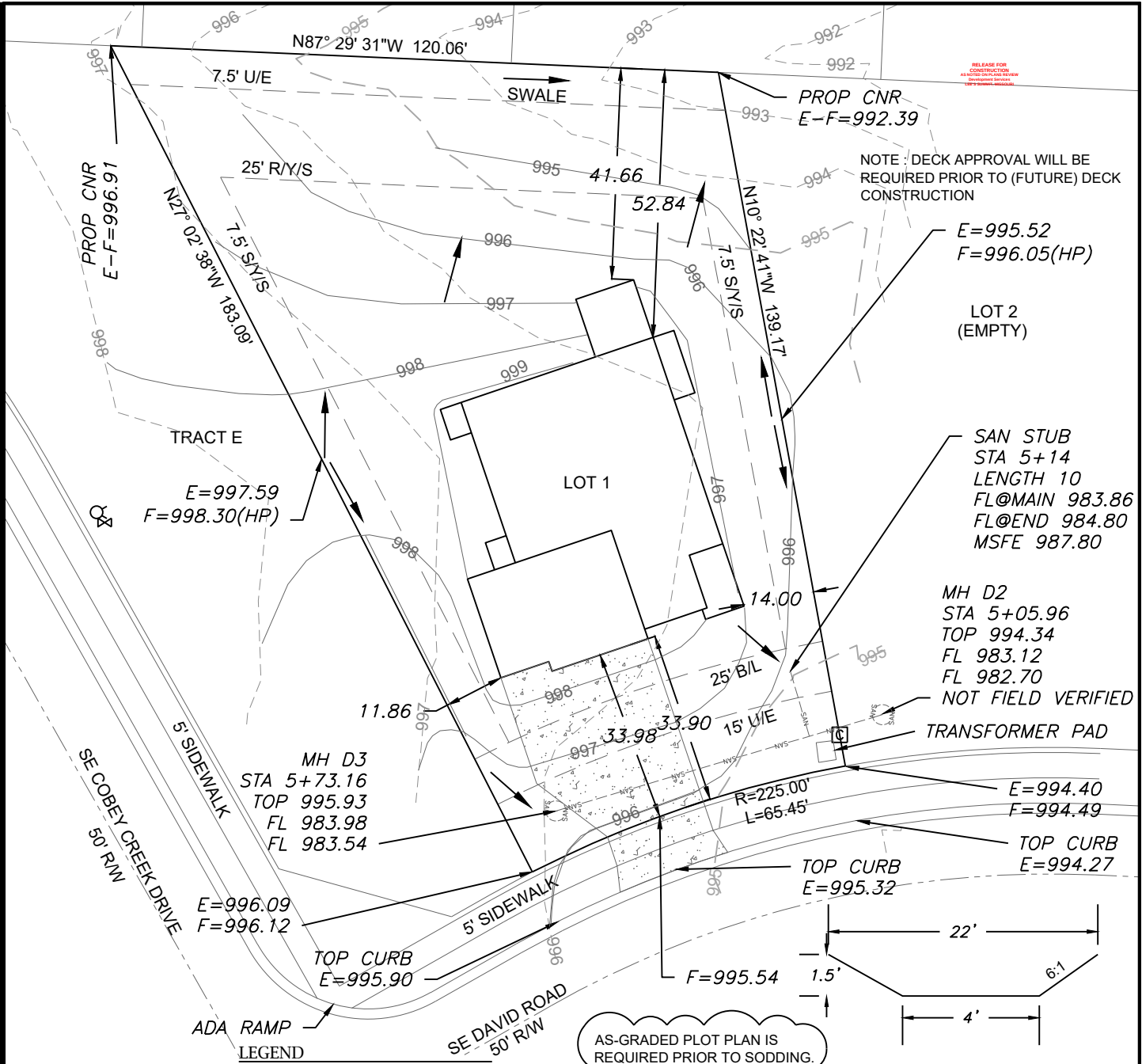




Scale 1"=30'

LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

PROPOSED HOUSE

TOP FOUNDATION = 1000.25
GARAGE FLOOR = 998.25
TOP FOOTING = 991.25
BASEMENT FLOOR = 991.58
DRIVE SLOPE = 8.0%

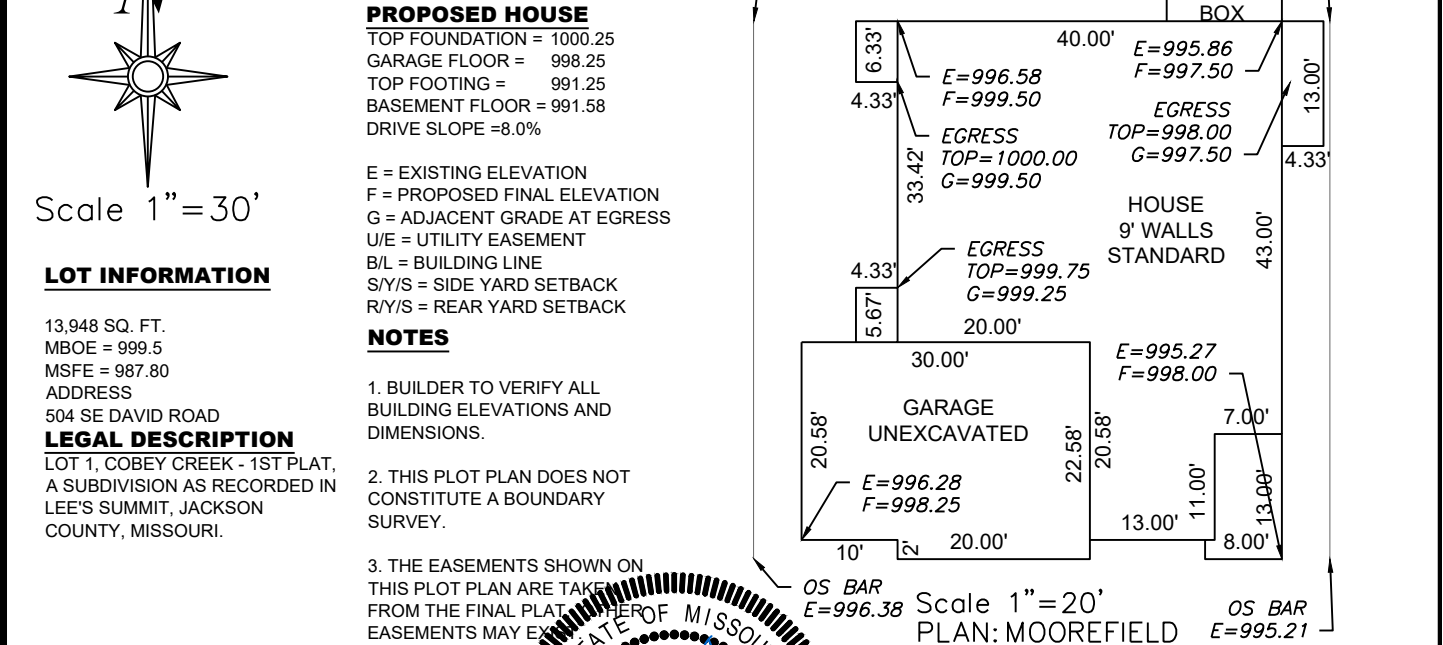
E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

- BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
- THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
- THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.

EXTENDED LOT AREA = 14650.6 SF
DRIVE AREA = 995.9 SF
APPROACH AREA = 229.3 SF
SIDEWALK AREA = 222.1 SF

REAR YARD SWALE DETAIL



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STATE OF MISSOURI

PROFESSIONAL ENGINEER

MATTHEW J. SCHLICK
NUMBER
PE-2006019708

PLOT PLAN - LOT 1

COBEY CREEK - 1ST PLAT

LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SUMMIT HOMES

120 SE 30TH STREET
LEE'S SUMMIT, MO 64082

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 1, COBEY CREEK	10/5/21	1	1

Rev: