

Woodcrest - Hook Farms Lot 19

2030 SW Hook Farm Dr
Lee's Summit, MO 64082



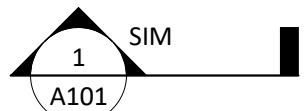
Sheet List

04 - Structure

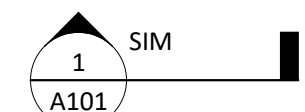
- S0 Foundation Plan
- S1 Framing Plan

05 - Architecture

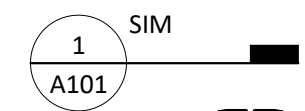
- A0 Floor Plan - Basement/Garage
- A1 Floor Plan - Living Space
- A3 RCPI/Electrical Plan - Basement/Garage
- A4 RCPI/Electrical Plan - Living Space
- A5.C Elevations
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- A7 Building Sections
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- A9 Details
- A10 Interior Options
- A11 Kitchen



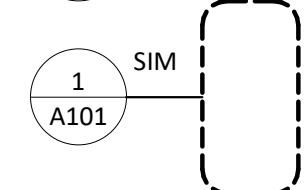
BUILDING SECTION



WALL SECTION



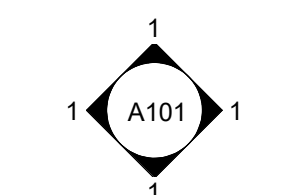
DETAIL SECTION



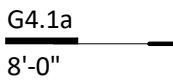
DETAIL REFERENCE



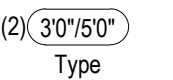
EXTERIOR ELEVATION TAG



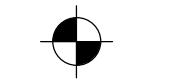
INTERIOR ELEVATION TAG



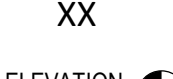
INTERIOR PARTITION TYPE SYMBOL



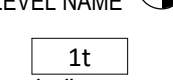
WINDOW TYPE SYMBOL



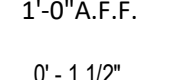
BENCHMARK/SPOT ELEV. SYMBOL



COLUMN LINE/GRID INDICATOR



FLOOR LEVEL SYMBOL



CEILING HEIGHT SYMBOL



DIMENSION



ALIGN TWO WALLS OR OBJECTS

2018 Interior Energy Cons. Code (Table N1102.1.2)	
Doors & Windows:	U-0.32 MAX
Glazing SHGF:	0.40
Skylights:	U-0.55 MAX
Roof:	
Attic Ceilings:	R-49 MIN
Vaults:	R-38 MIN
Vaults < 500sf:	R-30 MIN
Wood Frame Walls:	R-20 or R-13 + 5 MIN
Basement Walls:	R-13 or R-10 Continuous
Floor (over unconditioned):	R-19 MIN
Slab on Grade:	R-10 for 24" MIN
Ductwork:	R-8 MIN
Fuel Fired Furnace:	90% AFUE MIN
Electric Furnace:	No Minimum
Cooling System:	13 SEER MIN
Water Heater:	
Gas Fired Storage:	0.67 EF MIN
Gas Fired Instant:	0.62 EF MIN
Electric Storage:	0.97 EF MIN
Electric Instant:	0.93 EF MIN

An energy efficient certificate is required to be posted in or on the electrical panel before the final inspection. The certificate will be provided with all new residential permits. It is the permit holder/contractor's responsibility to ensure the certificate has accurate information and is posted before final inspection -- Owner/Contractor is responsible for meeting the prescriptive requirements of IRC chapter 11 unless a HER Index Analysis for Performance Compliance based on the plans is submitted to the AHJ for approval.

IRC 2018	
Ground Snow Load:	20PSF
Wind Speed:	115mph
Topography Effects:	No
Seismic Design Category:	A
Damage From Weather:	Severe
Frost Line Depth:	36 inches
Termite:	Moderate to Heavy
Winter Design Temperature:	6 F
Ice Barrier Underlayment:	Yes
Flood Hazard:	
Air Freezing Index:	927 or less
Mean Annual Temperature:	55.5 F

- Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 5 air changes per hour (at ACH50 standard R303.4).
- Carbon monoxide detectors required (R315)
- Steel columns shall be minimum schedule 40 (R507.2)
- Deck Ledger attachment to house shall be per Tables 507.9.1.3.
- New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11)
- Programmable thermostat required (N1103.1.1)
- Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
- Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
- Certain hot water pipes shall be insulated (N1103.4)
- All exhaust fans shall terminate to the building exterior (M1507.2)
- Makeup air system required for kitchen exhaust hoods that exceed 400 CFM M1503.4
- Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1, #7.5)
- An air handling system shall not serve both the living space and the garage (M1601.6)
- A concrete-Encased grounding electrode ("UFER" Ground) connection complies with the requirements of the 2018 IRC Section E3808.1.2 in providing a connection with no less than the required minimum of steel.
- Compliance with the requirements and show connection as needed for roof beam, trus, rafter, and girder connections for uplift per IRC 802.11
- Garage Door Rating: DASMA 115 MPH Rated

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Original Issue Date:		Permit Set
10/1/2021		
REVISIONS		
Number	Description	Date

Permit Set

PLAN DESCRIPTION: Woodcrest

00

Foundation Notes:

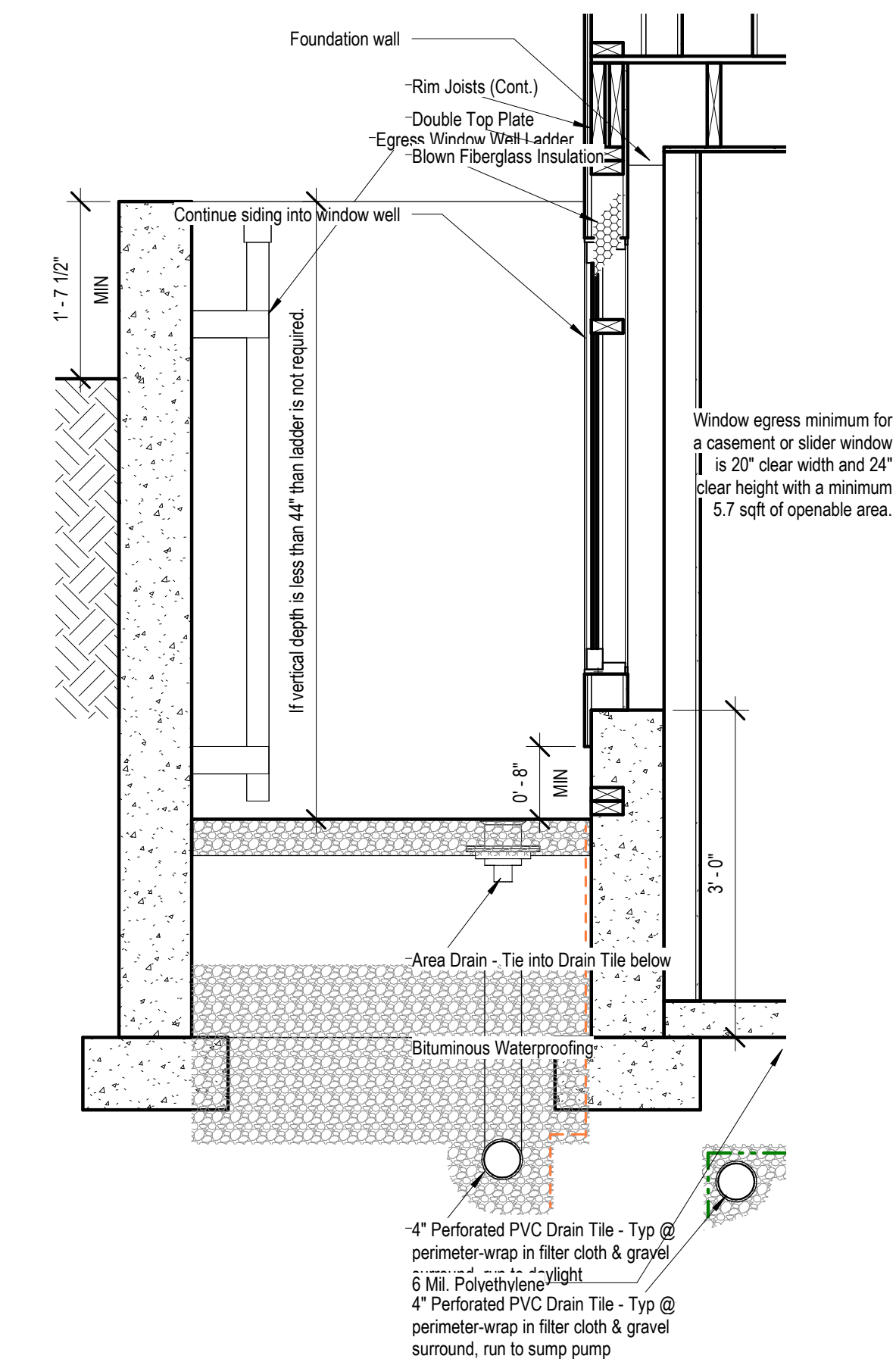
- FOOTINGS/FOUNDATION & CONCRETE NOTES
1. TO ADDRESS DIFFERENTIAL SETTLEMENT, ALL INTERIOR BEARING AND EXTERIOR FOOTINGS & PADS TO BE EXCAVATED & PLACED MIN. 18 INCHES INTO UNDISTURBED NATURAL SOIL.
 2. EXT. FOOTING TO BE PLACED MIN. 36 INCHES BELOW FIN. GRADE
 3. DESIGN IS BASED ON MIN. OF 2,000 PSI. CONCRETE STRENGTHS TO ACHIEVE THE FOLLOWING BASED UPON:
A. 3,500 PSI FOR FOOTINGS, FOUND. WALLS & VERT. SUPPORTS
B. 3,500 PSI FOR GARAGE FLOOR
C. CONG. EXPOSED TO WEATHER TO HAVE FN(+/-1%) AIR ENTRAINMENT
 4. CONG. EXPOSED TO WEATHER TO HAVE FN(+/-1%) AIR ENTRAINMENT
 5. PROVIDE #1 MINI CONG. SLAB REINF. W/ #4 @ 12" O.C. E.W. TOP REINF. OVER PRECASTS AS INDICATED (#4 X 1 FT @ 8" O.C. E.W.; PLACE OVER 6 ML VAPOR BARRIER)
 6. REINFORCE EXTERIOR FOOTINGS W/ #4 @ 24" E.W.; REINFORCE W/ (2) #4 CONT. AT BOTTOM
 7. PROVIDE #4 X 48" (L) @ 45-DEGREES @ REINTRANT CORNERS
 8. 12" (10") ASTM A572M ANCHOR BOLTS @ 48" O.C. @ EXT. WALLS
 9. ANCHOR PRESSURE TREATED PLATE @ INT. BEARING WALLS W/ 12" X 4-1/2" H/LT/1 WEDGE BOLTS @ 12" O.C. MAX. 12" FROM ENDS
 10. PROVIDE 24 LAPS MIN. INCLUDING CORNERS
 11. INSTALL HOLDOWN BOLT ANCHORAGE AS INDICATED ON PLAN
 12. PROVIDE BITUMINOUS DAMP-PROOFING AT FOUNDATION WALLS
 13. SOIL BEARING CAPACITY IS NOT ASSUMED TO BE GREATER THAN 2,000 PSF IN THE CURRENT FOUNDATION DESIGN. ALL COMPACTED FILL AREAS REQUIRE A SPECIAL INSPECTION
- STEEL COLUMNS & OTHER BASEMENT/FOUNDATION NOTES
1. ALL STEEL PIPE COLUMNS TO BE 3" (OR 3 1/2") SCHEDULE 40 GRADE
 2. INTER. BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB
 3. INTER. NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE
 4. AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 1-2 FEET BEYOND THE OVERBURD AREA WITH #4 BARS AT 24 INCHES O.C. PERPENDICULAR AND HORIZONTAL TO THE WALL. MAXIMUM 4-FOOT OVERBURD
 5. AT WALKOUTS THE FOUNDATION WALL SHALL BE ISOLATED WITH A MINIMUM R-6 INSULATION FOR A MIN. OF 3 FEET BELOW THE BOTTOM OF THE SLAB
 6. WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERALLY AT THE TOP BY SOLID BLOCKING FOR MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

Slab Schedule	
Type	Description
S4.1	4" MIN CONG. SLAB REINF. W/ #4'S E.W. @ 12" O.C. OVER COMPACTED FILL AND GRAVEL
S8.1	8" MIN CONG. SLAB REINF. W/ #4'S E.W. @ 12" O.C. OVER COMPACTED FILL AND GRAVEL

