVE AND LAWFULLY DISPOSE OF ALL MATERIALS.
 - 5) PROTECT ALL ELEMENTS TO REMAIN, WHILE PATCHING AS REQUIRED TO MATCH EXISTING FINISHES.
 - 6) DO NOT SCALE DRAWINGS.
 - 7) GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL APPLICABLE CODES, MUNICIPAL ORDINANCES, AND BUILDING REGULATIONS.
 - 8) THE CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY WHICH DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS. WORK AFFECTED BY DISCREPANCIES SHALL CEASE UNTIL THEY ARE RESOLVED.
 - 9) ALL SUBSTITUTIONS AND CHANGES TO THESE DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT AND / OR OWNER FOR APPROVAL.
 - 10) GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ARE RESPONSIBLE TO OBTAIN ALL REQUIRED BUILDING PERMITS AND LICENSES AS REQUIRED BY THE MUNICIPALITY TO PERFORM CONSTRUCTION ACTIVITIES REQUIRED TO COMPLETE THIS WORK.
 - 11) THE CONTRACTOR SHALL BE HELD ENTIRELY RESPONSIBLE FOR SAFETY REGULATIONS, PROCEDURES AND POLICIES.
 - 12) GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ADDITIONAL CONSTRUCTION REQUIRED TO SUCCESSFULLY COMPLETE THIS WORK, INCLUDING, BUT NOT LIMITED TO: CUTTING AND PATCHING OF EXISTING CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION WHERE REQUIRED TO PERFORM NEW CONSTRUCTION AND THE REPAIR OF ANY DAMAGE TO THE EXISTING BUILDING EXTERIOR, OR SITE THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
 13. THIS WORK IS PRIMARILY FOR INTERIOR FINISH AND BUILDING PERMIT SUBMITTAL ONLY AND DOES NOT INCLUDE MEANS AND METHODS FOR CONSTRUCTION. PER THE OWNER'S DIRECTION, THIS IS TO BE DESIGN-BUILD CONSTRUCTION WHEREAS THE EXISTING BUILDING'S CURRENT AND FUTURE STRUCTURAL INTEGRITY, EXTERIOR ENVELOPE, ROOFING, FLASHING AND THERMAL AND MOISTURE PROTECTION ARE THE RESPONSIBILITY OF THE OWNER AND THEIR CONTRACTOR. THE EXISTING BUILDING ENVELOPE, INCLUDING FOUNDATIONS, BUILDING SUPERSTRUCTURE, ROOF STRUCTURE AND DECK, AND THE BUILDING ENVELOPE ARE NOT TO BE AFFECTED IN ANY WAY BEYOND WHAT IS COVERED IN THESE DOCUMENTS. THE EXISTING STRUCTURAL SYSTEM IS TO REMAIN AS IS. ANY MODIFICATIONS TO THE ORIGINAL STRUCTURAL SYSTEM, BUILDING ENVELOPE, ROOFING AND FLASHING IS NOT A PART OF THIS DOCUMENTATION AND IS THE SOLE RESPONSIBILITY OF THE BUILDING OWNER AND THEIR CONTRACTOR.
 14. ANY NEW ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL ELECTRIC CODE, SHALL BE INSTALLED AS INDICATED, AND SHALL BE PROPERLY GROUNDED AND SHIELDED.
 15. THE CONTRACTOR (AND SUBCONTRACTORS) SHALL MAINTAIN A CLEAN PROJECT SITE AND SHALL CLEAN UP ALL DEBRIS AND SURPLUS MATERIAL UPON COMPLETION OF THE JOB.
 16. THE ARCHITECT WILL NOT HAVE CONTROL OF AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK. FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND SHALL BE HELD HARMLESS FROM ALL DAMAGES WITH RESULT THEREFROM.
 17. THE PROPERTY OWNER IS FULLY RESPONSIBLE FOR AND REQUIRED TO DISCLOSE ANY PAST, PRESENT AND FUTURE CONTAMINATION OR ENVIRONMENTAL HAZARDS. THE PROPERTY OWNER IS RESPONSIBLE FOR ANY TESTING, REMOVAL AND HARM THAT MAY BE CAUSED AS A RESULT OF THE BUILDING'S PREVIOUS USE. THE ARCHITECT AND CONSULTANTS SHALL BE INDEMNIFIED & HELD HARMLESS FOR ANY ISSUES OR DAMAGES RELATED TO ITEMS BEYOND THE SCOPE OF THE CONSTRUCTION DOCUMENTS.

herron + partners

ARCHITECT OF RECORD
herron + partners
p.o. box 414986
kansas city, missouri 64111
phone 816.832.4647
www.herronandpartners.com

STRUCTURAL ENGINEER
Structura Logica
18901 E 299th Street
harrisonville, missouri 64701
phone 816.842.2800
www.bdc-engrs.com

MECHANICAL ENGINEER
BGR Engineers
8908 W 106th Street
Overland Park, Kansas 66212
phone 816.842.2800
www.bgrengineers.com

CODE CONSULTANT
Vorthmann Consulting, LLC
P.O. Box 3712
Eagle, Colorado 81631
phone 816.806.3729
www.fpc-consultants.com

CONTRACTOR

BUILDING'S ARCHITECT

REVISIONS
01 05.17.2021 PRICING SET
02 11.08.2021 CITY COMMENT RESPONSE #1

SEAL
David Herron - Architect
Missouri License #A-2013022824

PROJECT

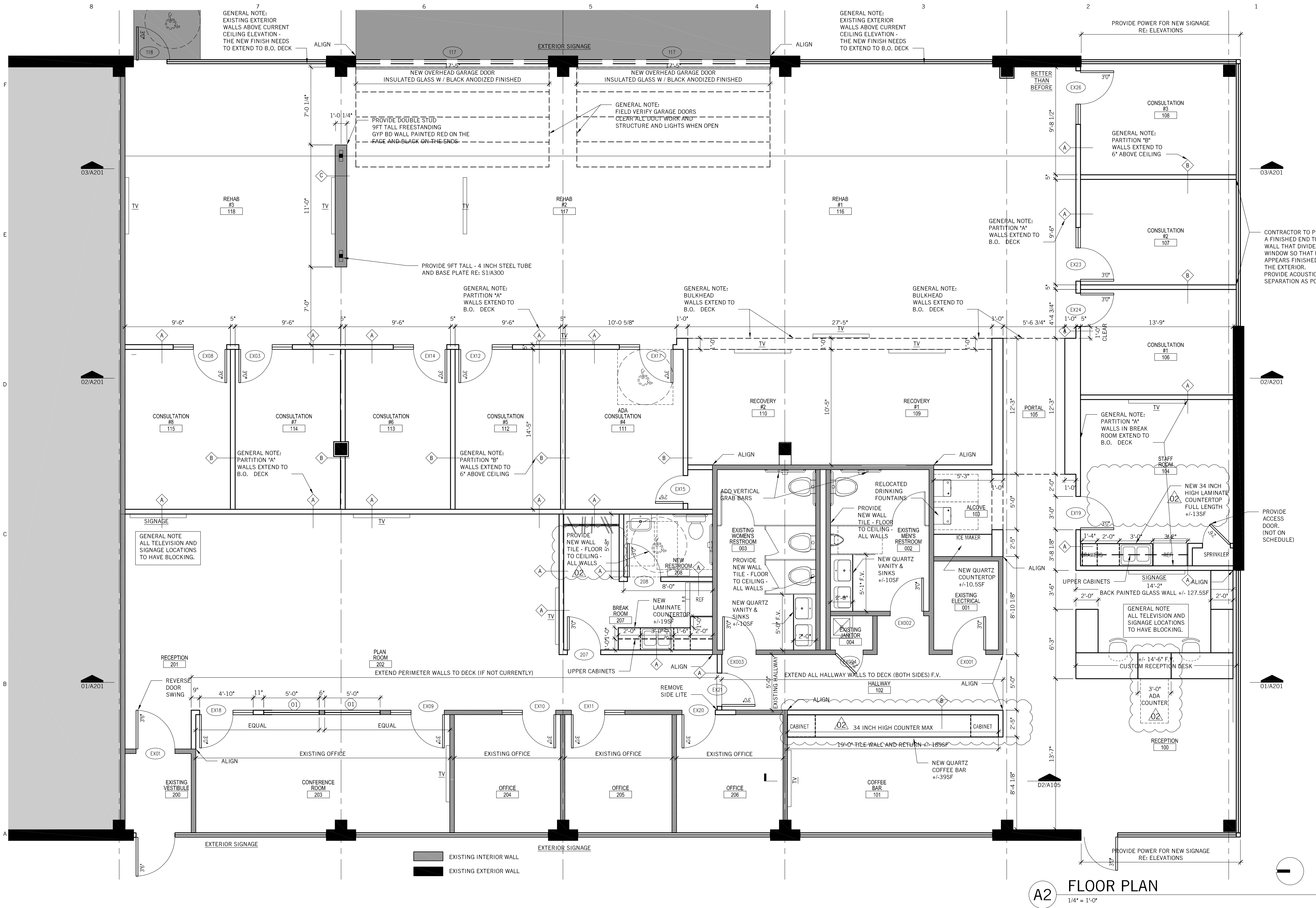
F.I.T. MUSCLE AND JOINT CLINIC
413 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081
OWNER
F.I.T. MUSCLE & JOINT CLINIC, LLC | 16.2111

SHEET TITLE

OVERALL
FLOOR PLAN

A100

| 10.25.21



NOTES

DEMO NOTES:

- 1) THE DRAWINGS ARE BASED ON VISUAL OBSERVATIONS AND FIELD MEASUREMENTS AND EVERY EFFORT HAS BEEN MADE TO ACCURATELY PORTRAY EXISTING CONDITIONS. HOWEVER, SOME DISCREPANCIES MAY EXIST AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS AND SUB-CONTRACTORS TO VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE WORK AND TO REPORT ANY DISCREPANCIES DISCOVERED TO THE OWNER, ARCHITECT AND ENGINEER.
- 2) CARE SHALL BE TAKEN NOT TO DISTURB ANY MATERIAL OR UTILITY SYSTEMS TO BE INCORPORATED INTO THE NEW WORK. DAMAGE TO ANY MATERIAL TO REMAIN SHALL BE PATCHED AND REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- 3) DO NOT REMOVE ANY ITEMS OF STRUCTURAL NATURE SUPPORTING THE ROOF STRUCTURE WITHOUT AMPLE SHORING.
- 4) REMOVE AND LAWFULLY DISPOSE OF ALL MATERIALS.
- 5) PROTECT ALL ELEMENTS TO REMAIN, WHILE PATCHING AS REQUIRED TO MATCH EXISTING FINISHES.
- 6) DO NOT SCALE DRAWINGS.
- 7) GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL APPLICABLE CODES, MUNICIPAL ORDINANCES, AND BUILDING REGULATIONS.
- 8) THE CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY WHICH DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS. WORK AFFECTED BY DISCREPANCIES SHALL CEASE UNTIL THEY ARE RESOLVED.
- 9) ALL SUBSTITUTIONS AND CHANGES TO THESE DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT AND / OR OWNER FOR APPROVAL.
- 10) GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ARE RESPONSIBLE TO OBTAIN ALL REQUIRED BUILDING PERMITS AND LICENSES AS REQUIRED BY THE MUNICIPALITY TO PERFORM CONSTRUCTION ACTIVITIES REQUIRED TO COMPLETE THIS WORK.
- 11) THE CONTRACTOR SHALL BE HELD ENTIRELY RESPONSIBLE FOR SAFETY REGULATIONS, PROCEDURES AND POLICIES.
- 12) GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ADDITIONAL CONSTRUCTION REQUIRED TO SUCCESSFULLY COMPLETE THIS WORK, INCLUDING, BUT NOT LIMITED TO: CUTTINGS AND PATCHINGS OF EXISTING CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION WHERE REQUIRED TO PERFORM NEW CONSTRUCTION AND THE REPAIR OF ANY DAMAGE TO THE EXISTING BUILDING EXTERIOR, OR SITE THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
13. THIS WORK IS PRIMARILY FOR INTERIOR FINISH AND BUILDING PERMIT SUBMITTAL ONLY AND DOES NOT INCLUDE MEANS AND METHODS FOR CONSTRUCTION. PER THE OWNER'S DIRECTION, THIS IS TO BE DESIGN-BUILD CONSTRUCTION WHEREAS THE EXISTING BUILDING'S CURRENT AND FUTURE STRUCTURAL INTEGRITY, EXTERIOR ENVELOPE, ROOFING, FLASHING AND THERMAL AND MOISTURE PROTECTION ARE THE RESPONSIBILITY OF THE OWNER AND THEIR CONTRACTOR. THE EXISTING BUILDING ENVELOPE, INCLUDING FOUNDATIONS, BUILDING SUPERSTRUCTURE, ROOF STRUCTURE AND DECK, AND THE BUILDING ENVELOPE ARE NOT TO BE AFFECTED IN ANY WAY BEYOND WHAT IS COVERED IN THESE DOCUMENTS. THE EXISTING STRUCTURAL SYSTEM IS TO REMAIN AS IS. ANY MODIFICATIONS TO THE ORIGINAL STRUCTURAL SYSTEM, BUILDING ENVELOPE, ROOFING AND FLASHING IS NOT A PART OF THIS DOCUMENTATION AND IS THE SOLE RESPONSIBILITY OF THE BUILDING OWNER AND THEIR CONTRACTOR.
14. ANY NEW ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL ELECTRIC CODE, SHALL BE INSTALLED AS INDICATED, AND SHALL BE PROPERLY GROUNDED AND SHIELDED.
15. THE CONTRACTOR (AND SUBCONTRACTORS) SHALL MAINTAIN A CLEAN PROJECT SITE AND SHALL CLEAN UP ALL DEBRIS AND SURPLUS MATERIAL UPON COMPLETION OF THE JOB.
16. THE ARCHITECT WILL NOT HAVE CONTROL OF AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK. FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND SHALL BE HELD HARMLESS FROM ALL DAMAGES WITH RESULT THEREFROM.
17. THE PROPERTY OWNER IS FULLY RESPONSIBLE FOR AND REQUIRED TO DISCLOSE ANY PAST, PRESENT AND FUTURE CONTAMINATION OR ENVIRONMENTAL HAZARDS. THE PROPERTY OWNER IS RESPONSIBLE FOR ANY TESTING, REMOVAL AND HARM THAT MAY BE CAUSED AS A RESULT OF THE BUILDING'S PREVIOUS USE. THE ARCHITECT AND CONSULTANTS SHALL BE INDEMNIFIED & HELD HARMLESS FOR ANY ISSUES OR DAMAGES RELATED TO ITEMS BEYOND THE SCOPE OF THE CONSTRUCTION DOCUMENTS.

herron + partners

ARCHITECT OF RECORD
herron + partners
p.o. box 414986
kansas city, missouri 64111
phone 816.832.4647
www.herronandpartners.com

STRUCTURAL ENGINEER
Structura Logica
18901 E 299th Street
harrisonville, missouri 64701
phone 816.872.4883
www.bdc-engrs.com

MECHANICAL ENGINEER
BGR Engineers
8908 W 106th Street
Overland Park, Kansas 66212
phone 816.842.2800
www.bgrengineers.com

CODE CONSULTANT
Vorthmann Consulting, LLC
P.O. Box 3712
Eagle, Colorado 81631
phone 816.806.3729
www.fpc-consultants.com

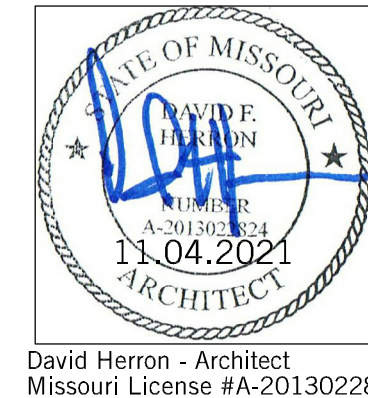
CONTRACTOR

BUILDING'S ARCHITECT

REVISIONS

- 01 05.17.2021 PRICING SET
- 02 11.08.2021 CITY COMMENT RESPONSE #1

SEAL



PROJECT

F.I.T. MUSCLE AND JOINT CLINIC
413 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081
OWNER
F.I.T. MUSCLE & JOINT CLINIC, LLC

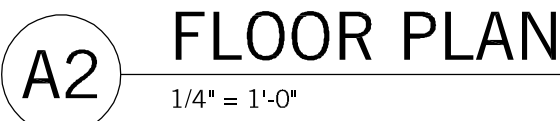
SHEET TITLE

TENANT FINISH
FLOOR PLAN

A101

116.2111

110.25.21



© 2021 david herron and partners, llc

Structura Logica
18901 E 299th Street
harrisonville, missouri 64701

BGR Engineers
8908 W 106th Street
Overland Park, Kansas 66212

Vorthmann Consulting, LLC
P.O. Box 3712
Eagle, Colorado 81631

CONTRACTOR BUILDING'S ARCHITECT

01	05.17.2021	PRICING SET
02	11.08.2021	CITY COMMENT RESPONSE #1

01	05.17.2021	PRICIN
02	11.08.2021	CITY CO

COMMENT RESPONSE #1

SEAL PROJECT

F.I.
413
LEE
OWNER
F.I.T

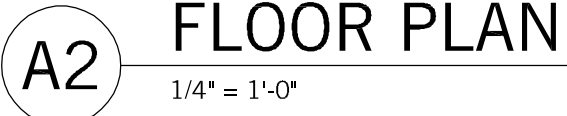
STATE OF MISSOURI
DAVID F. HERRON
MISSOURI
A-2013022824
11.04.2021
ARCHITECT

David Herron - Architect
Missouri License #A-2013022824

F.I.T. MUSCLE AND JOINT CLINIC
413 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081

REFLECTED CEILING
FLOOR PLAN

DEMO NOTES:

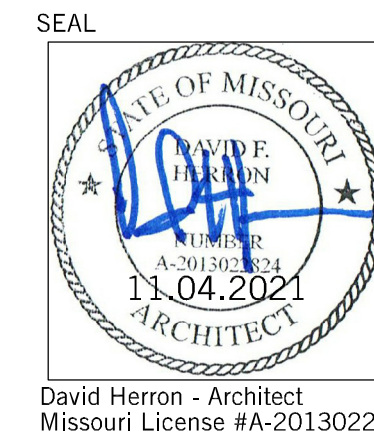


herron + partners
p.o. box 414986
kansas city, missouri 64111
phone 816.832.4647
www.herronandpartners.com

