

REMODELING NOTES:

MAINTAIN EXISTING EXITS, EXIT ACCESS AND PROVIDE APPROPRIATE FIRE PREVENTION PROCEDURES DURING CONSTRUCTION.

PROTECT EXISTING CONSTRUCTION FROM DAMAGE AND REPAIR DAMAGE DUE TO CONSTRUCTION OPERATIONS AT NO COST TO OWNER.

VERIFY LOCATIONS OF EXISTING UTILITY SERVICE CONNECTIONS AND MAKE ALL CONNECTIONS REQUIRED. LOCATIONS OF EXISTING UTILITIES INDICATED IN THE DRAWINGS ARE APPROXIMATE, ARE BASED ON INFORMATION PROVIDED. PROVIDE CONNECTIONS AS REQUIRED BY ACTUAL UTILITY CONNECTION POINTS AT NO ADDITIONAL COST TO THE OWNER.

PROVIDE ALL CUTTING AND PATCHING OF EXISTING CONSTRUCTION TO ACCOMMODATE NEW CONSTRUCTION WORK

ALIGN NEW FINISHES WITH EXISTING FINISHES EXCEPT AS OTHERWISE INDICATED.

PATCH ALL EXISTING WALL PENETRATIONS AND REFINISH TO MATCH ADJACENT SURFACES TYPICALLY.

PHASE CONSTRUCTION AT PARKING AREAS SO THAT ADEQUATE PARKING WILL BE AVAILABLE AT ALL TIMES.

REFER TO OTHER SHEETS IN THIS SET FOR ADDITIONAL DEMOLITION REQUIREMENTS, WHICH SHALL BE BY THE CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.

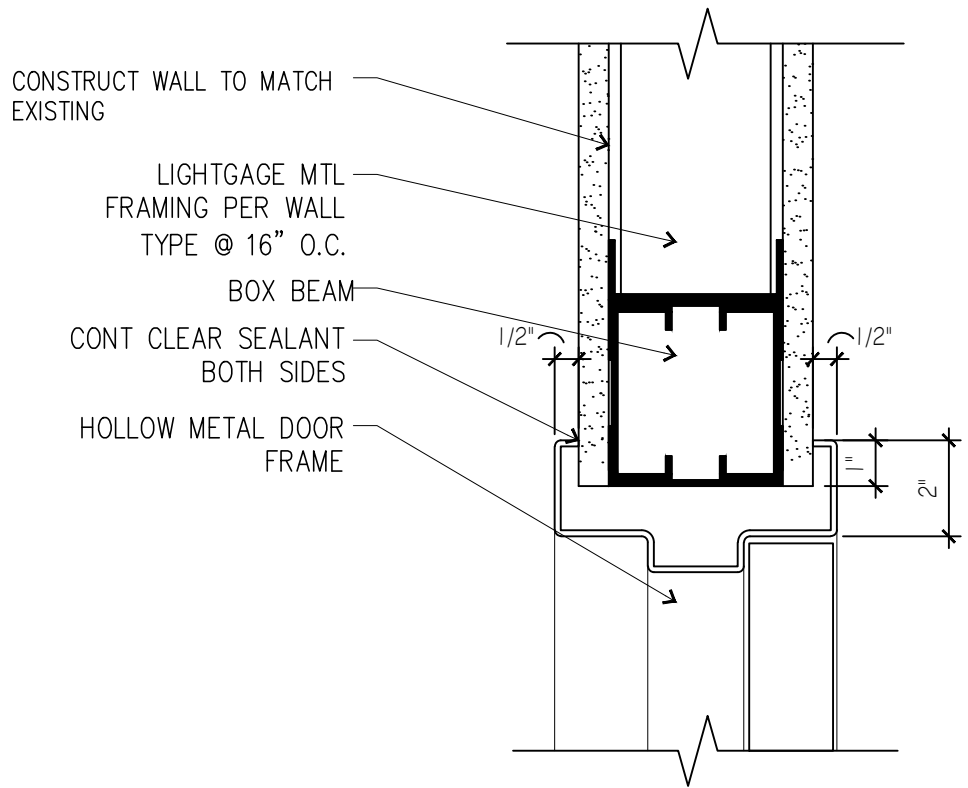
REMOVE UNUSED UTILITIES NOT REUSED, CAPPED BELOW FINAL FINISH SURFACES.

REMOVE ALL EXISTING ELEMENTS WHICH CONFLICT WITH THE NEW WORK, WHETHER OR NOT SHOWN ON THE DRAWINGS.