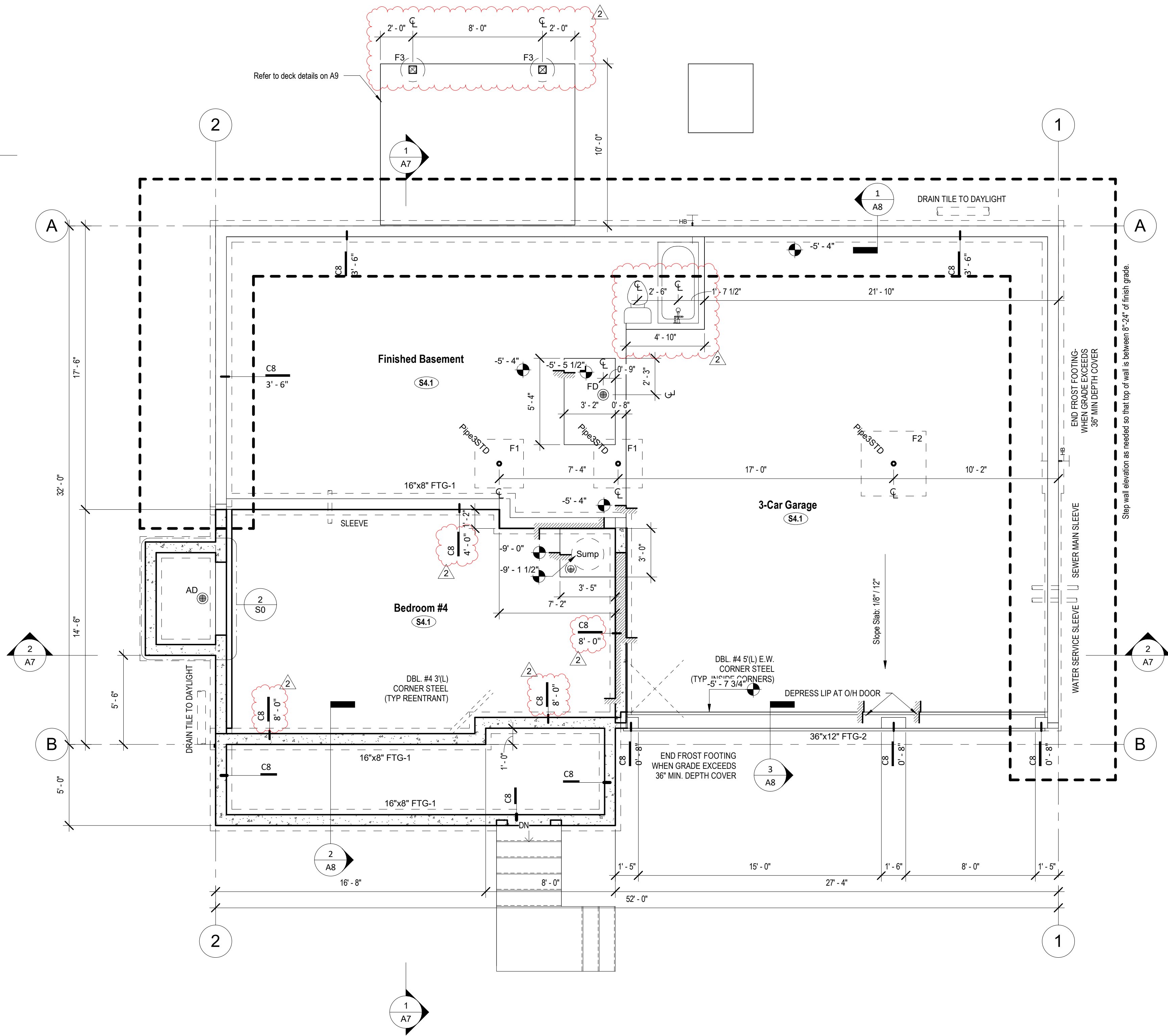
Structural Foundation Schedule					
Type	Width	Length	Depth	Reinforcing	Comments
Footing					
F1	3' - 0"	3' - 0"	1' - 0"	Reinf w/ (6) #4's, rebar count is each way, equal centers	
F2	4' - 0"	4' - 0"	1' - 4"	Reinf w/ (6) #4's, rebar count is each way, equal centers	
Wall Foundation					
FTG-1	1' - 4"	<varies>	0' - 8"	Reinf w/ (2) #4 eq. spaced. Dowel into wall w/ (1) #4 turned up @ 12" o.c.	Center footing w/ wall above.
FTG-2	1' - 0"	<varies>	3' - 0"	FROST FOOTING - Reinf. w/ (2) bottom, center and top #4 vert. T/B wrapped in #4 stirrup @ 48" o.c.	Use when grade is not 36" above the bottom of footing.

Foundation Wall Schedule			
Type	Width	Reinforcing	Comments
C8	0' - 8"	Reinf. w/ #4 vert. @ 12" oc./ (3) #4 hor. equally spaced.	

2 Detail - Window Well
3/4" = 1'-0"



3 Section Detail - Window Well
3/4" = 1'-0"

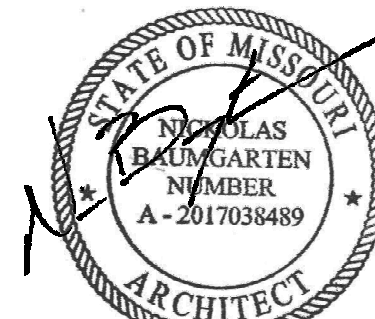


1 Foundation Plan
1/4" = 1'-0"

Architect:
Elevate Design + Build
350 SW Longview Blvd
Lees Summit, MO 64081
816.622.8826 voice

2030 SW Hook Farm Dr
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Nicholas Baumgarten Date: 10/1/2021
Architect License No. A-2017038489

Original Issue Date: 10/1/2021
Permit Set

REVISIONS

Number	DESCRIPTION	DATE
2	Revision 2	11/2/2021

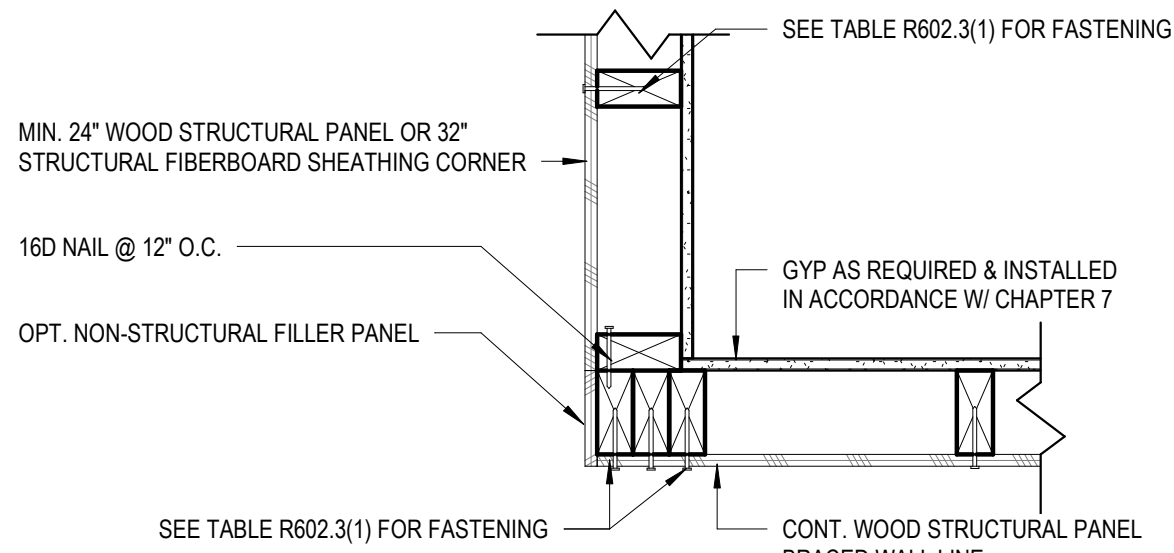
Foundation Plan

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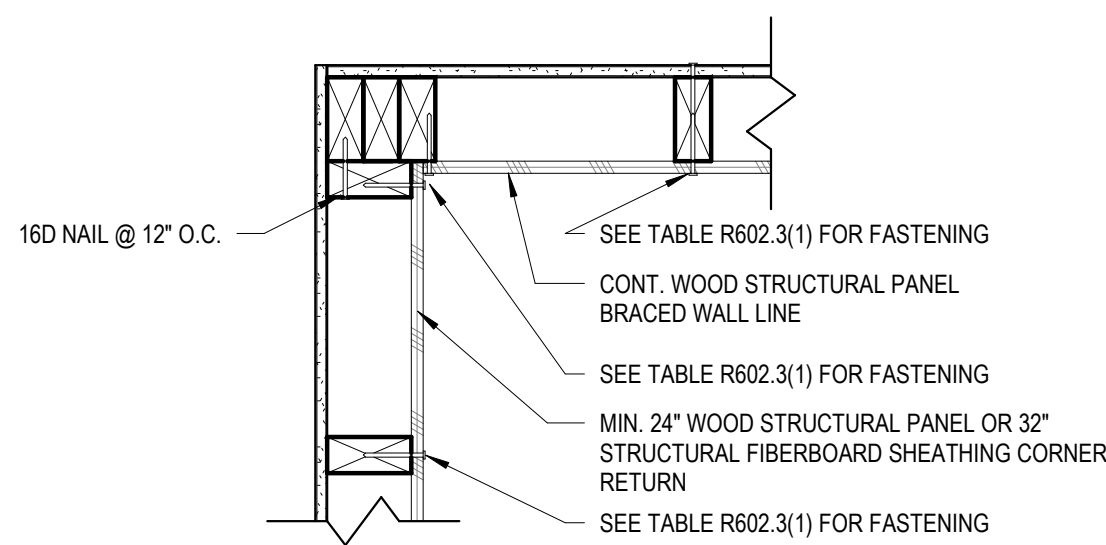
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BRACED WALL LINE SCHEDULE			
WALL LINE	TOTAL LENGTH	REQ'D LENGTH	PROVIDED LENGTH
MAIN FLOOR			
A	52'	6.13'	11.00'
B	52'	7.25'	13.00'
1	32'	4.57'	12.00'
2	32'	4.97'	10.00'

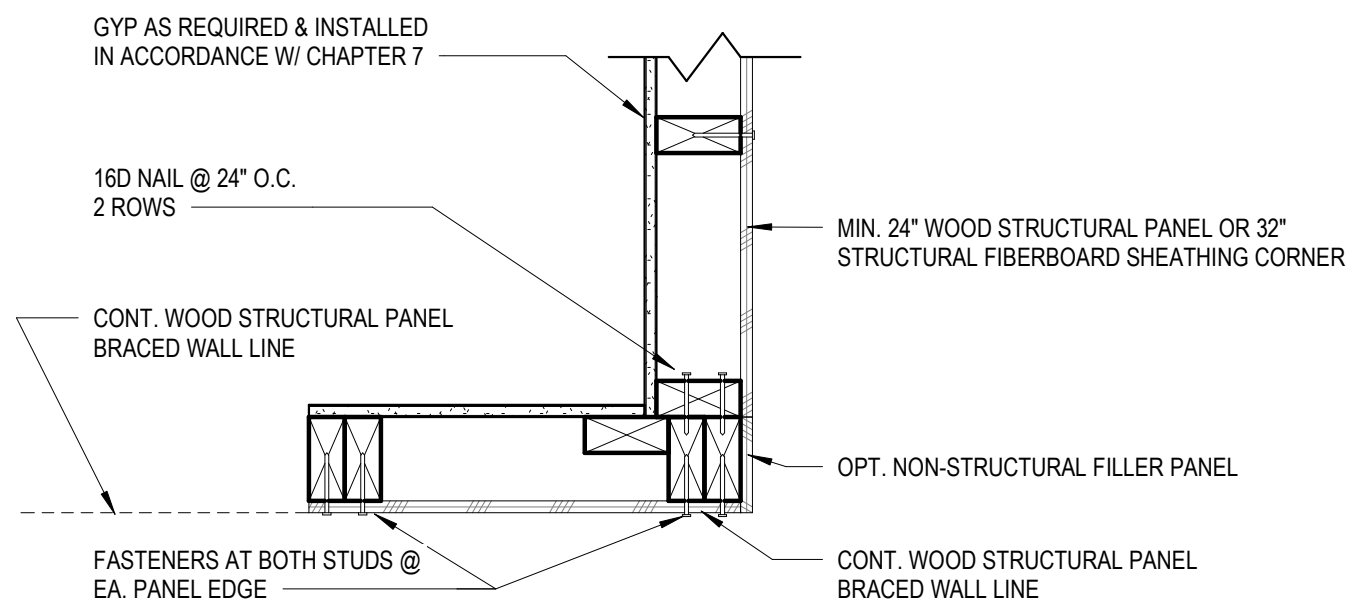
- CS-WSP PANELS: DISTANCE FROM END OF BRACED WALL LINE TO FIRST BRACED WALL PANEL CANNOT EXCEED A COMBINED TOTAL OF 10' PER R602.10.2.2
- WOOD STRUCTURAL PANELS: MIN. 48" AND COVER 3 STUDS FROM FRAMING AT 16" O.C. OR 2 STUDS FOR 24" O.C.
- CS-WSP PANELS: MIN. 2' PANELS AT BOTH CORNERS WITHOUT USING HOLD DOWNS PER R602.10.4.4 AND MAX. 12'-6" FROM CORNER
- CS-WSP PANELS: MIN PANELS LENGTH ADJACENT TO AN OPENING FOR 9' PLATE = 27" PER R602.10.4.2



OUTSIDE CORNER DETAIL



INSIDE CORNER DETAIL



GARAGE DOOR CORNER DETAIL

- ④ CS-WSP Corner Framing Details
1 1/2" = 1'-0"

FASTEN SHEATHING TO HEADER
W/ 8d COMMON IN 3' GRID
PATTERN AS SHOWN & 3" O.C.
IN FRAMING AS SHOWN (SUDS
& SILLS) TYP.