BGR Engineers
8908 W 106th Street
Overland Park, Kansas 66212
phone 816.842.2800
www.bgrengineers.com

Vorthmann Consulting, LLC
P.O. Box 3712
Eagle, Colorado 81631
phone 816.806.3729
www.fpc-consultants.com

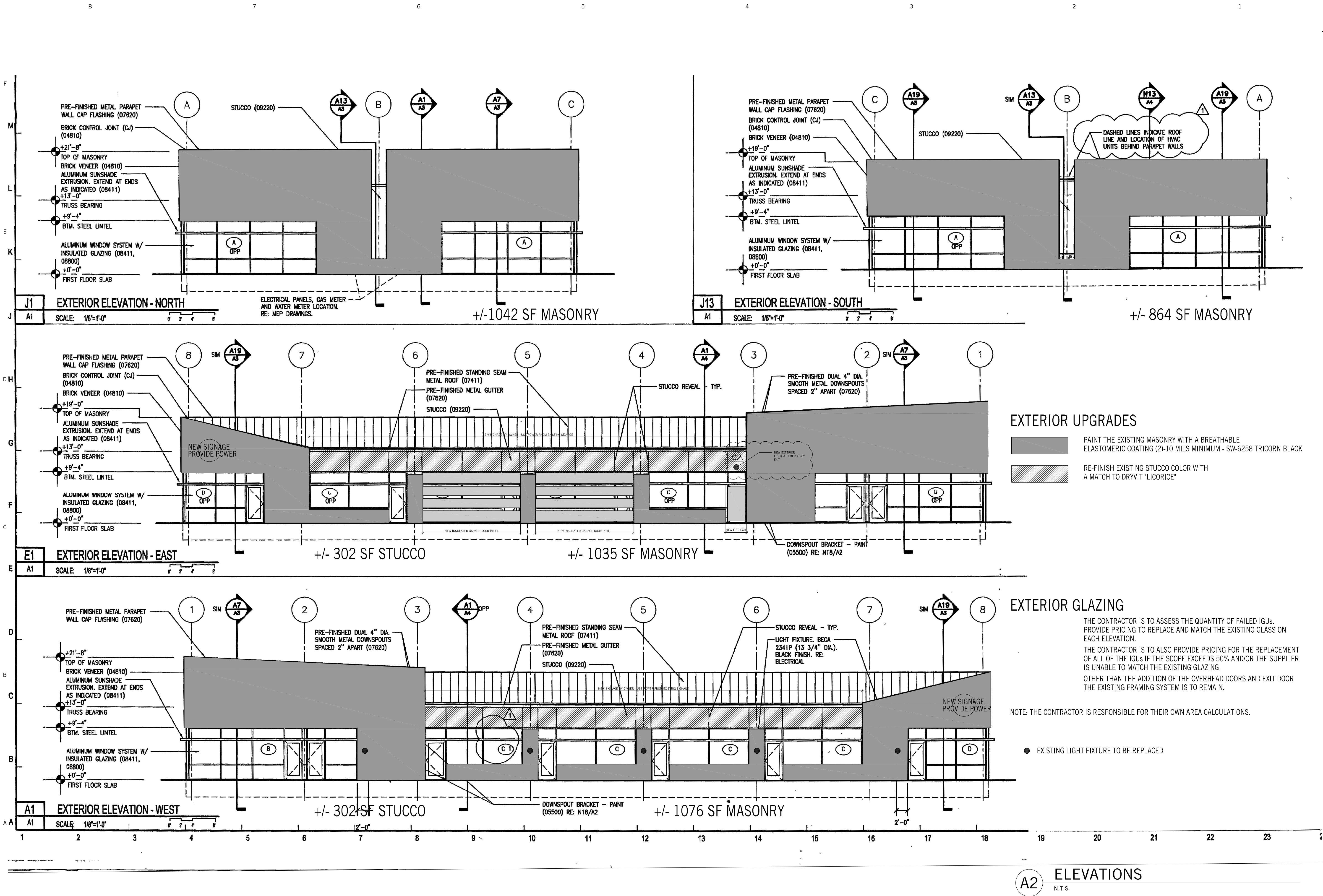
01	05.17.2021	PRICING SET
02	11.08.2021	CITY COMMENT RESPONSE #1



F.I.T. MUSCLE AND JOINT CLINIC
413 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081
OWNER
F.I.T. MUSCLE & JOINT CLINIC, LLC 116.2111

A103

10.25.21



NOTES

1) THE DRAWINGS ARE BASED ON VISUAL OBSERVATIONS AND FIELD MEASUREMENTS AND EVERY EFFORT HAS BEEN MADE TO ACCURATELY PORTRAY EXISTING CONDITIONS. HOWEVER, SOME DISCREPANCIES MAY EXIST AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS AND SUB-CONTRACTORS TO VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE WORK AND TO REPORT ANY DISCREPANCIES DISCOVERED TO THE OWNER, ARCHITECT AND ENGINEER.

2) CARE SHALL BE TAKEN NOT TO DISTURB ANY MATERIAL OR UTILITY SYSTEMS TO BE INCORPORATED INTO THE NEW WORK. DAMAGE TO ANY MATERIAL TO REMAIN SHALL BE PATCHED AND REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.

3) DO NOT REMOVE ANY ITEMS OF STRUCTURAL NATURE SUPPORTING THE ROOF STRUCTURE WITHOUT AMPLE SHORING.

4) REMOVE AND LAWFULLY DISPOSE OF ALL MATERIALS.

5) PROTECT ALL ELEMENTS TO REMAIN, WHILE PATCHING AS REQUIRED TO MATCH EXISTING FINISHES.

6) DO NOT SCALE DRAWINGS.

7) GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL APPLICABLE CODES, MUNICIPAL ORDINANCES, AND BUILDING REGULATIONS.

8) THE CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY WHICH DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS. WORK AFFECTED BY DISCREPANCIES SHALL CEASE UNTIL THEY ARE RESOLVED.

9) ALL SUBSTITUTIONS AND CHANGES TO THESE DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT AND / OR OWNER FOR APPROVAL.

10) GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ARE RESPONSIBLE TO OBTAIN ALL REQUIRED BUILDING PERMITS AND LICENSES AS REQUIRED BY THE MUNICIPALITY TO PERFORM CONSTRUCTION ACTIVITIES REQUIRED TO COMPLETE THIS WORK.

11) THE CONTRACTOR SHALL BE HELD ENTIRELY RESPONSIBLE FOR SAFETY REGULATIONS, PROCEDURES AND POLICIES.

12) GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ADDITIONAL CONSTRUCTION REQUIRED TO SUCCESSFULLY COMPLETE THIS WORK, INCLUDING, BUT NOT LIMITED TO: CUTTINGS AND PATCHINGS OF EXISTING CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION WHERE REQUIRED TO PERFORM NEW CONSTRUCTION AND THE REPAIR OF ANY DAMAGE TO THE EXISTING BUILDING EXTERIOR, OR SITE THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.

13. THIS WORK IS PRIMARILY FOR INTERIOR FINISH AND BUILDING PERMIT SUBMITTAL ONLY AND DOES NOT INCLUDE MEANS AND METHODS FOR CONSTRUCTION. PER THE OWNER'S DIRECTION, THIS IS TO BE DESIGN-BUILD CONSTRUCTION WHEREAS THE EXISTING BUILDING'S CURRENT AND FUTURE STRUCTURAL INTEGRITY, EXTERIOR ENVELOPE, ROOFING, FLASHING AND THERMAL AND MOISTURE PROTECTION ARE THE RESPONSIBILITY OF THE OWNER AND THEIR CONTRACTOR. THE EXISTING BUILDING ENVELOPE, INCLUDING FOUNDATIONS, BUILDING SUPERSTRUCTURE, ROOF STRUCTURE AND DECK, AND THE BUILDING ENVELOPE ARE NOT TO BE AFFECTED IN ANY WAY BEYOND WHAT IS COVERED IN THESE DOCUMENTS. THE EXISTING STRUCTURAL SYSTEM IS TO REMAIN AS IS. ANY MODIFICATIONS TO THE ORIGINAL STRUCTURAL SYSTEM, BUILDING ENVELOPE, ROOFING AND FLASHING IS NOT A PART OF THIS DOCUMENTATION AND IS THE SOLE RESPONSIBILITY OF THE BUILDING OWNER AND THEIR CONTRACTOR.

14. ANY NEW ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL ELECTRIC CODE, SHALL BE INSTALLED AS INDICATED, AND SHALL BE PROPERLY GROUNDED AND SHIELDED.

15. THE CONTRACTOR (AND SUBCONTRACTORS) SHALL MAINTAIN A CLEAN PROJECT SITE AND SHALL CLEAN UP ALL DEBRIS AND SURPLUS MATERIAL UPON COMPLETION OF THE JOB.

16. THE ARCHITECT WILL NOT HAVE CONTROL OF AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK. FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND SHALL BE HELD HARMLESS FROM ALL DAMAGES WITH RESULT THEREFROM.

17. THE PROPERTY OWNER IS FULLY RESPONSIBLE FOR AND REQUIRED TO DISCLOSE ANY PAST, PRESENT AND FUTURE CONTAMINATION OR ENVIRONMENTAL HAZARDS. THE PROPERTY OWNER IS RESPONSIBLE FOR ANY TESTING, REMOVAL AND HARM THAT MAY BE CAUSED AS A RESULT OF THE BUILDING'S PREVIOUS USE. THE ARCHITECT AND CONSULTANTS SHALL BE INDEMNIFIED & HELD HARMLESS FOR ANY ISSUES OR DAMAGES RELATED TO ITEMS BEYOND THE SCOPE OF THE CONSTRUCTION DOCUMENTS.

EXTERIOR UPGRADES

- PAINT THE EXISTING MASONRY WITH A BREATHABLE ELASTOMERIC COATING (2-10 MILS MINIMUM - SW-6258 TRICORN BLACK
- RE-FINISH EXISTING STUCCO COLOR WITH A MATCH TO DRYVIT "LICORICE"

EXTERIOR GLAZING

THE CONTRACTOR IS TO ASSESS THE QUANTITY OF FAILED IGUS. PROVIDE PRICING TO REPLACE AND MATCH THE EXISTING GLASS ON EACH ELEVATION.

THE CONTRACTOR IS TO ALSO PROVIDE PRICING FOR THE REPLACEMENT OF ALL OF THE IGUS IF THE SCOPE EXCEEDS 50% AND/OR THE SUPPLIER IS UNABLE TO MATCH THE EXISTING GLAZING.

OTHER THAN THE ADDITION OF THE OVERHEAD DOORS AND EXIT DOOR THE EXISTING FRAMING SYSTEM IS TO REMAIN.

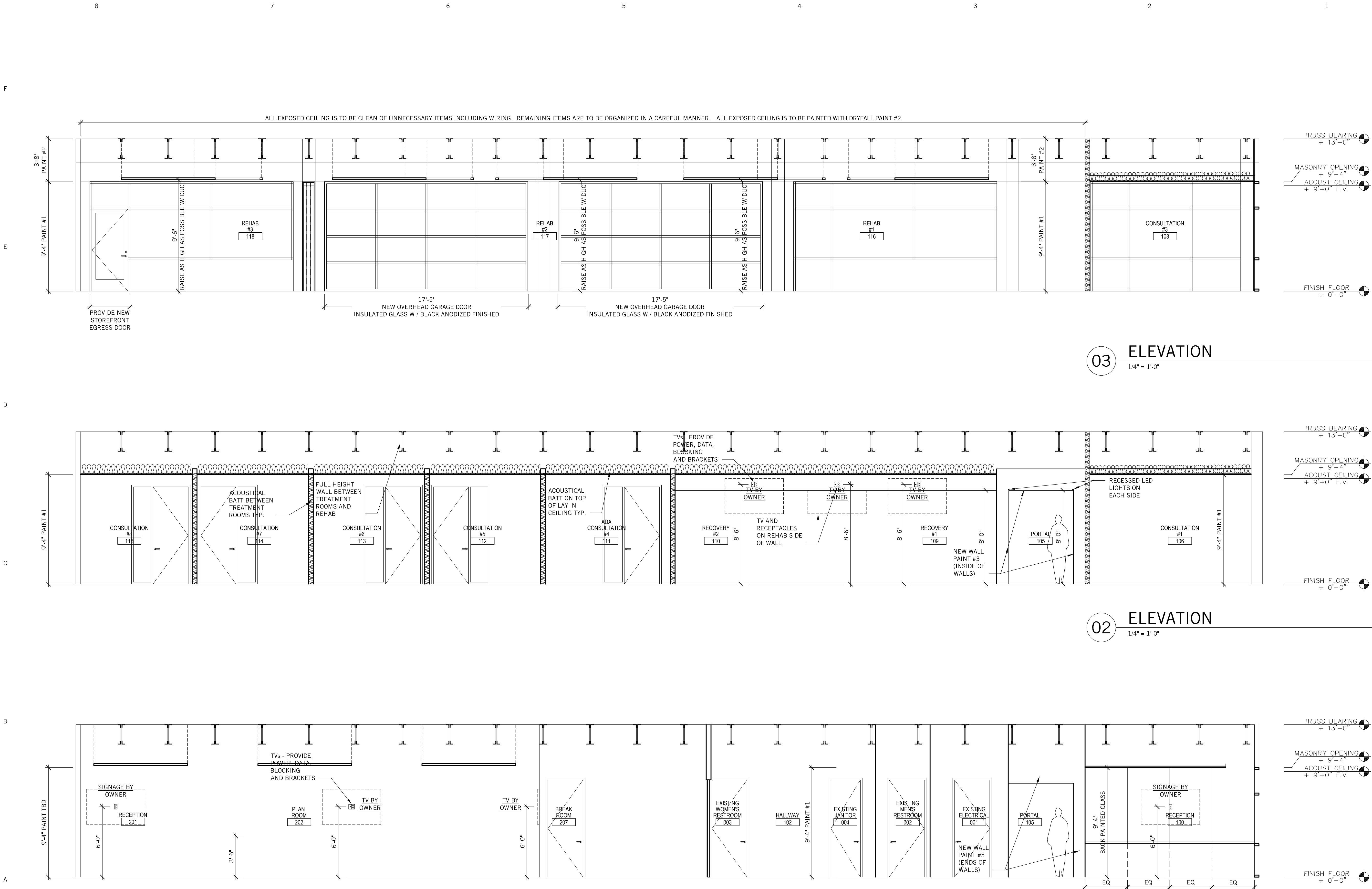
NOTE: THE CONTRACTOR IS RESPONSIBLE FOR THEIR OWN AREA CALCULATIONS.

● EXISTING LIGHT FIXTURE TO BE REPLACED

A2 ELEVATIONS
N.T.S.

herron + partners

ARCHITECT OF RECORD	STRUCTURAL ENGINEER	MECHANICAL ENGINEER	CODE CONSULTANT	CONTRACTOR	BUILDING'S ARCHITECT	REVISIONS	SEAL	PROJECT	SHEET TITLE
herron + partners p.o. box 414986 kansas city, missouri 64111 phone 816.832.4647 www.herronandpartners.com	Structura Logica 18901 E 299th Street harrisonville, missouri 64701 phone 816.872.4883 www.bdc-engrs.com	BGR Engineers 8908 W 106th Street Overland Park, Kansas 66212 phone 816.842.2800 www.bgrengineers.com	Vorthmann Consulting, LLC P.O. Box 3712 Eagle, Colorado 81631 phone 816.806.3729 www.fpc-consultants.com			05.17.2021 PRICING SET 11.08.2021 CITY COMMENT RESPONSE #1		F.I.T. MUSCLE AND JOINT CLINIC 413 NW MURRAY ROAD LEE'S SUMMIT, MO 64081 OWNER F.I.T. MUSCLE & JOINT CLINIC, LLC 16.2111	EXTERIOR ELEVATIONS A200 10.25.21



NOTES

- DEMO NOTES:
- 1) THE DRAWINGS ARE BASED ON VISUAL OBSERVATIONS AND FIELD MEASUREMENTS AND EVERY EFFORT HAS BEEN MADE TO ACCURATELY PORTRAY EXISTING CONDITIONS. HOWEVER, SOME DISCREPANCIES MAY EXIST AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS AND SUB-CONTRACTORS TO VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE WORK AND TO REPORT ANY DISCREPANCIES DISCOVERED TO THE OWNER, ARCHITECT AND ENGINEER.
 - 2) CARE SHALL BE TAKEN NOT TO DISTURB ANY MATERIAL OR UTILITY SYSTEMS TO BE INCORPORATED INTO THE NEW WORK. DAMAGE TO ANY MATERIAL TO REMAIN SHALL BE PATCHED AND REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
 - 3) DO NOT REMOVE ANY ITEMS OF STRUCTURAL NATURE SUPPORTING THE ROOF STRUCTURE WITHOUT AMPLE SHORING.
 - 4) REMOVE AND LAWFULLY DISPOSE OF ALL MATERIALS.
 - 5) PROTECT ALL ELEMENTS TO REMAIN, WHILE PATCHING AS REQUIRED TO MATCH EXISTING FINISHES.
 - 6) DO NOT SCALE DRAWINGS.
 - 7) GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL APPLICABLE CODES, MUNICIPAL ORDINANCES, AND BUILDING REGULATIONS.
 - 8) THE CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY WHICH DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS. WORK AFFECTED BY DISCREPANCIES SHALL CEASE UNTIL THEY ARE RESOLVED.
 - 9) ALL SUBSTITUTIONS AND CHANGES TO THESE DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT AND/OR OWNER FOR APPROVAL.
 - 10) GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ARE RESPONSIBLE TO OBTAIN ALL REQUIRED BUILDING PERMITS AND LICENSES AS REQUIRED BY THE MUNICIPALITY TO PERFORM CONSTRUCTION ACTIVITIES REQUIRED TO COMPLETE THIS WORK.
 - 11) THE CONTRACTOR SHALL BE HELD ENTIRELY RESPONSIBLE FOR SAFETY REGULATIONS, PROCEDURES AND POLICIES.
 - 12) GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ADDITIONAL CONSTRUCTION REQUIRED TO SUCCESSFULLY COMPLETE THIS WORK, INCLUDING, BUT NOT LIMITED TO: CUTTINGS AND PATCHINGS OF EXISTING CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION WHERE REQUIRED TO PERFORM NEW CONSTRUCTION AND THE REPAIR OF ANY DAMAGE TO THE EXISTING BUILDING EXTERIOR, OR SITE THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
 - 13) THIS WORK IS PRIMARILY FOR INTERIOR FINISH AND BUILDING PERMIT SUBMITTAL ONLY AND DOES NOT INCLUDE MEANS AND METHODS FOR CONSTRUCTION. PER THE OWNER'S DIRECTION, THIS IS TO BE DESIGN-BUILD CONSTRUCTION WHEREAS THE EXISTING BUILDING'S CURRENT AND FUTURE STRUCTURAL INTEGRITY, EXTERIOR ENVELOPE, ROOFING, FLASHING AND THERMAL AND MOISTURE PROTECTION ARE THE RESPONSIBILITY OF THE OWNER AND THEIR CONTRACTOR. THE EXISTING BUILDING ENVELOPE, INCLUDING FOUNDATIONS, BUILDING SUPERSTRUCTURE, ROOF STRUCTURE AND DECK, AND THE BUILDING ENVELOPE ARE NOT TO BE AFFECTED IN ANY WAY BEYOND WHAT IS COVERED IN THESE DOCUMENTS. THE EXISTING STRUCTURAL SYSTEM IS TO REMAIN AS IS. ANY MODIFICATIONS TO THE ORIGINAL STRUCTURAL SYSTEM, BUILDING ENVELOPE, ROOFING AND FLASHING IS NOT A PART OF THIS DOCUMENTATION AND IS THE SOLE RESPONSIBILITY OF THE BUILDING OWNER AND THEIR CONTRACTOR.
 - 14) ANY NEW ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL ELECTRIC CODE, SHALL BE INSTALLED AS INDICATED, AND SHALL BE PROPERLY GROUNDED AND SHIELDED.
 - 15) THE CONTRACTOR (AND SUBCONTRACTORS) SHALL MAINTAIN A CLEAN PROJECT SITE AND SHALL CLEAN UP ALL DEBRIS AND SURPLUS MATERIAL UPON COMPLETION OF THE JOB.
 - 16) THE ARCHITECT WILL NOT HAVE CONTROL OF AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK. FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND SHALL BE HELD HARMLESS FROM ALL DAMAGES WITH RESULT THEREFROM.
 - 17) THE PROPERTY OWNER IS FULLY RESPONSIBLE FOR AND REQUIRED TO DISCLOSE ANY PAST, PRESENT AND FUTURE CONTAMINATION OR ENVIRONMENTAL HAZARDS. THE PROPERTY OWNER IS RESPONSIBLE FOR ANY TESTING, REMOVAL AND HARM THAT MAY BE CAUSED AS A RESULT OF THE BUILDING'S PREVIOUS USE. THE ARCHITECT AND CONSULTANTS SHALL BE INDEMNIFIED & HELD HARMLESS FOR ANY ISSUES OR DAMAGES RELATED TO ITEMS BEYOND THE SCOPE OF THE CONSTRUCTION DOCUMENTS.

herron + partners

ARCHITECT OF RECORD
herron + partners
p.o. box 414986
kansas city, missouri 64111
phone 816.832.4647
www.herronandpartners.com

STRUCTURAL ENGINEER
Structura Logica
18901 E 299th Street
harrisonville, missouri 64701
phone 816.872.4883
www.bdc-engrs.com

MECHANICAL ENGINEER
BGR Engineers
8908 W 106th Street
Overland Park, Kansas 66212
phone 816.842.2800
www.bgrengineers.com

CODE CONSULTANT
Vorthmann Consulting, LLC
P.O. Box 3712
Eagle, Colorado 81631
phone 816.806.3729
www.fpc-consultants.com

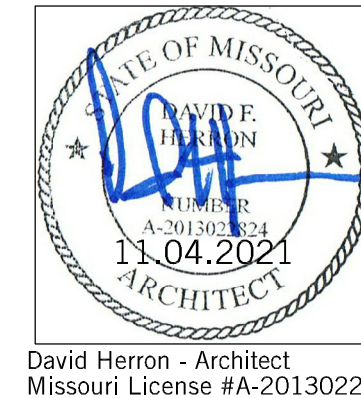
CONTRACTOR

BUILDING'S ARCHITECT

REVISIONS

- 01 05.17.2021 PRICING SET
02 11.08.2021 CITY COMMENT RESPONSE #1

SEAL



PROJECT

F.I.T. MUSCLE AND JOINT CLINIC
413 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081
OWNER
F.I.T. MUSCLE & JOINT CLINIC, LLC

SHEET TITLE

INTERIOR
ELEVATIONS

A201

11.16.2111

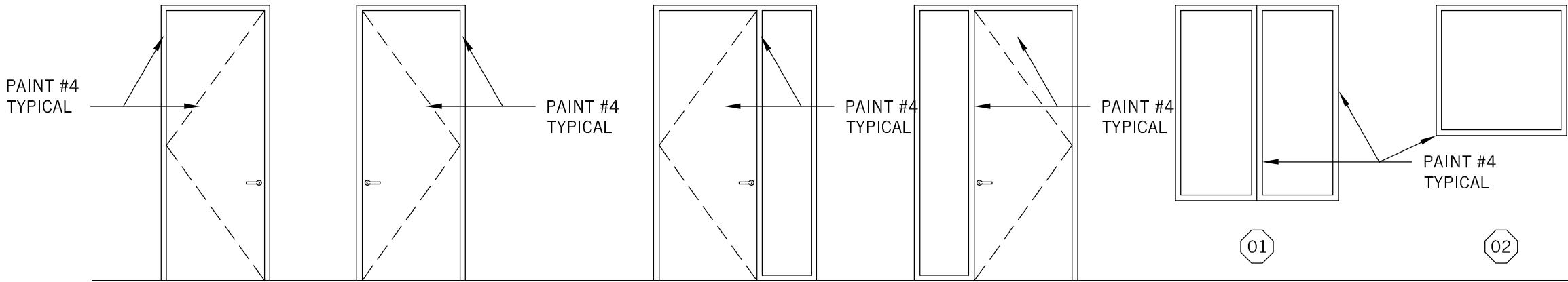
11.10.25.21

	DOOR SCHEDULE											NOTES	
	QUANTITY	NO.	SIZE			DOOR			FRAME		RATING		REMARKS
			WIDTH	HEIGHT	THICK	MATERIAL	FINISH	TYPE	MATERIAL	FINISH			
F	1	EX001	36	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		DOOR REMAINS. RE-FINISH	
	1	EX002	36	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RE-FINISH, USE EXISTING CLOSER & KICK PLATE	
	1	EX003	36	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RE-FINISH, USE EXISTING CLOSER & KICK PLATE	
	1	EX004	30	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		DOOR REMAINS. RE-FINISH	
	1	EX01	42	F.V.	1-3/4"	WOOD	PAINT	FULL LITE	HM	PAINT		DOOR REMAINS. RE-FINISH	
	1	EX02	36	99.5	1-3/4"	WOOD	PAINT	SPLIT	HM	PAINT		NOT USED - SALVAGE FOR OWNER	
	1	EX03	60	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RELOCATE AND RE-FINISH	
	1	EX04	36	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		NOT USED - SALVAGE FOR OWNER	
	1	EX05	36	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		NOT USED - SALVAGE FOR OWNER	
	1	EX06	60	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		NOT USED - SALVAGE FOR OWNER	
E	1	EX07	36	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		NOT USED - SALVAGE FOR OWNER	
	1	EX08	60	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RELOCATE AND RE-FINISH	
	1	EX09	60	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		DOOR REMAINS. RE-FINISH	
	1	EX10	60	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		DOOR REMAINS. RE-FINISH	
	1	EX11	60	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		DOOR REMAINS. RE-FINISH	
	1	EX12	60	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RELOCATE AND RE-FINISH	
	1	EX13	60	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RELOCATE AND RE-FINISH	
	1	EX14	60	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RELOCATE AND RE-FINISH	
	1	EX15	30	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RELOCATE AND RE-FINISH	
	1	EX16	72	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		NOT USED - SALVAGE FOR OWNER	
D	1	EX17	60	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RELOCATE AND RE-FINISH	
	1	EX18	60	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RELOCATE AND RE-FINISH	
	1	EX19	36	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RELOCATE AND RE-FINISH	
	1	EX20	36	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RELOCATE AND RE-FINISH	
	1	EX21	36	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RELOCATE AND RE-FINISH	
	1	EX22	60	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		NOT USED - SALVAGE FOR OWNER	
	1	EX23	60	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RELOCATE AND RE-FINISH	
	1	EX24	36	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RELOCATE AND RE-FINISH	
	1	EX25	36	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		NOT USED - SALVAGE FOR OWNER	
	1	EX26	60	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		RELOCATE AND RE-FINISH	
	2	117	17'-5"	9'-4"	2"	ALUM/GLASS	BLK ANOD	MEDIUM STILE	ALUM	BLK ANOD		LOCKABLE, MANUALLY OPERATED, HORIZONTAL TRACK, INSULATED GLASS	
	1	118	3'-0"	7'-0"	2"	ALUM/GLASS	MATCH EXIST	MEDIUM STILE	ALUM	MATCH EXIST		KEYED LOCK, CLOSER	
	1	207	36	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		NEW DOOR	
	1	208	36	99.5	1-3/4"	WOOD	PAINT	FLUSH	HM	PAINT		NEW DOOR, PRIVACY LOCK, CLOSER, KICK PLATE	

1) THE DRAWINGS ARE BASED ON VISUAL OBSERVATIONS AND FIELD MEASUREMENTS AND EVERY EFFORT HAS BEEN MADE TO ACCURATELY PORTRAY EXISTING CONDITIONS. HOWEVER, SOME DISCREPANCIES MAY EXIST AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS AND SUB-CONTRACTORS TO VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE WORK AND TO REPORT ANY DISCREPANCIES DISCOVERED TO THE OWNER, ARCHITECT AND ENGINEER.
2) CARE SHALL BE TAKEN NOT TO DISTURB ANY MATERIAL OR UTILITY SYSTEMS TO BE INCORPORATED INTO THE NEW WORK. DAMAGE TO ANY MATERIAL TO REMAIN SHALL BE PATCHED AND REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
3) DO NOT REMOVE ANY ITEMS OF STRUCTURAL NATURE SUPPORTING THE ROOF STRUCTURE WITHOUT AMPLE SHORING.
4)REMOVE AND LAWFULLY DISPOSE OF ALL MATERIALS.
5) PROTECT ALL ELEMENTS TO REMAIN, WHILE PATCHING AS REQUIRED TO MATCH EXISTING FINISHES.
6) DO NOT SCALE DRAWINGS.
7) GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL APPLICABLE CODES, MUNICIPAL ORDINANCES, AND BUILDING REGULATIONS.
8) THE CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY WHICH DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS. WORK AFFECTED BY DISCREPANCIES SHALL CEASE UNTIL THEY ARE RESOLVED.
9) ALL SUBSTITUTIONS AND CHANGES TO THESE DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT AND / OR OWNER FOR APPROVAL.
10) GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ARE RESPONSIBLE TO OBTAIN ALL REQUIRED BUILDING PERMITS AND LICENSES AS REQUIRED BY THE MUNICIPALITY TO PERFORM CONSTRUCTION ACTIVITIES REQUIRED TO COMPLETE THIS WORK.
11) THE CONTRACTOR SHALL BE HELD ENTIRELY RESPONSIBLE FOR SAFETY REGULATIONS, PROCEDURES AND POLICIES.
12) GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ADDITIONAL CONSTRUCTION REQUIRED TO SUCCESSFULLY COMPLETE THIS WORK, INCLUDING, BUT NOT LIMITED TO: CUTTING AND PATCHING OF EXISTING CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION WHERE REQUIRED TO PERFORM NEW CONSTRUCTION AND THE REPAIR OF ANY DAMAGE TO THE EXISTING BUILDING EXTERIOR, OR SITE THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.

NOTES

- DEMO NOTES:
- 1) THE DRAWINGS ARE BASED ON VISUAL OBSERVATIONS AND FIELD MEASUREMENTS AND EVERY EFFORT HAS BEEN MADE TO ACCURATELY PORTRAY EXISTING CONDITIONS. HOWEVER, SOME DISCREPANCIES MAY EXIST AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS AND SUB-CONTRACTORS TO VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE WORK AND TO REPORT ANY DISCREPANCIES DISCOVERED TO THE OWNER, ARCHITECT AND ENGINEER.
 - 2) CARE SHALL BE TAKEN NOT TO DISTURB ANY MATERIAL OR UTILITY SYSTEMS TO BE INCORPORATED INTO THE NEW WORK. DAMAGE TO ANY MATERIAL TO REMAIN SHALL BE PATCHED AND REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
 - 3) DO NOT REMOVE ANY ITEMS OF STRUCTURAL NATURE SUPPORTING THE ROOF STRUCTURE WITHOUT AMPLE SHORING.
 - 4)REMOVE AND LAWFULLY DISPOSE OF ALL MATERIALS.
 - 5) PROTECT ALL ELEMENTS TO REMAIN, WHILE PATCHING AS REQUIRED TO MATCH EXISTING FINISHES.
 - 6) DO NOT SCALE DRAWINGS.
 - 7) GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL APPLICABLE CODES, MUNICIPAL ORDINANCES, AND BUILDING REGULATIONS.
 - 8) THE CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY WHICH DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS. WORK AFFECTED BY DISCREPANCIES SHALL CEASE UNTIL THEY ARE RESOLVED.
 - 9) ALL SUBSTITUTIONS AND CHANGES TO THESE DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT AND / OR OWNER FOR APPROVAL.
 - 10) GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ARE RESPONSIBLE TO OBTAIN ALL REQUIRED BUILDING PERMITS AND LICENSES AS REQUIRED BY THE MUNICIPALITY TO PERFORM CONSTRUCTION ACTIVITIES REQUIRED TO COMPLETE THIS WORK.
 - 11) THE CONTRACTOR SHALL BE HELD ENTIRELY RESPONSIBLE FOR SAFETY REGULATIONS, PROCEDURES AND POLICIES.
 - 12) GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ADDITIONAL CONSTRUCTION REQUIRED TO SUCCESSFULLY COMPLETE THIS WORK, INCLUDING, BUT NOT LIMITED TO: CUTTINGS AND PATCHINGS OF EXISTING CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION WHERE REQUIRED TO PERFORM NEW CONSTRUCTION AND THE REPAIR OF ANY DAMAGE TO THE EXISTING BUILDING EXTERIOR, OR SITE THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
 13. THIS WORK IS PRIMARILY FOR INTERIOR FINISH AND BUILDING PERMIT SUBMITTAL ONLY AND DOES NOT INCLUDE MEANS AND METHODS FOR CONSTRUCTION. PER THE OWNER'S DIRECTION, THIS IS TO BE DESIGN-BUILD CONSTRUCTION WHEREAS THE EXISTING BUILDING'S CURRENT AND FUTURE STRUCTURAL INTEGRITY, EXTERIOR ENVELOPE, ROOFING, FLASHING AND THERMAL AND MOISTURE PROTECTION ARE THE RESPONSIBILITY OF THE OWNER AND THEIR CONTRACTOR. THE EXISTING BUILDING ENVELOPE, INCLUDING FOUNDATIONS, BUILDING SUPERSTRUCTURE, ROOF STRUCTURE AND DECK, AND THE BUILDING ENVELOPE ARE NOT TO BE AFFECTED IN ANY WAY BEYOND WHAT IS COVERED IN THESE DOCUMENTS. THE EXISTING STRUCTURAL SYSTEM IS TO REMAIN AS IS. ANY MODIFICATIONS TO THE ORIGINAL STRUCTURAL SYSTEM, BUILDING ENVELOPE, ROOFING AND FLASHING IS NOT A PART OF THIS DOCUMENTATION AND IS THE SOLE RESPONSIBILITY OF THE BUILDING OWNER AND THEIR CONTRACTOR.
 14. ANY NEW ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL ELECTRIC CODE, SHALL BE INSTALLED AS INDICATED, AND SHALL BE PROPERLY GROUNDED AND SHIELED.
 15. THE CONTRACTOR (AND SUBCONTRACTORS) SHALL MAINTAIN A CLEAN PROJECT SITE AND SHALL CLEAN UP ALL DEBRIS AND SURPLUS MATERIAL UPON COMPLETION OF THE JOB.
 16. THE ARCHITECT WILL NOT HAVE CONTROL OF AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK. FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND SHALL BE HELD HARMLESS FROM ALL DAMAGES WITH RESULT THEREFROM.
 17. THE PROPERTY OWNER IS FULLY RESPONSIBLE FOR AND REQUIRED TO DISCLOSE ANY PAST, PRESENT AND FUTURE CONTAMINATION OR ENVIRONMENTAL HAZARDS. THE PROPERTY OWNER IS RESPONSIBLE FOR ANY TESTING, REMOVAL AND HARM THAT MAY BE CAUSED AS A RESULT OF THE BUILDING'S PREVIOUS USE. THE ARCHITECT AND CONSULTANTS SHALL BE INDEMNIFIED & HELD HARMLESS FOR ANY ISSUES OR DAMAGES RELATED TO ITEMS BEYOND THE SCOPE OF THE CONSTRUCTION DOCUMENTS.