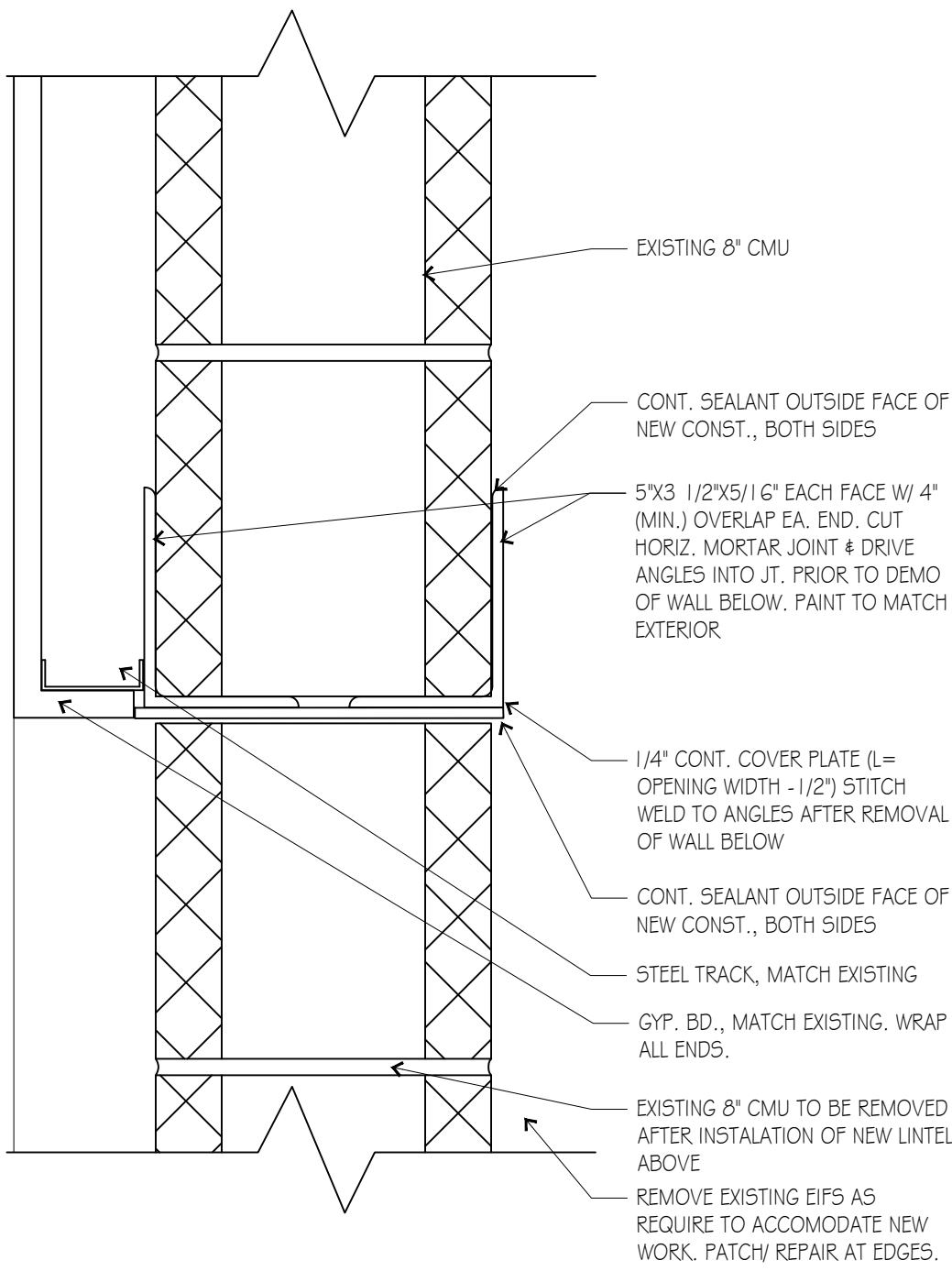
DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING BUILDING AND IS NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. VISIT SITE AND OTHERWISE BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK

WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES WITHIN WALLS AND PARTITIONS SHALL ALSO BE REMOVED. EDGES OF WALLS SHOWN TO REMAIN SHALL BE CLEANLY CUT TO ACCEPT NEW CONSTRUCTION. REPAIR AND PATCH EXISTING WALLS SHOWN TO REMAIN WHERE INTERSECTING WALLS, DOORS, FRAMES, ETC. ARE SHOWN TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.

