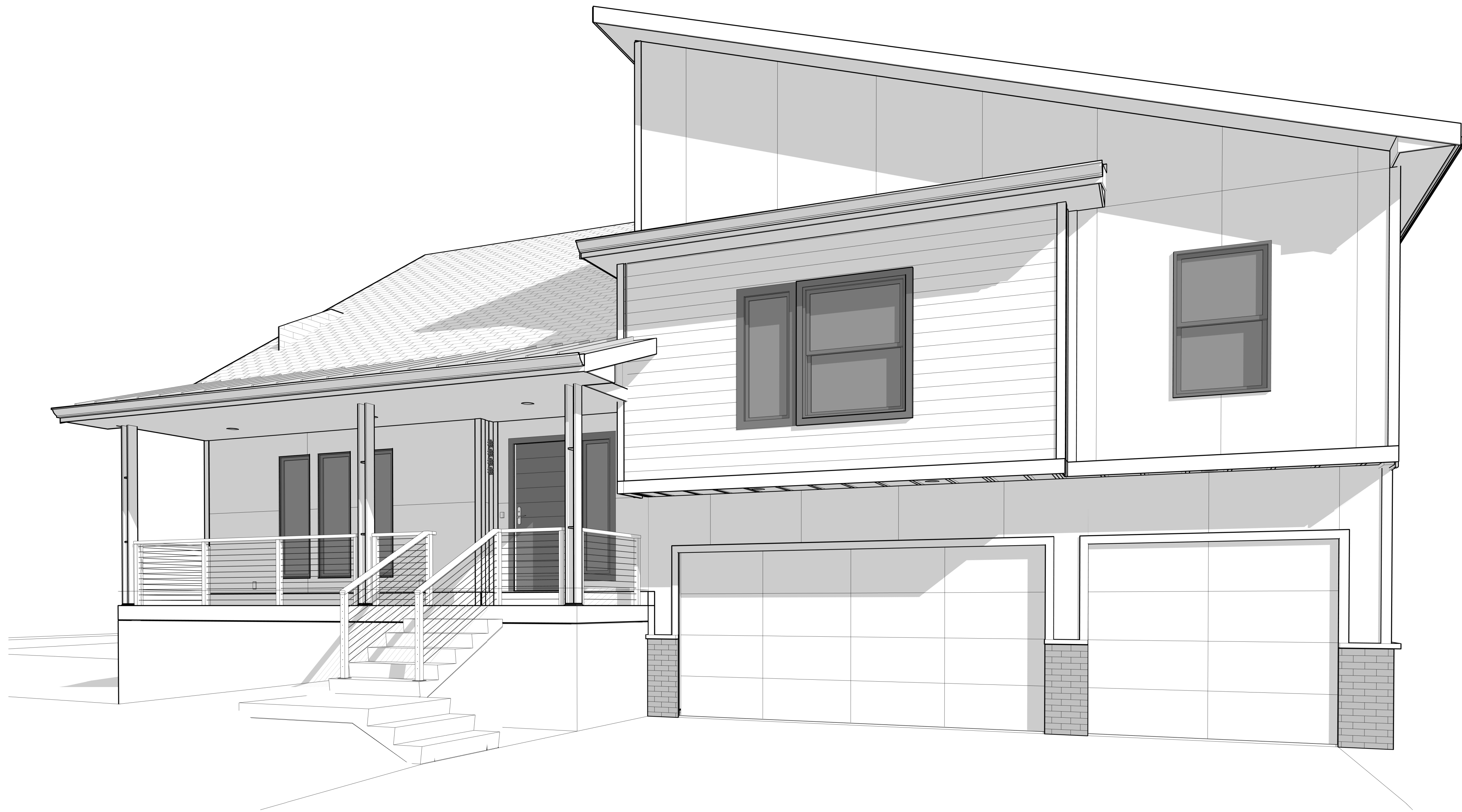


Woodcrest - Hook Farms Lot 15

2046 SW Hook Farm Dr
Lee's Summit, MO 64082



2018 Interior Energy Cons. Code (Table N1102.1.2)	
Doors & Windows:	U-0.32 MAX
Glazing SHGF:	0.40
Skylights:	U-0.55 MAX
Roof:	
Attic Ceilings:	R-49 MIN
Vaults:	R-38 MIN
Vaults < 500sf:	R-30 MIN
Wood Frame Walls:	R-20 or R-13 + 5 MIN
Basement Walls:	R-13 or R-10 Continuous
Floor (over unconditioned):	R-19 MIN
Slab on Grade:	R-10 for 24" MIN
Ductwork:	R-8 MIN
Fuel Fired Furnace:	90% AFUE MIN
Electric Furnace:	No Minimum
Cooling System:	13 SEER MIN
Water Heater:	
Gas Fired Storage:	0.67 EF MIN
Gas Fired Instant:	0.62 EF MIN
Electric Storage:	0.97 EF MIN
Electric Instant:	0.93 EF MIN

An energy efficient certificate is required to be posted in or on the electrical panel before the final inspection. The certificate will be provided with all new residential permits. It is the permit holder/contractor's responsibility to ensure the certificate has accurate information and is posted before final inspection - Owner/Contractor is responsible for meeting the prescriptive requirements of IRC chapter 11 unless a HER Index Analysis for Performance Compliance based on the plans is submitted to the AHJ for approval.

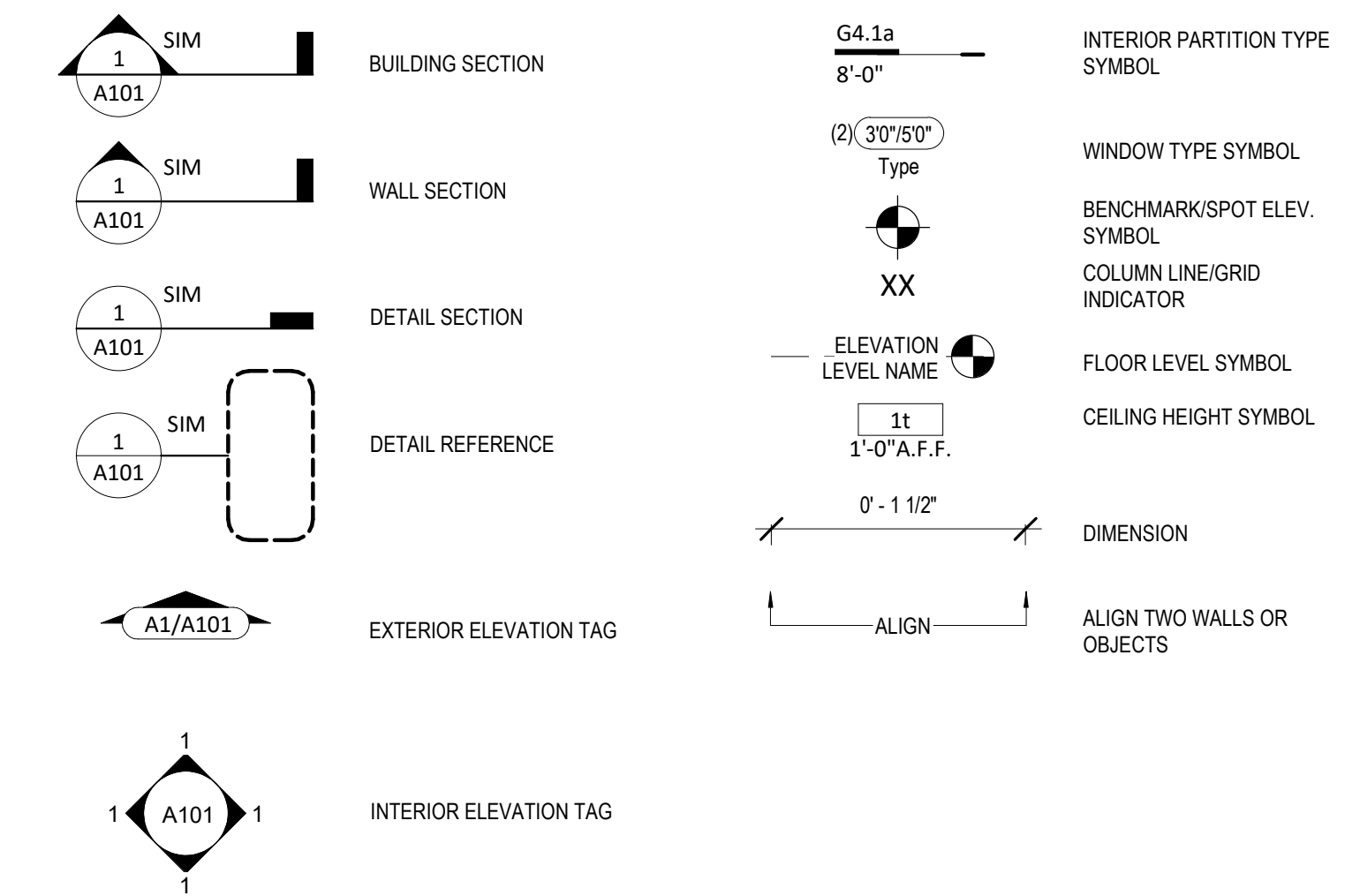
IRC 2018	
Ground Snow Load:	20PSF
Wind Speed:	115mph
Topography Effects:	No
Seismic Design Category:	A
Damage From Weather:	Severe
Frost Line Depth:	36 inches
Termites:	Moderate to Heavy
Winter Design Temperature:	6 F
Ice Barrier Underlayment:	Yes
Flood Hazard:	
Air Freezing Index:	927 or less
Mean Annual Temperature:	55.5 F

- Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 5 air changes per hour (at ACH50 standard R303.4).
- Carbon monoxide detectors required (R315)
- Steel columns shall be minimum schedule 40 (R507.2)
- Deck Ledger attachment to house shall be per Tables 507.9.1.3.
- New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11)
- Programmable thermostat required (N1103.1.1)
- Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
- Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
- Certain hot water pipes shall be insulated (N1103.4)
- All exhaust fans shall terminate to the building exterior (M1507.2)
- Makeup air system required for kitchen exhaust hoods that exceed 400 CFM (M1503.4)
- Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1, 47.5)
- An air handling system shall not serve both the living space and the garage (M1601.6)
- A concrete-Encased grounding electrode ("UFER Ground") connection complies with the requirements of the 2018 IRC Section E3508.1.2 in providing a connection with no less than the required minimum of steel.
- Compliance with the requirements and show connection as needed for roof beam, trus, rafter, and girder connections for uplift per IRC 802.11
- Garage Door Rating: DASHA 115 MPH Rated

Woodcrest - Hook Farms Lot 15
2046 SW Hook Farm Dr
Lee's Summit, MO 64082

Sheet List

- 04 - Structure
 - S0 Foundation Plan
 - S1 Framing Plan
- 05 - Architecture
 - A0 Floor Plan - Basement/Garage
 - A1 Floor Plan - Living Space
 - A3 RCP/Electrical Plan - Basement/Garage
 - A4 RCP/Electrical Plan - Living Space
 - A5.D Elevations
 - A6.D Elevations
 - A7 Building Sections
 - A8 Wall Sections
 - A9 Details
 - A10 Interior Options
 - A11 Kitchen



REVISIONS		Permit Set
Number	Description	Date
1	Revision 1	10/26/21

Permit Set

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
11/03/2021

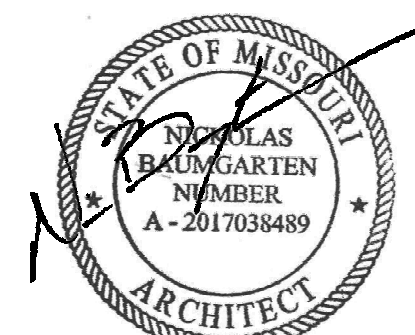
PLAN DESCRIPTION: Woodcrest

00

Architect:
Elevate Design + Build
350 SW Longview Blvd
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Missouri License No.: A-2021009818
Nicholas Baumgarten Date: 10/11/2021
Architect License No. A-2017038489

Original Issue Date: 10/11/2021
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Number	DESCRIPTION	DATE
3	Revision 3	11/2/21

Foundation Plan

S0

Project No.

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11/03/2021

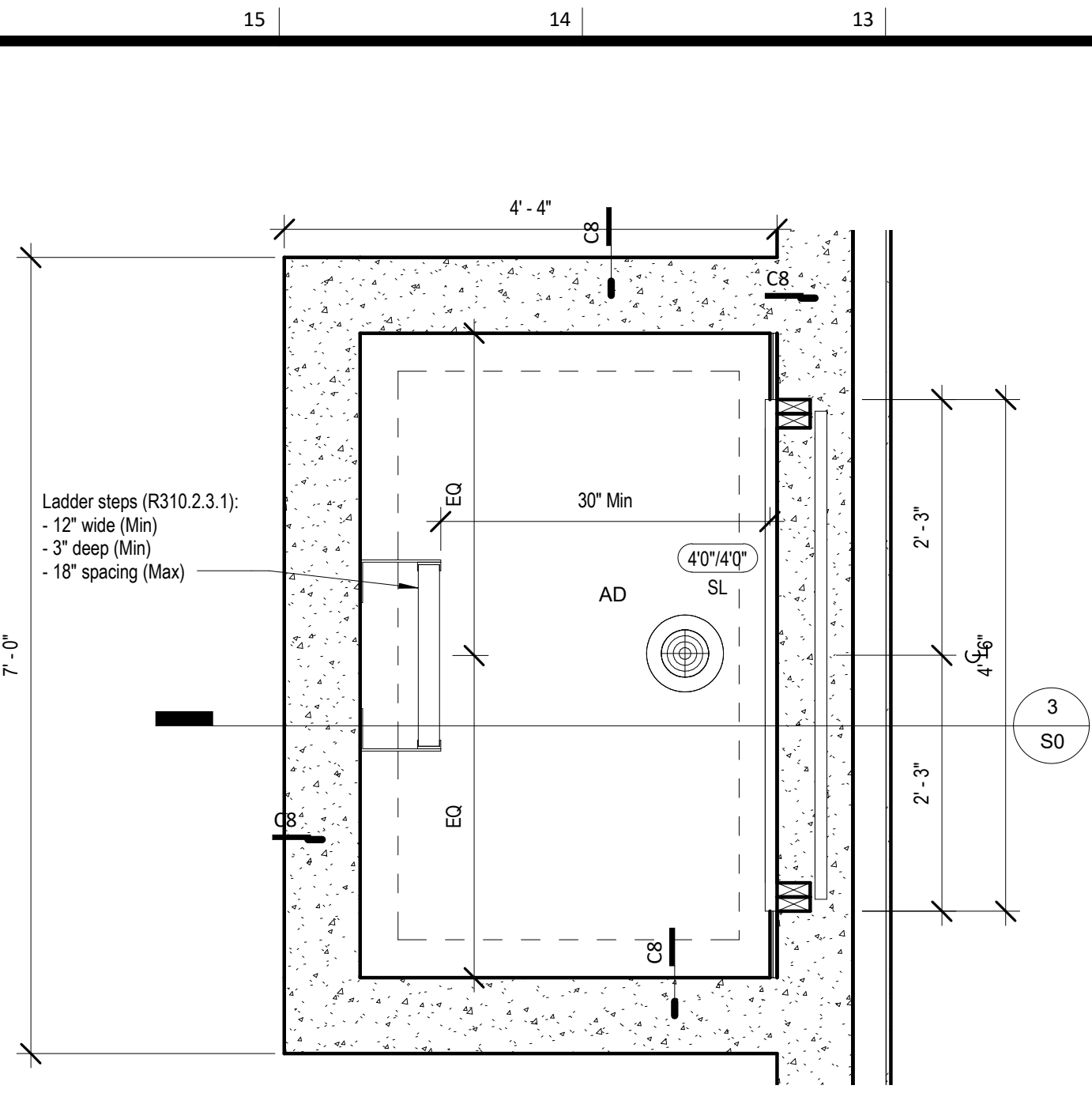
Foundation Notes:

- FOOTINGS/FOUNDATION & CONCRETE NOTES**
1. TO ADDRESS DIFFERENTIAL SETTLEMENT, ALL INTERIOR BEARING AND EXTERIOR FOOTINGS & PILES TO BE EXCAVATED & PLACED MIN. 18 INCHES INTO UNDISTURBED NATURAL SOIL.
 2. EXIST. FOOTING TO BE PLACED MIN. 36 INCHES BELOW FIN. GRADE.
 3. DESIGN IS BASED ON MIN. OF 2,000 PSF. CONCRETE STRENGTHS TO ACHIEVE THE FOLLOWING BASED UPON:
A. 3,000 PSI FOR FOOTINGS, FOUND. WALLS & VERT. SUPPORTS
B. 3,500 PSI FOR GARAGE FLOOR
 4. CONC. EXPOSED TO WEATHER TO HAVE MIN. (+/-) 1% AIR ENTRAINMENT
 5. PROVIDE 4" MIN. CONC. SLAB REINF. W/ #4 @ 12" O.C. E.W. TOP REINF. OVER PRECASTS AS INDICATED (#4 X 7 FT @ 8" O.C. E.W. PLACE OVER 6 MIL VAPOR BARRIER)
 6. REINFORCE EXTERIOR FOOTINGS W/ #4 @ 24" E.W. REINFORCE W/ (2) #4 CONT. AT BOTTOM
 7. PROVIDE #4 X 48" (L) @ 45 DEGREES @ REINTRANT CORNERS
 8. (2) #10'S ASTM A618 ANCHOR BOLTS @ 48" O.C. @ EXT. WALLS
 9. ANCHOR PRESSURE TREATED PLATE @ INT. BEARING WALLS W/ 12" X 4-10" H/LTI WEDGE BOLTS @ 12" O.C. MAX. 12" FROM ENDS
 10. PROVIDE 24" L&S MIN. INCLUDING CORNERS
 11. INSTALL HOLD-DOWN BOLT ANCHORAGE AS INDICATED ON PLAN
 12. PROVIDE BITUMINOUS DAMP-PROOFING AT FOUNDATION WALLS
 13. SOIL BEARING CAPACITY IS NOT ASSUMED TO BE GREATER THAN 2,000 PSF IN THE CURRENT FOUNDATION DESIGN. ALL COMPACTED FILL AREAS REQUIRE A SPECIAL INSPECTION
- STEEL COLUMNS & OTHER BASEMENT/FOUNDATION NOTES**
1. ALL STEEL PIPE COLUMNS TO BE 3" (OR 3 1/2" SCHEDULE 40) GRADE
 2. INTER. BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB
 3. INTER. NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE
 4. AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 FEET BEYOND THE OVERSIC AREA WITH #4 BARS AT 24 INCHES O.C. PERPENDICULAR AND HORIZONTAL TO THE WALL. MAXIMUM 4-FOOT OVERSIC.
 5. AT FIN. JOISTS THE FOUNDATION WALL SHALL BE INSULATED WITH A MINIMUM R-6 INSULATION FOR A MIN. OF 3 FEET BELOW THE BOTTOM OF THE SLAB.
 6. WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERALLY AT THE TOP BY SOLID BLOCKING FOR MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