01 DOOR AND WINDOW PROFILES

1/4" = 1'-0"

Missing or invalid reference
File: .\211022_Permit Set\Wall Panel Design-Sept.2021-Layout4.pdf
Sheet: 1
herron + partners

ARCHITECT OF RECORD	STRUCTURAL ENGINEER	MECHANICAL ENGINEER	CODE CONSULTANT	CONTRACTOR	BUILDING'S ARCHITECT	REVISIONS	SEAL	PROJECT	SHEET TITLE
herron + partners p.o. box 414986 kansas city, missouri 64111 phone 816.832.4647 www.herronandpartners.com	Structura Logica 18901 E 299th Street harrisonville, missouri 64701 phone 816.872.4883 www.bdc-engrs.com	BGR Engineers 8908 W 106th Street Overland Park, Kansas 66212 phone 816.842.2800 www.bgrengineers.com	Vorthmann Consulting, LLC P.O. Box 3712 Eagle, Colorado 81631 phone 816.806.3729 www.fpc-consultants.com			01 05.17.2021 PRICING SET 02 11.08.2021 CITY COMMENT RESPONSE #1	 David Herron - Architect Missouri License #A-2013022824	F.I.T. MUSCLE AND JOINT CLINIC 413 NW MURRAY ROAD LEE'S SUMMIT, MO 64081 OWNER F.I.T. MUSCLE & JOINT CLINIC, LLC 16.2111	SCHEDULES STRUCTURAL DETAILS A300 10.25.21

8		7		6		5		4		3		2		1	
ROOM NUMBER	ROOM NAME	FLOORING	BASE	CEILING	WALL NORTH	WALL EAST	WALL SOUTH	WALL WEST	DOOR(S)	COUNTERTOP	CABINETS	COMMENTS			
100	LOBBY	FLOORING #3	BASE #1	ACOUSTICAL CEILING #1	PAINT #3	WALL TILE #3	PAINT #3	PAINT #3	PAINT #5	COUNTERTOP #1	CABINETS #2	RECEPTION DESK - PROVIDE ALLOWANCE TO BE DESIGNED WITH SQUARE ONE			
101	COFFEE BAR	FLOORING #3	BASE #1	ACOUSTICAL CEILING #1	PAINT #1	WALL TILE #2	PAINT #1	PAINT #1		COUNTERTOP #2		FULL HEIGHT WALL TILE W/ SCHLUTER FINEC TRIM AT OUTSIDE CORNERS			
102	HALLWAY	FLOORING #3	BASE #1	ACOUSTICAL CEILING #1	PAINT #1	PAINT #1	PAINT #1	PAINT #1	PAINT #4						
103	ALCOVE	FLOORING #3	BASE #1	PAINT #3	PAINT #3	OPEN TO REHAB	PAINT #3	OPEN TO LOBBY				PAINT ENDS PAINT #5			
104	BREAK ROOM	FLOORING #3	BASE #1	ACOUSTICAL CEILING #1	PAINT #1	PAINT #1	PAINT #1	PAINT #1	PAINT #4	COUNTERTOP #1	CABINETS #2				
105	PORTAL	FLOORING #2	BASE #1	PAINT #3	PAINT #1	PAINT #1	PAINT #1	PAINT #1							
106	CONSULTATION ROOM	FLOORING #1	BASE #1	ACOUSTICAL CEILING #1	PAINT #1	PAINT #1	PAINT #1	PAINT #1	PAINT #4						
107	CONSULTATION ROOM	FLOORING #1	BASE #1	ACOUSTICAL CEILING #1	PAINT #1 LOW/ #2 HIGH	PAINT #1 LOW/ #2 HIGH	PAINT #1 LOW/ #2 HIGH	HALF WALL PAINT #3	PAINT #4						
108	CONSULTATION ROOM	FLOORING #1	BASE #1	ACOUSTICAL CEILING #1	PAINT #1 LOW/ #2 HIGH	HALF WALL PAINT #3	PAINT #1 LOW/ #2 HIGH	PAINT #1 LOW/ #2 HIGH	PAINT #4						
109	RECOVERY	FLOORING #2	BASE #1	ACOUSTICAL CEILING #1	PAINT #3	OPEN TO REHAB	PAINT #3	PAINT #3							
110	RECOVERY	FLOORING #2	BASE #1	ACOUSTICAL CEILING #1	PAINT #3	OPEN TO REHAB	PAINT #3	PAINT #3							
111	CONSULTATION ROOM	FLOORING #1	BASE #1	ACOUSTICAL CEILING #1	PAINT #1	PAINT #1	PAINT #1	PAINT #1	PAINT #4						
112	CONSULTATION ROOM	FLOORING #1	BASE #1	ACOUSTICAL CEILING #1	PAINT #1	PAINT #1	PAINT #1	PAINT #1	PAINT #4						
113	CONSULTATION ROOM	FLOORING #1	BASE #1	ACOUSTICAL CEILING #1	PAINT #1	PAINT #1	PAINT #1	PAINT #1	PAINT #4						
114	CONSULTATION ROOM	FLOORING #1	BASE #1	ACOUSTICAL CEILING #1	PAINT #1	PAINT #1	PAINT #1	PAINT #1	PAINT #4						
115	CONSULTATION ROOM	FLOORING #1	BASE #1	ACOUSTICAL CEILING #1	PAINT #1	PAINT #1	PAINT #1	PAINT #1	PAINT #4						
116	REHAB AREA	FLOORING #2	BASE #1	PAINT #2	PAINT #1 LOW/ #2 HIGH	PAINT #1 LOW/ #2 HIGH	PAINT #1 LOW/ #2 HIGH	PAINT #1 LOW/ #2 HIGH	BLACK ANOODIZED						
117	REHAB AREA	FLOORING #2	BASE #1	ACOUSTICAL CEILING #2	PAINT #1 LOW/ #2 HIGH	PAINT #1 LOW/ #2 HIGH	PAINT #1 LOW/ #2 HIGH	PAINT #1 LOW/ #2 HIGH							
118	REHAB AREA	FLOORING #2	BASE #1	PAINT #2	PAINT #1 LOW/ #2 HIGH	PAINT #1 LOW/ #2 HIGH	PAINT #1 LOW/ #2 HIGH	PAINT #1 LOW/ #2 HIGH	BLACK ANOODIZED						
001	ELECTRICAL	*EXISTING FLOOR	EXISTING	EXISTING	PAINT #1	PAINT #1	PAINT #1	PAINT #1	PAINT #4			*REPLACE FLOOR TILE TO FLOORING #3 IF THERE IS EXTRA			
002	MEN'S RESTROOM	FLOORING #3	BASE #1	EXISTING GRID - NEW TILE	FULL HT WALL TILE #1	FULL HT WALL TILE #1	FULL HT WALL TILE #1	FULL HT WALL TILE #1	PAINT #4	COUNTERTOP #2					
003	WOMEN'S RESTROOM	FLOORING #3	BASE #1	EXISTING GRID - NEW TILE	FULL HT WALL TILE #1	FULL HT WALL TILE #1	FULL HT WALL TILE #1	FULL HT WALL TILE #1	PAINT #4	COUNTERTOP #2					
004	JANITOR	*EXISTING FLOOR	EXISTING	EXISTING	FRP	FRP	FRP	FRP	PAINT #4			*REPLACE FLOOR TILE TO FLOORING #3 IF THERE IS EXTRA			
200	VESTIBULE	FLOORING #2 TBD	BASE #1 TBD	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD						
201	LOBBY	FLOORING #2 TBD	BASE #1 TBD	ACOUSTICAL CEILING #1	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD						
202	PLAN ROOM	FLOORING #2 TBD	BASE #1 TBD	ACOUSTICAL CEILING #1	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD	CABINETS #2 TBD	CABINETS #2 TBD				
203	CONFERENCE ROOM	FLOORING #2 TBD	BASE #1 TBD	ACOUSTICAL CEILING #1	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD						
204	OFFICE	FLOORING #1 TBD	BASE #1 TBD	EXISTING GRID - NEW LIGHTS	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD						
205	OFFICE	FLOORING #1 TBD	BASE #1 TBD	EXISTING GRID - NEW LIGHTS	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD						
206	OFFICE	FLOORING #1 TBD	BASE #1 TBD	EXISTING GRID - NEW LIGHTS	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD						
207	BREAK ROOM	FLOORING #2 TBD	BASE #1 TBD	ACOUSTICAL CEILING #1	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD	CABINETS #1 TBD	CABINETS #1 TBD				
208	RESTROOM	FLOORING #2 TBD	BASE #1 TBD	ACOUSTICAL CEILING #1	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD	PAINT TBD						

NOTES

DEMO NOTES:

1) THE DRAWINGS ARE BASED ON VISUAL OBSERVATIONS AND FIELD MEASUREMENTS AND EVERY EFFORT HAS BEEN MADE TO ACCURATELY PORTRAY EXISTING CONDITIONS. HOWEVER, SOME DISCREPANCIES MAY EXIST AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS AND SUB-CONTRACTORS TO VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE WORK AND TO REPORT ANY DISCREPANCIES DISCOVERED TO THE OWNER, ARCHITECT AND ENGINEER.

2) CARE SHALL BE TAKEN NOT TO DISTURB ANY MATERIAL OR UTILITY SYSTEMS TO BE INCORPORATED INTO THE NEW WORK. DAMAGE TO ANY MATERIAL TO REMAIN SHALL BE PATCHED AND REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.

3) DO NOT REMOVE ANY ITEMS OF STRUCTURAL NATURE SUPPORTING THE ROOF STRUCTURE WITHOUT AMPLE SHORING.

4)REMOVE AND LAWFULLY DISPOSE OF ALL MATERIALS.

5) PROTECT ALL ELEMENTS TO REMAIN, WHILE PATCHING AS REQUIRED TO MATCH EXISTING FINISHES.

6) DO NOT SCALE DRAWINGS.

7) GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL APPLICABLE CODES, MUNICIPAL ORDINANCES, AND BUILDING REGULATIONS.

8) THE CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY WHICH DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS. WORK AFFECTED BY DISCREPANCIES SHALL CEASE UNTIL THEY ARE RESOLVED.

9) ALL SUBSTITUTIONS AND CHANGES TO THESE DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT AND / OR OWNER FOR APPROVAL.

10) GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ARE RESPONSIBLE TO OBTAIN ALL REQUIRED BUILDING PERMITS AND LICENSES AS REQUIRED BY THE MUNICIPALITY TO PERFORM CONSTRUCTION ACTIVITIES REQUIRED TO COMPLETE THIS WORK.

11) THE CONTRACTOR SHALL BE HELD ENTIRELY RESPONSIBLE FOR SAFETY REGULATIONS, PROCEDURES AND POLICIES.

12) GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ADDITIONAL CONSTRUCTION REQUIRED TO SUCCESSFULLY COMPLETE THIS WORK, INCLUDING, BUT NOT LIMITED TO: CUTTINGS AND PATCHINGS OF EXISTING CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION WHERE REQUIRED TO PERFORM NEW CONSTRUCTION AND THE REPAIR OF ANY DAMAGE TO THE EXISTING BUILDING EXTERIOR, OR SITE THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.

13. THIS WORK IS PRIMARILY FOR INTERIOR FINISH AND BUILDING PERMIT SUBMITTAL ONLY AND DOES NOT INCLUDE MEANS AND METHODS FOR CONSTRUCTION. PER THE OWNER'S DIRECTION, THIS IS TO BE DESIGN-BUILD CONSTRUCTION WHEREAS THE EXISTING BUILDING'S CURRENT AND FUTURE STRUCTURAL INTEGRITY, EXTERIOR ENVELOPE, ROOFING, FLASHING AND THERMAL AND MOISTURE PROTECTION ARE THE RESPONSIBILITY OF THE OWNER AND THEIR CONTRACTOR. THE EXISTING BUILDING ENVELOPE, INCLUDING FOUNDATIONS, BUILDING SUPERSTRUCTURE, ROOF STRUCTURE AND DECK, AND THE BUILDING ENVELOPE ARE NOT TO BE AFFECTED IN ANY WAY BEYOND WHAT IS COVERED IN THESE DOCUMENTS. THE EXISTING STRUCTURAL SYSTEM IS TO REMAIN AS IS. ANY MODIFICATIONS TO THE ORIGINAL STRUCTURAL SYSTEM, BUILDING ENVELOPE, ROOFING AND FLASHING IS NOT A PART OF THIS DOCUMENTATION AND IS THE SOLE RESPONSIBILITY OF THE BUILDING OWNER AND THEIR CONTRACTOR.

14. ANY NEW ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL ELECTRIC CODE, SHALL BE INSTALLED AS INDICATED, AND SHALL BE PROPERLY GROUNDED AND SHIELED.

15. THE CONTRACTOR (AND SUBCONTRACTORS) SHALL MAINTAIN A CLEAN PROJECT SITE AND SHALL CLEAN UP ALL DEBRIS AND SURPLUS MATERIAL UPON COMPLETION OF THE JOB.

16. THE ARCHITECT WILL NOT HAVE CONTROL OF AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK. FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND SHALL BE HELD HARMLESS FROM ALL DAMAGES WITH RESULT THEREFROM.

17. THE PROPERTY OWNER IS FULLY RESPONSIBLE FOR AND REQUIRED TO DISCLOSE ANY PAST, PRESENT AND FUTURE CONTAMINATION OR ENVIRONMENTAL HAZARDS. THE PROPERTY OWNER IS RESPONSIBLE FOR ANY TESTING, REMOVAL AND HARM THAT MAY BE CAUSED AS A RESULT OF THE BUILDING'S PREVIOUS USE. THE ARCHITECT AND CONSULTANTS SHALL BE INDEMNIFIED & HELD HARMLESS FOR ANY ISSUES OR DAMAGES RELATED TO ITEMS BEYOND THE SCOPE OF THE CONSTRUCTION DOCUMENTS.

ROOM FINISH SCHEDULE

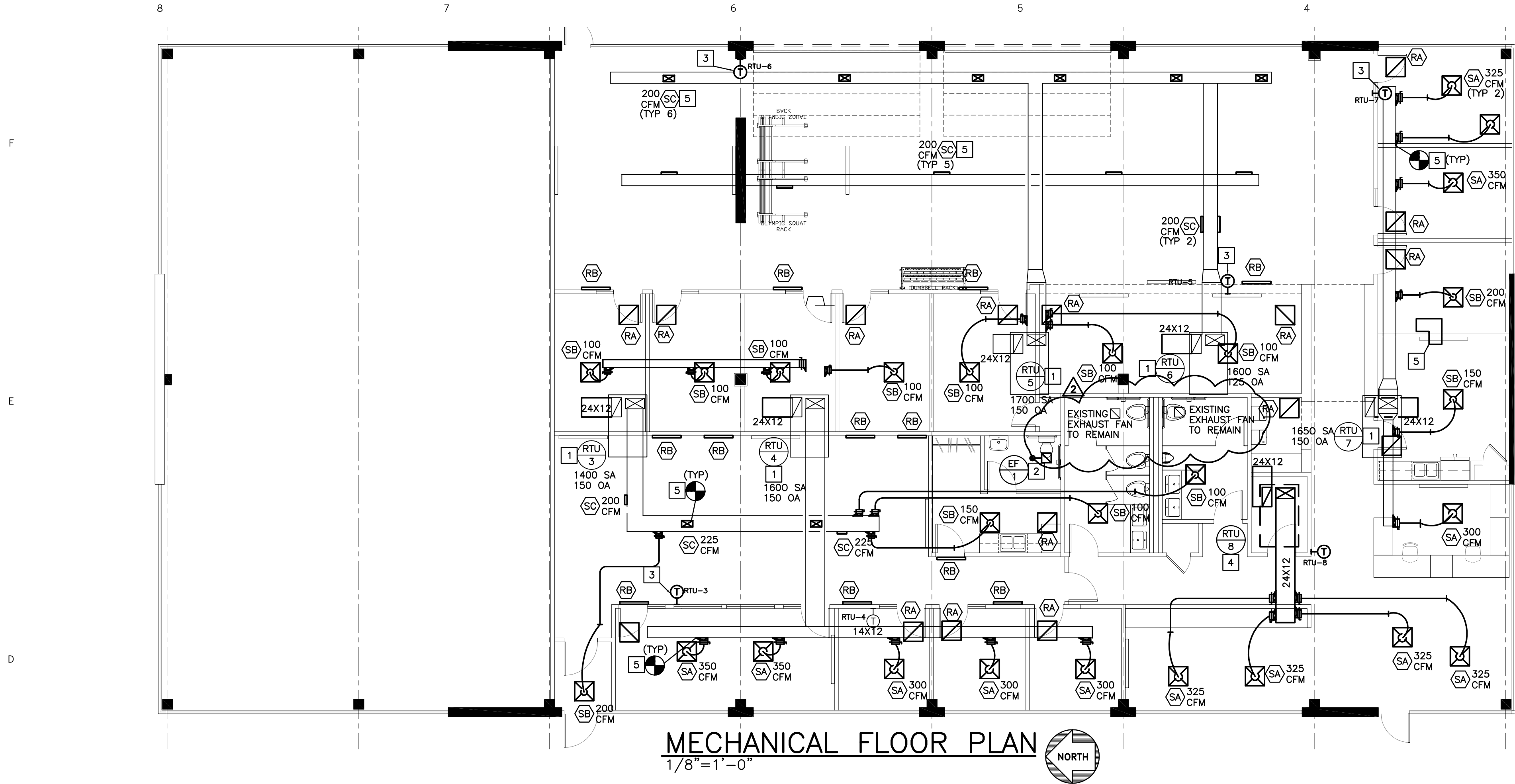
	PRODUCTS
PAINT #1	SHERWIN WILLIAMS #SW 7066 "GRAY MATTER"
PAINT #2	SHERWIN WILLIAMS #SW 7068 "GRIZZLE GRAY" - 12'-0" AFF TO ROOF AND SOFFITS IN CONSULATION ROOMS
PAINT #3	SHERWIN WILLIAMS #SW 6871 "POSITIVE RED"
PAINT #4 (DOORS & DOOR TRIM)	SHERWIN WILLIAMS #SW 7068 "GRIZZLE GRAY"
PAINT #5	SHERWIN WILLIAMS #SW 6258 "TRICORN BLACK": EGG SHELL
WALL TILE #1	SUBWAY TILE - IMPERIAL BIANCO 441970 4X16 STAGGERED 50% W/ 1/8" GRAY GROUT TBD
WALL TILE #2	4" PORCELAIN HEX TILE - MATTE WHITE, FROM CST - GROUT TBD
WALL TILE #3	1/4" LOW IRON BACK PAINTED GLASS #SW6871 "POSITIVE RED" BY SQUARE ONE STUDIO
BASE #1	RUBBER BASE - BLACK
FLOORING #1	CARPET - SHAW PAUSE TILE: 5T083 COLOR: SHAW ASHEN: 83555
FLOORING #2	CARPET - SHAW VANTAGE TILE: 5T086 COLORS: ASHEN AGATE:84761 ASHEN SOUL: 84855 ALL QUARTER TURN
FLOORING #3	EMSER TILE: 11x13 RHYTHM SILVER HEX TILE - GROUT TBD/BEE HIVE 24x20 HEX TILE MATTE FINISH P010 GREY
COUNTERTOP #1	WILSONART - #8214K-28 PHANTOM CHARCOAL 28 GLOSS LINE W CHARCOAL EDGE BANDING
COUNTERTOP #2	MASTERCUT- QUARTZ CALACATTA LAZA LEVEL 1 W/ 1/8" EASED EDGE
CABINETS #1	WILSONART - #8214K-28 PHANTOM CHARCOAL 28 GLOSS LINE W CHARCOAL EDGE BANDING
ACOUSTICAL CEILING #1	ARMSTRONG SUPRAFINE XL 9/16" W/ ARMSTRONG OPTIMA TEGULAR SQUARE EDGE 2X2 TILES
ACOUSTICAL CEILING #2	ARMSTRONG DESIGN FLEX 4" FCSH 16 AXIOM TRIM
PAINT TBD	
COUNTERTOP #1 TBD	WILSONART TBD
COUNTERTOP #2 TBD	LEVEL 1 QUARTZ TBD
CABINETS #1 TBD	WILSONART TBD
CABINETS #2 TBD	PAINT TBD
FLOORING #1 TBD	CARPET ALLOWANCE EQUIVALENT TO - SHAW PAUSE TILE
FLOORING #2 TBD	LVT - ALLOWANCE TO BE \$7/\$F
BASE #1 TBD	RUBBER BASE - COLOR TO BE DETERMINED