FOR PANEL SPLICE, PANEL
EDGES SHALL BE BLOCKED &
OCCUR WITHIN 24" OF MID-
HEIGHT, ONE ROW OF TYP.
SHEATHING TO FRAMING HAILING
IS REQ'D. IN EACH PANEL

MIN. (2) 2x4 POSTS

CONC. FOUNDATION OR SOG LINE
MIN 2.5"x3/16" PLATE WASHER
ANCHOR BOLT PER R403.1.6

MIN 3" x 11.25" NET HEADER-
HEADER SHALL OCCUR AT TOP OF WALL
2' TO 18" (FINISHED WIDTH)

HEADER SHALL BE FASTENED TO
THE KING STUDS WITH 6-18d
SINKER NAILS

MIN. 1,000 LB HEADER-TO-JACK
STRAP BOTH SIDES OF OPENING
PER TABLE R602.10.4.1.1
LSTA-24 STRAPS
INSTALL ON BACKSIDE

MIN. (2) 2 x 4 POSTS

7/16" MIN. OSB SHEATHING
NO. OF JACK STUDS PER
TABLE R602.5 (1&2)

BRACED WALL SEGMENT PER
R602.10.4

TOP PLATE CONTINUITY IS REQUIRED
PER SECTION R60.2.3.2

SIDE ELEV.

SHEATHING FILLER
IF NEEDED

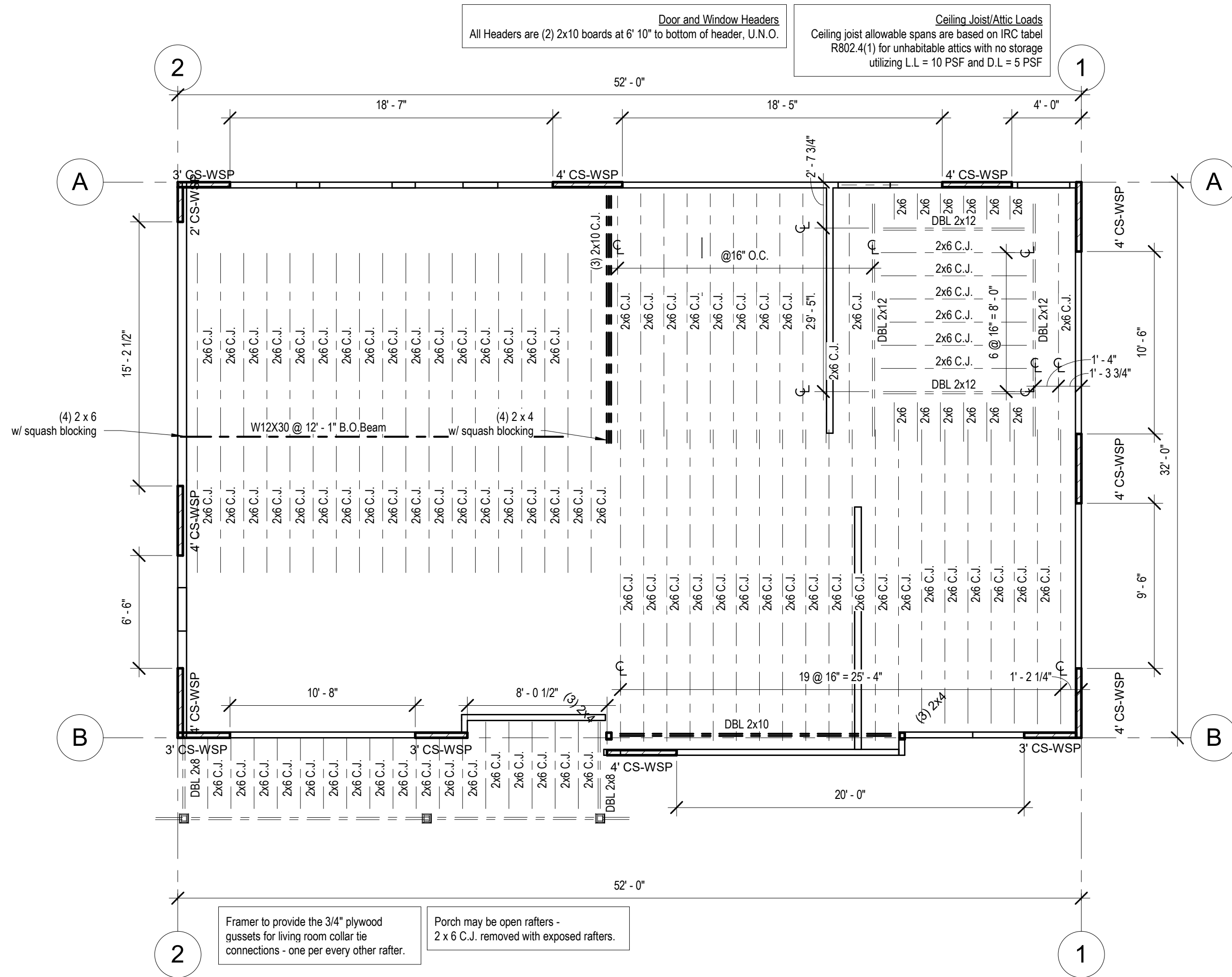
16d SINKER NAILS IN
2 ROWS @ 3" O.C.

1000 LB HEADER-TO-JACK
STRAP ON BOTH SIDES
OF OPENING

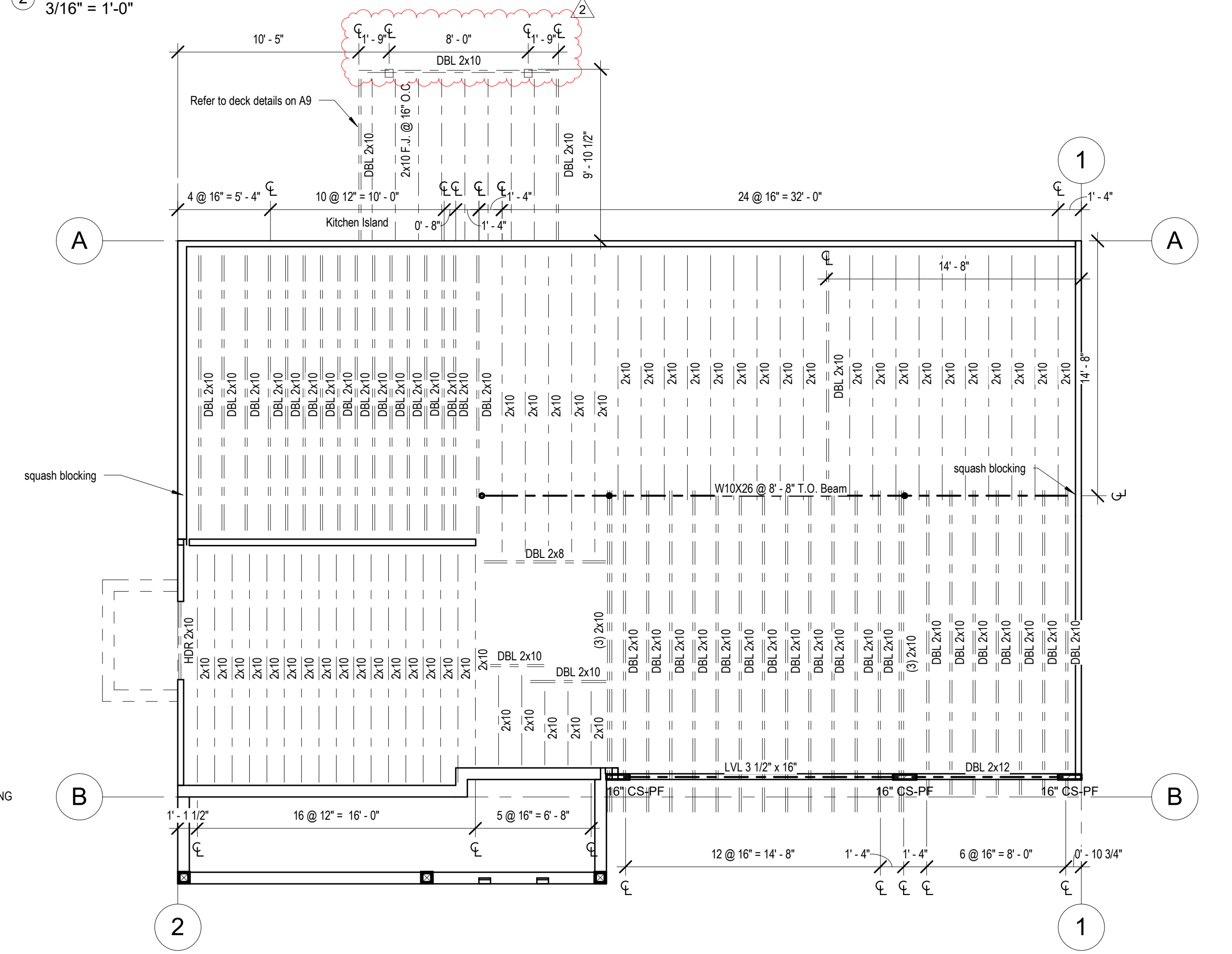
7/16" MIN. THICKNESS WOOD
STRUCTURAL PANEL SHEATHING

- ③ PORTAL FRAME METHOD CS-PF
1/2" = 1'-0"

- ① First Floor Framing
3/16" = 1'-0"



- ② Ceiling Framing
3/16" = 1'-0"



Framing Notes:

- EXTERIOR WALL FRAMING
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL
 - SILL PLATES SHALL BE EXTENDED MIN. 6-INCHES ABOVE GRADE
 - ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16-4 NAILS (MIN)
 - ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILING SCHEDULE SHALL BE 8d COMMON @ 6" O.C. ALONG EDGES & 8d COMMONS @ 12" O.C. @ INTERMEDIATE STUDS
- ROOF FRAMING
- ALL ROOF EAVES/OVERHANGS TO BE 16" - UNO
 - ALL JOISTS & RAFTERS TO BE ALIGNED OVER SUDS
 - ROOF SHEATHING SHALL BE 7/16" OSB NAILED W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ GALV. SPACER CLIPS ALONG ALL EDGES - SECURE SHEATHING W/ 8d COMMON NAILS TO RAFTERS AT 4" O.C. ALL EDGES
- WOOD FRAMING, FLOORS AND ROOF NOTES
- EXT. WALL FRAMING TO BE 2 x 4 (SYP OR DFL STUD GRADE 2 OR BETTER) @ 16" O.C.
 - ROOF SHEATHING TO BE 7/16" OSB NAILED W/ 8d @ 6" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNSUPPORTED PANEL EDGES
 - SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ 8d @ 6" O.C.
 - HEADERS PROVIDE (2) 2 x 4 (SYP OR DFL 2 OR BETTER) UNO; CONSTRUCT HEADERS W/ 2 x 4 7/16" OSB BETWEEN W/ (2) ROWS OF 16d @ 16" O.C.
 - BLOCKING MIN. 1.5 INCHES UTILITY GRADE LUMBER JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOCKING NOT < 2-INCHES
 - 1 x 4 F.J., C.J. & RAFTERS TO BE SYP OR DFL GRADE #2 OR BETTER
 - EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF/CEILING DIAPHRAGM PER IRC 602.3
 - STUDS, RAFTERS, JOISTS, MIS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.

architect:
Elevate Design + Build
350 SW Longview Blvd
Lees Summit, MO 64081
816.622.8826 voice

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Nicholas Baumgarten Date: 10/1/2021
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Original Issue Date: Permit Set 10/1/2021

REVISIONS

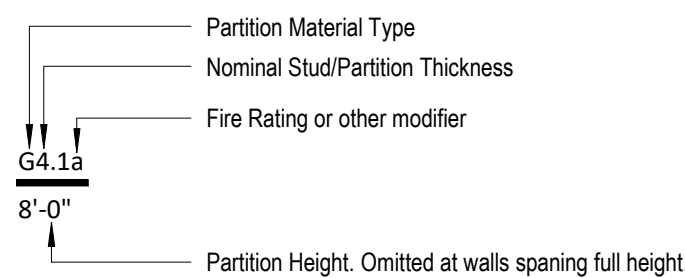
Number DESCRIPTION DATE
2 Revision 2 11/2/2021

Framing Plan

General Notes:

- DOORS AND WINDOWS
1. ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS <24" AND WITHIN DOORS, ABOVE BALUSTES TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE W/ SECTION 308 OF THE IRC.
 2. SHOWER DOORS SHALL HAVE SAFETY GLAZING, HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES
1. GARAGE SEPARATION WALL TO BE 1-HR CONST. W/ MIN. 5/8" TYPE X GWS, EXTEND TO BOTTOM OF ROOF. DOOR TO BE 20-MIN RATED, 1-3/8" U.C. & EQUIPPED W/ CLOSURE & LATCH.
 2. 15 & 20 AMP RECEPTACLES SHALL HAVE GFCI PROTECTION.
 3. TYPE-X 5/8" GB REQUIRED ON GARAGE CEILING BELOW LIVING AREAS.
- LIGHT AND VENTILATION
1. PROVIDE STAIRWAY ILLUMINATION PER R303.7.9
 2. GABLE VENT & WINDOW VENTS TO PROVIDE A MIN. OF 10 S.F. NET-FREE OF ATTIC VENTILATION.
 3. FURNACES ENCLOSED IN A ROOM LESS THAN 180 S.F. SHALL BE PROVIDED A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED/ CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR
 4. VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3
 5. PROVIDE MIN. 16" x 10" SCFFIT VENTS ALONG EAVE SPACED EVENLY W/ NO MORE THAN 8'-0" O.C.
- GYPSONUM BOARD
1. GWB APPLIED TO CEILINGS SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD
- MECHANICAL SYSTEMS
1. FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS IN PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE.
 2. PROVIDE MIN. 78% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED.
 3. PROVIDE MIN. 13 SEER FOR AIR CONDITIONING EQUIPMENT
 4. SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8
- ELECTRICAL SYSTEMS
1. PROVIDE USER GROUND ENCASED IN CONCRETE FOOTING
 2. ALL ELECTRICAL CONDUCTORS SHALL BE COPPER
 3. RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
 - a. BEDROOM, KITCHEN (W/IN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS
 - b. ALL BRANCH CIRCUITS THAT SUPPLY 120-V, SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
 - a. BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, A S.M. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT
 - b. EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:
 - RECEPTACLES LOCATED MORE THAN 5.5 FEET AFF.
 - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCES ARE NOT EASILY MOVED. APPLIANCES TO BE CORD-N-PLUG CONNECTED TO RECEPT.
 5. UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS
- EROSION CONTROL
1. EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE, RE-INSPECTION FEE & STOP-WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
 - A. SILT FENCE OR STRAW WATTLE AROUND ALL DISTURBED SOIL, SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS
 - B. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE
 - C. STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROOM CLEAN CONDITION AT ALL TIMES
 2. FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER
 3. JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" CWB
 4. UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED OH FLOORCEILING MIN R-19
 5. ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-4 INSULATED OR ENCLOSED INSIDE A FLOORCEILING
- PHYSICAL SECURITY ORDINANCE
1. OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION

Interior Partition Naming Convention



architect:
Elevate Design + Build
350 SW Longview Blvd
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REVISIONS

Number	DESCRIPTION	DATE
1	Revision 1	10/27/2021
2	Revision 2	11/2/2021

Floor Plan - Living Space



A1

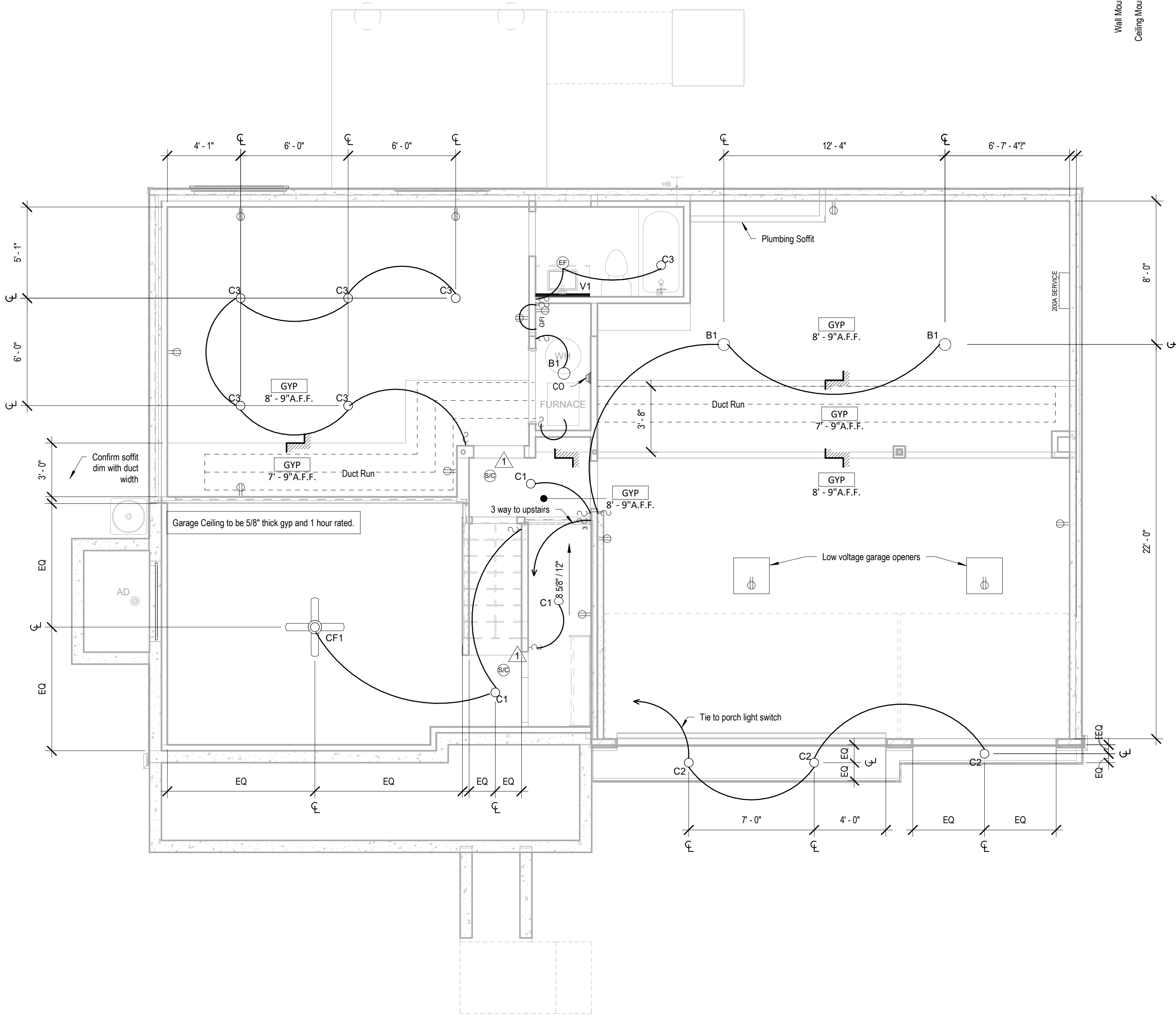
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Lighting Fixture Schedule		
Type Mark	Description	Type Comments
B1	Ceiling Mounted Exposed Bulb	
C1	Recessed Can Light - Interior	
C2	Recessed Can Light - Exterior	
C3	LED Disk Light	
CF1	Ceiling Fan w/ Light - Surface Mounted	
CF2	Ceiling Fan w/ Light - Down Rod	Mount with 2'-0" Down Rod
P1	Decorative Pendant Fixture	Mount bottom of fixture 72" AFF
P2	Decorative Pendant Fixture	Mount bottom of fixture 72" AFF
S1	Wall Sconce - Exterior	
S2	Wall Sconce - Interior - Specialty	
V1	Vanity Wall Mounted	

Note:
1. Lighting fixtures penetrating the thermal envelope (Ex: can lights in attic) shall be IC-Rated, Leakage-Rated and sealed to teh gypsum wallboard (N1103.1.1)

Legend - RCP
CO - Carbon Monoxide Detector
S - Smoke Detector
S/C - Smoke Detector/CO Detector

Wall Mounted 
Ceiling Mounted 

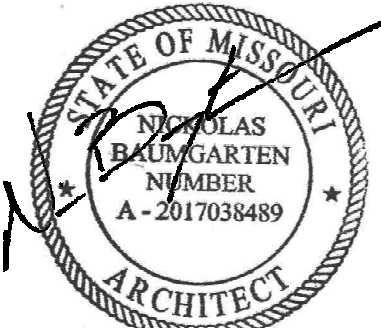


1 RCP/Electrical Plan - Basement/Garage
1/4" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lees Summit, MO 64081
816.622.8826 voice

2030 SW Hook Farm Dr
Lee's Summit, MO 64082

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REVISIONS



Number	DESCRIPTION	DATE
1	Revision 1	10/27/2021

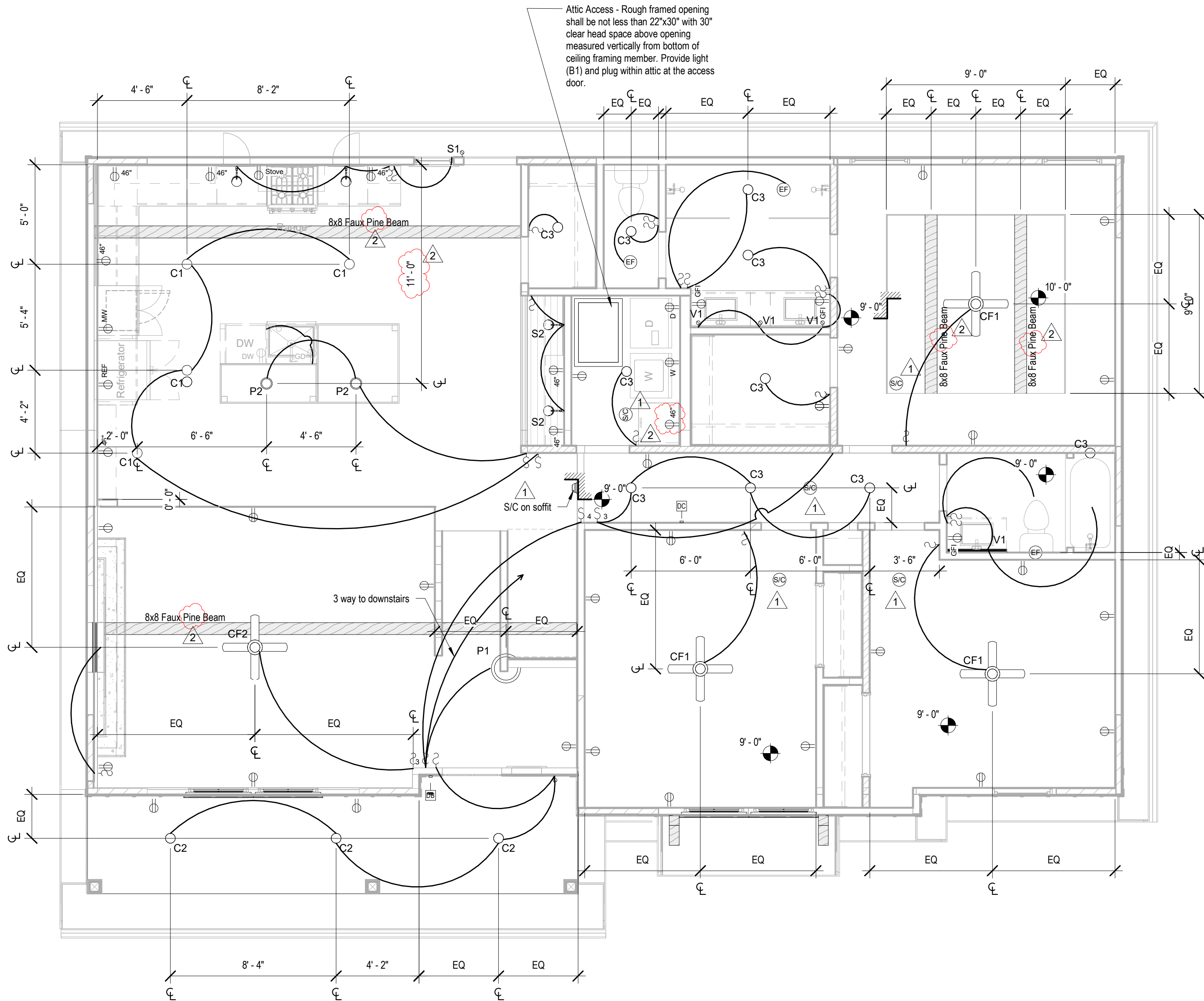
RCP/Electrical Plan -
Basement/Garage

A3

Lighting Fixture Schedule		
Type Mark	Description	Type Comments
B1	Ceiling Mounted Exposed Bulb	
C1	Recessed Can Light - Interior	
C2	Recessed Can Light - Exterior	
C3	LED Disk Light	
CF1	Ceiling Fan w/ Light - Surface Mounted	
CF2	Ceiling Fan w/ Light - Down Rod	Mount with 2'-0" Down Rod
P1	Decorative Pendant Fixture	Mount bottom of fixture 72" AFF
P2	Decorative Pendant Fixture	Mount bottom of fixture 72" AFF
S1	Wall Sconce - Exterior	
S2	Wall Sconce - Interior - Specialty	
V1	Vanity Wall Mounted	

Legend - RCP
CO - Carbon Monoxide Detector
S - Smoke Detector
S/C - Smoke Detector/CO Detector

Wall Mounted 
Ceiling Mounted 

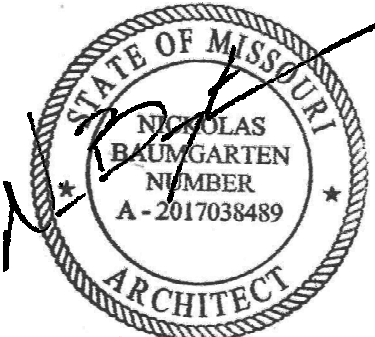


1 RCP/Electrical Plan - Living Space
1/4" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lees Summit, MO 64081
816.622.8826 voice