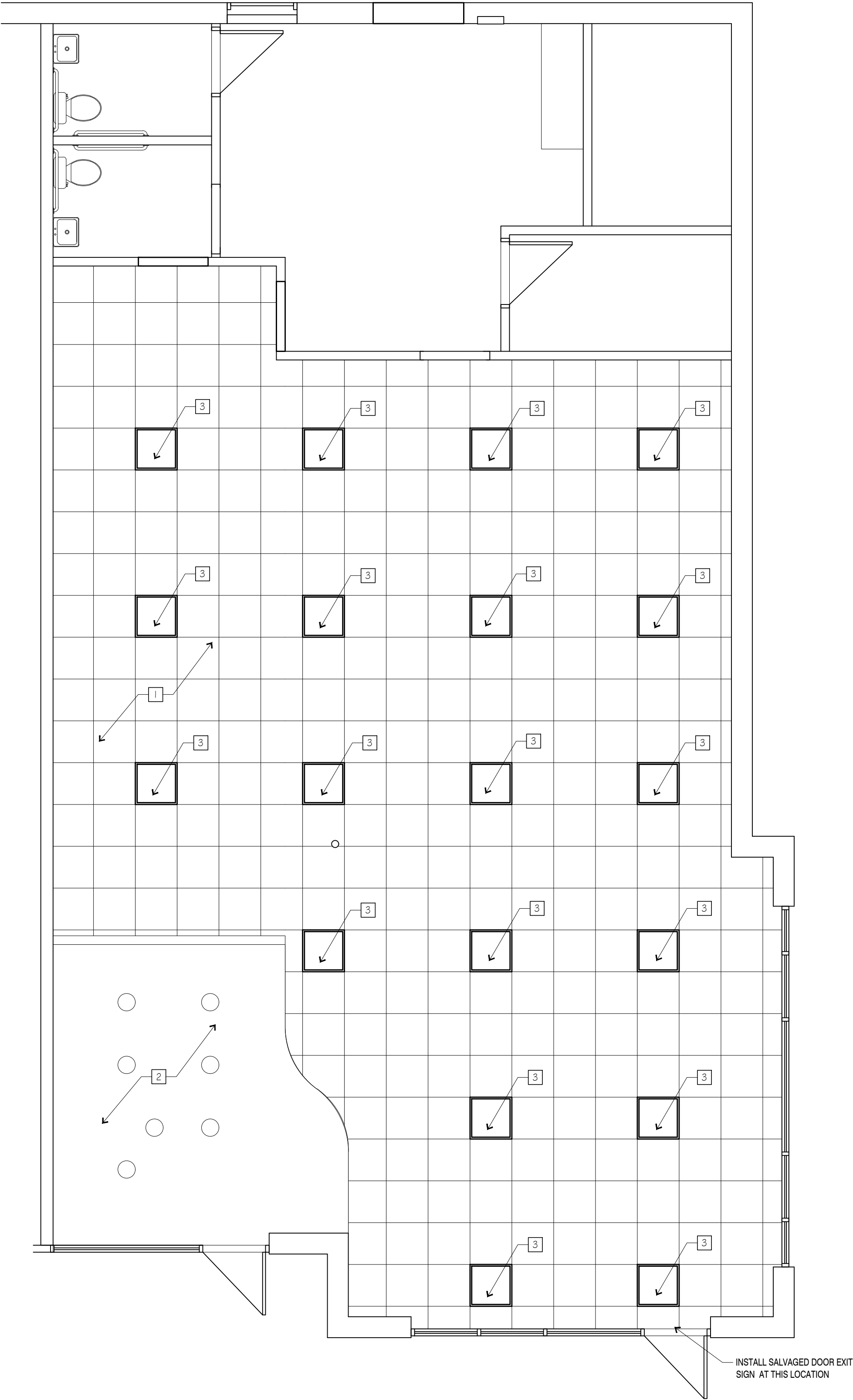
PROVIDE TEMPORARY WEATHER PROTECTION AND SECURITY DEVICES DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS OF EXISTING BUILDING



HEAD DETAIL 4
SCALE: 3"= 1'-0"



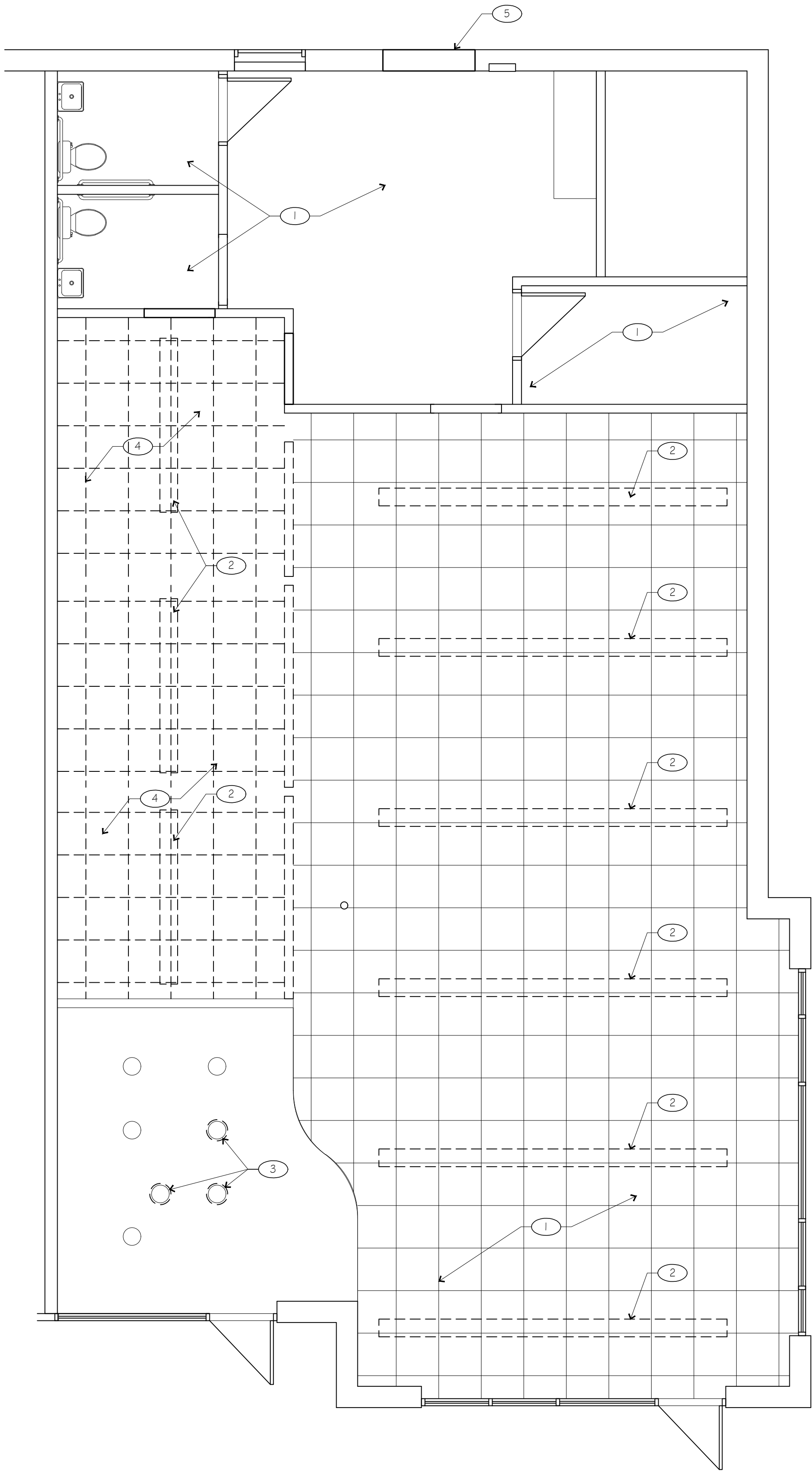
EXTERIOR HEAD DETAIL 3
SCALE: 3"= 1'-0"



- # RCP KEYNOTES
- 1 NEW/SALVAGED CEILING GRID AND TILES TO MATCH EXISTING
 - 2 PAINT EXISTING GYP SOFFIT
 - 3 INSTALL NEW 2X2 LED LIGHTS, TIED INTO EXISTING LIGHTS J-BOX. TYP VERIFY EXACT LOCATIONS WITH EXISTING CONDITIONS



RCP 2
SCALE: 3/8" = 1'-0"



- # DEMO RCP KEYNOTES
- 1 EXISTING TO REMAIN, REPLACE DAMAGED AND STAINED CEILING TILES TO MATCH EXISTING. INCLUDE REMOVAL AND REPLACEMENT OF 10% OF THE EXISTING TILES
 - 2 REMOVE EXISTING HANGING STRIP LIGHTS, SALVAGE POWER AND J-BOX FOR REUSE
 - 3 REMOVE COLORED TRIM RING AROUND CAN LIGHT
 - 4 REMOVE EXISTING CEILING TILE & GRID, SALVAGE FOR REUSE IF COST EFFECTIVE
 - 5 RE: DOOR SCHEDULE FOR NEW MASONRY SUPPORT WHERE DOOR IS ENLARGED, REMOVE EXISTING AS REQUIRED TO INSTALL NEW DOOR



DEMO RCP 1
SCALE: 3/8" = 1'-0"

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DATE SIGNED 11/05/2021
Project Number 21-113.02
ADA Compliance Certification
To best of my professional knowledge, the facility as indicated is in compliance with the Americans with Disabilities Act, including the current ADA Title III Design Guidelines.

David Eskov

PERMIT
NOVEMBER 05, 2021

Revisions

RETAIL STORE TENANT INFILL
RETURN TO NATURE
50 NE SYCAMORE ST
LEE'S SUMMIT, MO 64086

sheet
A1.1
REFLECTED CEILING PLANS