FINISH SCHEDULE

herron + partners

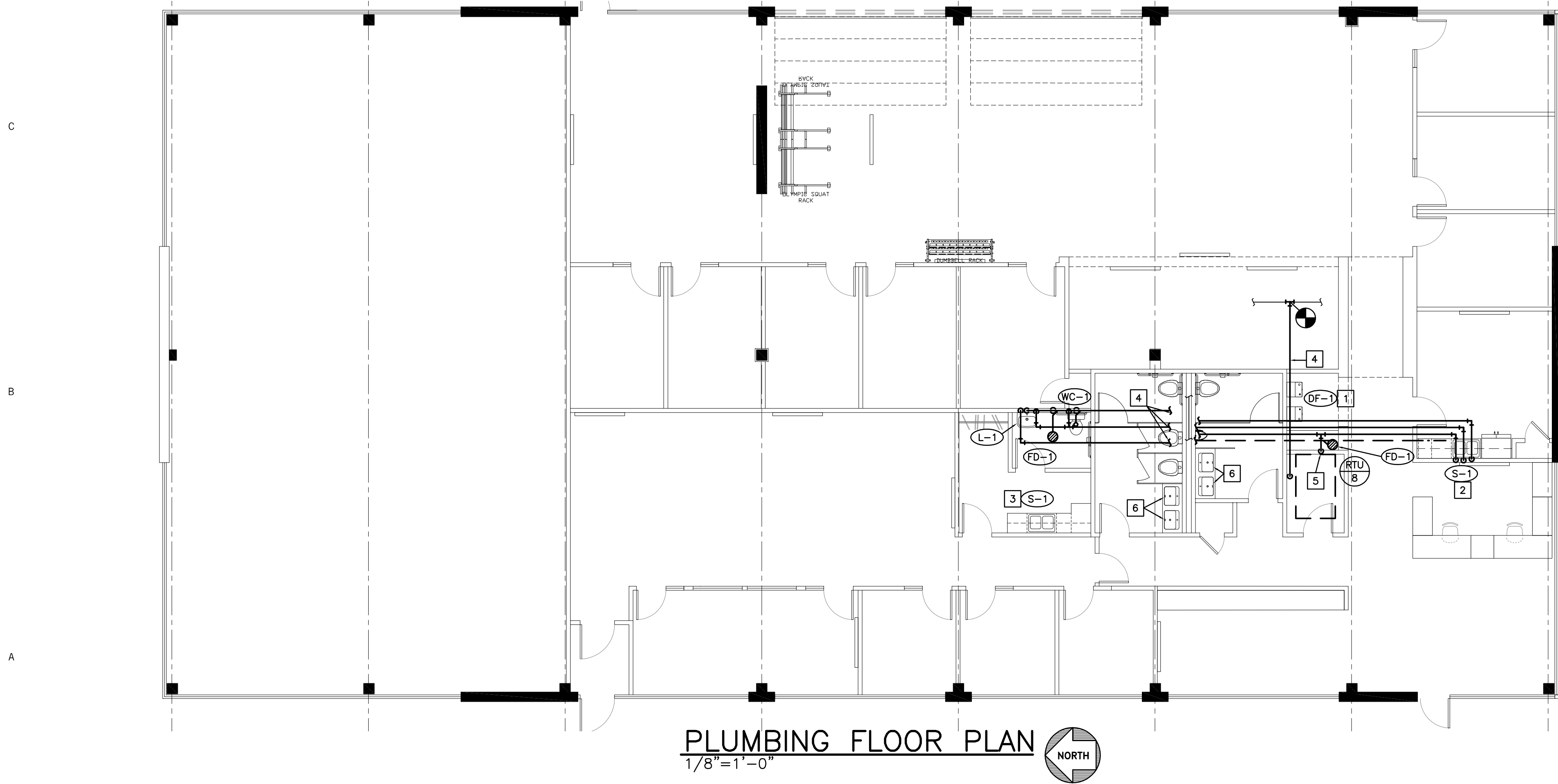
ARCHITECT OF RECORD

herron + partners



FLOOR PLAN NOTES

- EXISTING ROOFTOP UNIT. REBALANCE TO CFM INDICATED. CONNECT NEW SUPPLY AND RETURN AIR DUCTWORK AS SHOWN.
- INSTALL EXHAUST FAN IN CEILING AND ROUTE 6"Ø EXHAUST DUCT THROUGH ROOF WITH RAIN CAP.
- RELOCATED THERMOSTAT. EXTEND WIRING AS REQUIRED.
- INSTALL NEW ROOFTOP UNIT AND CURB. RE: SCHEDULE. COORDINATE EXACT LOCATION WITH STRUCTURAL.
- INSTALL A 16"X14" TRANSFER AIR DUCT ABOVE CEILING.
- PROVIDE NEW DUCT TAKE-OFF AND GRILLE ON EXISTING DUCT. DUCTWORK LOCATIONS, SIZES AND ROUTING ARE APPROXIMATE. NOTIFY ENGINEER OF ANY DISCREPANCIES.



FLOOR PLAN NOTES

- INSTALL NEW DRINKING FOUNTAIN. CONNECT 1-1/2"W, 1-1/2"V AND 1/2"CW TO EXISTING LINES PREVIOUSLY FEEDING LAVATORY.
- INSTALL NEW SINK AND FLOOR DRAIN. ROUTE 2"W, 2"V, 1/2"CW AND 1/2"HW TO EXISTING LINES PREVIOUSLY FEEDING BATHROOM AND CONNECT. PROVIDE 1/2"HW AND 1-1/2"W CONNECTION TO DISHWASHER.
- INSTALL NEW SINK. ROUTE 2"W LINE BELOW SLAB, 1-1/2"V, 1/2"CW, AND 1/2"HW TO PREVIOUS LOCATION OF SINK AND CONNECT.
- ROUTE 1/2"NG LINE FROM NEW UNIT TO EXISTING LINE ON ROOF AND CONNECT. PROVIDE ROOF SUPPORTS EVERY 6'0" O.C. FIELD VERIFY EXACT LOCATION
- PROVIDE 1/2"CW CONNECTION TO ICEMAKER.
- REMOVE AND REPLACE EXISTING LAVATORY WITH NEW UNDERMOUNT LAVATORY. KOHLER MODEL K-2608-U STAINLESS STEEL UNDERMOUNT BOWL. PROVIDE WITH KOHLER MODEL K-46208-4 FAUCET AND NEW SUPPLIES AND STOPS.

herron + partners

ARCHITECT OF RECORD

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

CODE CONSULTANT

CONTRACTOR

REVISIONS

SEAL

PROJECT

SHEET TITLE

herron + partners
p.o. box 414986
kansas city, missouri 64111
phone 816.832.4647
www.herronandpartners.com

Structura Logica
18901 E 299th Street
harrisonville, missouri 64701
816.872.4883
www.bdc-engrs.com

BGR Engineers
8908 W 106th Street
Overland Park, Kansas 66212
phone 816.842.2800
www.bgrengineers.com

Vorthmann Consulting, LLC
P.O. Box 3712
Eagle, Colorado 81631
phone 816.806.3729
www.fpc-consultants.com

05.17.2021 PRICING SET
11.08.2021 CITY RESPONSE #1



F.I.T. MUSCLE AND JOINT CLINIC
413 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081
OWNER
F.I.T. MUSCLE & JOINT CLINIC, LLC 16.2111

MECHANICAL
FLOOR PLANS
M101

10.25.21

F

8

DIFFUSER/GRILLE SCHEDULE

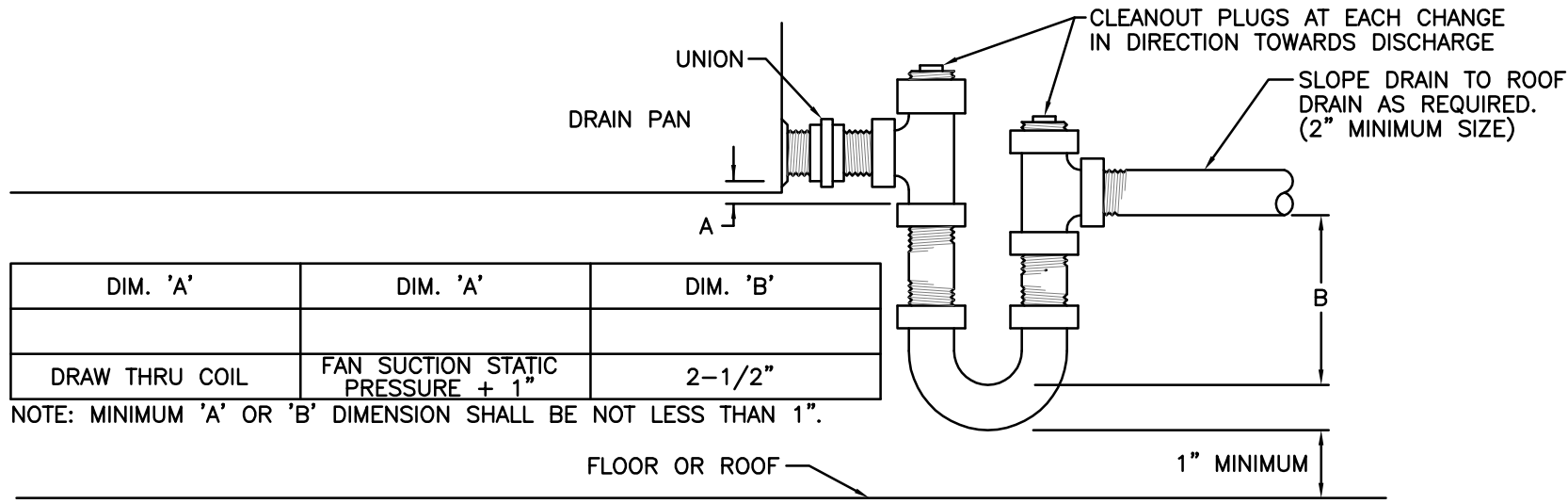
TAG	MANUFACTURER	MODEL	FACE SIZE (INCHES)	NECK SIZE (INCHES)	MOUNTING TYPE	FINISH	NOTES
(SA)	EH PRICE	SCD	24X24	10"ø	LAY-IN	WHITE	-
(SB)	EH PRICE	SCD	24X24	8"ø	LAY-IN	WHITE	-
(SC)	EH PRICE	520	12X8	10X6	SURFACE	PRIMED	-
(RA)	EH PRICE	PDDR	24X24	22X22	LAY-IN	WHITE	-
(RB)	EH PRICE	530	36X12	34X10	SURFACE	WHITE	-
NOTES: 1. -							

E

FAN SCHEDULE

(EF #)	MANUFACTURER	MODEL NO.	CFM	S.P. (IN W.G.)	TYPE	RPM	DRIVE	ELECTRICAL				FAN TO BE CONTROLLED BY	NOTES
								VOLT	ø	HZ	WATTS /HP		
EF-1	GREENHECK	SP-A90	75	0.25	CEILING	870	DIRECT	120	1	60	54	LIGHTS	NOTE 1
NOTES: 1. PROVIDE WITH CEILING GRILLE, BACKDRAFT DAMPER, SHEAR ISOLATORS, DISCONNECT SWITCH AND 120V/277V TRANSFORMER.													

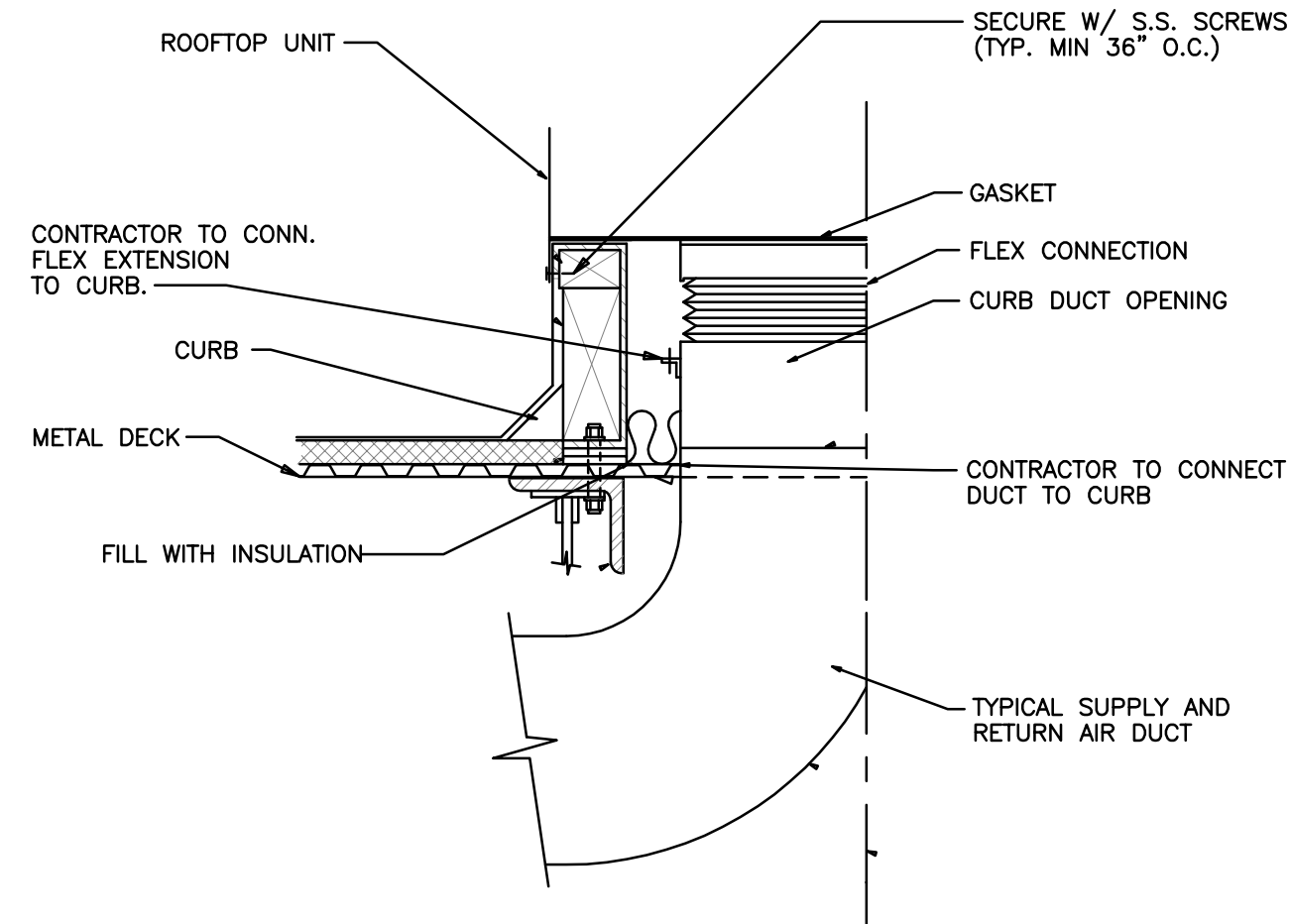
D



C

1 HVAC CONDENSATE TRAP DRAIN DETAIL
NO SCALE SINGLE ZONE UNITS

B



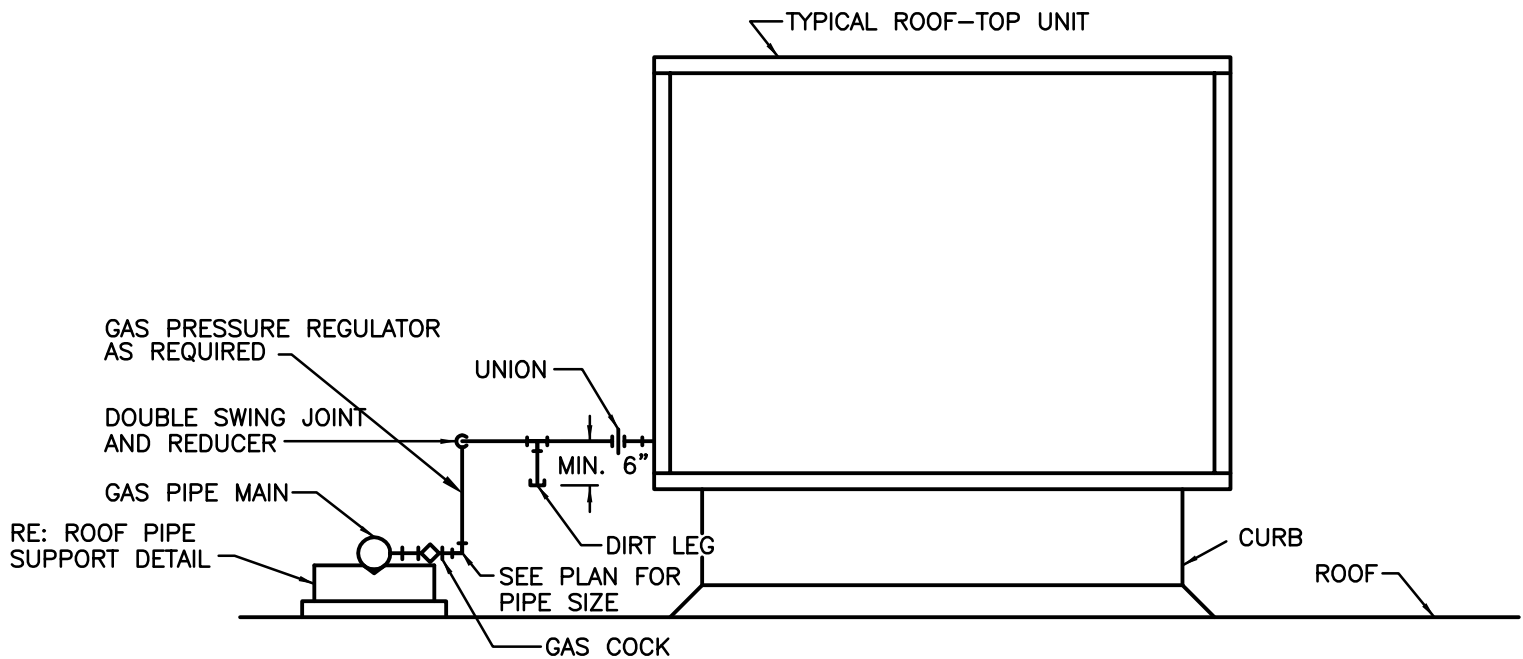
A

3 ROOF CURB AND DUCT DETAIL
NO SCALE METAL DECK

6

ROOFTOP UNIT SCHEDULE (GAS)