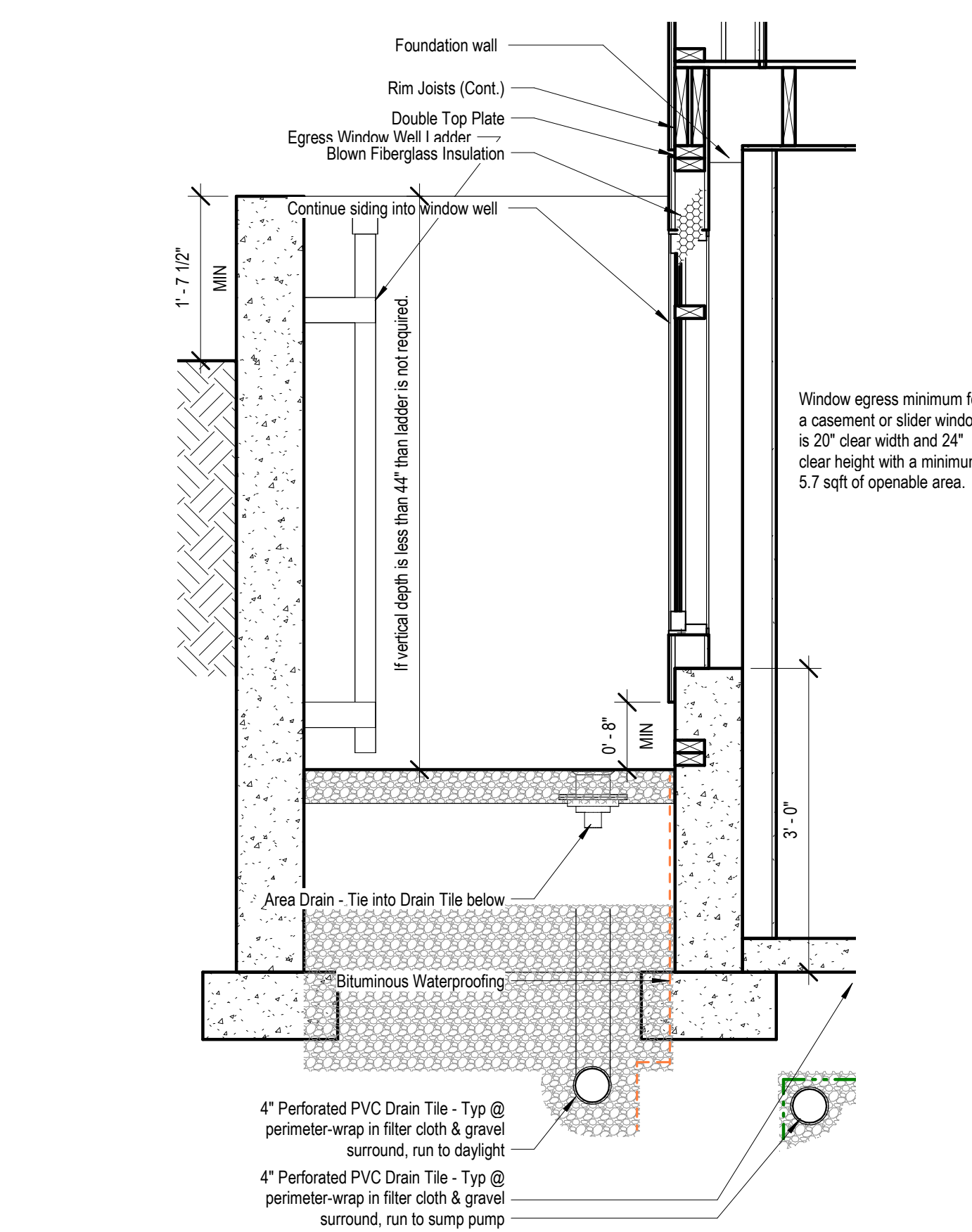
Structural Foundation Schedule						
Type	Width	Length	Depth	Reinforcing	Comments	
Footings						
F1	3'-0"	3'-0"	1'-0"	Reinf w/ (6) #4's, rebar count is each way, equal centers		
F2	4'-0"	4'-0"	1'-4"	Reinf w/ (6) #4's, rebar count is each way, equal centers		
Wall Foundation						
FTG-1	1'-4"	<varies>	0'-8"	Reinf w/ (2) #4 eq. spaced. Dowel into wall w/ (1) #4 turned up @ 12" o.c.	Center footing w/ wall above.	
FTG-2	1'-0"	<varies>	3'-0"	FROST FOOTING - Reinf. w/ (2) bottom, center and top #4 vert. T/B wrapped in #4 stirrup @ 48" o.c.	Use when grade is not 36" above the bottom of footing.	

Foundation Wall Schedule			
Type	Width	Reinforcing	Comments
C8	0'-8"	Reinf. w/ #4 vert. @ 12" o.c. / (3) #4 hor. equally spaced.	

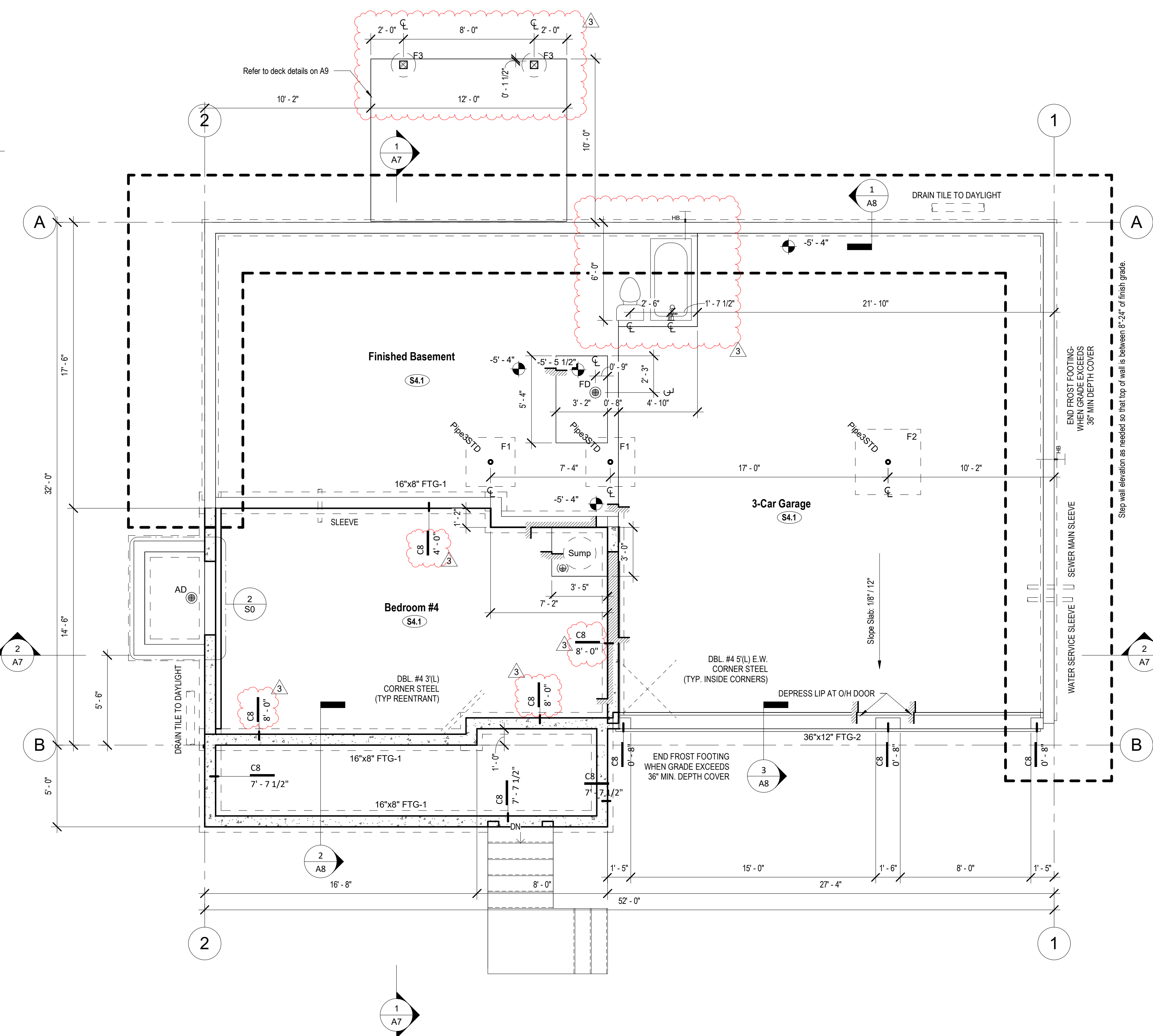
Slab Schedule	
Type	Description
S4.1	4" MIN CONC SLAB REINF. W/ #4'S E.W. @ 12" O.C. OVER COMPACTED FILL AND GRAVEL.
S8.1	8" MIN CONC SLAB REINF. W/ #4'S E.W. @ 12" O.C. OVER COMPACTED FILL AND GRAVEL.



2 Detail - Window Well
3/4" = 1'-0"



3 Section Detail - Window Well
3/4" = 1'-0"

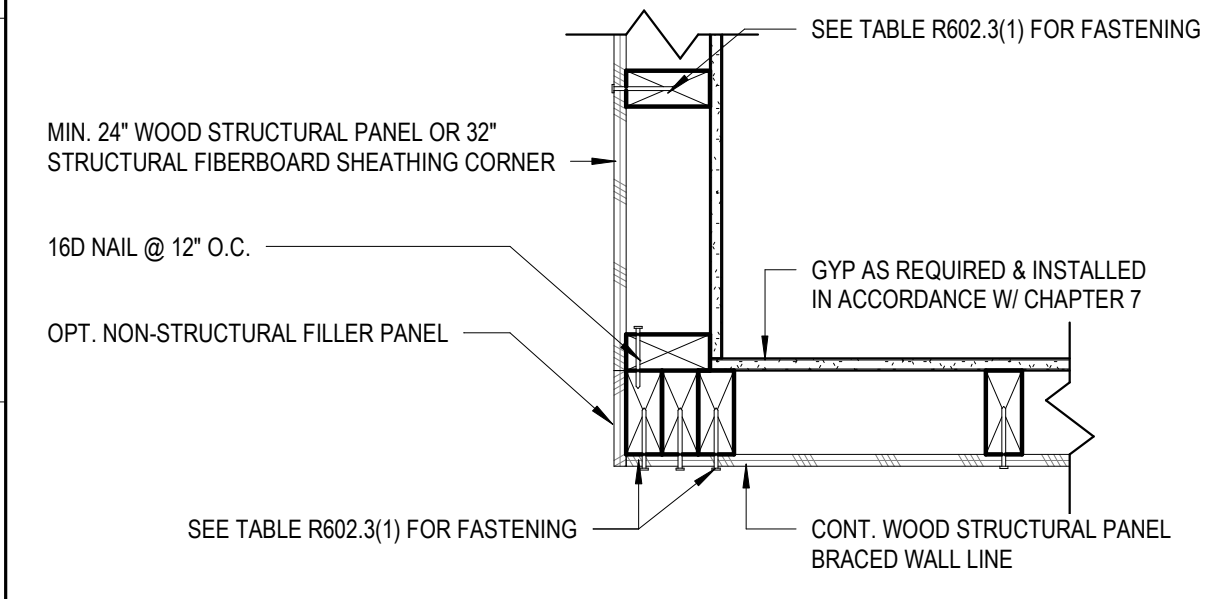


1 Foundation Plan
1/4" = 1'-0"

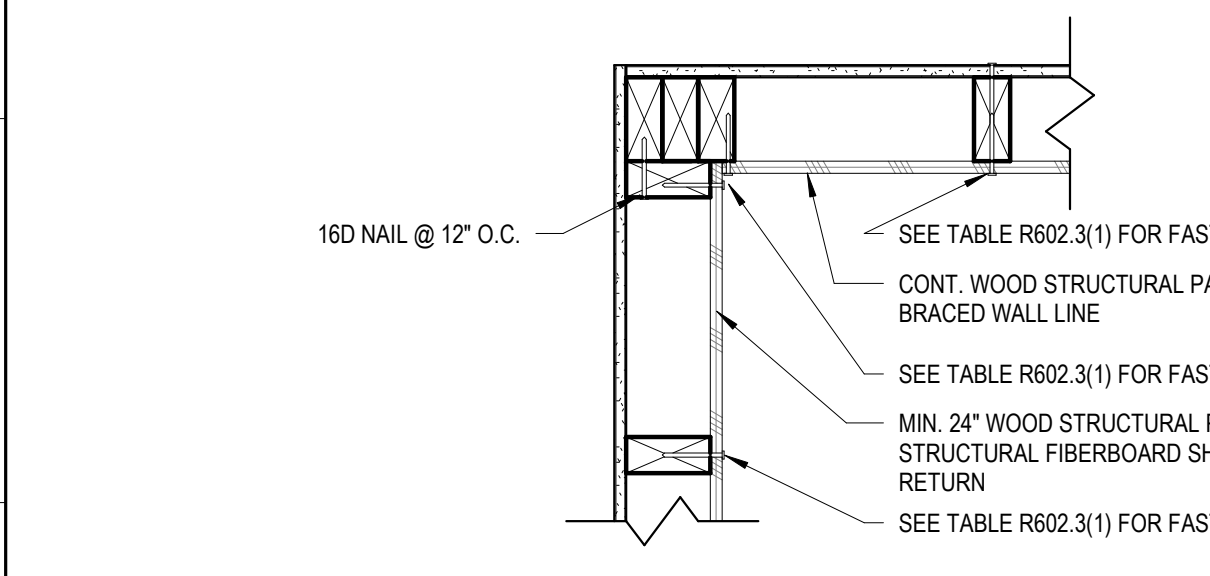
15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1

BRACED WALL LINE SCHEDULE			
WALL LINE	TOTAL LENGTH	REQ'D LENGTH	PROVIDED LENGTH
MAIN FLOOR			
A	52'	6.13'	11.00'
B	52'	7.25'	13.00'
1	32'	4.57'	12.00'
2	32'	4.97'	10.00'

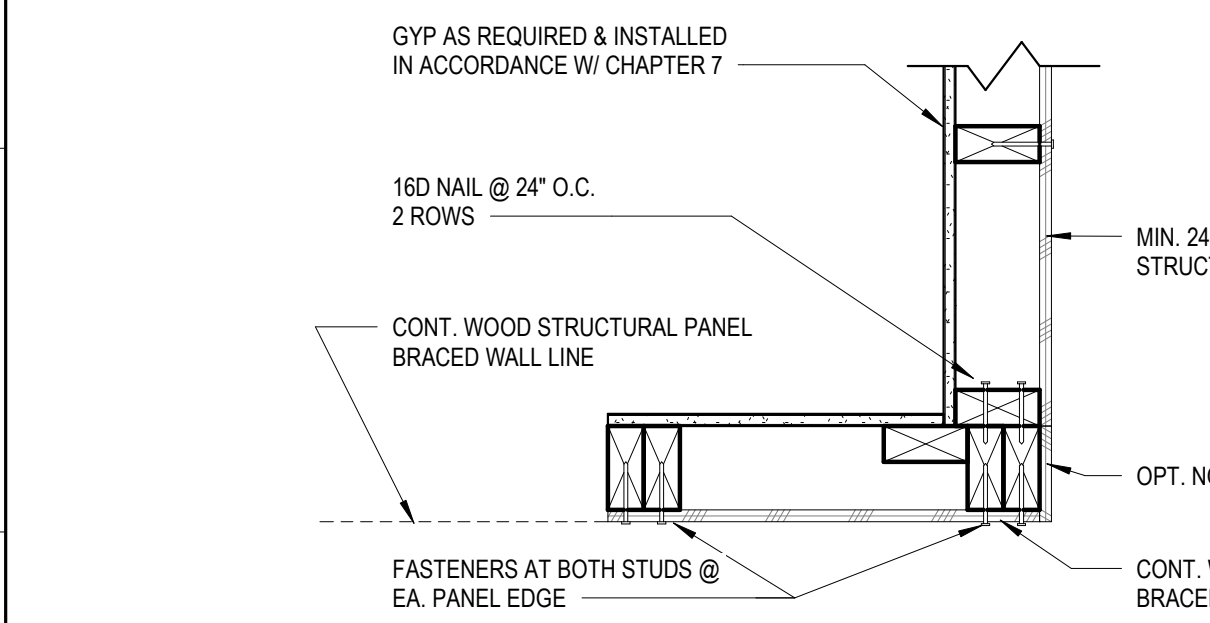
- CS-WSP PANELS: DISTANCE FROM END OF BRACED WALL LINE TO FIRST BRACED WALL PANEL CANNOT EXCEED A COMBINED TOTAL OF 10' PER R602.10.2.2
- WOOD STRUCTURAL PANELS: MIN. 48" AND COVER 3 STUDS FROM FRAMING AT 16" O.C. OR 2 STUDS FOR 24" O.C.
- CS-WSP PANELS: MIN. 2 PANELS AT BOTH CORNERS WITHOUT USING HOLD DOWNS PER R602.10.4.4 AND MAX. 12'-6" FROM CORNER
- CS-WSP PANELS: MIN PANELS LENGTH ADJACENT TO AN OPENING FOR 9' PLATE = 27" PER R602.10.4.2



OUTSIDE CORNER DETAIL

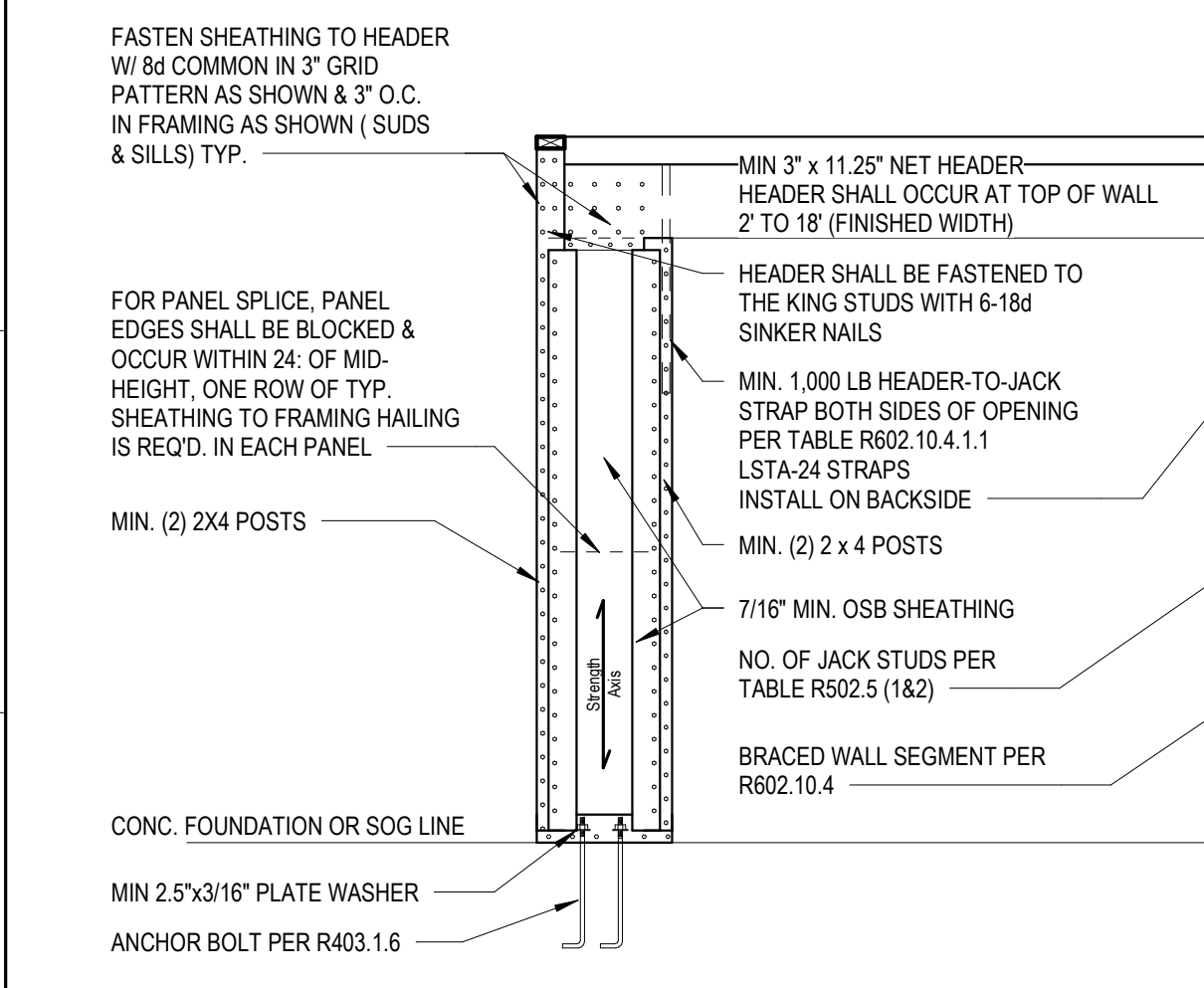


INSIDE CORNER DETAIL

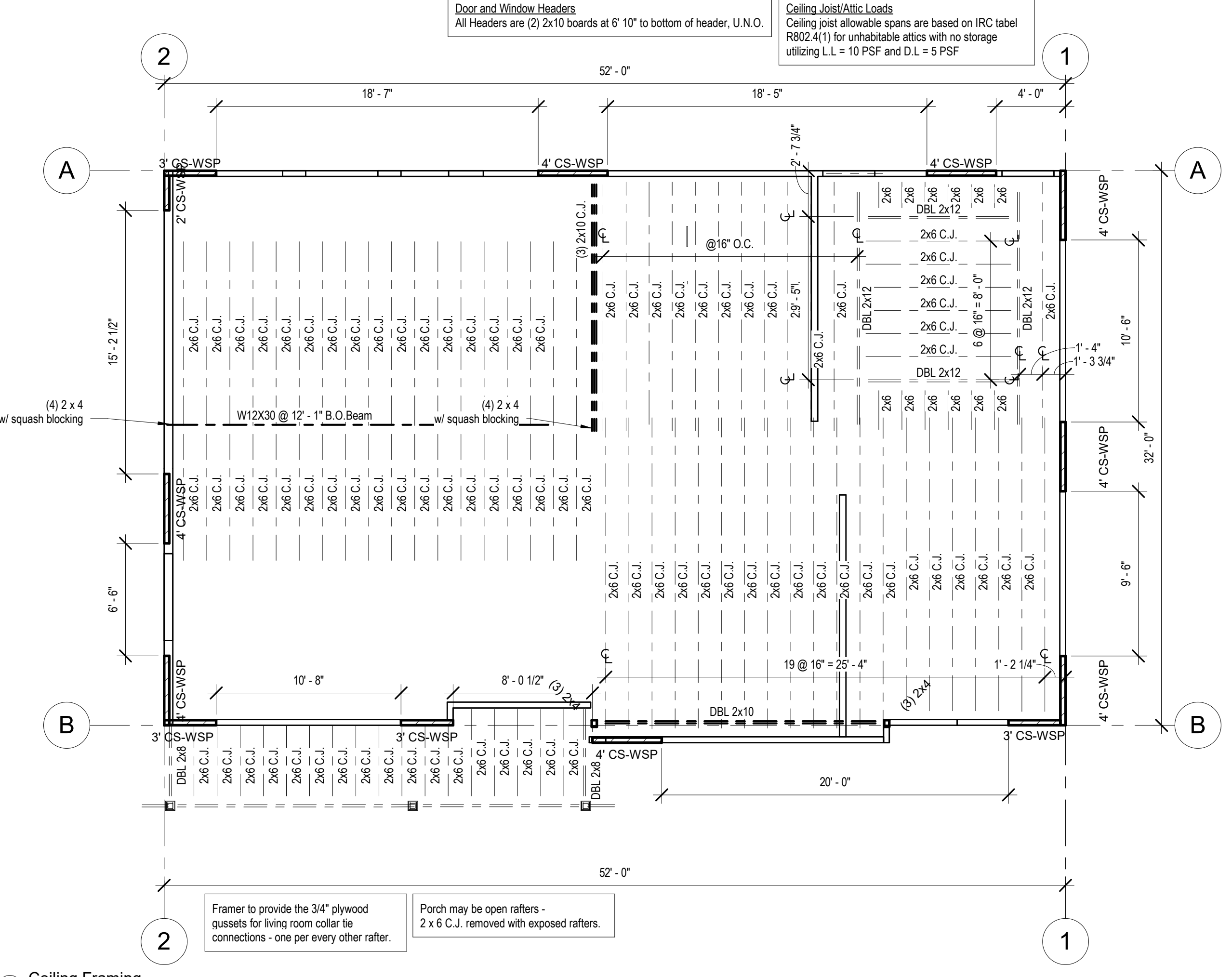
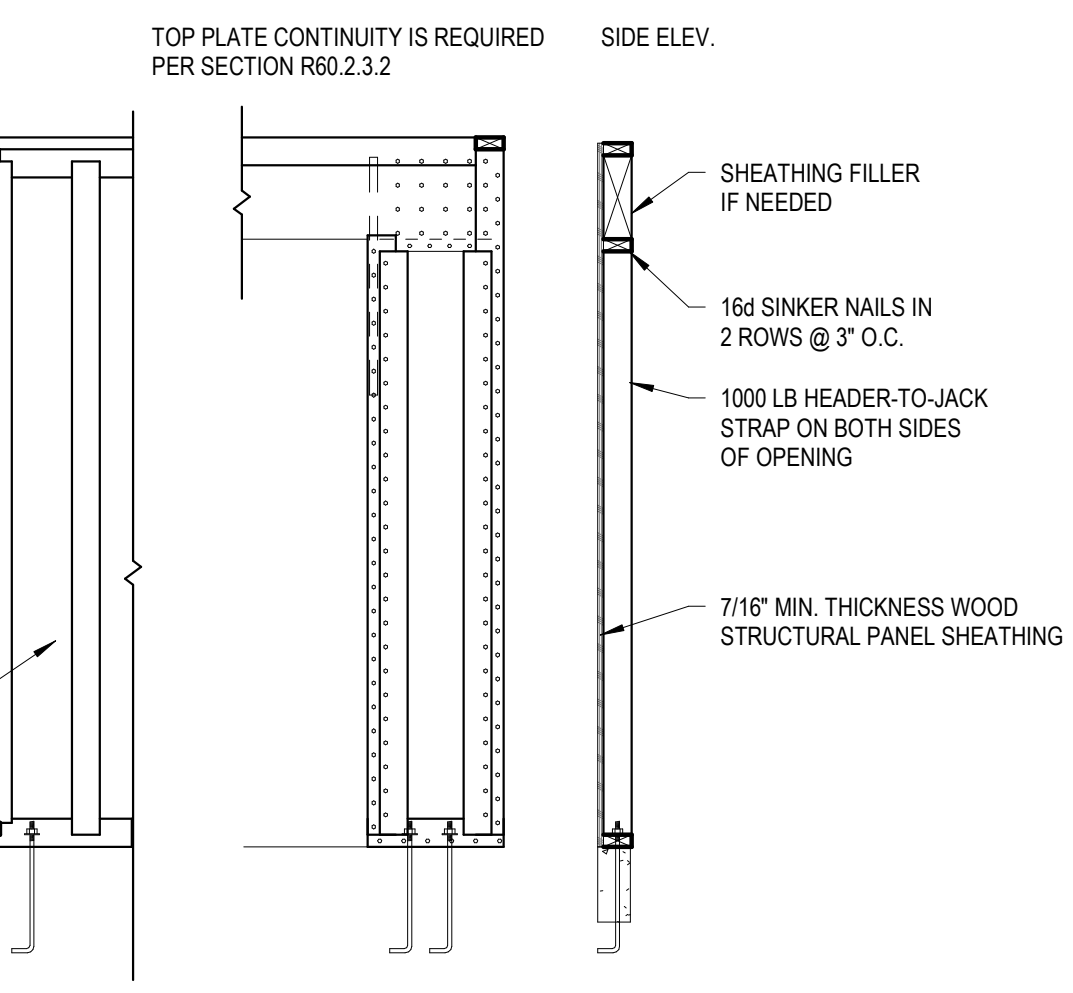


GARAGE DOOR CORNER DETAIL

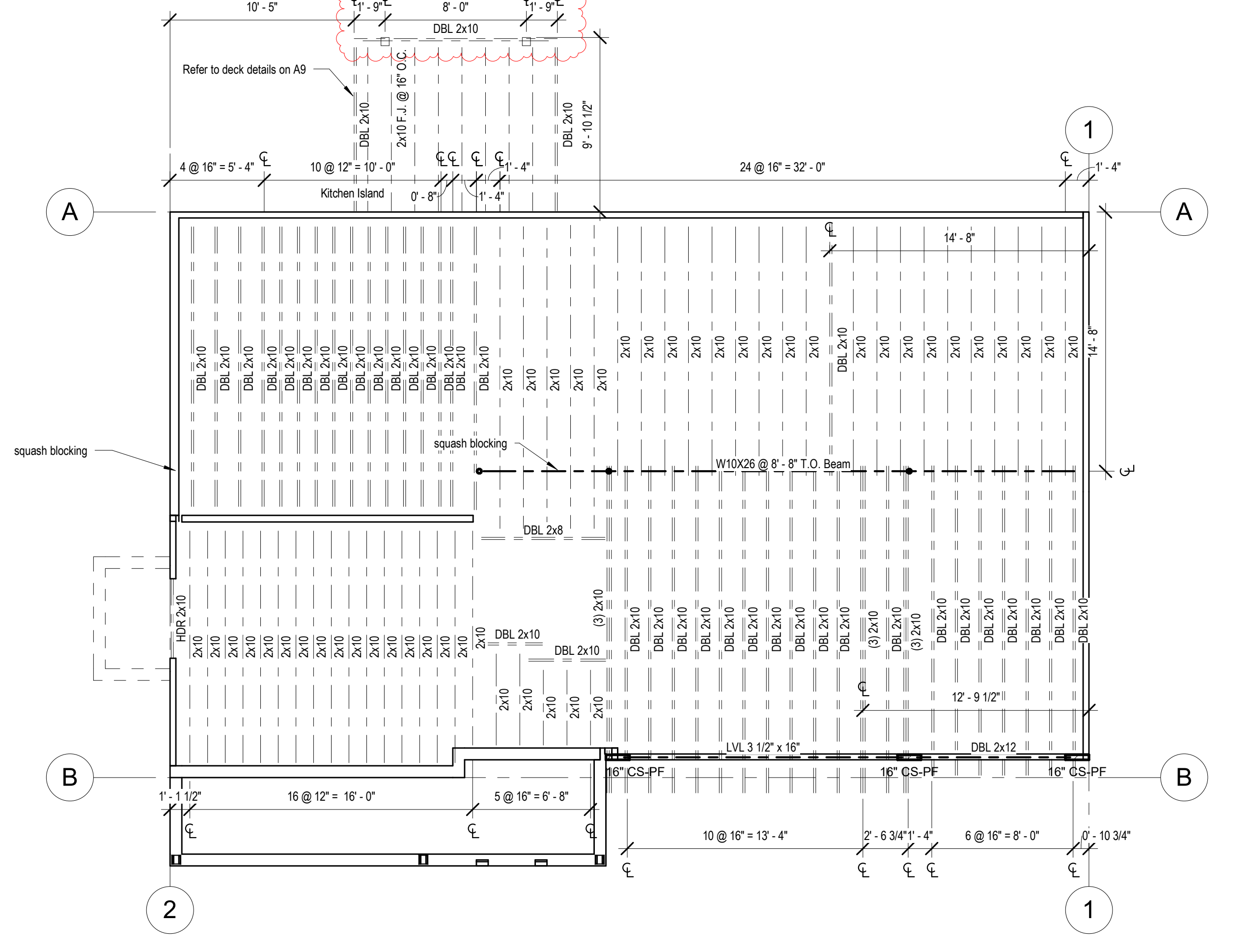
4 CS-WSP Corner Framing Details
1 1/2" = 1'-0"



3 PORTAL FRAME METHOD CS-PF
1/2" = 1'-0"



2 Ceiling Framing
3/16" = 1'-0"



1 First Floor Framing
3/16" = 1'-0"

- Framing Notes:**
- EXTERIOR WALL FRAMING**
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL
 - SILL PLATES SHALL BE SETTED MIN. 6-INCHES ABOVE GRADE
 - ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16d NAILS (MIN)
 - ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB WALL SCHEDULE SHALL BE 8d COMMON @ 6" O.C. ALONG EDGES & 8d COMMONS @ 12" O.C. @ INTERMEDIATE STUDS
- WOOD FRAMING, FLOORS AND ROOF NOTES**
- ALL ROOF EAVES OVERHANGS TO BE 16" - UNO
 - ALL JOISTS & RAFTERS TO BE ALIGNED OVER SUDS
 - ROOF SHEATHING SHALL BE 7/16" OSB LAG W/ LONG DIMENSION PERPENDICULAR TO DAVE LINE & STAGGERED 48" O.C. W/ GALV. SPACER CLIPS ALONG ALL EDGES - SECURE SHEATHING W/ 8d COMMON NAILS TO RAFTERS AT 4" O.C. ALL EDGES
 - HEADERS: PROVIDE (2) 2x4 OR DFL 2 OR BETTER UNO. CONSTRUCT HEADERS W/ 2x4 & 7/16" OSB BETWEEN W/ (2) ROWS OF 16d @ 16" O.C.
 - BLOCKING MIN. 1.5 INCHES UTILITY GRADE LUMBER JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOCKING NOT < 2 INCHES
 - 1x4 F.J., C.J. & RAFTERS TO BE SYP OR DFL GRADE #2 OR BETTER
 - EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF CEILING DIAPHRAGM PER RC 602.3
 - STUDS, RAFTERS, JOISTS, MS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.



Woodcrest - Hook Farms Lot 15

Architect:
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Nicholas Baumgarten Date: 10/11/2021
Architect License No. A-2017038489

Original Issue Date: 10/11/2021

REVISIONS		
Number	DESCRIPTION	DATE
3	Revision 3	11/27/21

Framing Plan

S1

Project No.

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DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
11/03/2021

NOTES:
1. PROVIDE MOISTURE RESISTANT GWB IN WET AREAS
2. EXTEND ALL FIRE RATED WALLS STRUCTURE TO STRUCTURE.
3. USE TYPE "X" GWB FOR ALL FIRE RATED PARTITIONS
4. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.

PARTITION SYSTEM:
GYPSUM WALL BOARD PARTITION

PARTITION IDENTIFICATION PLAN SYMBOL	G4	G4.1	G4.L	G6	G8
BASE PARTITION THICKNESS	4.5"	4.5"	4.5"	6.5"	8.25"
STUD SPACING (O.C.)	16"	16"	16"	16"	16"
STUD SIZE	2x4	2x4	2x4	2x6	2x8
GWB THICKNESS	1/2"	5/8"	5/8"	1/2"	1/2"
JOINT SEALANTS	No	No	No	No	No
INTERIOR LOAD BEARING WALL	No	No	Yes	No	No
FIRE RATING (HRS)	-	1	-	-	-
FIRE TEST NUMBER	-	U314	-	-	-
FIRE TEST NUMBER (HEAD OF WALL)	-	-	-	-	-
FIRE RESISTIVE JOINTS	-	-	-	-	-
ACOUSTIC RATING (STC)	-	-	-	-	-
ACOUSTICAL TEST NUMBER	-	-	-	-	-
INSULATION	No	Yes	No	No	No
ACOUSTICAL JOINTS	-	-	-	-	-
REMARKS:	* SEE NOTE #4	* SEE NOTE #3	* SEE NOTE #3	* SEE NOTE #4	* SEE NOTE #4

NOTES:
1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.

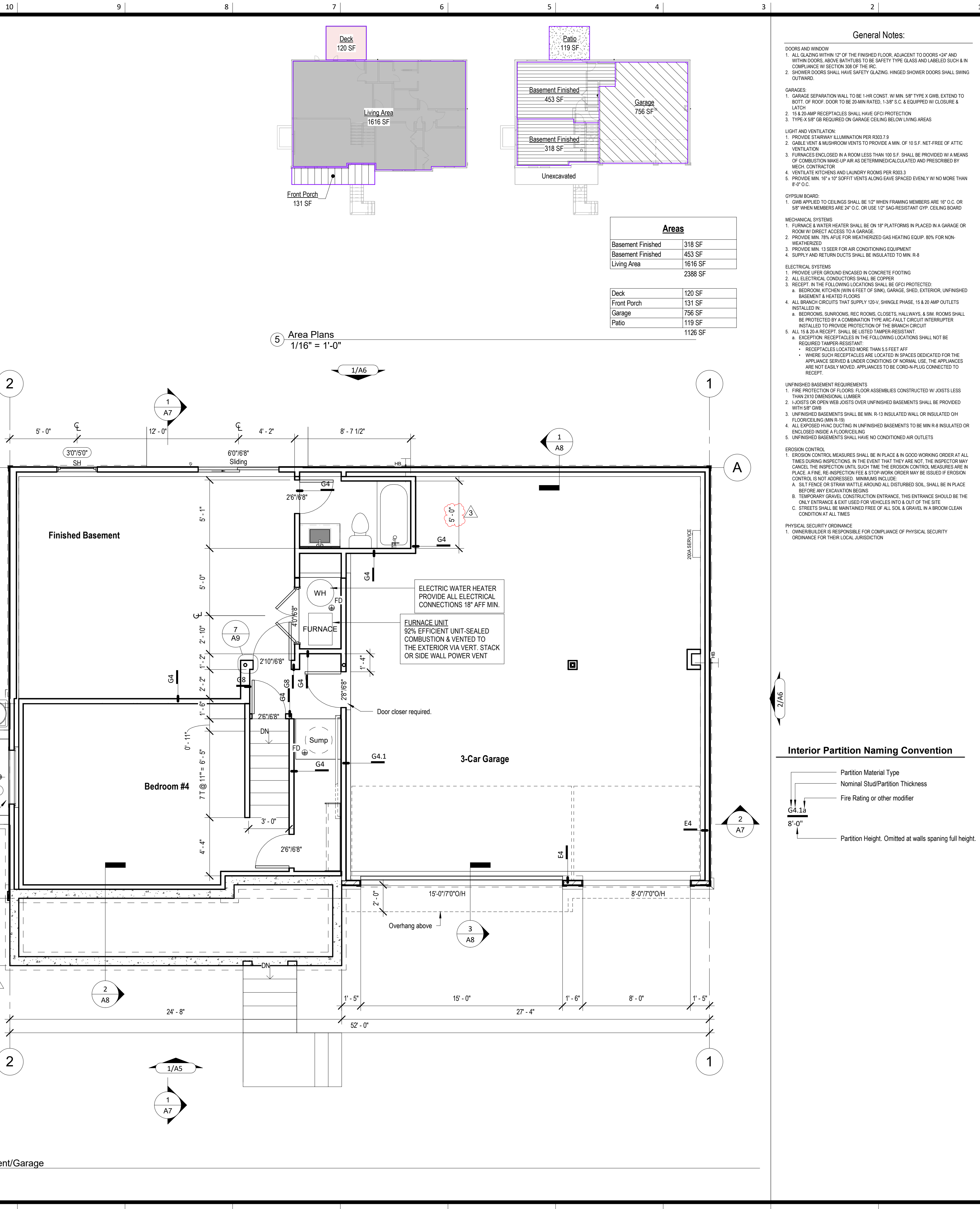
PARTITION SYSTEM:
GYPSUM FURRING PARTITION

PARTITION IDENTIFICATION PLAN SYMBOL	F4
BASE PARTITION THICKNESS	4"
STUD SPACING (O.C.)	16"
STUD SIZE	2x4
GWB THICKNESS	1/2"
JOINT SEALANT	No
FIRE RATING (HRS)	-
FIRE TEST NUMBER	-
FIRE TEST NUMBER (HEAD OF WALL)	-
FIRE RESISTIVE JOINTS	-
ACOUSTIC RATING (STC)	-
ACOUSTICAL TEST NUMBER	-
INSULATION	-
ACOUSTICAL JOINTS	-
REMARKS:	* SEE NOTE #1

NOTES:
1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.

PARTITION SYSTEM:
Exterior Partition

PARTITION IDENTIFICATION PLAN SYMBOL	E4	E6
BASE PARTITION THICKNESS	4"	6"
STUD SPACING (O.C.)	16"	16"
STUD SIZE	2x4	2x6
GWB THICKNESS	1/2"	1/2"
JOINT SEALANT	Yes	Yes
FIRE RATING (HRS)	-	-
FIRE TEST NUMBER	-	-
FIRE TEST NUMBER (HEAD OF WALL)	-	-
FIRE RESISTIVE JOINTS	-	-
ACOUSTIC RATING (STC)	-	-
ACOUSTICAL TEST NUMBER	-	-
INSULATION	Yes	Yes
ACOUSTICAL JOINTS	-	-
REMARKS:	* SEE NOTE #1	* SEE NOTE #1



Areas

Basement Finished	318 SF
Basement Unexcavated	453 SF
Living Area	1616 SF
Deck	120 SF
Front Porch	131 SF
Garage	756 SF
Patio	119 SF
Unexcavated	1126 SF

General Notes:

DOORS AND WINDOW

- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS 2'-0" AND WITHIN DOORS ABOVE PARTITIONS TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE WITH SECTION 308 OF THE IRC.
- SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.

GARAGES:

- GARAGE SEPARATION WALL TO BE 1-HR CONST. W/ MIN. 5/8" TYPE X GWB, EXTEND TO BOTTOM OF ROOF. DOOR TO BE 20-MIN RATED, 138" C.I. & EQUIPPED W/ CLOSURE & LATCH.
- 15 & 20 AMP RECEPTACLES SHALL HAVE GFCI PROTECTION.
- TYPE X 5/8" G8 REQUIRED ON GARAGE CEILING BELOW LIVING AREAS.

LIGHT AND VENTILATION

- PROVIDE STAIRWAY ILLUMINATION PER R303.3.
- GABLE VENT & WINDOW VENTS TO PROVIDE A MIN. OF 10 S.F. NET-FREE OF ATTIC VENTILATION.
- FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED IN A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED/ CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR.
- VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3.
- PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG EAVE SPACED EVENLY W/ NO MORE THAN 8'-0" O.C.

GYPSUM BOARD:

- GWB APPLIED TO CEILINGS SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD.

MECHANICAL SYSTEMS

- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS IN PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE.
- PROVIDE MIN. 75% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED.
- PROVIDE MIN. 13 SEER FOR AIR CONDITIONING EQUIPMENT.
- SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8.

ELECTRICAL SYSTEMS

- PROVIDE USER GROUND ENCASED IN CONCRETE FOOTING.
- ALL ELECTRICAL CONDUCTORS SHALL BE COPPER.
- RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
 - a. BEDROOM, KITCHEN (W/IN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS.
 - b. ALL BRANCH CIRCUITS THAT SUPPLY 120-V. SHINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
 - a. BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, & SM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE AFC-FULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- ALL 15 & 20A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
 - a. EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:
 - RECEPTACLES LOCATED MORE THAN 5.5 FEET AFF.
 - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCES ARE NOT EASILY MOVED. APPLIANCES TO BE CORD-IN-PLUG CONNECTED TO RECEPT.

UNFINISHED BASEMENT REQUIREMENTS

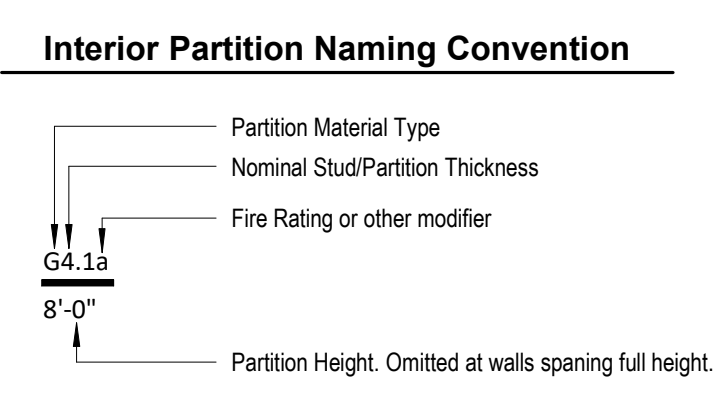
- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER.
- JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" GWB.
- UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED OH FLOORCEILING MIN R-19.
- ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-4 INSULATED OR ENCLOSED INSIDE A FLOORCEILING.
- UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS.

EROSION CONTROL

- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION DATE. SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE, A FINE, RE-INSPECTION FEE & STOP-WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
 - a. SILT FENCE OR STRAW BATTLE AROUND ALL DISTURBED SOIL. SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS.
 - b. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE.
 - c. STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROOM CLEAN CONDITION AT ALL TIMES.

PHYSICAL SECURITY ORDINANCE

- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION.



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Original Issue Date: 10/11/2021

REVISIONS

Number	DESCRIPTION	DATE
2	Revision 2	10/26/21
3	Revision 3	11/2/21

Floor Plan - Basement/Garage

A0

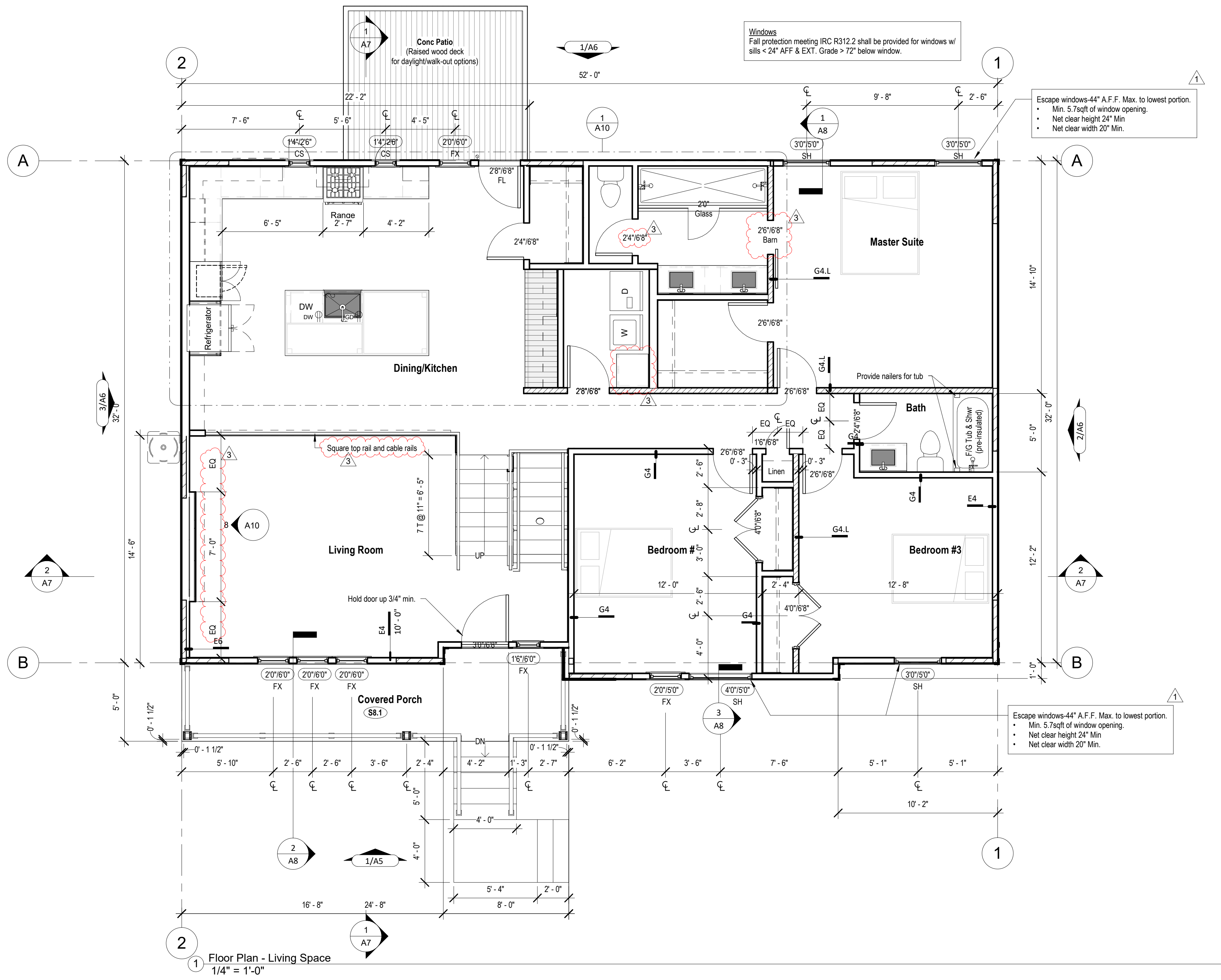
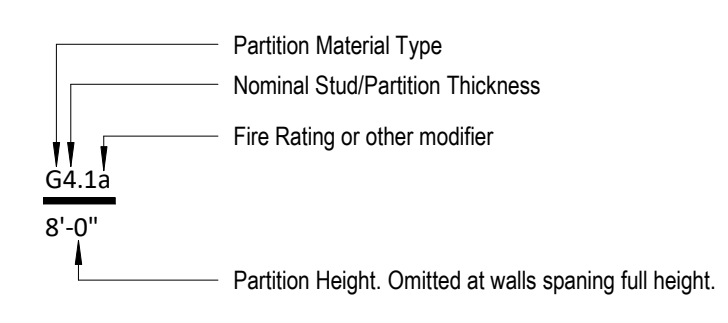
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General Notes:

- DOORS AND WINDOWS**
- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS < 2" AND WITH DOORS ABOVE PARTIALS TO BE SAFETY TYPE GLASS AND LABELED SUCH AS COMPLIANCE WITH SECTION 308 OF THE IRC.
 - SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES**
- GARAGE SEPARATION WALL TO BE 1" HR CONST. W/ MIN. 1/8" TYPE X GWS, EXTEND TO BOTTOM OF ROOF. DOOR TO BE 24" MIN. RATED, 1 1/8" C.I. & EQUIPPED W/ CLOSURE & LATCH.
 - 15 & 20 AMP RECEPTACLES SHALL HAVE GFCI PROTECTION.
 - TYPE X 5/8" G8 REQUIRED ON GARAGE CEILING BELOW LIVING AREAS.
- LIGHT AND VENTILATION**
- PROVIDE STAIRWAY ILLUMINATION PER R303.2.
 - GABLE VENT & WINDOW VENTS TO PROVIDE A MIN. OF 10 S.F. NET-FREE OF ATTIC VENTILATION.
 - FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED WITH A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED BY CALCULATION AND PREScribed BY MECH. CONTRACTOR.
 - VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3.
 - PROVIDE MIN. 16" x 10" SORFIT VENTS ALONG EAVE SPACED EVENLY W/ NO MORE THAN 8'-0" O.C.
- GYPSON BOARD**
- GWB APPLIED TO CEILINGS SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD.
- MECHANICAL SYSTEMS**
- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS IN PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO GARAGE.
 - PROVIDE MIN. 75% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED.
 - PROVIDE MIN. 13 SEER FOR AIR CONDITIONING EQUIPMENT.
 - SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8.
- ELECTRICAL SYSTEMS**
- PROVIDE USER GROUND ENCASED IN CONCRETE FOOTING.
 - ALL ELECTRICAL CONDUCTORS SHALL BE COPPER.
 - RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
 - a. BEDROOM, KITCHEN (WITHIN FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED LOGS.
 - b. ALL BRANCH CIRCUITS THAT SUPPLY 120-V. SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
 - a. BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, & SM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE AFCI-CIRCUIT INTERRUPTER.
 - INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
 - ALL 15 & 20A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
 - a. EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:
 - RECEPTACLES LOCATED MORE THAN 5.5 FEET AFF.
 - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCES ARE NOT EASILY MOVED. APPLIANCES TO BE CORD-N-PLUG CONNECTED TO RECEPT.
- UNFINISHED BASEMENT REQUIREMENTS**
- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X12 DIMENSIONAL LUMBER.
 - JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" DWB.
 - UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED OH FLOORCEILING MIN R-19.
 - ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-4 INSULATED OR ENCLOSED INSIDE A FLOORCEILING.
 - UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS.
- EROSION CONTROL**
- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE, RE-INSPECTION FEE & STOP-WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
 - a. SILT FENCE OR STRAW BATTLE AROUND ALL DISTURBED SOIL. SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS.
 - b. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE.
 - c. STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROOM CLEAN CONDITION AT ALL TIMES.
- PHYSICAL SECURITY ORDINANCE**
- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION.

Interior Partition Naming Convention



Escape windows-44" A.F.F. Max. to lowest portion.

- Min. 5.7sqft of window opening.
- Net clear height 24" Min.
- Net clear width 20" Min.

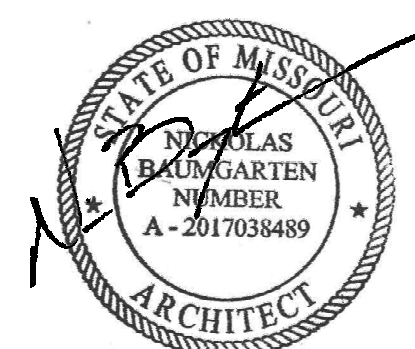
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- Min. 5.7sqft of window opening.
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- Net clear width 20" Min.

architect:
Elevate Design + Build
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816.622.8826 voice

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Architect License No. A-2017038489

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Number	DESCRIPTION	DATE
1	Revision 1	10/26/21
3	Revision 3	11/2/21

Floor Plan - Living Space

A1

Project No.

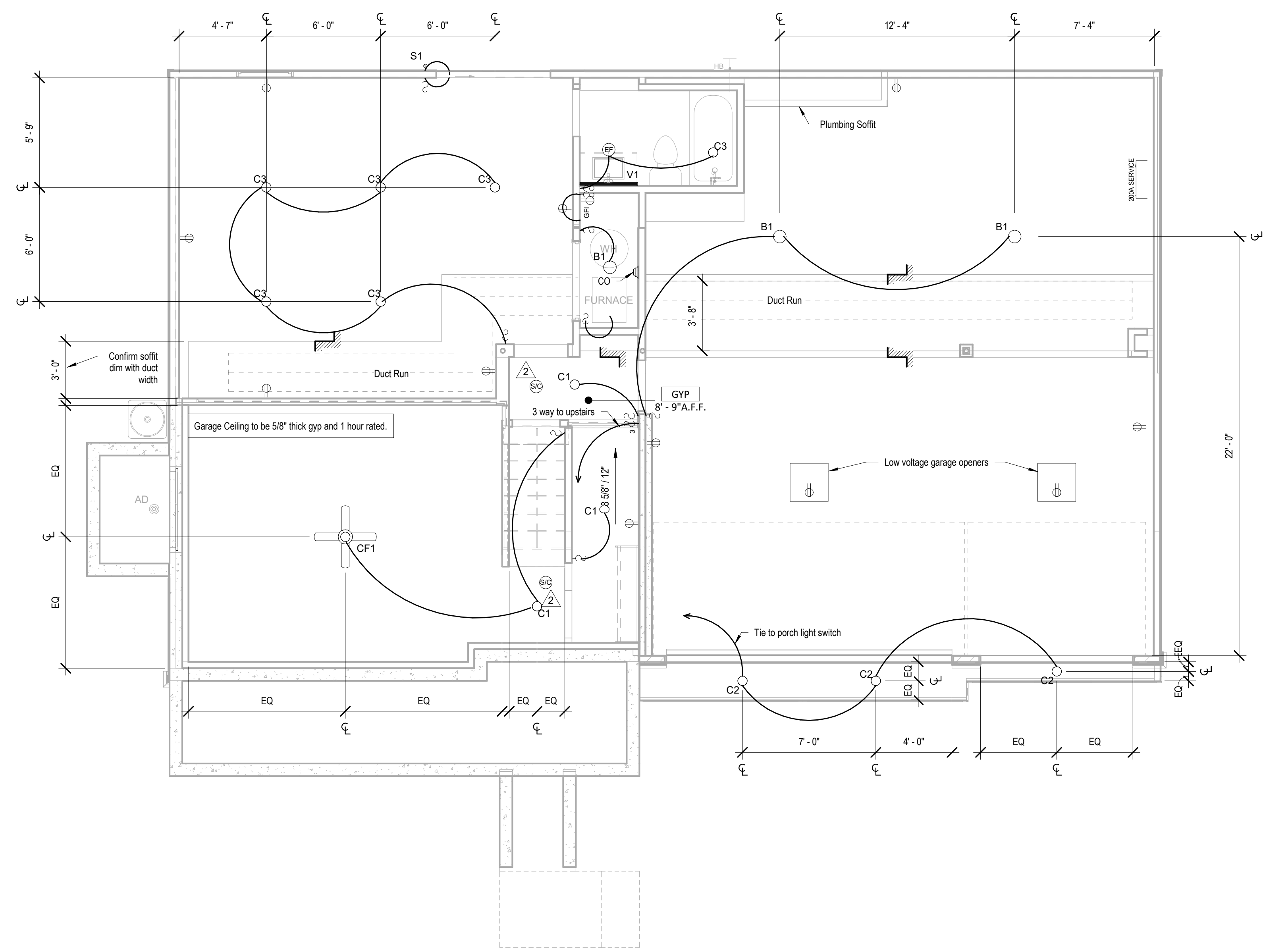
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11/03/2021

Woodcrest - Hook Farms Lot 15

Lighting Fixture Schedule		
Type Mark	Description	Type Comments
B1	Ceiling Mounted Exposed Bulb	
C1	Recessed Can Light - Interior	
C2	Recessed Can Light - Exterior	
C3	LED Disk Light	
CF1	Ceiling Fan w/ Light - Surface Mounted	
CF2	Ceiling Fan w/ Light - Down Rod	Mount with 2'-0" Down Rod
P1	Decorative Pendant Fixture	Mount bottom of fixture 72" AFF
P2	Decorative Pendant Fixture	Mount bottom of fixture 72" AFF
S1	Wall Sconce - Exterior	
S2	Wall Sconce - Interior - Specialty	
V1	Vanity Wall Mounted	

Note:
1. Lighting fixtures penetrating the thermal envelope (Ex: can lights in attic) shall be IC-Rated, Leakage-Rated and sealed to teh gypsum wallboard (N1103.1.1)

Legend - RCP
 Wall Mounted \square
 Ceiling Mounted \circ
 CO - Carbon Monoxide Detector
 S - Smoke Detector
 S/C - Smoke Detector/CO Detector

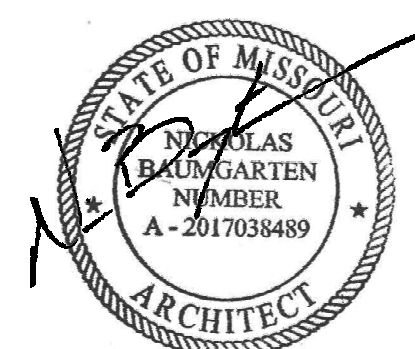


1 RCP/Electrical Plan - Basement/Garage
1/4" = 1'-0"

architect:
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2	Revision 2	10/26/21

RCP/Electrical Plan -
Basement/Garage

A3

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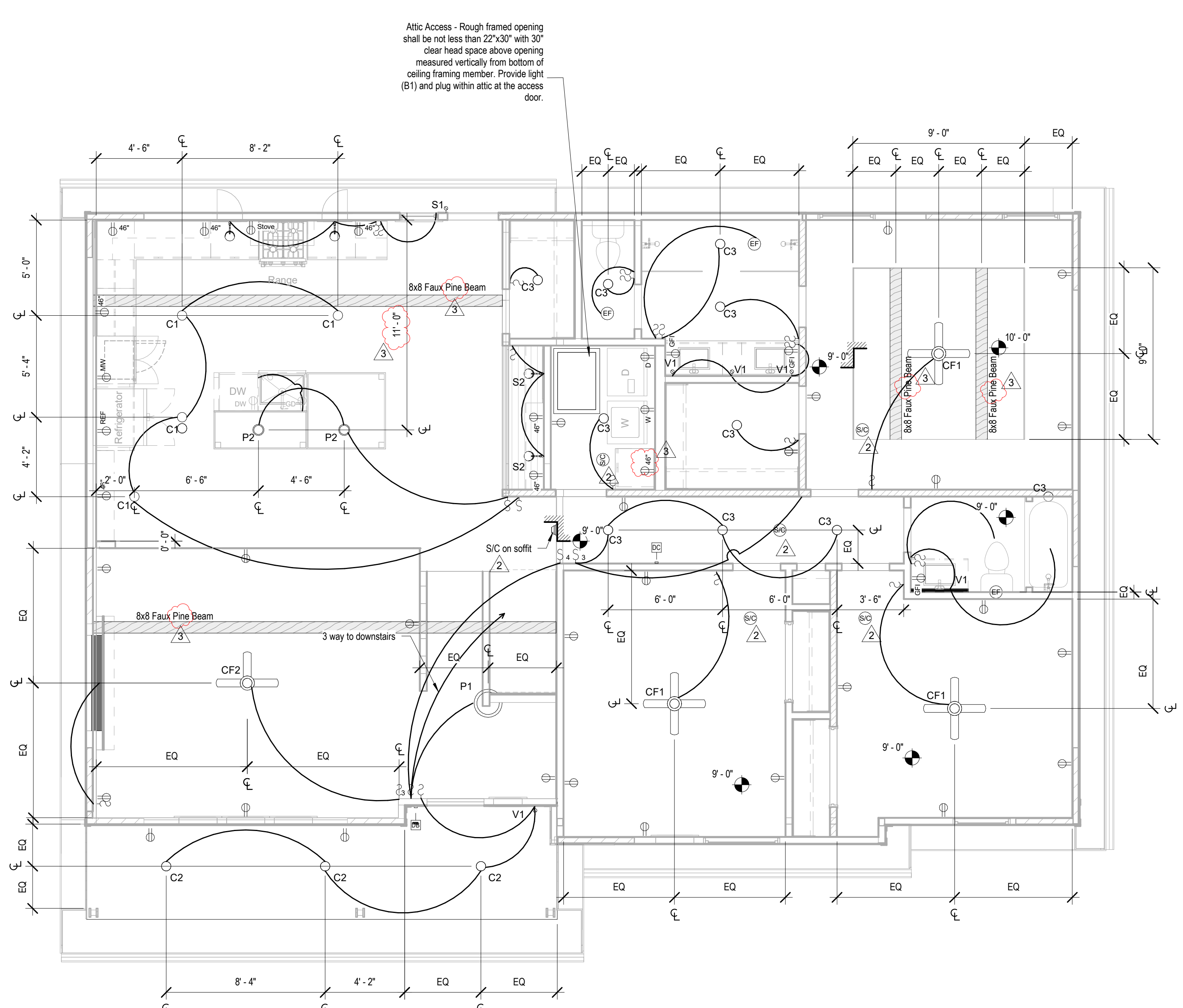
Woodcrest - Hook Farms Lot 15

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C1	Recessed Can Light - Interior	
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S2	Wall Sconce - Interior - Specialty	
V1	Vanity Wall Mounted	

Legend - RCP

- CO - Carbon Monoxide Detector
- S - Smoke Detector
- S/C - Smoke Detector/CO Detector

Wall Mounted (Symbol)
Ceiling Mounted (Symbol)



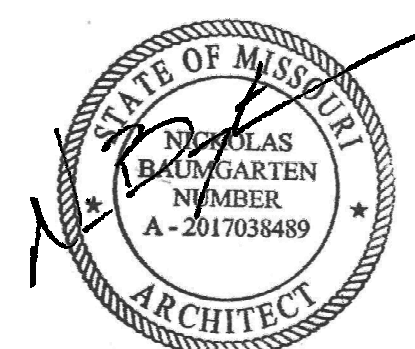
Attic Access - Rough framed opening shall be not less than 22"x30" with 30" clear head space above opening measured vertically from bottom of ceiling framing member. Provide light (B1) and plug within attic at the access door.

1 RCP/Electrical Plan - Living Space
1/4" = 1'-0"

architect:
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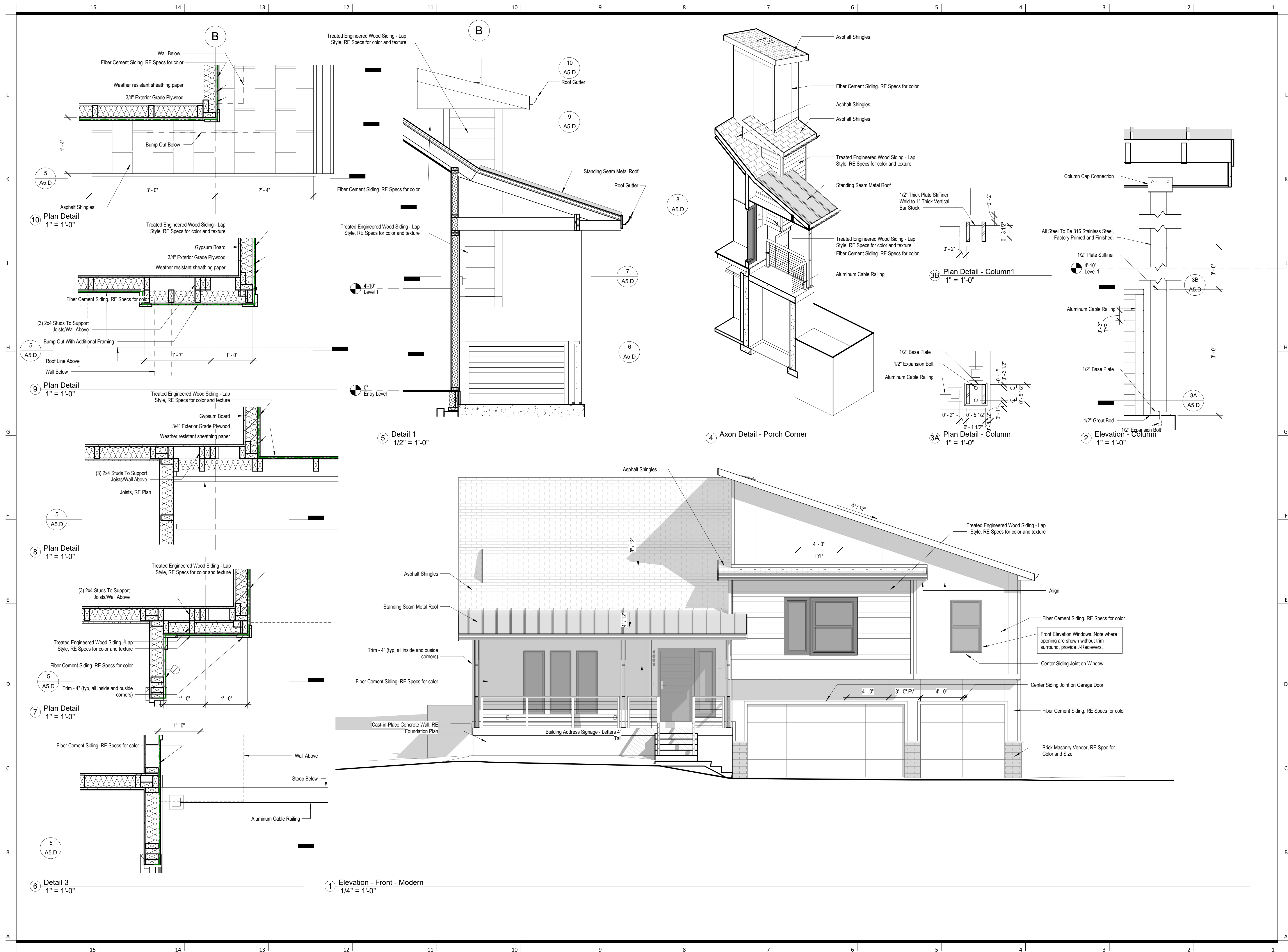
RCP/Electrical Plan - Living Space

A4

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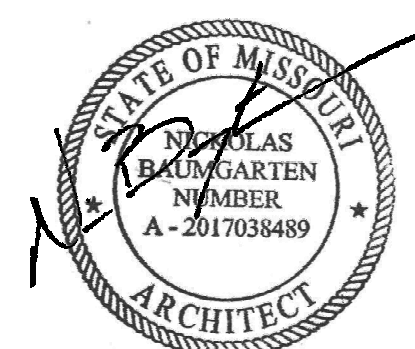
Woodcrest - Hook Farms Lot 15



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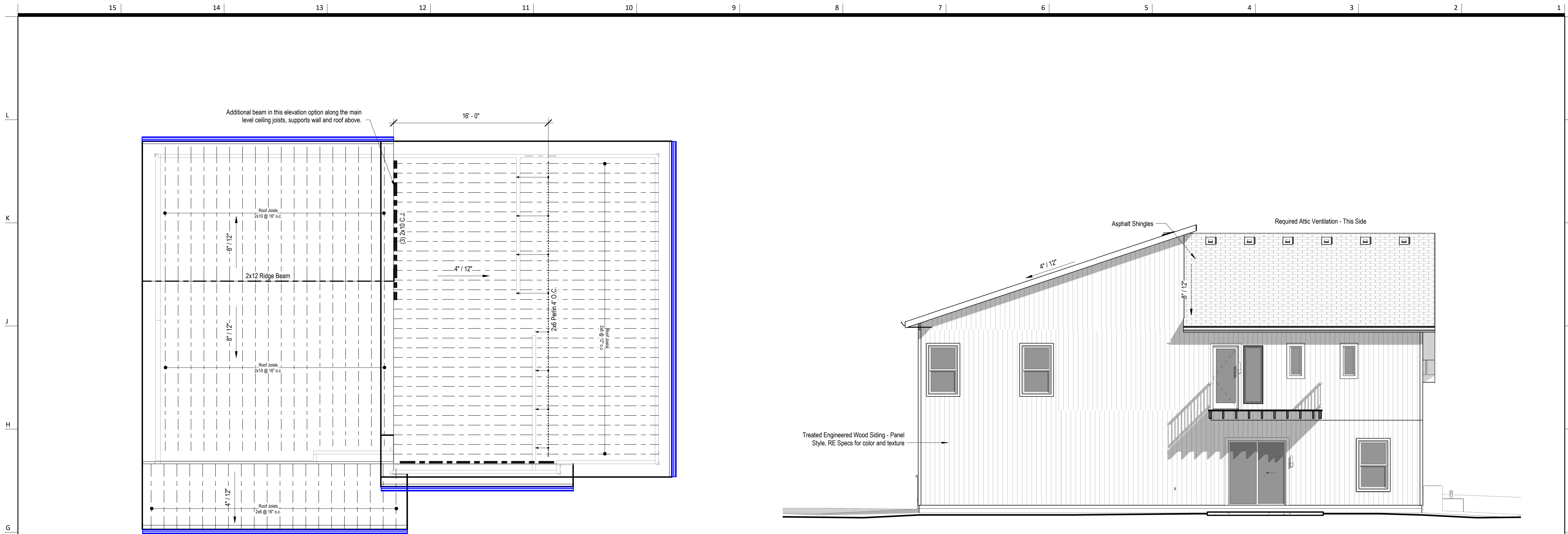
Elevations

A5.D

Project No.