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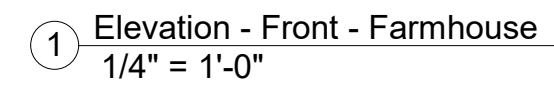
Original Issue Date: 10/1/2021
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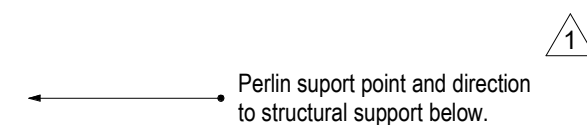
Number	DESCRIPTION	DATE
1	Revision 1	10/27/2021
2	Revision 2	11/2/2021

RCP/Electrical Plan - Living Space

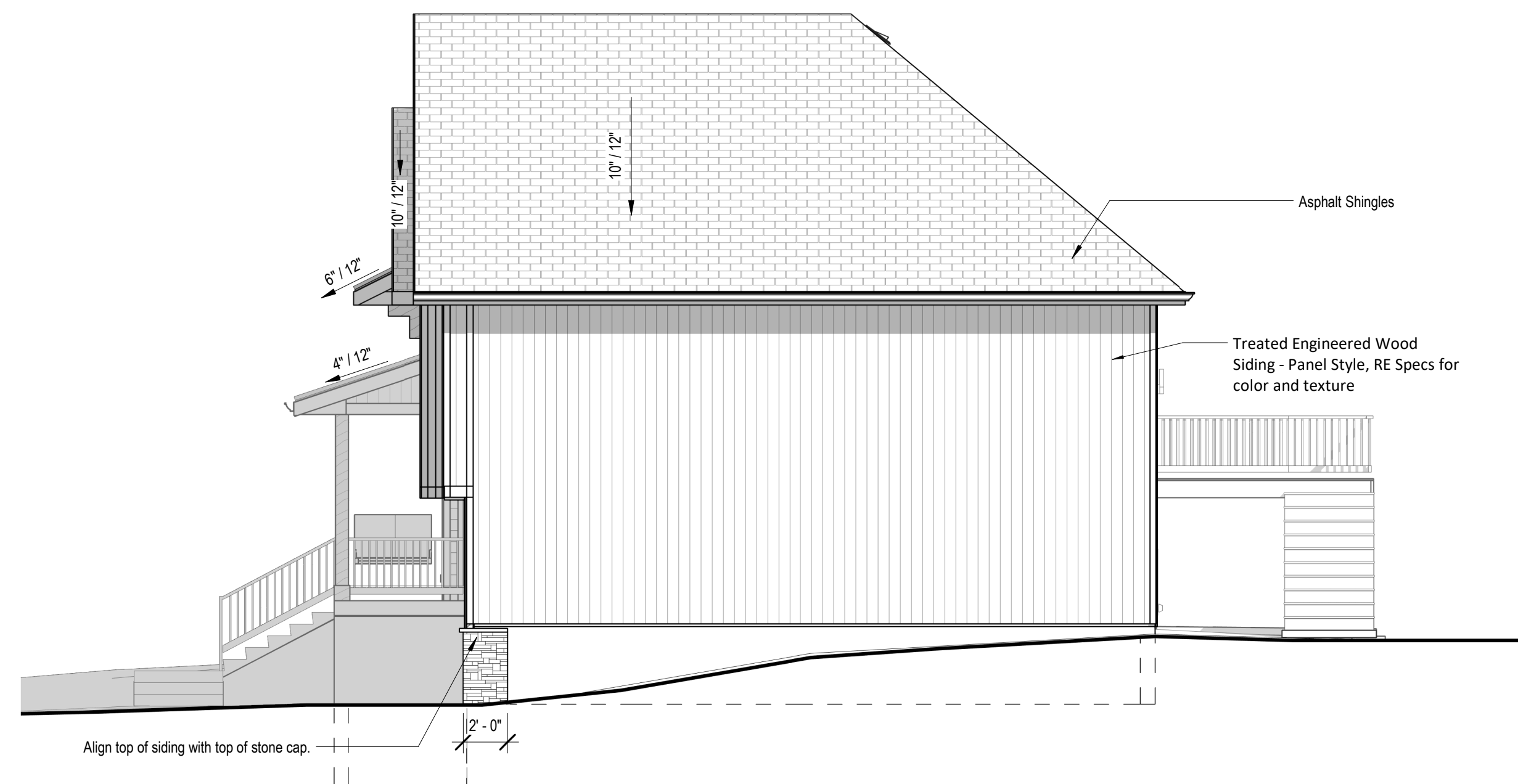
A4



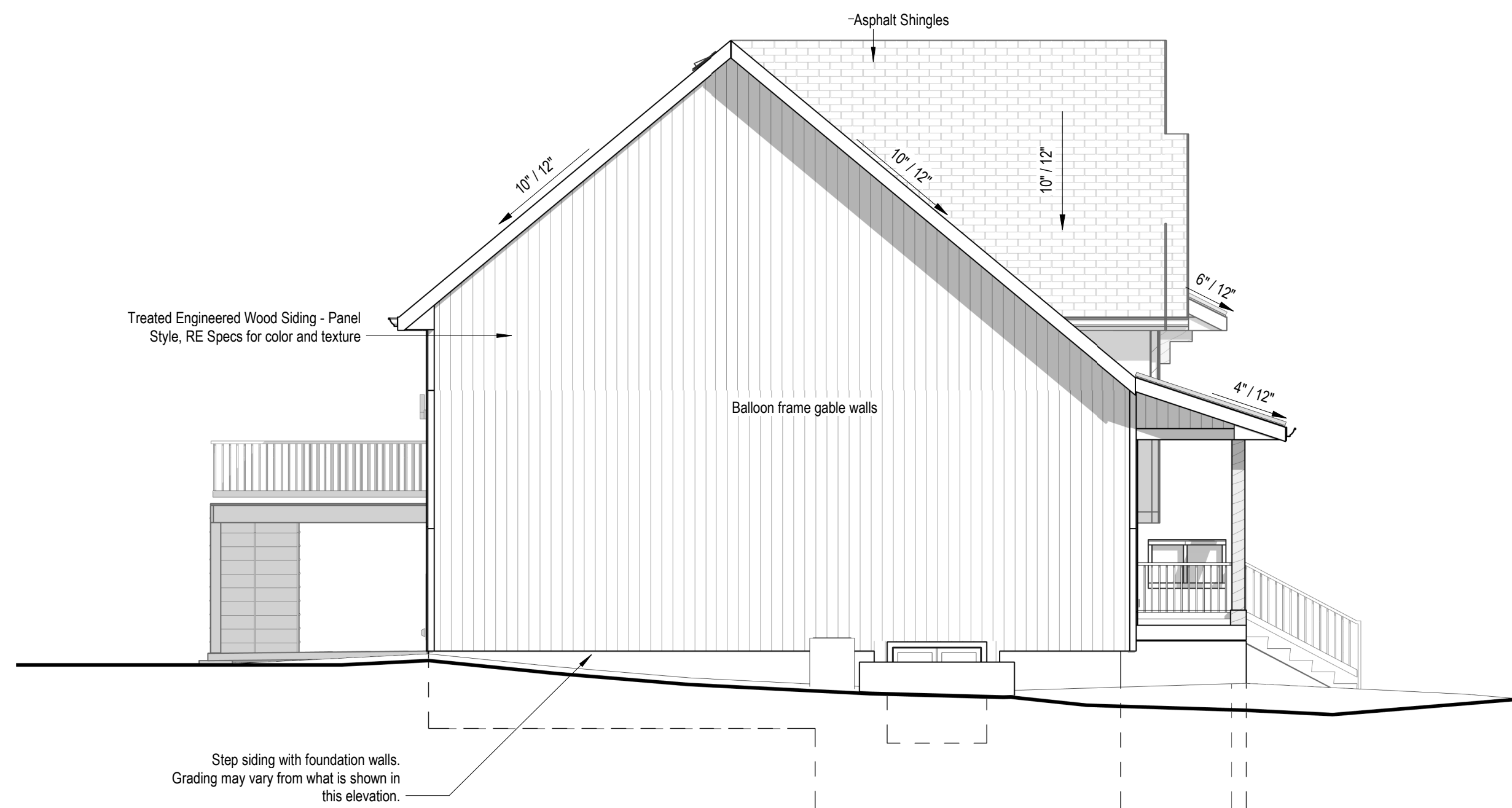
Project No.
HF 015



③ Elevation - Back
 $3/16" = 1'-0"$



① Elevation - Right
3/16" = 1'-0"



Number	DESCRIPTION	DATE
1	Revision 1	10/27/2021

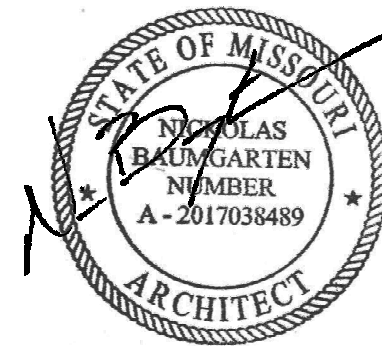
A6.C

Woodcrest - Hook Farms Lot 19

architect:
Elevate Design + Build
350 SW Longview Blvd
Lees Summit, MO 64081
816.622.8826 voice

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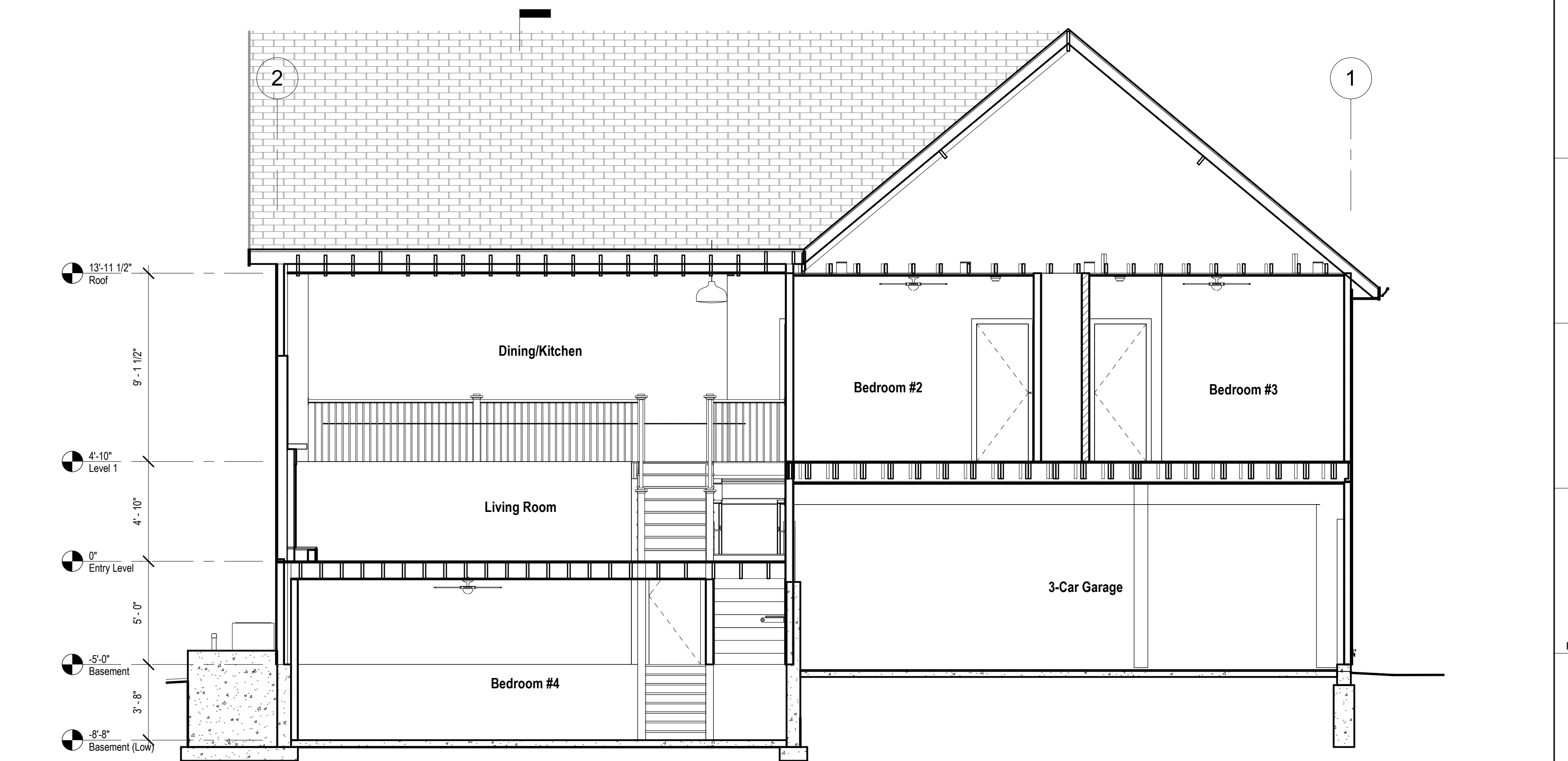
Original Issue Date: 10/1/2021
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REVISIONS		
Number	DESCRIPTION	DATE
2	Revision 2	11/2/2021