(RTU #)	MANUFACTURER	MODEL NO.	CFM	MINIMUM O.A.	EXT. S.P. (IN W.G.)	FAN TYPE	S.P.	COOLING							HEATING		ELECTRICAL							WEIGHT LBS	NOTES
								AMB. (°F)	ENTER. DB/WB (°F)	AIR TOTAL MBH	SENS. MBH	# OF STAGES	UNIT SEER	IN MBH	OUT MBH	VOLT	ø	HZ	HP	MCA	MOCp				
RTU-8	CARRIER	48FCDA04	1300	120	0.50	DIRECT		105	78/66	32	25	1	14.0	67	54	208	3	60	0.50	20	30	1500	NOTE 1,2		
NOTES: 1. PROVIDE WITH DISCONNECT SWITCH, GFCI OUTLET, BLOWER PROVING SWITCH, SINGLE ENTHALPY ECONOMIZER FILTERS, ROOF CURB, RELIEF HOOD, HAIL GUARDS AND 7 DAY PROGRAMMABLE THERMOSTAT. 2. PROVIDE WITH SMOKE DETECTOR IN RETURN SECTION FOR FAN SHUT-DOWN.																									



2 TYPICAL ROOF-TOP UNIT CONNECTIONS DETAIL
NO SCALE

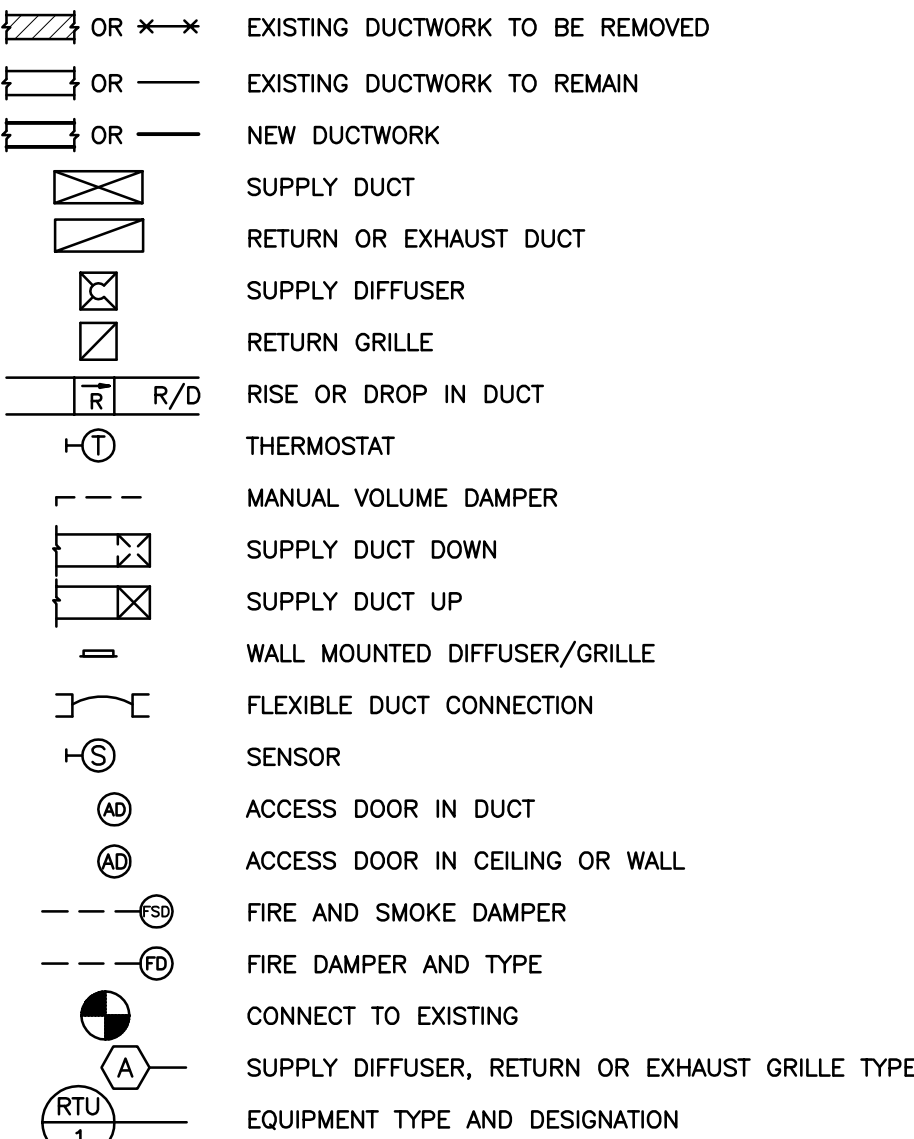
PLUMBING FIXTURE SCHEDULE

MARK	MANUF.	MODEL NO.	DESCRIPTION
(WC-1) ADA	PROFLO	PF1403TWH	ADA COMPLIANT TANK TYPE WATER CLOSET. WHITE VITREOUS CHINA, TWO PIECE, 12" ROUGH-IN, ELONGATED BOWL, 17" HIGH, GRAVITY FED BOX RIM, DUAL FLUSH 1.6/1.1 GALLON FLUSH TANK TOILET, COMPLETE WITH POLISHED CHROME FLUSH ACTUATOR MOUNTED ON WIDE SIDE OF STALL. SEAT: WHITE SOLID PLASTIC FOR ELONGATED BOWL WITH COVER, INTEGRAL BUMPERS, EXTERNAL CHECK HINGES WITH STAINLESS STEEL POSTS, WAX RING WITH HORN, SOLID BRASS CLOSET BOLTS, ROUND WHEEL ANGLE STOPS AND FLEXIBLE RISERS.
(L-1) ADA	PROFLO PEERLESS	PF5414WH P36	LAVATORY: VITREOUS CHINA. RECTANGULAR WALL HUNG LAVATORY, CONCEALED FRONT OVERFLOW, CONCEALED HANGER, DRILLED FOR CONCEALED ARM CARRIER AND SHROUD/KNEE CONTACT GUARD. CHROME PLATED BRASS, 4" ON CENTER BODY WITH DECK MOUNTED FITTING WITH GRID DRAIN, 4-3/8" SPOUT, SINGLE LEVER HANDLE, CERAMIC CARTRIDGE AND 1.5GPM AERATOR. PROVIDE OFF SET GRID STRAINER DRAIN AND TAILPIECE WITH 1-1/4"x1-1/2" PLASTIC P-TRAP AND WASTE ARM TO WALL WITH ESCUTCHEON, RISERS WITH ANGLE STOPS. PROVIDE WITH ANTI-SCALD THERMOSTATIC MIXING VALVE BELOW SINK. PROVIDE INSULATION AND JACKET ON ALL EXPOSED PIPING BELOW LAVATORY.
(S-1)	PROFLO MOEN	PFSR332283 5965 SERIES	COUNTER DOUBLE COMPARTMENT SINK : 20 GAUGE, TYPE 301 STAINLESS STEEL AND STAINLESS STEEL BASKET STRAINERS WITH 1-1/2" TAILPIECE. PROVIDE TAILPIECE WITH 1-1/4"x1-1/2" PLASTIC P-TRAP, GRID DRAIN AND WASTE ARM TO WALL WITH ESCUTCHEON, STAINLESS STEEL BRAIDED RISERS WITH ANGLE STOPS. FAUCET: CHROME PLATED, SINGLE HOLE DECK MOUNTED FAUCET, SINGLE METAL LEVER HANDLE, PULLDOWN SPRAYER WITH 68" BRAIDED HOSE, 1255 DURALAST CARTRIDGE AND 1.5GPM AERATOR.PROVIDE WITH ANTI-SCALD THERMOSTATIC MIXING VALVE BELOW SINK.
(DF-1)	ELKAY	LMABFTLDDWSLK	WATER COOLER (ADA): SELF-CONTAINED BI-LEVEL PRESSURE WATER COOLER SHALL DELIVER A MINIMUM OF 7.8 GPM OF WATER AT 50°F COOLED FROM 80°F INLET AND 90°F AMBIENT. UNIT SHALL OPERATE ON WATER PRESSURE RANGE OF 20-90 PSIG. UNIT SHALL BE ACTIVATED FROM FRONT OR BY SIDE PUSH BARS USING LESS THAN 5 LBS. OF FORCE. UNIT SHALL BE EQUIPPED WITH A LEAD FREE CHROME PLATED, HOODED BUBBLER WITH AN INTEGRAL DESIGNED NON-SQUIRT FEATURE. TOP DEPTH OF INTEGRAL DRAIN SHALL BE A MINIMUM OF 2.25" AND SHALL BE MANUFACTURED FROM TYPE 304 STAINLESS STEEL. STAINLESS STEEL CABINET FINISH. EVAPORATOR SHALL CONSIST OF AN INSULATED TUBE ON TUBE COIL SELF-CLEANING DESIGN.R-134A REFRIGERANT SYSTEM SHALL BE HERMETICALLY SEALED AND BE CAPILLARY TUBE CONTROLLED. AN ADJUSTABLE THERMOSTAT WITH AN OFF POSITION SHALL CONTROL REFRIGERATION SYSTEM. WATER COOLER SHALL ADHERE TO: ANSI A 117.1-1992 AND ADA ACT OF 1990 FRONTAL APPROACH AND PROTRUDING OBJECTS REQUIREMENTS, 1988 LEAD CONTAMINATION CONTROL ACT AND NSF61 SECTION 9 CERTIFIED. CHILLED WATER CAPACITY SHALL BE RATED IN ACCORDANCE WITH ARI STD. 1010-02. PROVIDE 1 1/4"x1 1/2" 17 GAUGE CHROME-PLATED SEMI-CAST BRASS P-TRAPS WITH CLEANOUT AND WASTE ARM TO WALL WITH ESCUTCHEON, RISERS WITH LOOSE KEY ANGLE STOPS. FOR MOUNTING HEIGHT SEE ARCHITECTURAL DRAWINGS. PROVIDE WITH EZH2O BOTTLE FILLING STATION AT ONE LOCATION
(FD-1)	WADE	1100-STD6	CAST IRON FLOOR DRAIN WITH FLANGE, INTEGRAL REVERSIBLE CLAMPING COLLAR, SEEPAGE OPENINGS, 1/2" PLUGGED PRIMER TAP, AND 6" DIA. NICKEL BRONZE STRAINER WITH VANDAL-PROOF SCREWS. 2" OUTLET. PROVIDE WITH DEEP SEAL P-TRAP.

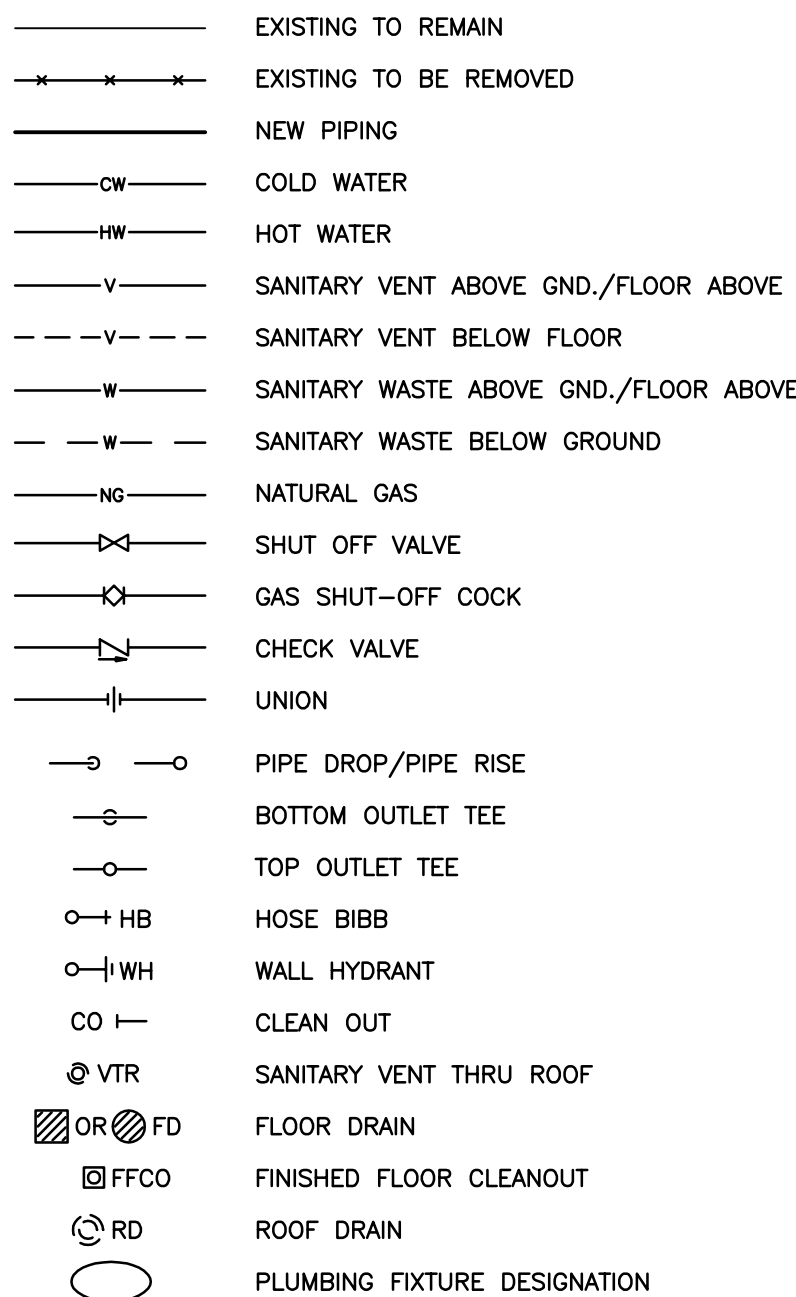
NOTE: REFER TO ARCHITECTURAL ELEVATIONS AND DETAILS FOR FIXTURE, VALVE AND CONTROLS LOCATIONS

1

MECHANICAL SYMBOLS



PLUMBING SYMBOLS



herron + partners

ARCHITECT OF RECORD

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

CODE CONSULTANT

CONTRACTOR

REVISIONS

SEAL

PROJECT

SHEET TITLE

herron + partners
p.o. box 414986
kansas city, missouri 64111
phone 816.832.4647
www.herronandpartners.com

Structura Logica
18901 E 299th Street
harrisonville, missouri 64701
816.872.4883
www.bdc-engrs.com

BGR Engineers
8908 W 106th Street
Overland Park, Kansas 66212
phone 816.842.2800
www.bgrengineers.com

Vorthmann Consulting, LLC
P.O. Box 3712
Eagle, Colorado 81631
phone 816.806.3729
www.fpc-consultants.com