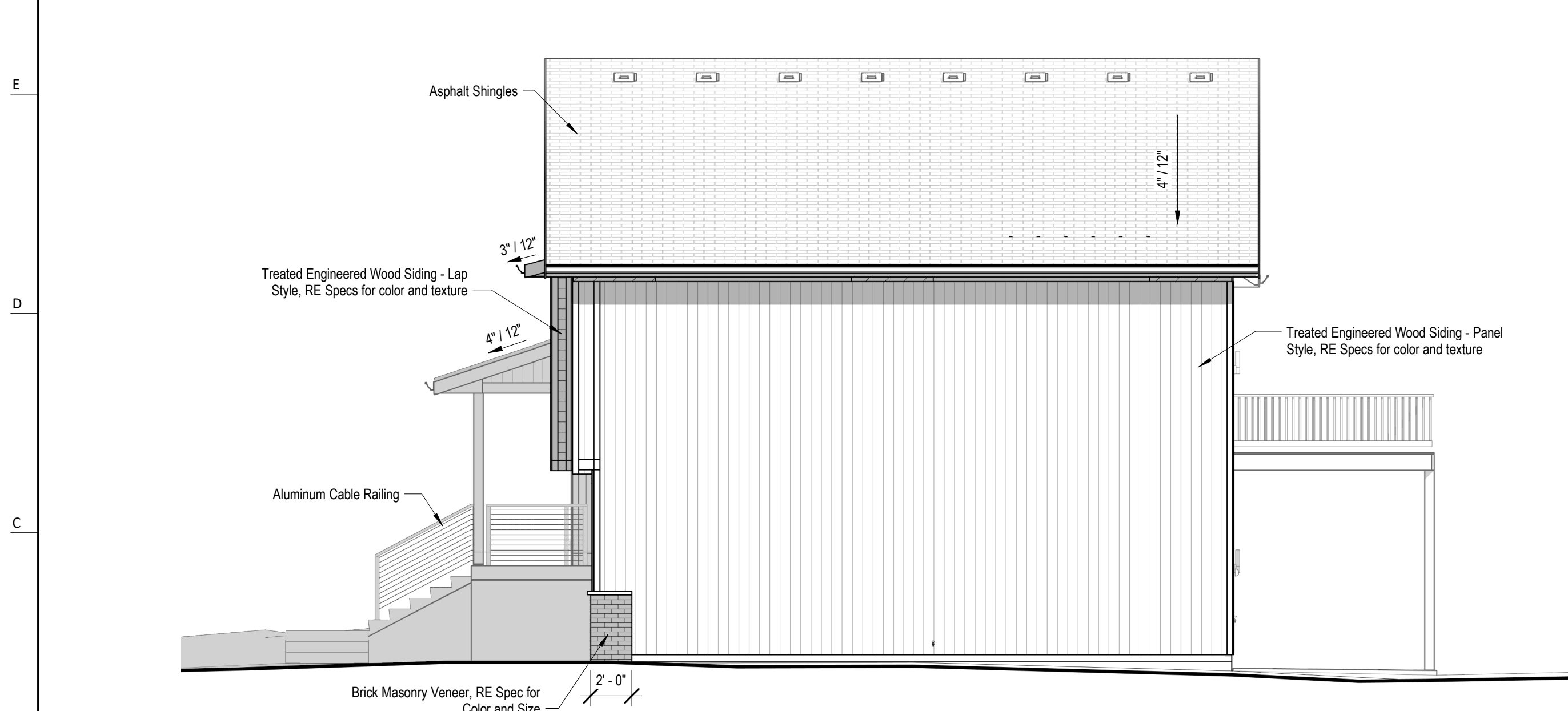
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Woodcrest - Hook Farms Lot 15

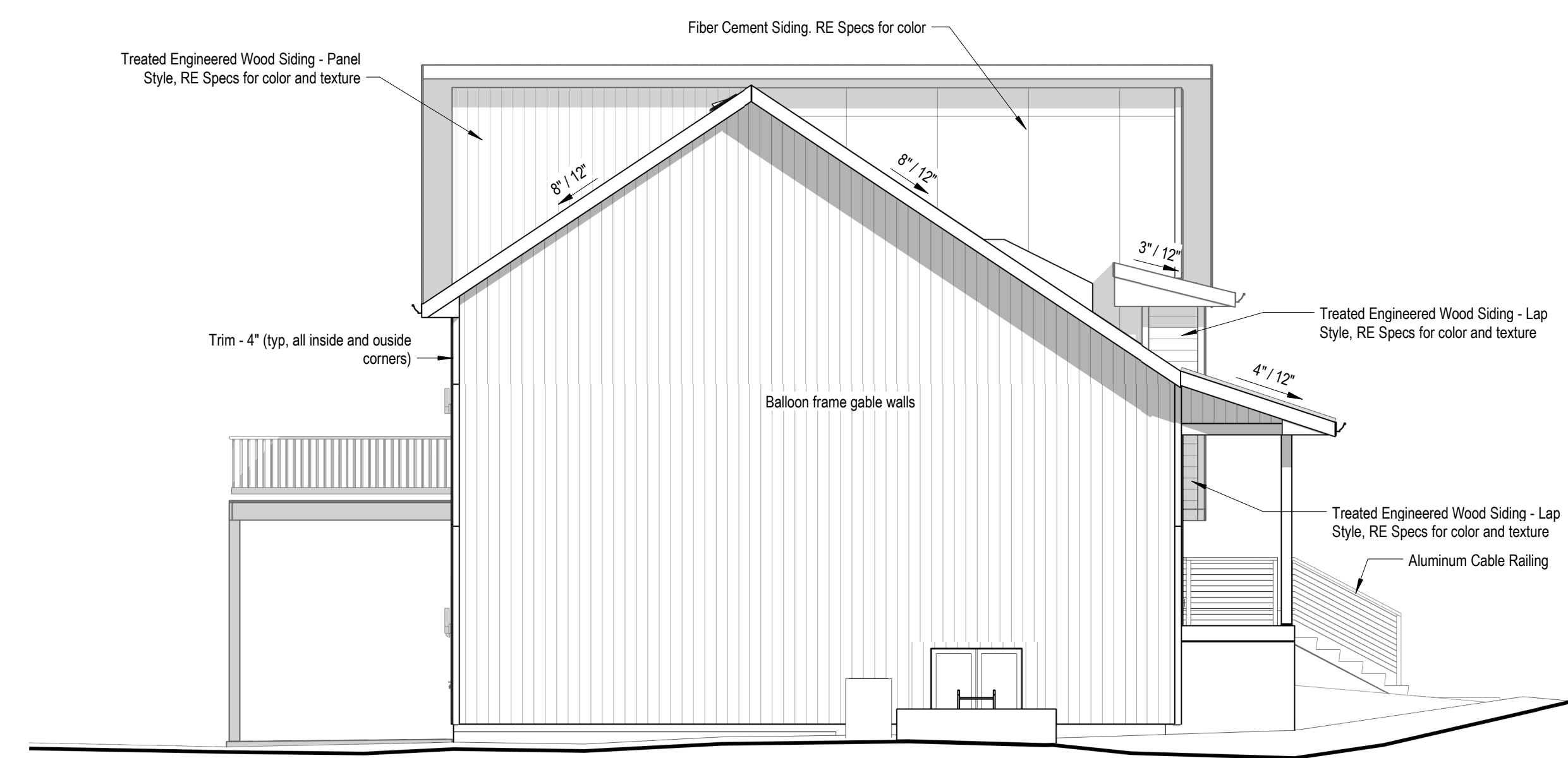


③ Elevation - Back
3/16" = 1'-0"

④ Roof Plan
3/16" = 1'-0"



② Elevation - Left
3/16" = 1'-0"



① Elevation - right
3/16" = 1'-0"

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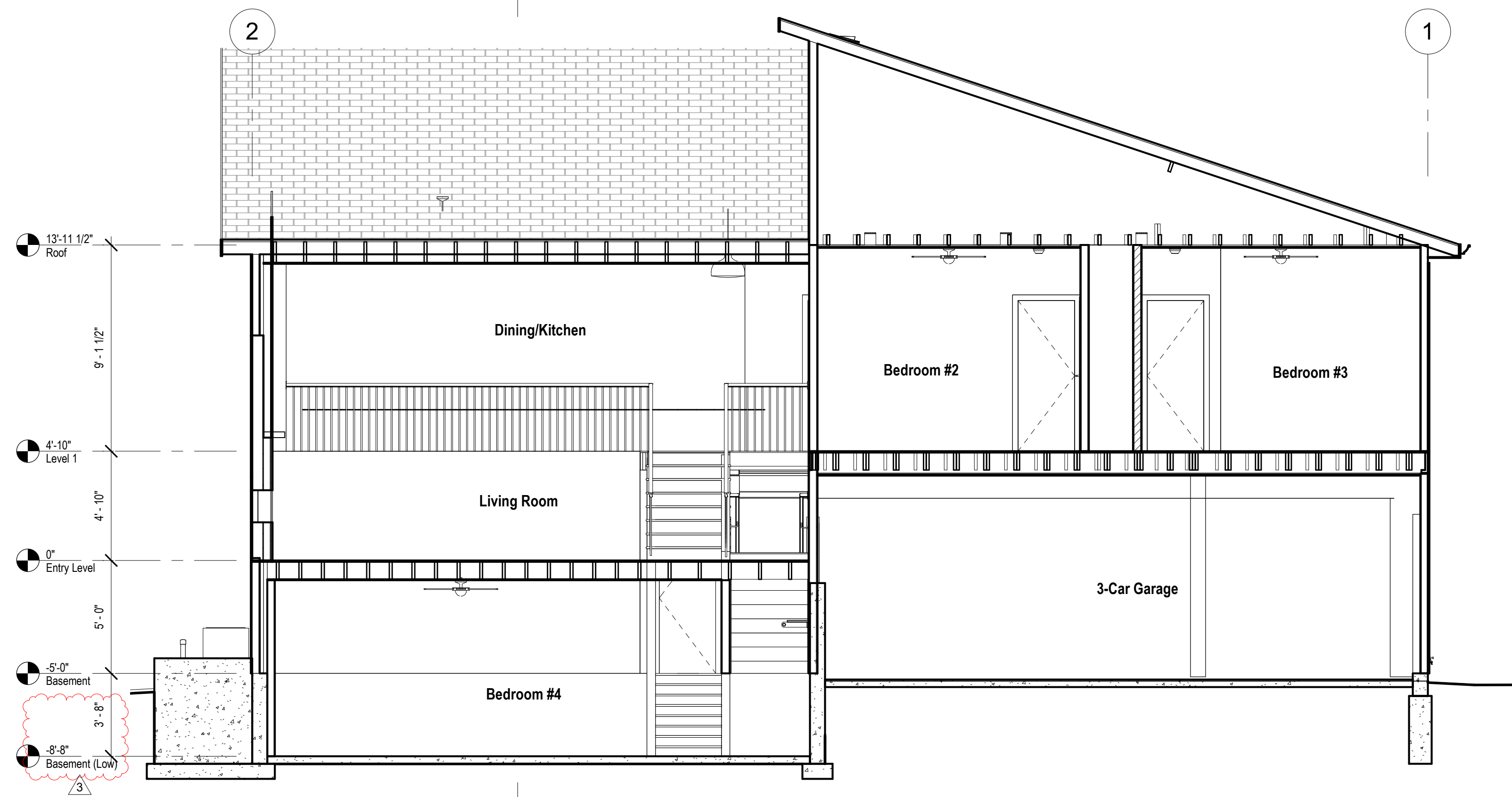
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A6.D

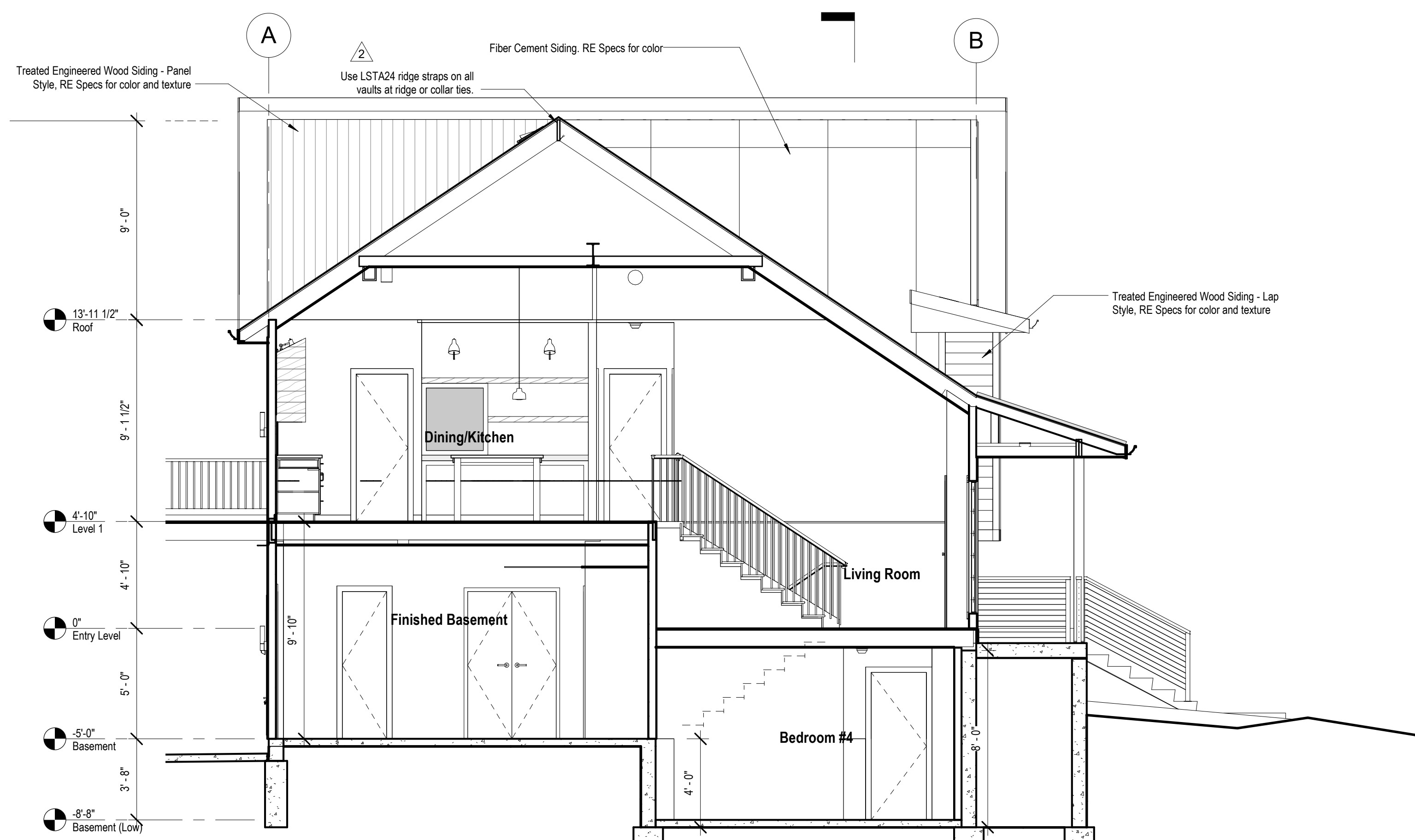
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Woodcrest - Hook Farms Lot 15



2 Building Section
1/4" = 1'-0"

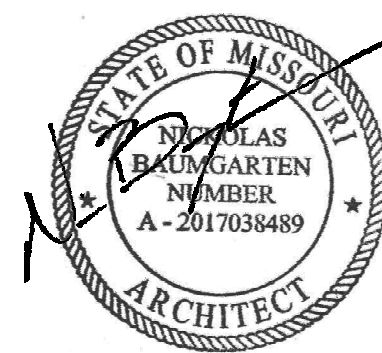


1 Building Section
1/4" = 1'-0"

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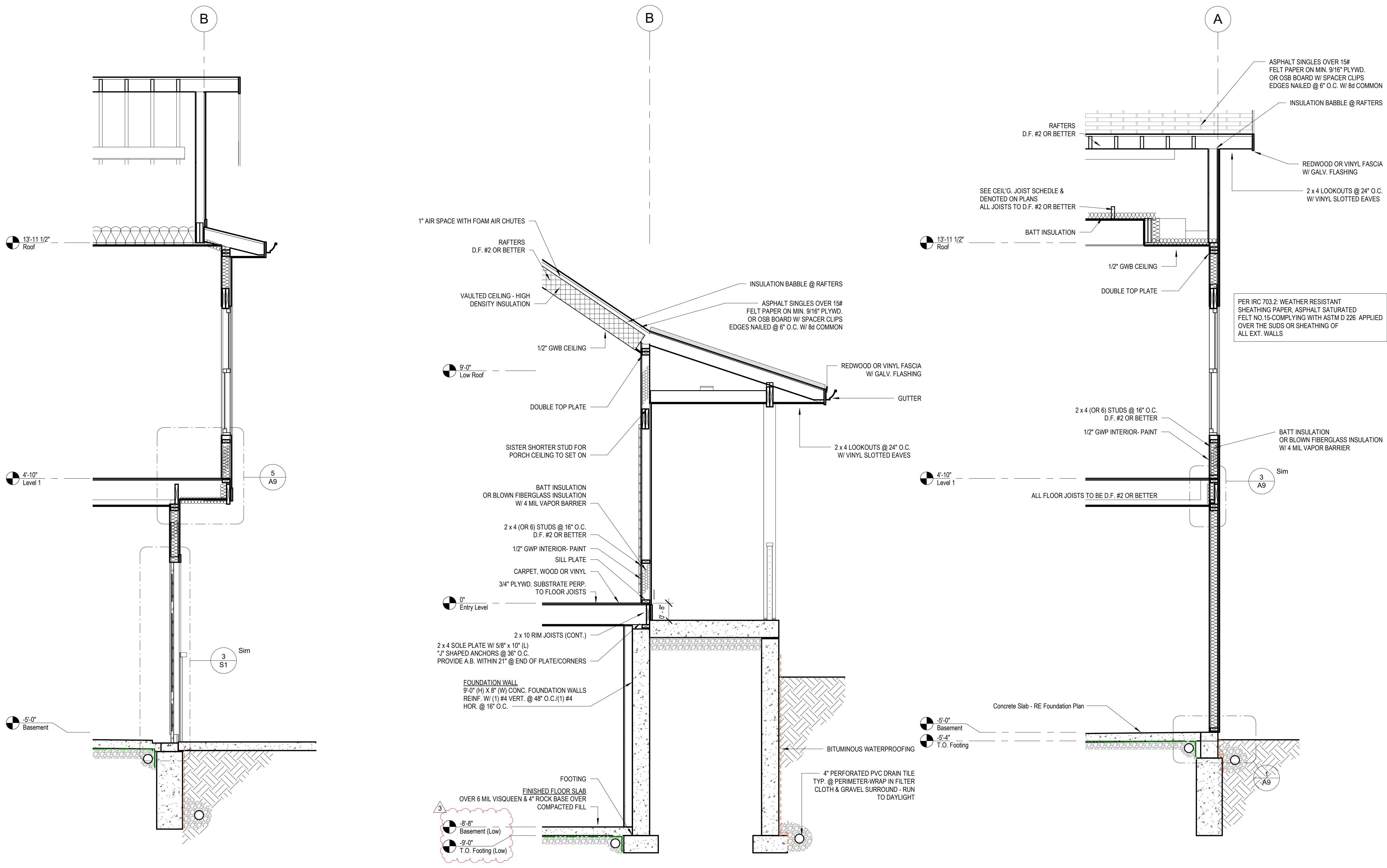
Building Sections

A7

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Woodcrest - Hook Farms Lot 15



3 Wall Section
1/2" = 1'-0"

2 Wall Section
1/2" = 1'-0"

1 Wall Section
1/2" = 1'-0"

Refer to detail 1 this page for additional information.