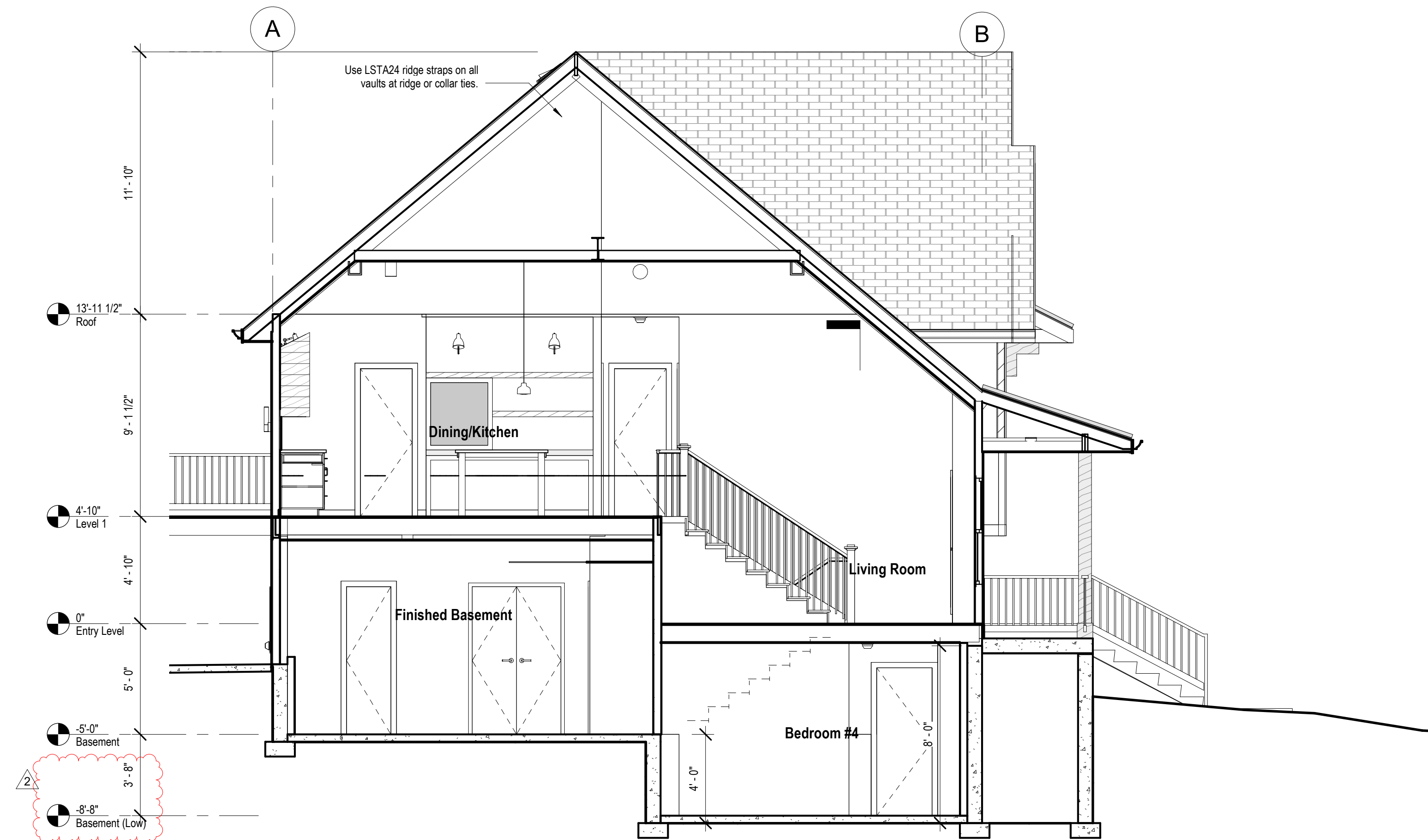
Building Sections

A7

Project No. HF 015



② Building Section
1/4" = 1'-0"



① Building Section
1/4" = 1'-0"



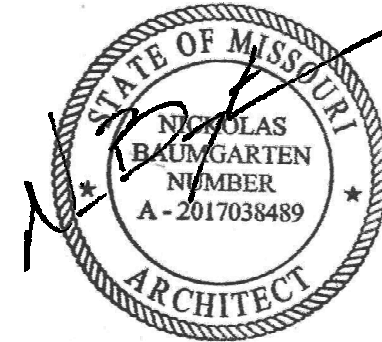
Project No.
HF 015

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Elevate Design + Build
350 SW Longview Blvd
Lees Summit, MO 64081
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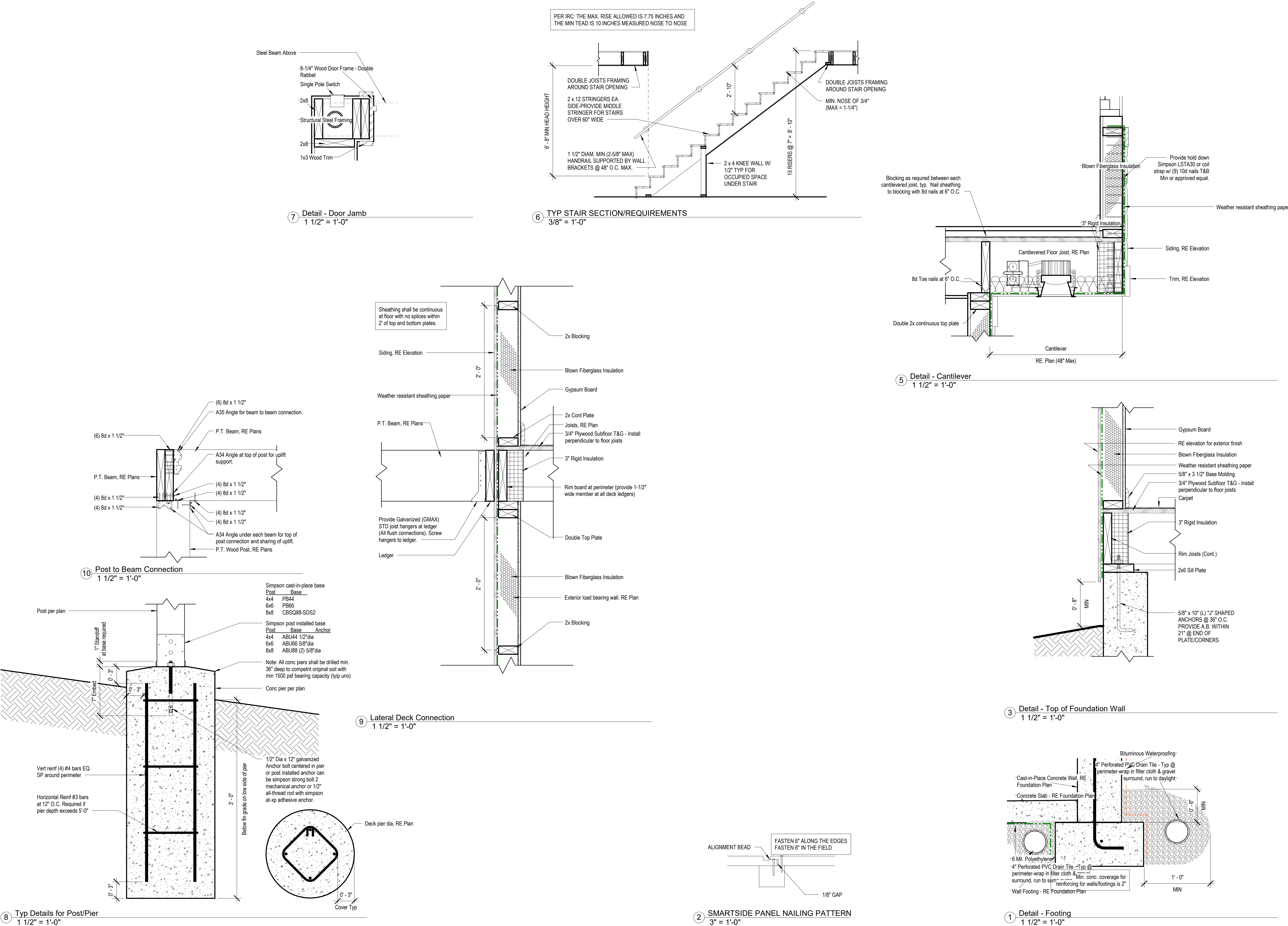
Original Issue Date: 10/1/2021

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Number	DESCRIPTION	DATE

Details

A9

Project No. HF 015

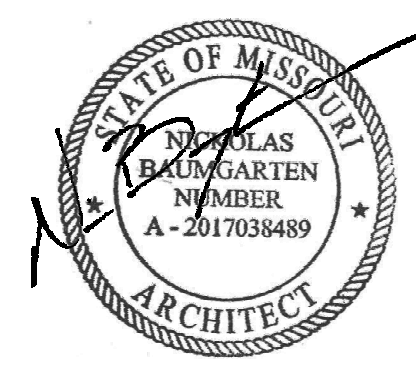


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architect:
Elevate Design + Build
350 SW Longview Blvd
Lees Summit, MO 64081
816.622.8826 voice

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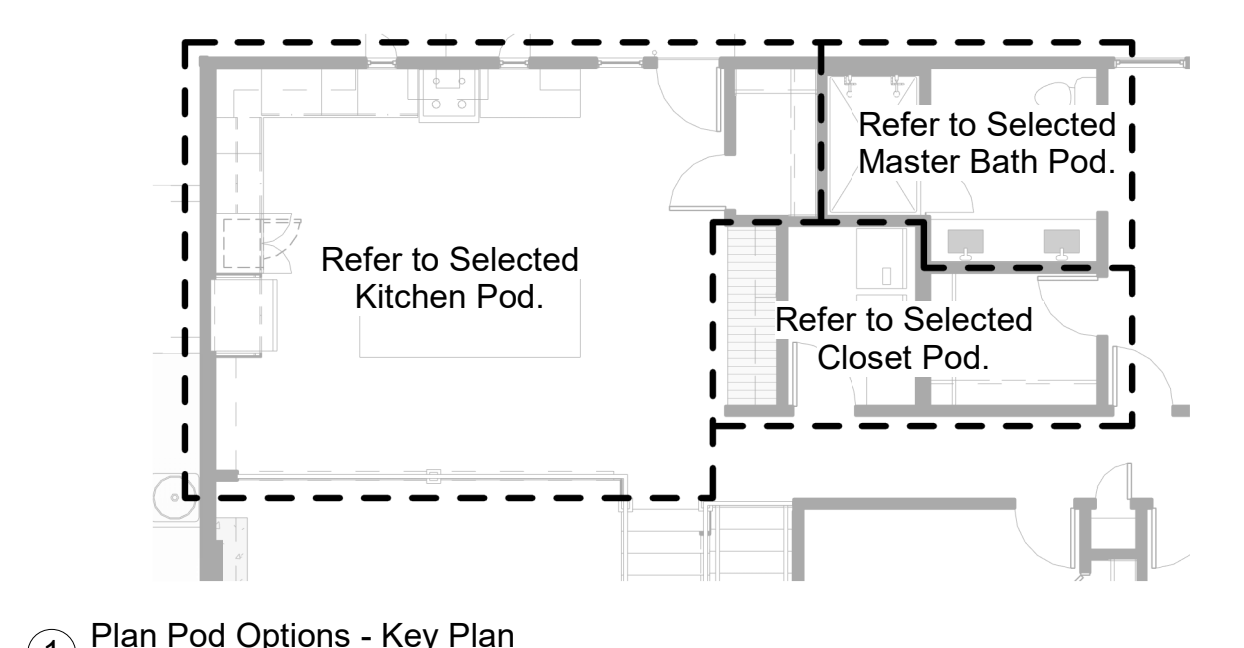
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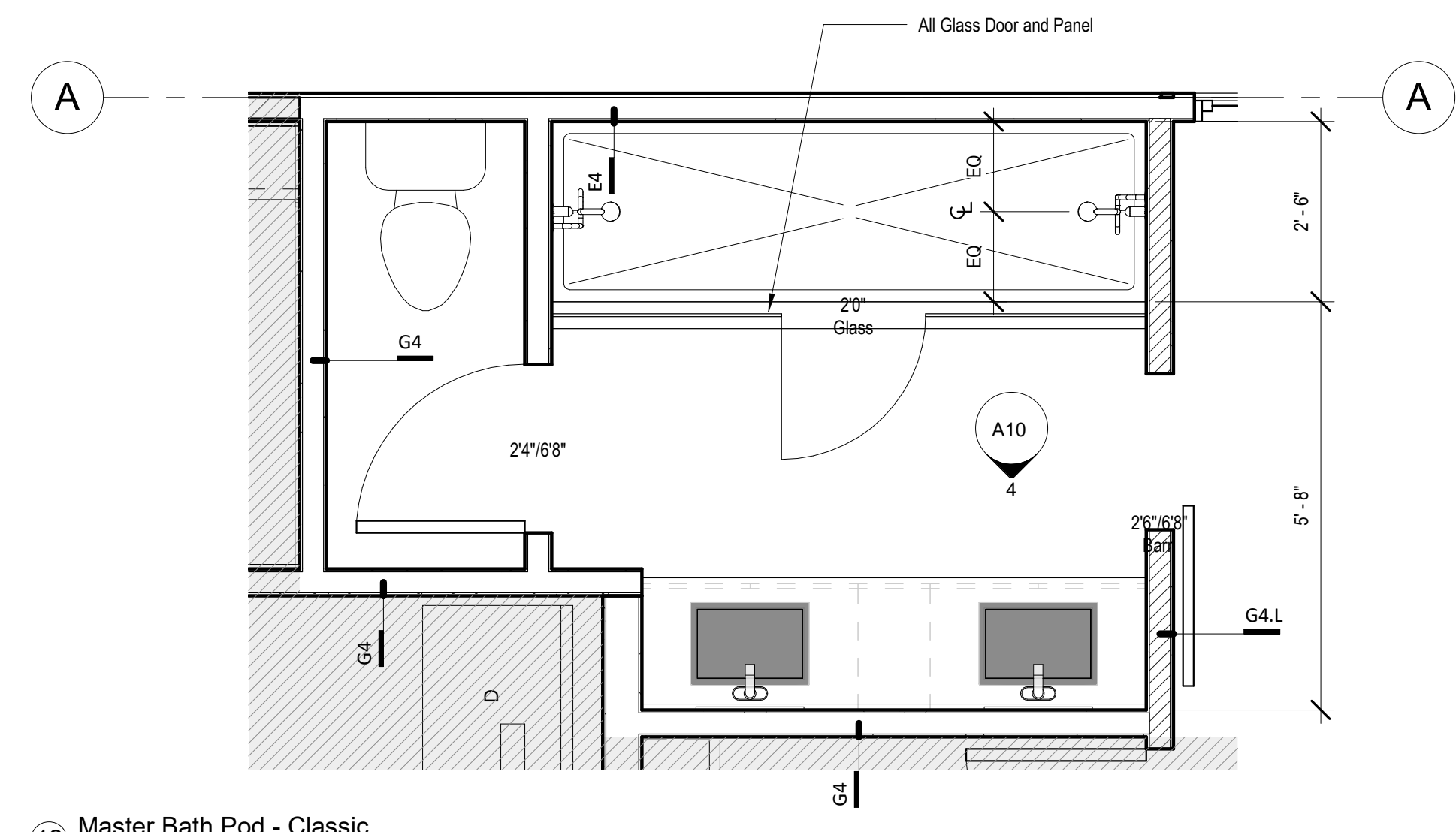
REVISIONS		
Number	DESCRIPTION	DATE