05.17.2021 PRICING SET

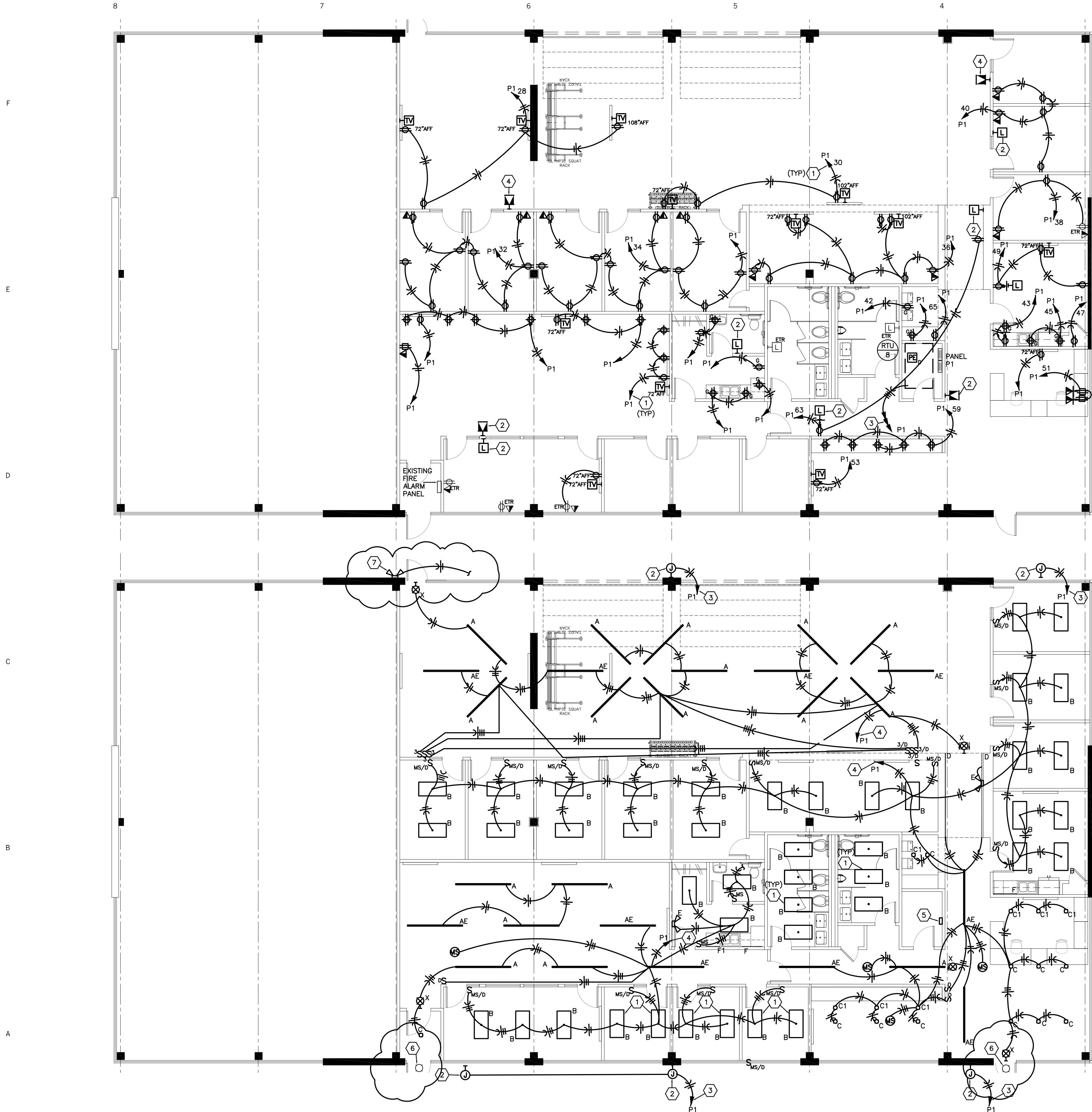


F.I.T. MUSCLE AND JOINT CLINIC
413 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081
OWNER
F.I.T. MUSCLE & JOINT CLINIC, LLC 116.2111

MECHANICAL
SCHEDULES & DETAILS

M200

110.25.21



FLOOR PLAN NOTES

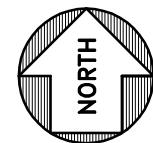
- 1 ROUTE TO PANEL INDICATED AND INSTALL ON BREAKER MADE AVAILABLE DURING DEMOLITION.
- 2 RELOCATED FIRE ALARM DEVICE
- 3 MAKE CONNECTION TO ROOFTOP UNIT AND ROUTE 3/4" 4-#12 & 1-312 GROUND TO PANEL INDICATED AND PROVIDE A 20A/3P BREAKER
- 4 INSTALL NEW FIRE ALARM DEVICE. CONNECT TO EXISTING SYSTEM.

GENERAL NOTES (TYPICAL ALL SHEETS)

- A) ALL RECEPTACLES, LIGHT SWITCHES AND COVERPLATES SHALL BE BLACK WITH THE EXCEPTION OF BREAK ROOM AND RESTROOMS WHICH SHALL BE WHITE.
- B) ALL WIRING LOCATED IN INSTALLED IN EXPOSED STRUCTURE AREA SHALL BE TIED UP TO STRUCTURE IN NEAT AND ORDERLY MANNER. THIS INCLUDES EXISTING WIRING.
- C) CONTRACTOR SHALL INCLUDE ALL LOW VOLTAGE WIRING AND DEVICES IN HIS BID. COORDINATE WITH OWNER FOR EXACT REQUIREMENTS.

POWER FLOOR PLAN

1/8"=1'-0"

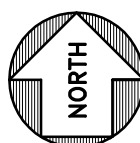


FLOOR PLAN NOTES

- 1 INSTALL NEW LIGHT FIXTURE IN EXISTING LOCATION. RECONNECT TO WIRING.
- 2 INSTALL JUNCTION BOX FOR EXTERIOR SIGNAGE. COORDINATE EXACT REQUIREMENTS AND LOCATION WITH OWNER.
- 3 ROUTE CIRCUIT THROUGH EXTERIOR LIGHTING CONTACTOR TO PANEL INDICATED AND INSTALL ON BREAKER MADE AVAILABLE DURING DEMOLITION.
- 4 ROUTE TO PANEL INDICATED AND INSTALL ON BREAKER MADE AVAILABLE DURING DEMOLITION.
- 5 PROVIDE AND INSTALL NEW 4-POLE EXTERIOR CONTACTOR AND TIMECLOCK.
- 6 EXISTING EMERGENCY EXTERIOR LIGHT TO REMAIN.
- 7 PROVIDE AND INSTALL WILLIAMS EMER/DECO EMERGENCY LIGHT FIXTURE CONNECT TO EXTERIOR LIGHTING CIRCUIT. PROVIDE ADDITIONAL UNSWITCHED HOT LEG.

LIGHTING FLOOR PLAN

1/8"=1'-0"



herron + partners

ARCHITECT OF RECORD

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

CODE CONSULTANT

CONTRACTOR

REVISIONS

SEAL

PROJECT

SHEET TITLE

herron + partners
p.o. box 414986
kansas city, missouri 64111
phone 816.832.4647
www.herronandpartners.com

Structura Logica
18901 E 299th Street
harrisonville, missouri 64701
816.872.4883
www.bdc-engrs.com

BGR Engineers
8908 W 106th Street
overland park, kansas 66212
phone 816.842.2800
www.bgrengineers.com

Vorthmann Consulting, LLC
P.O. Box 3712
Eagle, Colorado 81631
phone 816.806.3729
www.fpc-consultants.com

05.17.2021 PRICING SET
11.08.2021 CITY RESPONSE #1



F.I.T. MUSCLE AND JOINT CLINIC
413 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081
OWNER
F.I.T. MUSCLE & JOINT CLINIC, LLC 16.2111

ELECTRICAL
FLOOR PLANS
E101

10.25.21

F

Lighting Fixture Schedule				
Type	Manufacturer	Lamp	Voltage/ Watts	Description
A	ORACLE # 8-OC4-LED-6000L-DIM10-MVOLT-35K-85-BK-OCGSS	LED	120V/49W	SUSPENDED 2" WIDE BLACK LED FIXTURE WITH FROSTED LENS
AE	ORACLE # 8-OC4-LED-6000L-DIM10-MVOLT-35K-85-0-EMG-LED-20W-OCGSS-BK	LED	120V/49W	SUSPENDED 2" WIDE BLACK LED LIGHT FIXTURE WITH FROSTED LENS AND EMERGENCY DRIVER
B	LITHONIA #2BLT4-40L-SDSM-120-EZ1-LP935	LED	120V/32W	2X4" RECESSED LED WITH FROSTED ACRYLIC LENS
C	WILLIAMS #6DS-L20/835-DIM-UNV-O-M-OF	LED	120V/21W	6" LED CAN LIGHT WITH WHITE TRIM AND REFLECTOR.
CE	WILLIAMS #6DS-L20/835-EM/10W-DIM-UNV-O-M-OF	LED	120V/21W	SAME AS "C" BUT WITH 10W EM DRIVER..
C1	WILLIAMS #6DS-L20/835-DIM-UNV-O-WW-OF	LED	120V/21W	6" ADJUSTABLE LED CAN LIGHT WITH WHITE TRIM AND REFLECTOR.
D	KICHLER #1TEC2SMRC8SIL-1TEL0028WHO-1TEE2SMRCSSIL	LED	24V/ 3WFT	HO LED TAPE LIGHT WITH POWER SUPPLY. PROVIDE 120V/24V TRANSFORMER. INSTALL IN CHANNEL WITH FROSTED LENS
E	WILLIAMS #EMERLED	LED	120V/5W	CEILING MOUNTED EMERGENCY LIGHT
F	WILLIAMS #1SF-3"L18-AF12125	LED	120V/16W	3' UNDERCABINET LIGHT WITH FROSTED LENS
F1	WILLIAMS #1SF-2"L12-AF12125	LED	120V/11W	2' UNDERCABINET LIGHT WITH FROSTED LENS
X	ELITE # ELX-605-R-B-AL-1	LED	120V/5W	I.E.D. EXIT SIGN WITH RED LETTERS. DIE-CAST ALUMINUM HOUSING.MATTE BLACK BRUSHED ALUMINUM FACE, NICKEL-CADMIUM BATTERY AND SELF-DIAGNOSTICS. CONTRACTOR SHALL VERIFY EXACT MOUNTING, NUMBER OF FACES, AND NUMBER OF CHEVRONS PRIOR TO ORDERING.

E

D

C

B

A

ELECTRICAL SYMBOLS

	BRANCH CIRCUIT CONCEALED IN CEILING OR WALL. ARROWS INDICATE HOMERUNS TO PANEL. ALL CONDUCTORS ARE #12 EXCEPT AS NOTED.
	CONDUIT RUN UNDERGROUND OR CONCEALED IN FLOOR SLAB.
	GROUNDING CONDUCTOR #12 EXCEPT AS NOTED
	EXIT LIGHT - SINGLE FACED - ARROWS AS SHOWN
	EXIT LIGHT - DOUBLE FACED - ARROWS AS SHOWN
	CEILING OR WALL MOUNTED EMERGENCY LIGHTING UNIT.
	FLUORESCENT LIGHT FIXTURE
	FLUORESCENT LIGHT FIXTURE WITH EMERGENCY BALLAST
	FLUORESCENT STRIP FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	MOTOR
	PANELBOARD (SURFACE MOUNTED). INSTALL W/TOP 6'-0" AFF
	SURFACE MOUNTED PANEL, TYPE AS INDICATED ON DRAWINGS
	FLUSH MOUNTED PANEL, TYPE AS INDICATED ON DRAWINGS
	DISCONNECT SWITCH. SIZED AS NOTED
	SINGLE POLE SWITCH. +3'-10" AFF TO CENTERLINE OF DEVICE BOX
	THREE-WAY SWITCH +3'-10" AFF TO CENTERLINE OF DEVICE BOX
	PILOT LIGHT SWITCH +3'-10" AFF TO CENTERLINE OF DEVICE BOX
	PUSH BUTTON +3'-10" AFF.
	SINGLE RECEPTACLE. +1'-6" AFF OR AS NOTED
	DUPLEX RECEPTACLE. +1'-6" AFF OR AS NOTED
	DUPLEX RECEPTACLE INSTALLED ABOVE COUNTERTOP
	WEATHER RESISTANT GFCI RECEPTACLE WITH WEATHERPROOF PLATE.
	DUPLEX RECEPTACLE W/GROUND FAULT PROTECTION. +1'-6" AFF OR AS NOTED
	DOUBLE DUPLEX RECEPTACLE. +1'-6" AFF OR AS NOTED
	DOUBLE DUPLEX RECEPTACLE INSTALLED ABOVE COUNTERTOP.
	FLUSH FLOOR BOX WITH POWER AND DATA.
	TV OUTLET WITH 1" CONDUIT STUBBED UP OUT OF BOX TO ABOVE ACCESSIBLE CEILING. +1'-6" AFF OR AS NOTED.
	DATA/VOICE OUTLET WITH 1" CONDUIT STUBBED UP OUT OF BOX TO ABOVE ACCESSIBLE CEILING. +1'-6" AFF OR AS NOTED.
	CEILING MOUNTED PHOTO-ELECTRIC SMOKE DETECTOR (D-DENOTES IN DUCT)
	WALL MOUNTED COMBINATION FIRE ALARM HORN/STROBE w/75cd RATING, FLUSH MOUNTED UNLESS NOTED OTHERWISE. (cd-DENOTES CANDELA RATING). +6'-8" A.F.F.
	WALL MOUNTED FIRE ALARM STROBE w/75cd RATING, UNLESS NOTED OTHERWISE. (cd-DENOTES CANDELA RATING). +6'-8" A.F.F.
	WALL MOUNTED JUNCTION BOX.
	JUNCTION BOX
	THERMOSTAT OUTLET BOX WITH 3/4"C, STUBBED UP OUT OF BOX TO ABOVE ACCESSIBLE CEILING. THERMOSTAT AND WIRING BY OTHERS.
	INDICATES WIRING DEVICE ABOVE OR BELOW RE: DRAWING
	ROOF TOP UNIT AND NUMBER
	DOMESTIC WATER HEATER AND NUMBER
	EXHAUST FAN AND NUMBER
	ABOVE FINISH FLOOR
	EXISTING TO REMAIN
	FIRE ALARM

herron + partners

ARCHITECT OF RECORD	STRUCTURAL ENGINEER	MECHANICAL ENGINEER	CODE CONSULTANT	CONTRACTOR	REVISIONS	SEAL	PROJECT	SHEET TITLE
---------------------	---------------------	---------------------	-----------------	------------	-----------	------	---------	-------------

herron + partners
p.o. box 414986
kansas city, missouri 64111
phone 816.832.4647
www.herronandpartners.com

Structura Logica
18901 E 299th Street
harrisonville, missouri 64701
816.872.4883
www.bdc-engrs.com

BGR Engineers
8908 W 106th Street
Overland Park, Kansas 66212
phone 816.842.2800
www.bgrengineers.com

Vorthmann Consulting, LLC
P.O. Box 3712
Eagle, Colorado 81631
phone 816.806.3729
www.fpc-consultants.com

05.17.2021 PRICING SET



F.I.T. MUSCLE AND JOINT CLINIC
413 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081
OWNER
F.I.T. MUSCLE & JOINT CLINIC, LLC 16.2111

ELECTRICAL
SCHEDULES & DETAILS

E200

10.25.21

ELECTRICAL SPECIFICATIONS

1.01 SCOPE:

- A. THE WORK INCLUDED UNDER THIS CONTRACT CONSISTS OF THE FURNISHING OF ALL LABOR, MATERIALS, TOOLS, TRANSPORTATION, SERVICES, ETC., NECESSARY TO COMPLETE THE INSTALLATION OF THE ELECTRICAL SYSTEMS AND OTHER ITEMS HEREIN LISTED, ALL AS DIRECTED BY THE ARCHITECT OR ENGINEER, WHICH WORK IS COMPRISED OF, BUT NOT LIMITED TO THE FOLLOWING PRINCIPAL ITEMS:
1. ELECTRICAL SYSTEM FOR LIGHT AND POWER:
- a. ELECTRICAL SERVICE AND DISTRIBUTION SYSTEM REVISIONS.
- b. SWITCHES AND PANELBOARDS.
- c. SYSTEMS OF CONDUIT, CONDUCTORS, AND BOXES.
- d. RECEPTACLES AND WIRING DEVICES.
- e. LIGHTING FIXTURES AND LAMPS.
- f. POWER SERVICE TO THE VARIOUS MOTORS.
- g. COMPLETE LIGHTING AND POWER SYSTEMS.
- h. ALL SYSTEMS, WIRING AND CONDUIT AS REQUIRED.

2. CONTROL WIRING AND ELECTRICAL INSTALLATION AND CONNECTIONS FOR ITEMS IN OTHER CONTRACTS AS MAY BE LISTED IN THE DRAWINGS.

3. EMPTY CONDUIT AND BOXES FOR FUTURE INSTALLATION OF TELEPHONE WIRING AND MISCELLANEOUS SYSTEMS.

4. ROUGH-IN AND FINAL CONNECTION TO EQUIPMENT FURNISHED BY OTHERS.

- B. RACEWAY WIRING SYSTEMS SHALL BE CONCEALED IN ALL FINISHED PARTS OF THE BUILDING, WHERE POSSIBLE. WHERE THE RACEWAYS ARE EXPOSED, THEY SHALL BE RUN PARALLEL WITH THE BUILDING WALLS IN A NEAT AND WORKMANLIKE MANNER. SHOULD IT APPEAR NECESSARY TO EXPOSE ANY CONDUIT OR WIRING IN FINISHED SPACES, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY AND THIS CONTRACTOR SHALL REARRANGE HIS WORK AS DIRECTED TO FACILITATE AN APPROVED INSTALLATION. CONTRACTOR TO COORDINATE WITH MECHANICAL TRADES TO AVOID DUCTWORK AND PIPING.

- C. CONTRACTOR IS RESPONSIBLE TO PROVIDE LIAISON WITH ELECTRICAL AND COMMUNICATION COMPANIES. HE SHALL PROVIDE AND INSTALL ALL REQUIRED EQUIPMENT AND CONNECT AS REQUIRED TO COMPLETE AN OPERATING SERVICE TO THE BUILDING.

1.02 RACEWAYS:

- A. ALL ELECTRICAL CONDUCTORS ARE TO BE INSTALLED IN METAL RACEWAYS, UNLESS SPECIFICALLY SPECIFIED OR NOTED OTHERWISE. GALVANIZED STEEL OR INTERMEDIATE STEEL CONDUIT AS PERMITTED BY CODE. NO CONDUIT SMALLER THAN 3/4" TO BE USED. PROVIDE FLEXIBLE CONDUIT CONNECTION FOR FINAL CONNECTION TO EACH MOTOR NOT TO EXCEED 3' IN LENGTH AND RECESSED LIGHTING FIXTURES NOT TO EXCEED 6' IN LENGTH. PROVIDE PULL WIRES IN ALL EMPTY CONDUIT SYSTEMS. IDENTIFY TERMINUS OF EACH PULL WIRE. ALL EXPOSED RACEWAYS SHALL BE INSTALLED WITH RUNS PARALLEL AND/OR PERPENDICULAR WITH BUILDING WALLS. FASTEN ALL CONDUIT EVERY 8' AND 2' FROM EACH BOX. CONDUIT MAY BE EMT WHERE NOT SUBJECT TO MECHANICAL DAMAGE AS PERMITTED BY NATIONAL ELECTRIC CODE (N.E.C.). EMT CONNECTORS AND COUPLINGS 4" AND SMALLER SHALL BE COMPRESSION TYPE.