Refer to detail 1 this page for additional information.

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3	Revision 3	11/2/21

Wall Sections

A8

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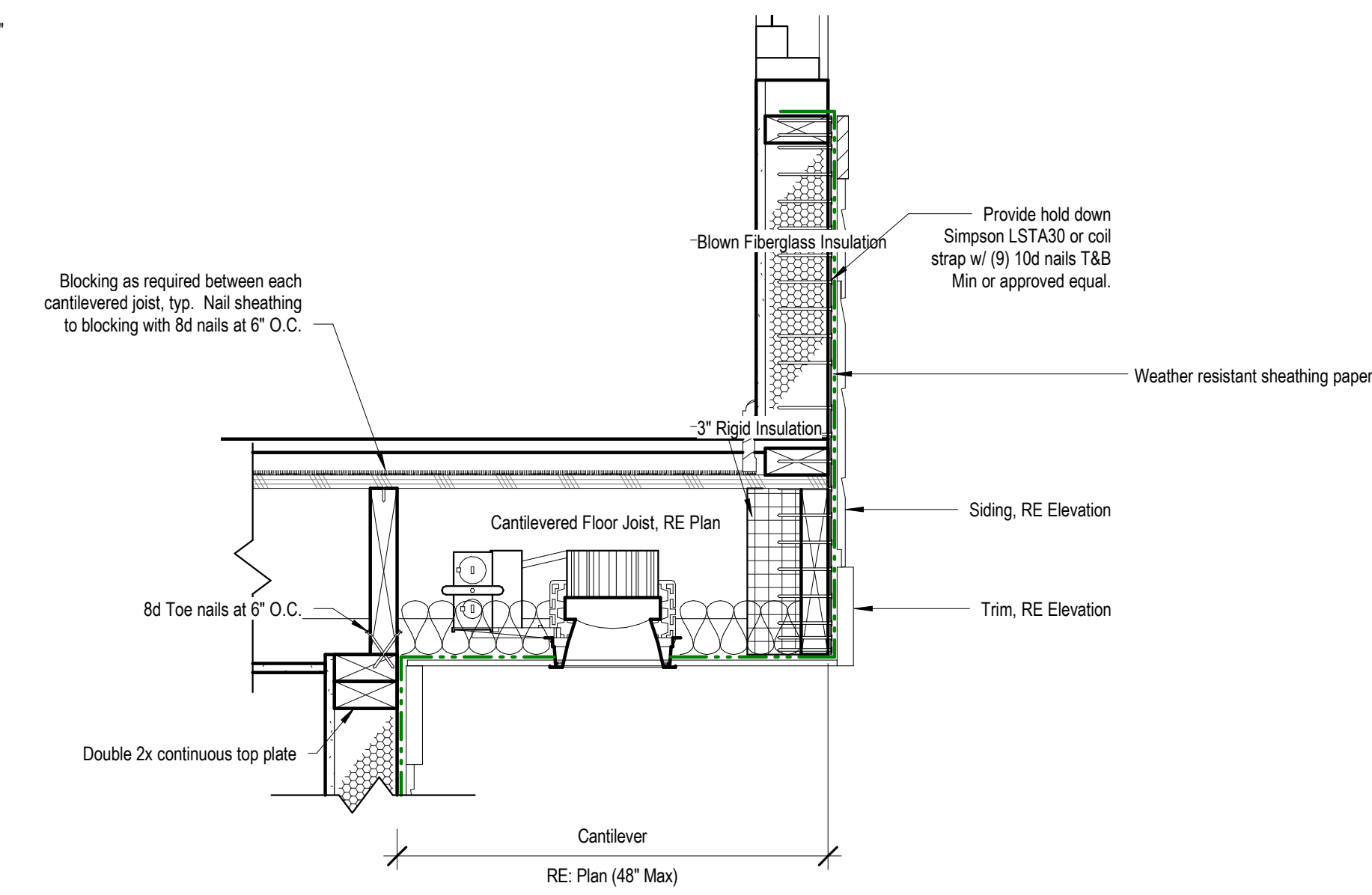
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Details

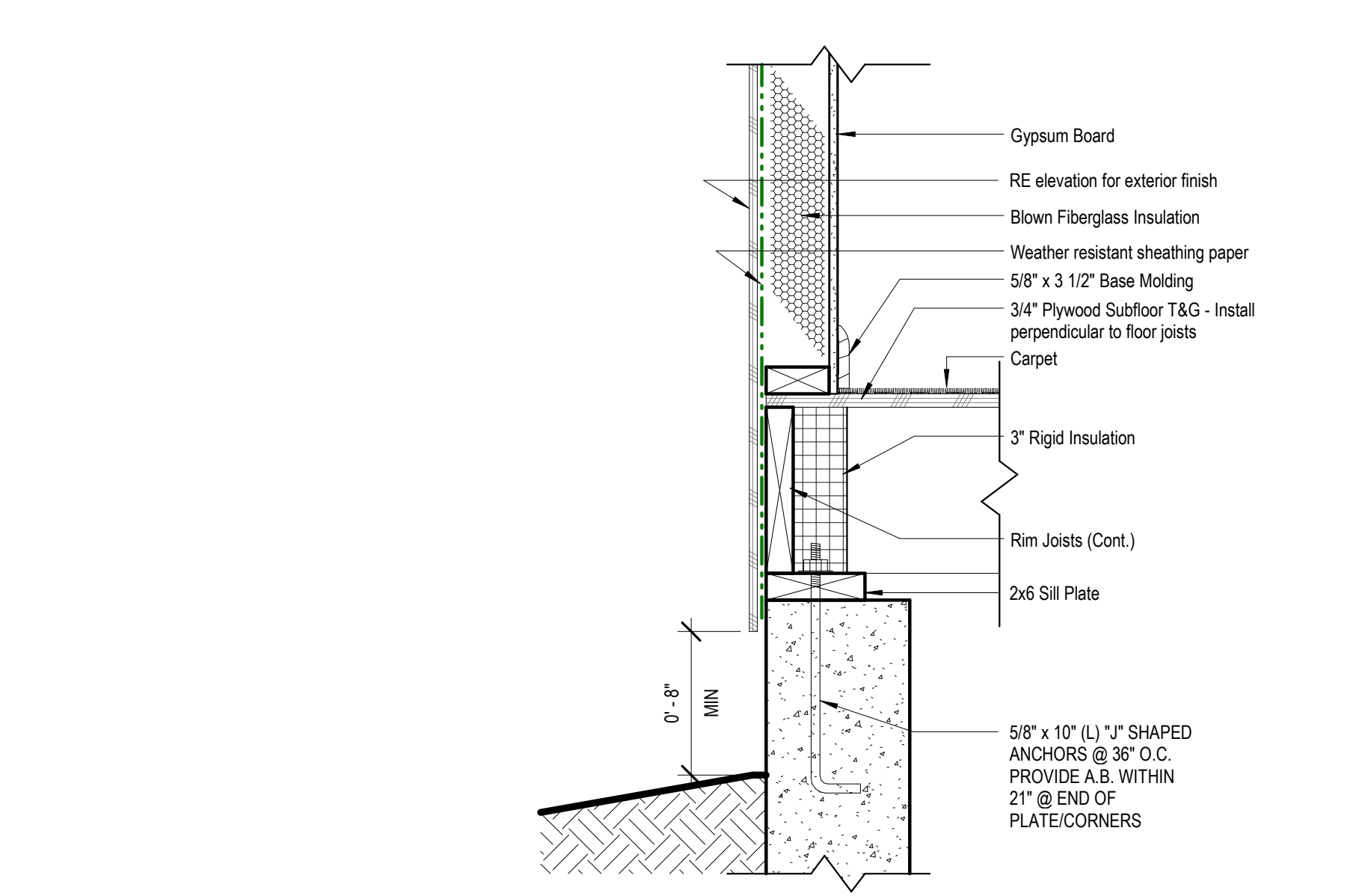
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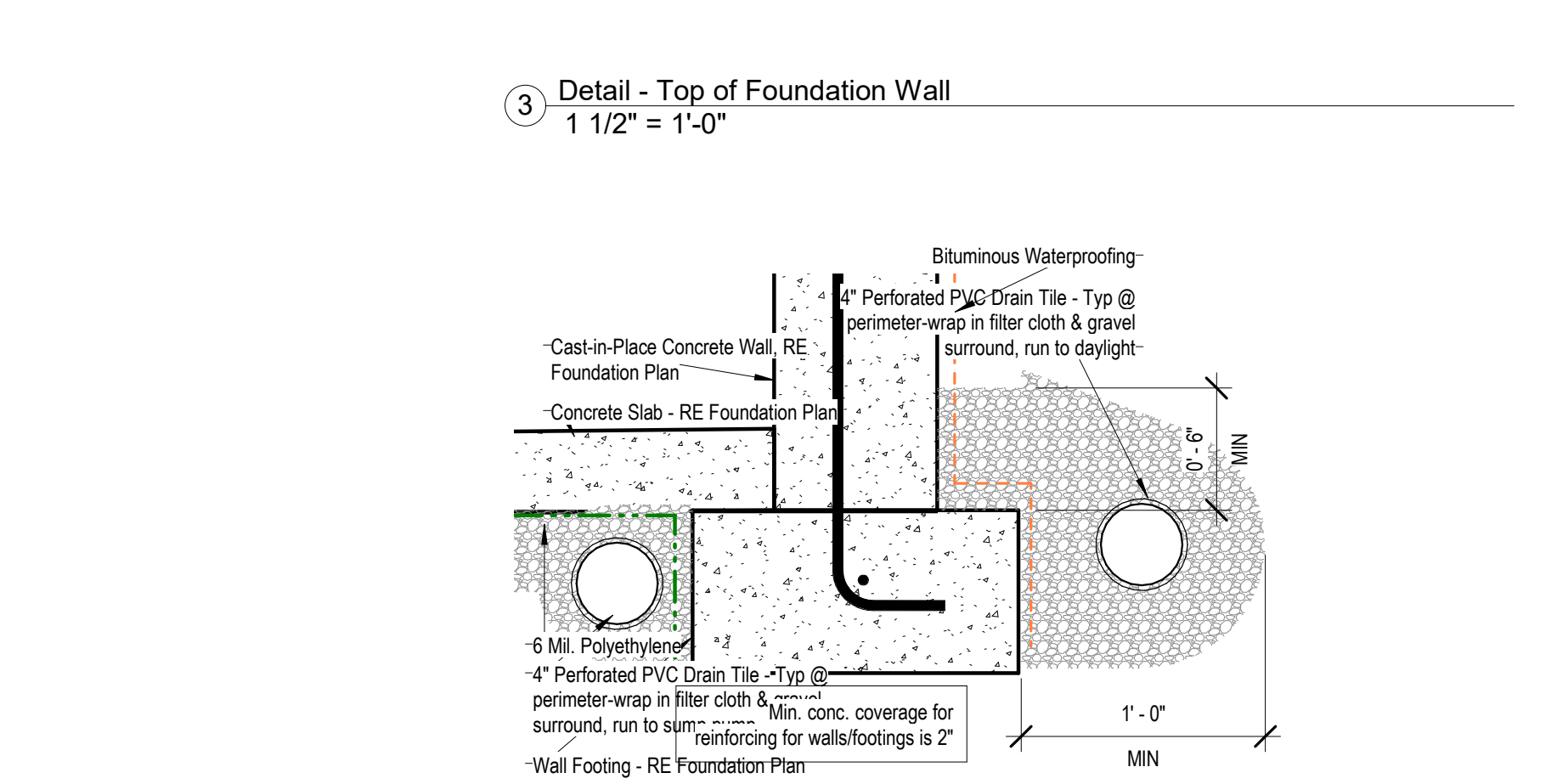
A9



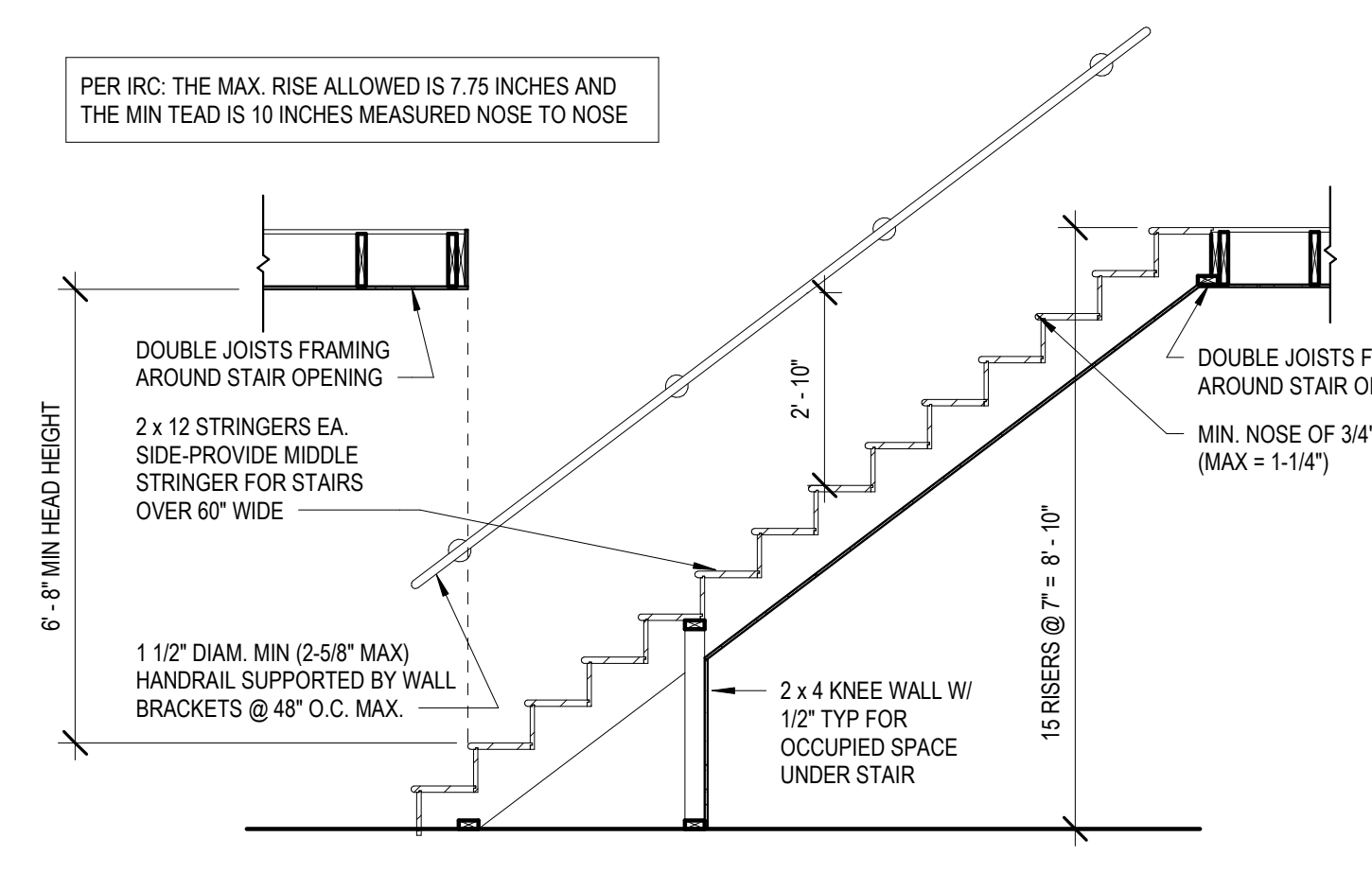
5 Detail - Cantilever
1 1/2" = 1'-0"