Interior Options

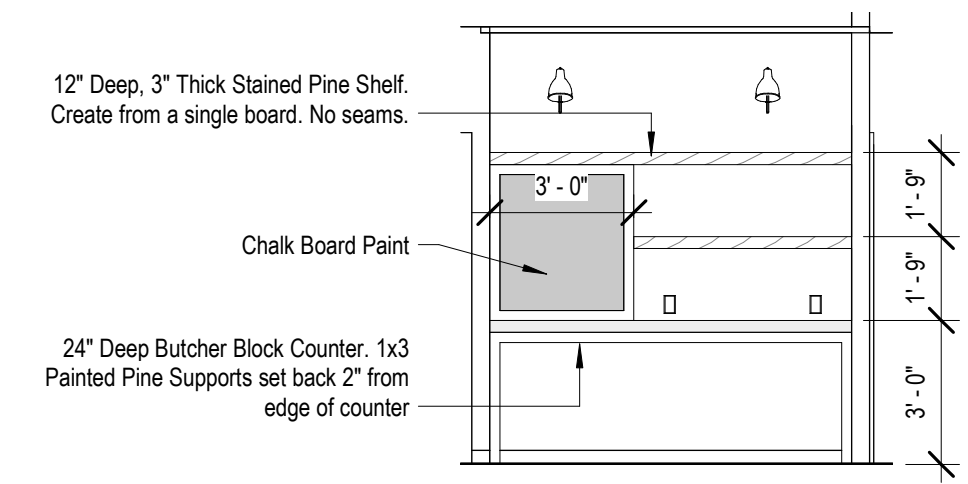
A10



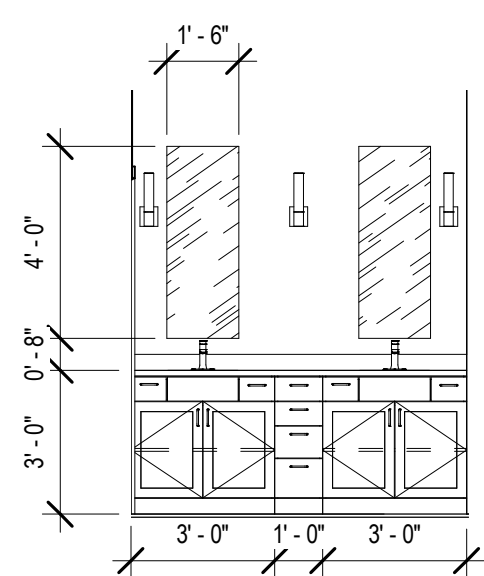
① Plan Pod Options - Key Plan
1/8" = 1'-0"



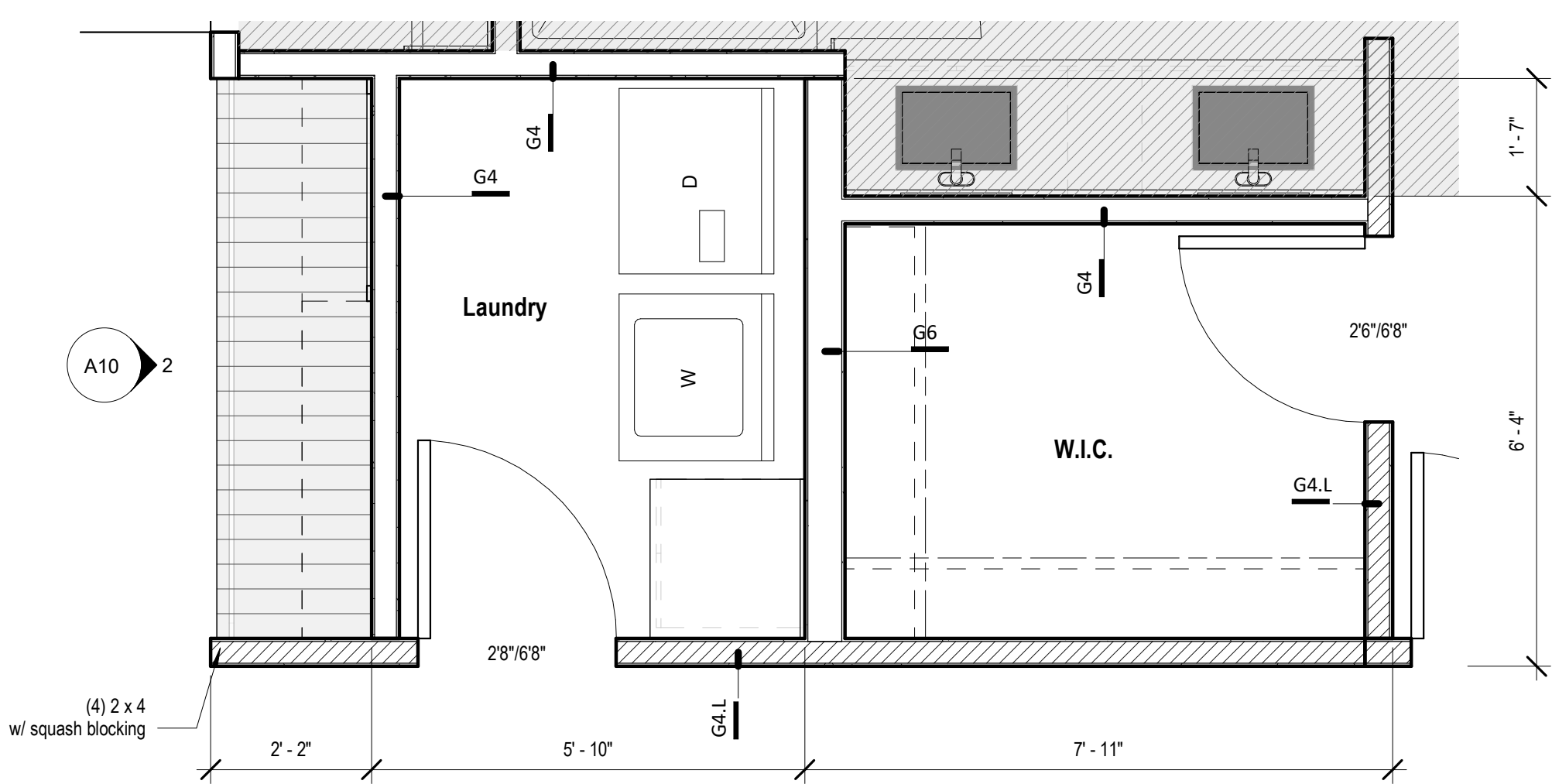
⑫ Master Bath Pod - Classic
1/2" = 1'-0"



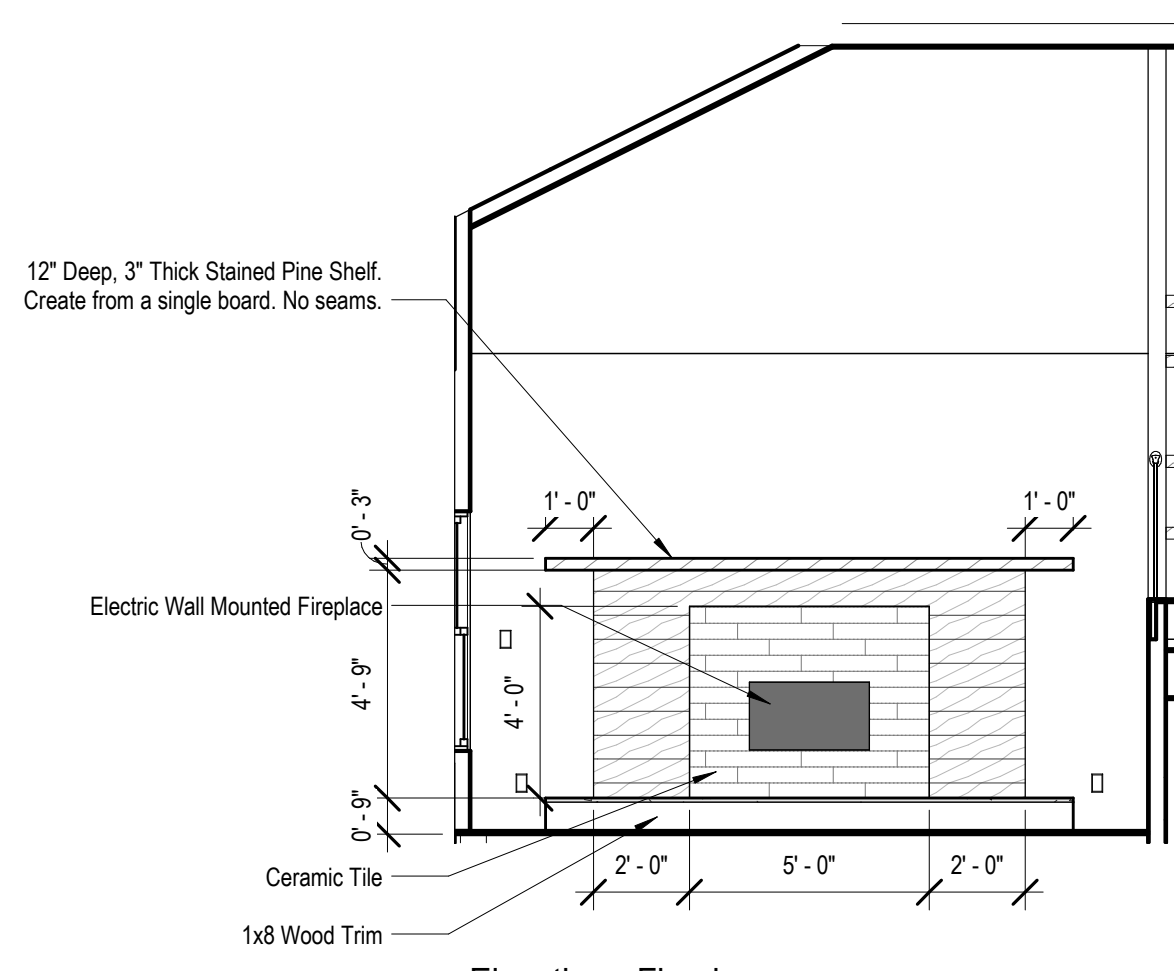
② Interior Elevation - Pocket Office
1/4" = 1'-0"



④ Elevation - Bathroom Vanity
1/4" = 1'-0"



⑨ Closet Pod - Pocket Office
1/2" = 1'-0"



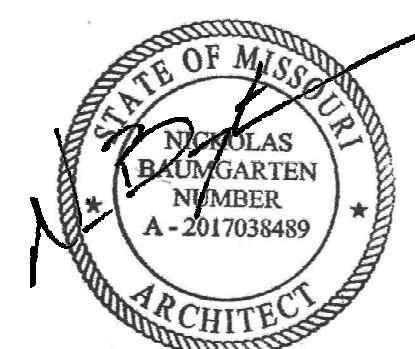
⑧ Elevation - Fireplace
1/4" = 1'-0"