1.03 WIRES AND CABLES:

- A. ELECTRICAL CONDUCTORS, SOFT ANNEALED COPPER WITH CONDUCTIVITY 98% OF THAT OF PURE, STRANDED COPPER, 90 DEGREE -- 600V INSULATION AND EQUAL TO GENERAL CABLE COMPANY. WIRE AND CABLE FOR ALL FEEDERS, SUBFEEDERS, MOTOR CIRCUITS AND HIGH AMBIENT LOCATION TYPE SHALL BE THHN. ALL OTHER BRANCH CIRCUIT WIRING, SHALL BE TYPE XHHN OR THHN. MINIMUM WIRE SIZE SHALL BE #12 GAUGE AWG. CONTROL WIRING MAY BE #14 GAUGE.

1.04 GROUNDING:

- A. GROUND ALL ELECTRICAL APPARATUS IN ACCORDANCE WITH N.E.C. AND AS SPECIFIED HEREIN. PROVIDE A SEPARATE GROUNDING CONDUCTOR FOR ALL LIGHTING, RECEPTACLE AND EQUIPMENT CIRCUITS. ALL CABINETS, SWITCHBOARDS, EQUIPMENT CASES, MOTOR FRAMES, INTERIOR METAL COLD WATER PIPING SYSTEMS, AND SYSTEM NEUTRAL CONDUCTORS SHAL BE TO BE EFFECTIVELY GROUNDED. USE SOLDERLESS PRESSURE TYPE CONNECTORS. NO PERFORATED STRAP CONNECTORS WILL BE ALLOWED. INSURE CONTINUOUS BOND WHERE FLEXIBLE CONDUIT IS USED. PROVIDE BONDING JUMPER INSIDE ALL FLEXIBLE CONDUIT. GROUNDING PER N.E.C. 250, AND ANY LOCAL REQUIREMENTS.

1.05 SPLICE AND TAPS:

- A. MAKE SPLICES AT JUNCTION BOXES, PULL BOXES, OR OUTLET BOXES ONLY.

1.06 CABINETS, JUNCTION AND PULL BOXES:

- A. FLUSH OR SURFACE MOUNTED AS INDICATED ON DRAWINGS. PROVIDE WHERE SHOWN ON DRAWINGS AND WHERE REQUIRED BY CODE. CONSTRUCT OF CODE GAUGE STEEL FOR FLUSH SURFACE MOUNTING.

1.07 OUTLET BOXES:

- A. GENERAL ELECTRIC, APPLETON, STEEL CITY OR RACO HOT DIPPED GALVANIZED STEEL BOXES, OR EQUAL. INSTALL AT TERMINAL OF EACH CONDUIT RUN, EACH OUTLET, OR DEVICE. PROVIDE SIZE, TYPE AND DESIGN TO SUIT STRUCTURAL CONDITIONS. ADEQUATE TO ACCOMMODATE SIZE AND NUMBER OF RACEWAYS, CONDUCTORS, DEVICE OR FIXTURE SERVED. PROVIDE PLASTER RINGS OR COVERS ON BOXES WHERE REQUIRED ON EXPOSED WORK, USE APPROVED CAST FERROUS ALLOY OUTLET, JUNCTION BOXES AND FITTINGS. FIXTURE OR DEVICE COVER SHALL COMPLETELY CONCEAL THE SIZE OUTLET BOX USED. INSTALL 3/8" FIXTURE STUD FOR LIGHTING FIXTURES WHERE REQUIRED. LOCATE CEILING OUTLETS TO WORK ARCHITECTURAL FEATURES AS DIRECTED. SWITCHES INSTALLED 48" ABOVE FLOOR ON STRIKE SIDE OF DOOR AS FINALLY HUNG. RECEPTACLES AND TELEPHONE OUTLETS, 18" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED. VERIFY ALL OUTLET LOCATIONS ON JOB WITH ARCHITECT.

1.08 PANELBOARDS:

- A. PANEL BOARDS ARE AS INDICATED ON THE DRAWINGS. MAIN LUGS ONLY UNLESS NOTED OR SPECIFIED OTHERWISE. TYPEWRITTEN SCHEDULE OF CIRCUITS IN INDEX CARDHOLDER. PROVIDE WITH HINGED DOOR AND HINGED COVER. ALL CIRCUIT BREAKERS SHALL BE BOLT-ON MOLDED CASE AND HAVE POSITIVE "TRIP" INDICATION. BREAKERS USED ON EXISTING PANELS SHALL MATCH EXISTING UNITS AND SHALL BE LABELED TO HAVE POSITIVE "TRIP" INDICATION. BREAKERS SHALL BE LABELED TO INDICATE SUITE NUMBER AND USE. PANELBOARDS SHALL BE GENERAL ELECTRIC, SQUARE D OR I.T.E.. ALL SINGLE POLE CIRCUIT BREAKERS SHALL BE SWITCH DUTY RATED.

1.09 DISCONNECT SWITCHES:

- A. HEAVY DUTY NEMA TYPE 'HD' -- SAME MANUFACTURER AS PANELBOARDS. PLASTIC NAMEPLATE PROPERLY ENGRAVED WITH NAME OF EQUIPMENT SERVED, SECURED TO SWITCH COVER. FUSES SHALL BE BUSSMANN OF SIZES AND TYPES SCHEDULED.

1.10 MOTOR AND CONTROL WIRING AND CONNECTIONS:

- A. THIS CONTRACTOR TO PROVIDE ALL NECESSARY CONDUIT, BOXES AND SUPPORTS TO EQUIPMENT FURNISHED BY OWNER AND AS INDICATED ON DRAWINGS. PROVIDE A DISCONNECT SWITCH AND STARTER IF REQUIRED.

1.11 WIRING DEVICES:

- A. DUPLEX RECEPTACLES SHALL BE HUBBELL #5352-I GROUNDING TYPE, 20A., 125V.; G.F.C.I. SHALL BE HUBBELL GF-5352-I, 20A., 125V.; DUPLEX, G.F.C.I. TYPE, ISOLATED GROUND RECEPTACLES SHALL BE ORANGE IN COLOR; HUBBELL IG-5352, 20A., 125V., DUPLEX. ISOLATED GROUND RECEPTACLES SHALL BE EQUIPPED WITH A HUBBELL IGP-B PLATE, ORANGE IN COLOR INSCRIBED "ISOLATED GROUND". WALL TOGGLE SWITCHES SHALL BE HUBBELL NUMBER 1221-I AND NUMBER 1223-I FOR SINGLE POLE AND THREE WAY TYPES RESPECTIVELY. OTHER SWITCH, RECEPTACLE, AND OUTLET DEVICE VARIATIONS SHALL BE BY HUBBELL OF "SPEC. GRADE" QUALITY. EQUIVALENT DEVICES OF P & S OR LEVITON, WILL BE ACCEPTABLE IN LIEU OF THE ABOVE LISTED DEVICES. CONTRACTOR TO VERIFY COLOR OF DEVICES WITH ARCHITECT BEFORE PURCHASE. PROVIDE SMOOTH PLASTIC, BRUSHED STAINLESS STEEL OR BRUSHED ALUMINUM COVERPLATES TO MATE AND MATCH DEVICE FOR EACH OUTLET.

- B. DUPLEX RECEPTACLES SHALL BE HARVEY HUBBELL #2162W., 20A., 125V.; GROUND FAULT CIRCUIT INTERRUPT (GFCI) RECEPTACLES SHALL BE GF5352W., 20A., 125V.; ISOLATED GROUND RECEPTACLES SHALL BE IG2162 WITH MATCHING IGP-B PLATE, ORANGE IN COLOR AND INSCRIBED "ISOLATED GROUND". WALL SWITCHES SHALL BE HUBBELL #2121W AND #2123W FOR SINGLE POLE AND THREE WAY RESPECTIVELY. TELEPHONE JACKS SHALL BE HUBBELL #C140W. OTHER SWITCH, RECEPTACLE, AND OUTLET DEVICE VARIATIONS SHALL BE BY HUBBELL "STYLE LINE" ARCHITECTURAL GRADE QUALITY. EQUIVALENT DEVICES OF P & S OR LEVITON, WILL BE ACCEPTABLE IN LIEU OF THE ABOVE LISTED DEVICES. CONTRACTOR TO VERIFY COLOR OF DEVICES WITH ARCHITECT BEFORE PURCHASE. PROVIDE SMOOTH PLASTIC COVERPLATES TO MATE AND MATCH DEVICE FOR EACH OUTLET.

1.12 LIGHTING FIXTURES:

- A. THIS CONTRACTOR SHALL FURNISH AND INSTALL COMPLETE, UNLESS OTHERWISE SPECIFIED, A LIGHTING FIXTURE ON EACH AND EVERY LIGHTING OUTLET SHOWN ON THE DRAWINGS OF THE TYPE SCHEDULED BY LETTER AND DESCRIPTION. ALL FIXTURES SHALL BE EQUIPPED WITH THE BEST GRADE 130 VOLT INCANDESCENT LAMPS AND ENERGY SAVING COOL WHITE RAPID START FLUORESCENT LAMPS OF GENERAL ELECTRIC, OSRAM/SYLVANIA, OR PHILIPS. FIXTURES SHALL BE OF TYPES SCHEDULED, THE TYPE LETTERS REFERRING TO DESCRIPTION ON PLANS. ALL FLUORESCENT FIXTURES SHALL HAVE ENERGY EFFICIENT ADVANCE MARK III BALLASTS, 34 W., OR EQUAL.

OR

- A. THIS CONTRACTOR SHALL FURNISH AND INSTALL COMPLETE, UNLESS OTHERWISE SPECIFIED, A LIGHTING FIXTURE ON EACH AND EVERY LIGHTING OUTLET SHOWN ON THE DRAWINGS OF EACH TYPE SCHEDULED BY LETTER AND DESCRIPTION. ALL FIXTURES SHALL BE EQUIPPED WITH LAMPS AS SCHEDULED OR SPECIFIED HEREIN. ALL FIXTURES INSTALLED IN SUSPENDED CEILINGS MUST BE SECURELY FASTENED TO FRAMING MEMBERS PER NEC 410-16C AND LOCAL EARTHQUAKE CODE REQUIREMENTS.

- B. ALL FLUORESCENT LAMPS SHALL BE T-8, SP35, 32 WATT OCTRON. EQUIVALENT LAMPS SHALL BE EQUAL IN LUMEN OUTPUT AND COLOR QUALITY TO THOSE SPECIFIED. APPROVED MANUFACTURERS INCLUDE OSRAM/SYLVANIA, PHILLIPS AND GE. INCANDESCENT LAMPS SHALL BE TYPE AND WATTAGE AS SHOWN IN SCHEDULE AND SHALL BE RATED 130 VOLTS.

- C. FLUORESCENT BALLASTS SHALL BE MAGNETEK, TRIAD OR ADVANCE. BALLASTS SHALL BE SOLID-STATE ELECTRONIC WITH HIGH POWER FACTOR AND UL LISTED. ALL BALLASTS SHALL COMPLY WITH IEEE AND ANSI STANDARDS FOR SURGE SUPPRESSION AND HARMONIC DISTORTION. BALLASTS SHALL BE DESIGNED FOR VOLTAGE OPERATION AS SPECIFIED. BALLASTS SHALL BE CLASS P, NON-PCB, WITH CREST FACTOR NOT EXCEEDING 1.4 AND HARMONIC DISTORTION NOT EXCEEDING 15%. BALLAST FACTOR SHALL BE 1.0 UNLESS NOTED OTHERWISE.

1.13 FIRE ALARM (DEFERRED SUBMITTAL)

- A. THIS CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE, FULLY FUNCTIONAL, AND CODE COMPLIANT FIRE ALARM SYSTEM FOR THE BUILDING. THE FIRE ALARM SYSTEM SHALL BE AN EXTENSION OF THE EXISTING SYSTEM AND SHALL INCLUDE ADA COMPLIANT NOTIFICATION APPLIANCES, DOUBLE ACTION PULL STATIONS, ADDRESSABLE SMOKE DETECTORS, ADDRESSABLE FIRE SUPPRESSION SYSTEM RELAYS CONNECTED TO THE TAMPER AND FLOW SWITCHES, PROVISIONS FOR ELEVATOR RECALL, OUTPUT CONNECTIONS TO THE ELEVATORS CONTROL SHUNT TRIP BREAKER, A DIGITAL COMMUNICATOR, AND ANY OTHER INSTALLATIONS AND/OR EQUIPMENT AS REQUIRED FOR FUNCTIONAL SYSTEM. THE DEVICE LOCATIONS INDICATED ON THE PLANS ARE THE DESIRED LOCATIONS HOWEVER THE LOCATIONS MAY BE ADJUSTED AS NEEDED TO COMPLY WITH THE LOCALLY ENFORCED CODES. TO DEVICES AND INSTALLATIONS NOT INDICATED ON THE PLANS BUT ARE NEEDED FOR SYSTEM FUNCTIONALITY OR CODE COMPLIANCE SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID.

- B. THE CONTRACTOR SHALL MAKE SUBMISSIONS TO THE LOCAL AUTHORITIES THAT INCLUDES FLOOR PLAN LAYOUTS, RISER DIAGRAMS, BATTERY AND VOLTAGE DROP CALCULATIONS, AND ANY OTHER DOCUMENTATION AS REQUIRED FOR PERMITTING. THE FIRE ALARM DESIGN SHALL BE PERFORMED BY A NICET CERTIFIED DESIGNER.

END OF SECTION

FIRE PROTECTION (DEFERRED SUBMITTAL)

1.01 SCOPE:

- A. FIRE PROTECTION IS A DESIGN BUILD SCOPE. THE SYSTEM DESIGN AND INSTALLATION IS THE RESPONSIBILITY OF THE FIRE PROTECTION CONTRACTOR. CONTRACTOR SHALL SUBMIT DRAWINGS TO THE CITY AND ARCHITECT FOR REVIEW. COORDINATE LOCATION OF SPRINKLER HEADS WITH ALL OTHER CEILING ELEMENTS & TRADES, INCLUDING LIGHTING, MECHANICAL DEVICES, AUDIO & SECURITY DEVICES. REFERENCE ARCHITECTURAL DRAWINGS FOR COORDINATED REFLECTED CEILING PLAN FOR ALL TRADES & DISCIPLINES. DRAWINGS SHALL BE STAMPED BY A PROFESSIONAL ENGINEER IN THE STATE. THE NFPA REQUIREMENTS SHALL BE THE MINIMUM REQUIREMENTS FOR ANY CONFLICTING INFORMATION. A COMPLETE AND OPERATIONAL FIRE PROTECTION SYSTEM SHALL BE PROVIDED AS REQUIRED BY NFPA, THE OWNER'S INSURANCE COMPANY, ETC., SYSTEMS SHALL INCLUDE:

1. WET SPRINKLER SYSTEM -- NFPA 13.

- B. SYSTEM SHALL BE COMPLETE IN EVERY RESPECT. IT SHALL INCLUDE BUT NOT BE LIMITED TO PIPE AND HANGERS, SPRINKLER HEADS, HOSE CABINETS, VALVES, SIAMSE CONNECTIONS, INSPECTOR TESTS, ALARMS, SWITCHES, CONTROL PANELS, WIRING, ANNUNCIATORS, ETC. CONFORM TO THE REQUIREMENTS OF DIVISION 16 AND IRI, FM.

- C. CONTRACTOR SHALL VERIFY THE FIRE PROTECTION SERVICE PIPE SIZE, WATER PRESSURE AND CITY FLOW TEST DATA IS ADEQUATE. IF THE AVAILABLE FLOW AND PRESSURE IS NOT ADEQUATE TO PROVIDE THE REQUIRED COVERAGE NOTIFY ARCHITECT/ENGINEER IMMEDIATELY.

- D. CONTRACTOR SHALL READ AND BE FAMILIAR WITH THE REQUIREMENTS WITHIN ALL DRAWINGS AND SPECIFICATIONS. HE SHALL EXAMINE THE ENTIRE DRAWING SET TO BECOME INFORMED ON THE TYPE OF CONSTRUCTION, MATERIALS, EQUIPMENT, ETC. TO BE USED THROUGHOUT THE PROJECT AND HOW IT WILL AFFECT THE FIRE PROTECTION SYSTEM. BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE MADE SUCH AN EXAMINATION, ACCEPTED SUCH CONDITIONS AND MADE ALLOWANCES FOR ALL ASSOCIATED COSTS IN HIS PROPOSAL. FAILURE TO DETERMINE EXISTING CONDITIONS WILL NOT BE CONSIDERED A BASIS FOR THE GRANTING OF ADDITIONAL COMPENSATION.

1.02 PIPING, FITTINGS AND VALVES:

- A. FIRE PROTECTION, INTERIOR:

1. PIPE -- SCHEDULE 40, BLACK STEEL, MALLEABLE IRON THREADED, FLANGED OR WELDED FITTINGS OR ROLL OR CUT GROOVE, MECHANICAL JOINT.
2. VALVES -- GATE, UL AND FM APPROVED AS&Y, CRANE 459 OR 467; CHECK, UL AND FM APPROVED, CRANE 375.

herron + partners

herron + partners
p.o. box 414986
kansas city, missouri 64111

phone 816.832.4647
www.herronandpartners.com

STRUCTURAL ENGINEER

Structura Logica
18901 E 299th Street
harrisonville, missouri 64701

816.872.4883
www.bdc-engrs.com

MECHANICAL ENGINEER

BGR Engineers
8908 W 106th Street
Overland Park, Kansas 66212

phone 816.842.2800
www.bgrengineers.com

CODE CONSULTANT

Vorthmann Consulting, LLC
P.O. Box 3712
Eagle, Colorado 81631

phone 816.806.3729
www.fpc-consultants.com

CONTRACTOR

REVISIONS



05.17.2021 PRICING SET

SEAL



PROJECT

F.I.T. MUSCLE AND JOINT CLINIC
413 NW MURRAY ROAD
LEE'S SUMMIT, MO 64081

OWNER
F.I.T. MUSCLE & JOINT CLINIC, LLC 16.2111

SHEET TITLE

MECH/ELEC
SPECIFICATIONS

ME101

116.25.21