Woodcrest - Hook Farms Lot 19

architect:
Elevate Design + Build
350 SW Longview Blvd
Lees Summit, MO 64081
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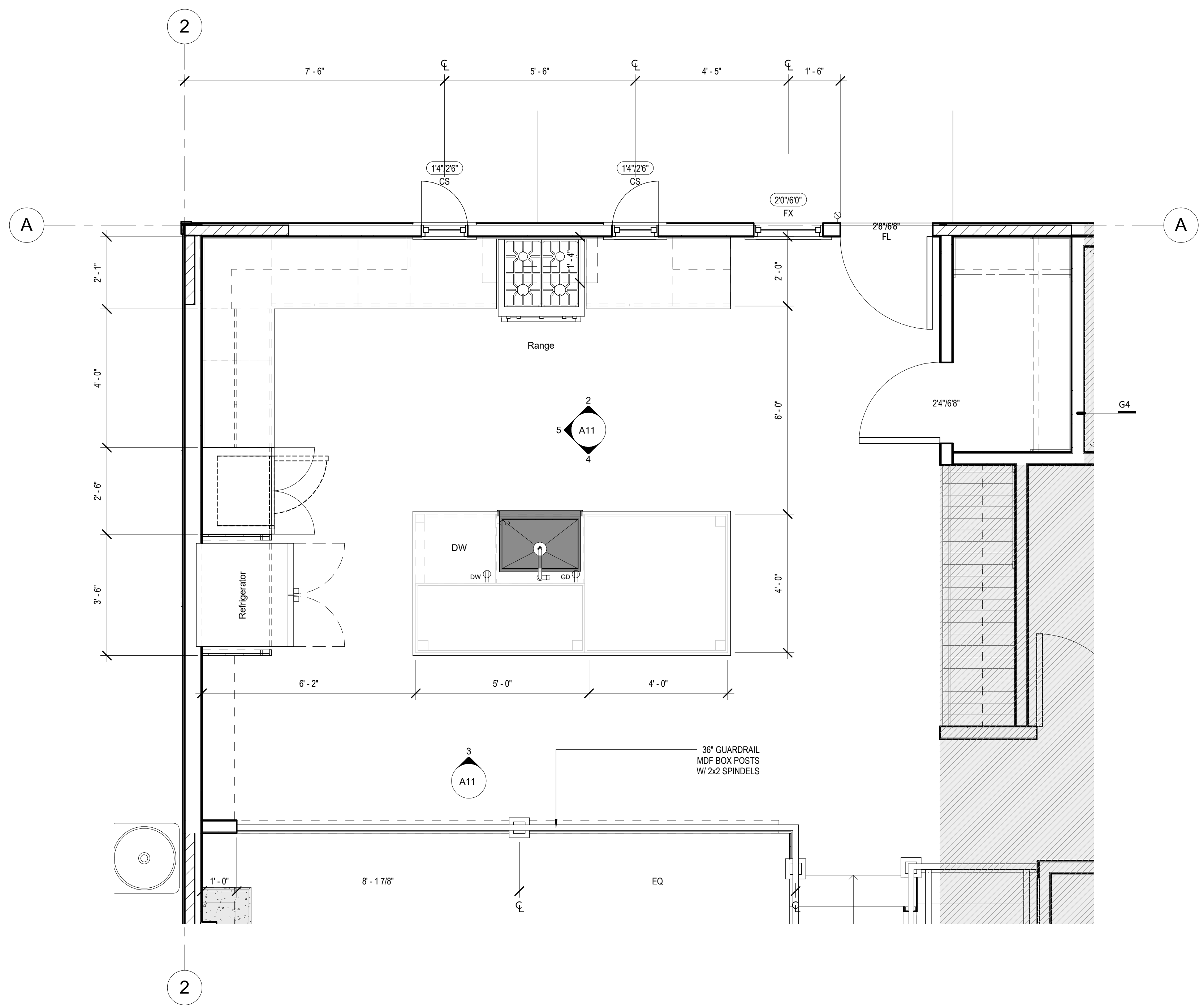
REVISIONS

Number DESCRIPTION DATE

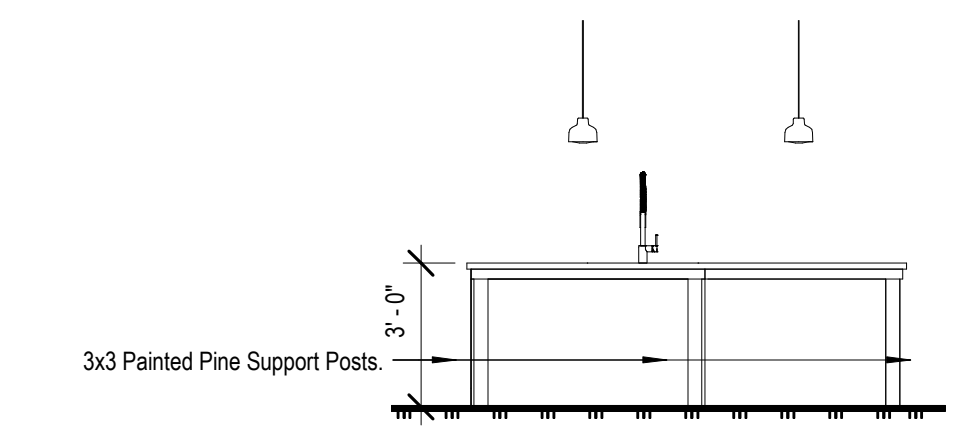
Kitchen

A11

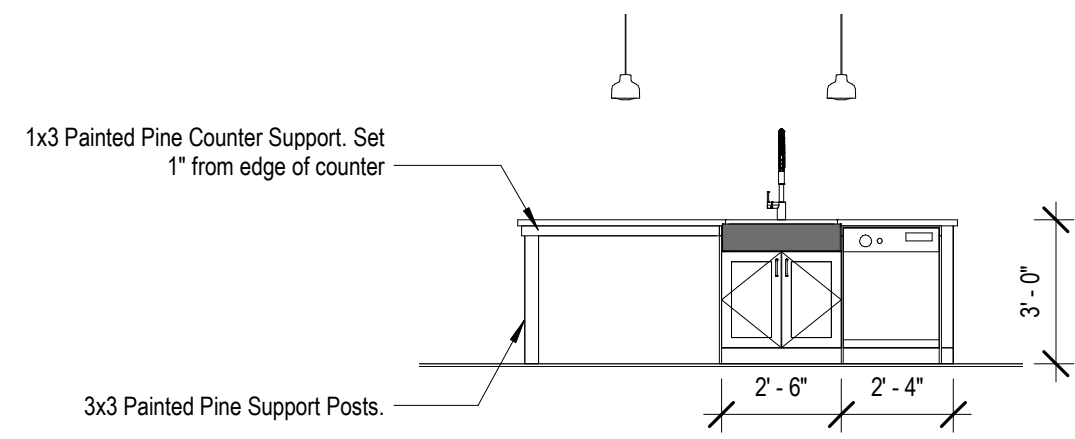
Project No. HF 015



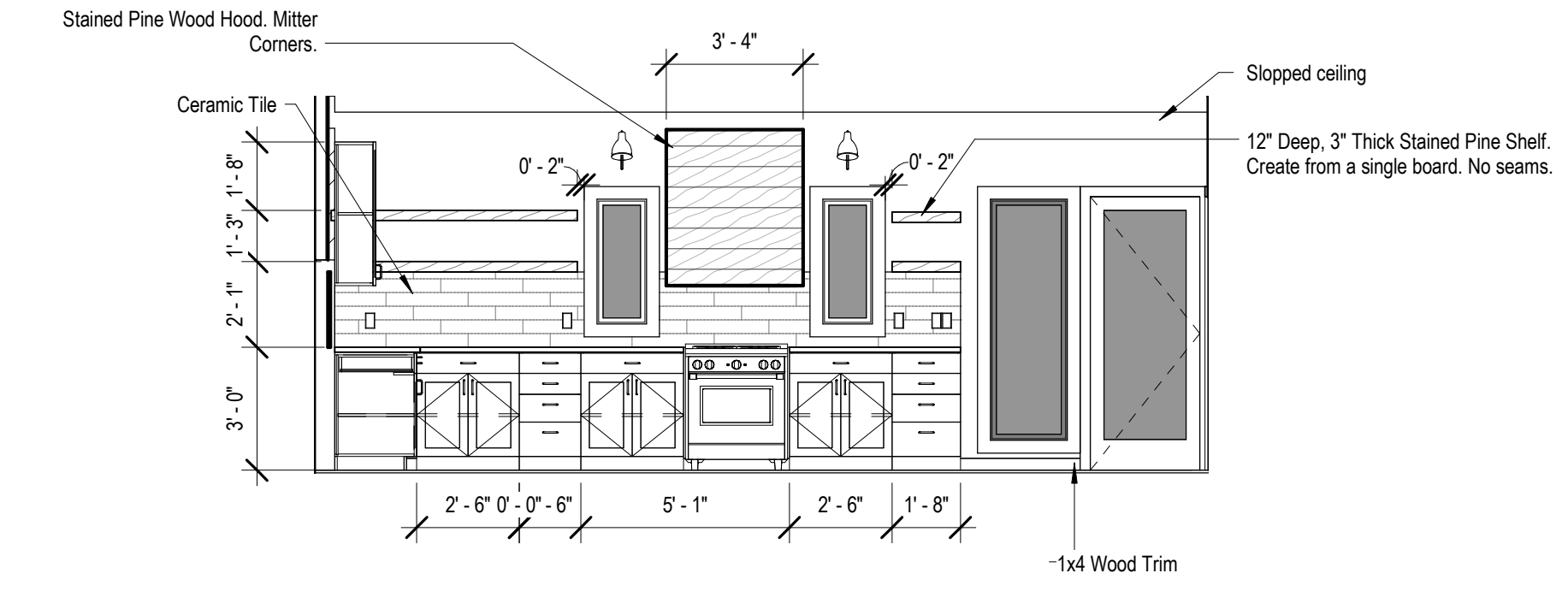
1 Floor Plan - Kitchen - Design
1/2" = 1'-0"



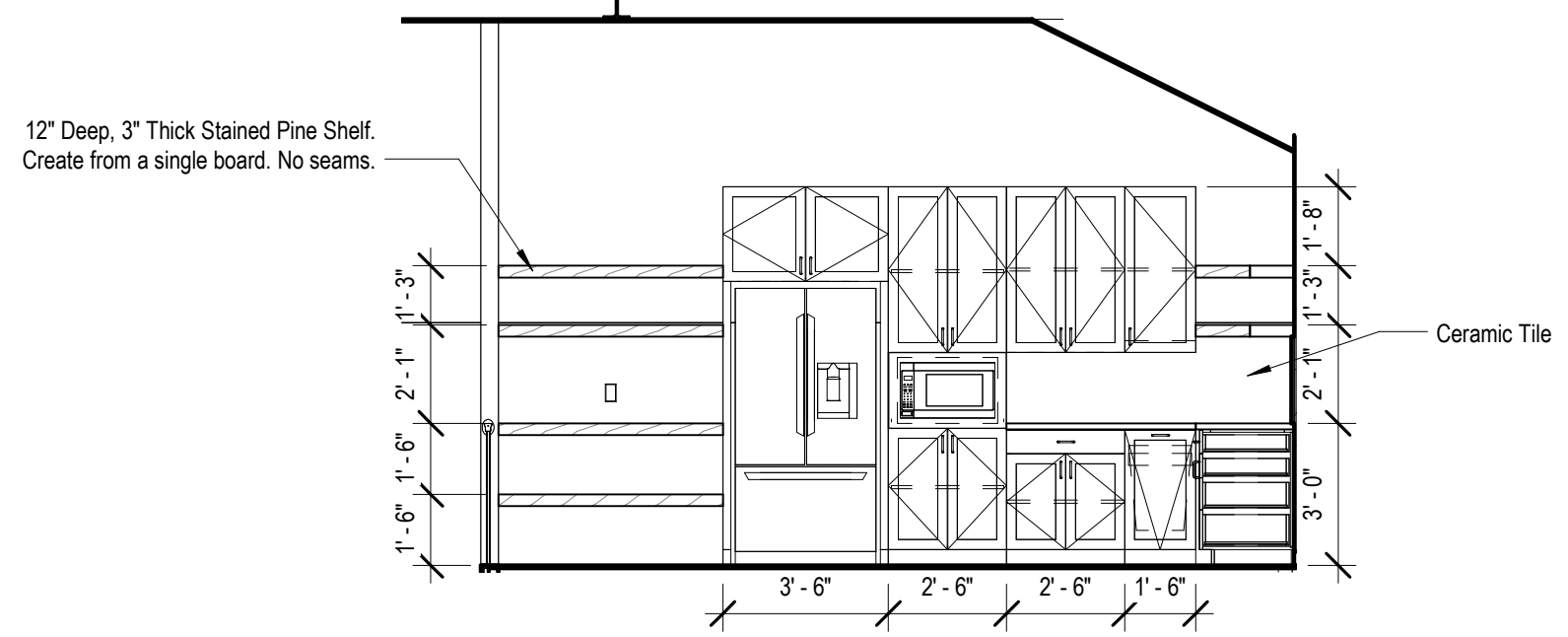
3 Interior Elevation
1/4" = 1'-0"



4 Interior Elevation
1/4" = 1'-0"



5 Interior Elevation
1/4" = 1'-0"



6 Interior Elevation
1/4" = 1'-0"