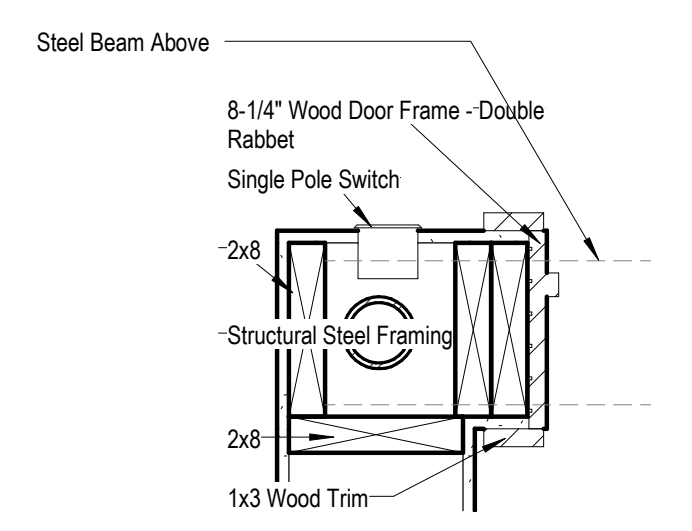
3 Detail - Top of Foundation Wall
1 1/2" = 1'-0"



1 Detail - Footing
1 1/2" = 1'-0"



6 TYP STAIR SECTION/REQUIREMENTS
3/8" = 1'-0"



7 Detail - Door Jamb
1 1/2" = 1'-0"

7 Detail - Door Jamb
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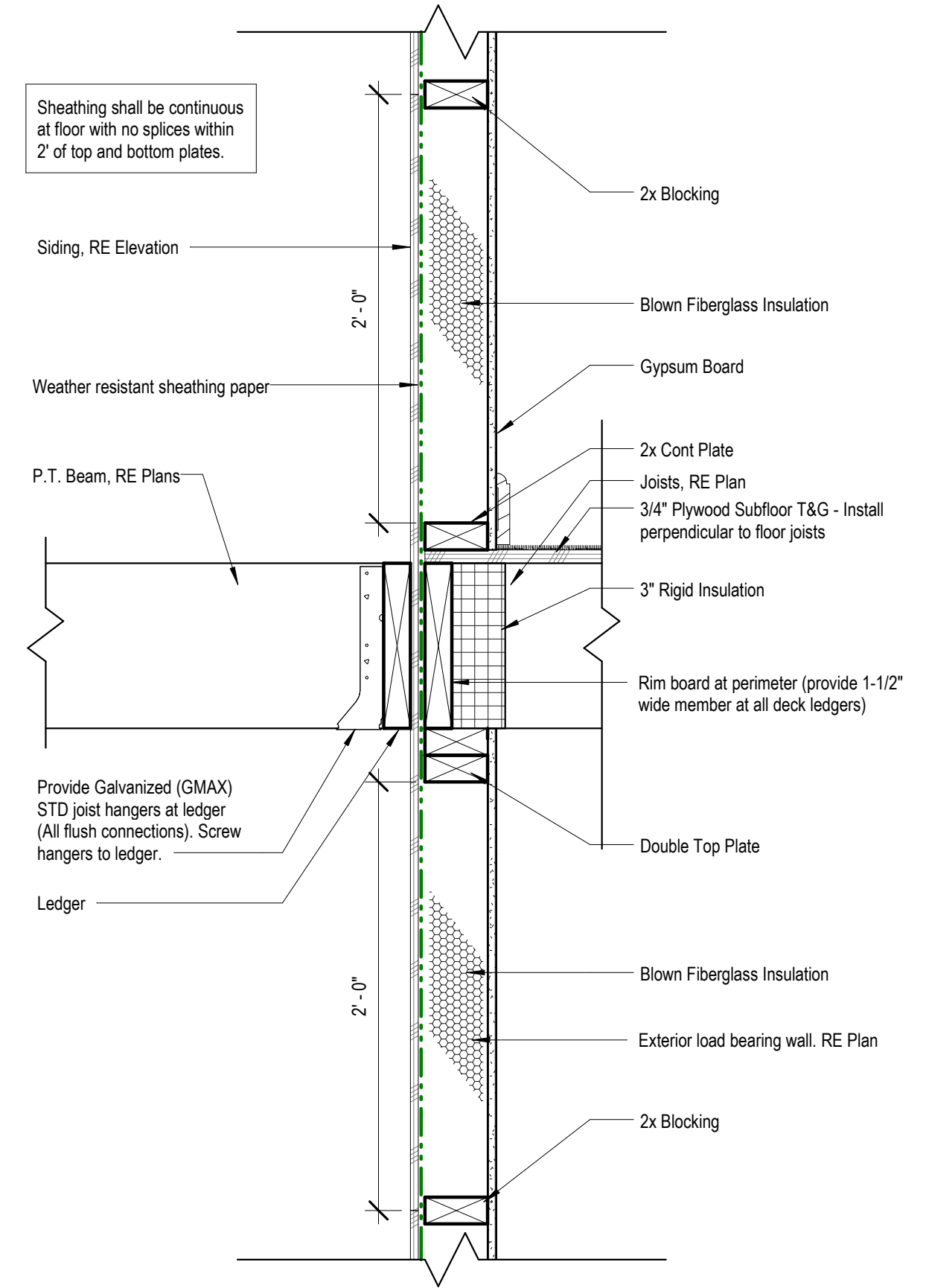
7 Detail - Door Jamb
1 1/2" = 1'-0"

7 Detail - Door Jamb
1 1/2" = 1'-0"

7 Detail - Door Jamb
1 1/2" = 1'-0"

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1 1/2" = 1'-0"

7 Detail - Door Jamb
1 1/2" = 1'-0"



9 Lateral Deck Connection
1 1/2" = 1'-0"

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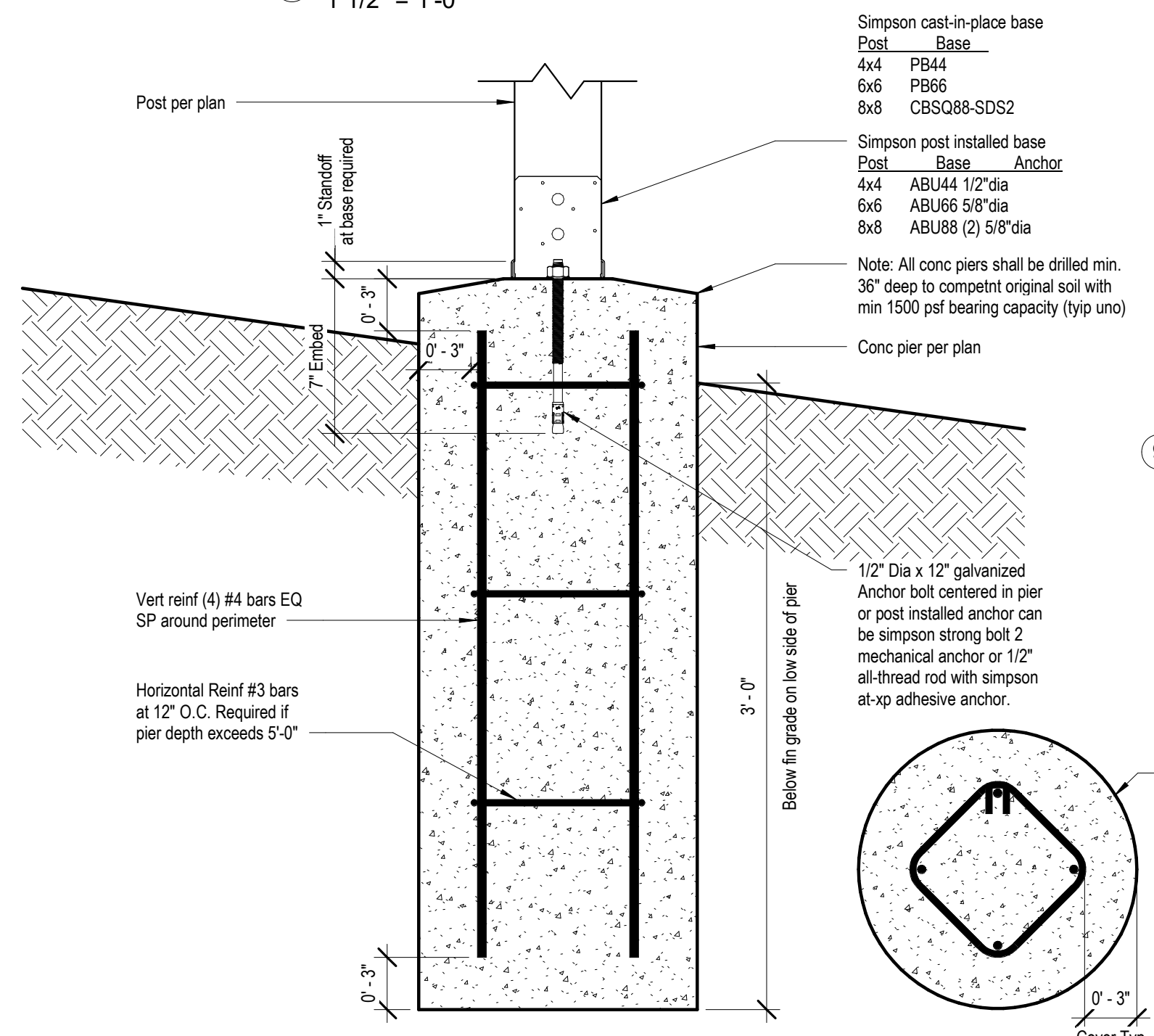
9 Lateral Deck Connection
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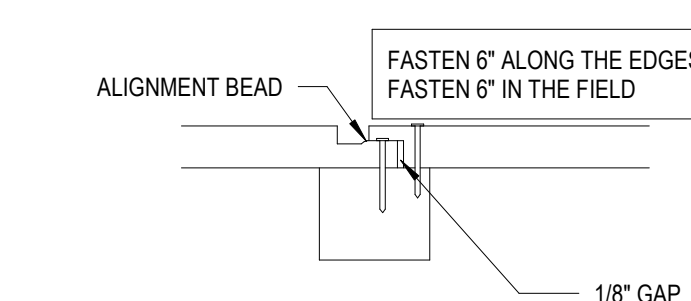


8 Typ Details for Post/Pier
1 1/2" = 1'-0"

8 Typ Details for Post/Pier
1 1/2" = 1'-0"

8 Typ Details for Post/Pier
1 1/2" = 1'-0"

8 Typ Details for Post/Pier
1 1/2" = 1'-0"



2 SMARTSIDE PANEL NAILING PATTERN
3" = 1'-0"

2 SMARTSIDE PANEL NAILING PATTERN
3" = 1'-0"

2 SMARTSIDE PANEL NAILING PATTERN
3" = 1'-0"

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2 SMARTSIDE PANEL NAILING PATTERN
3" = 1'-0"

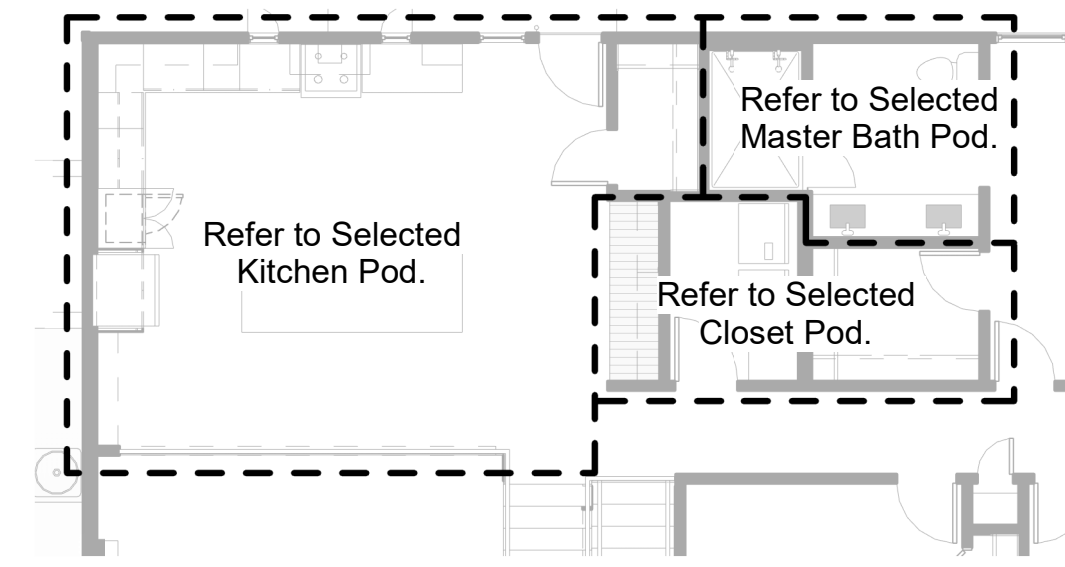
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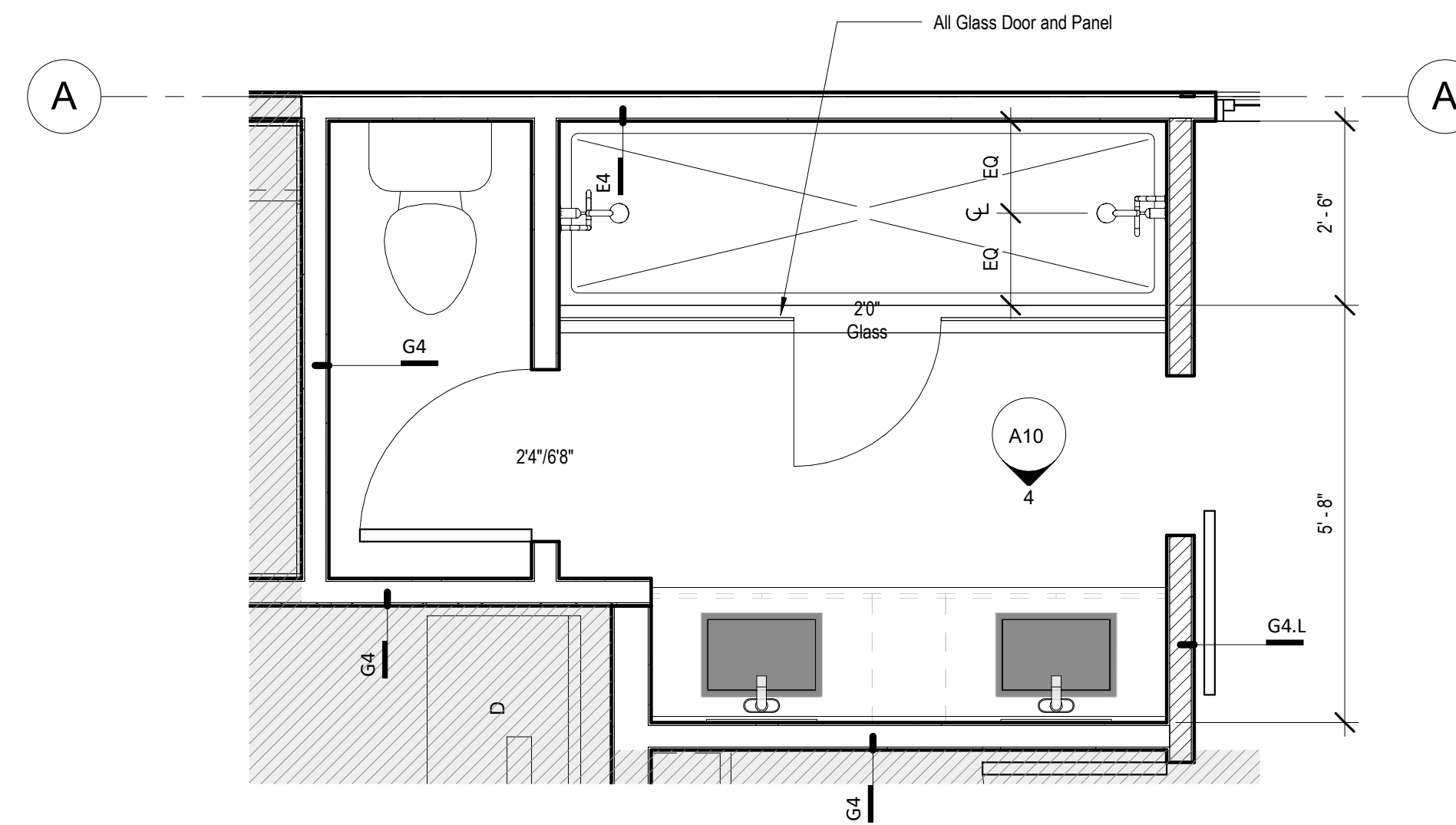
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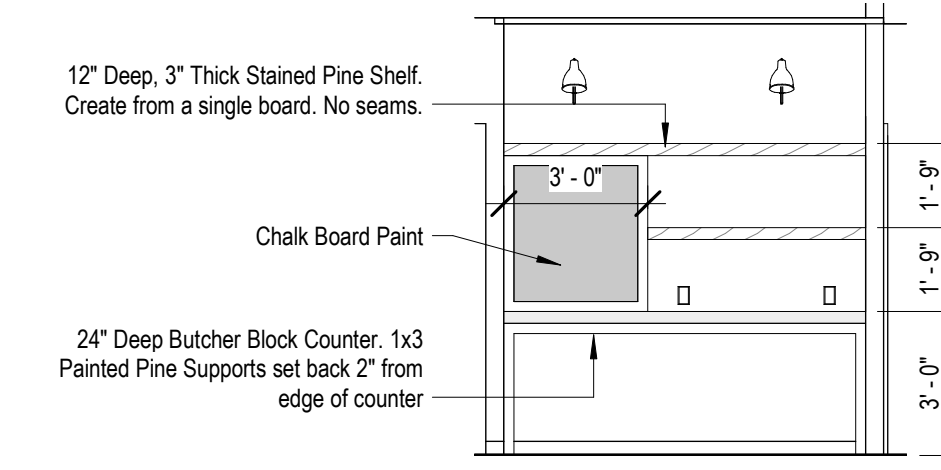
Woodcrest - Hook Farms Lot 15



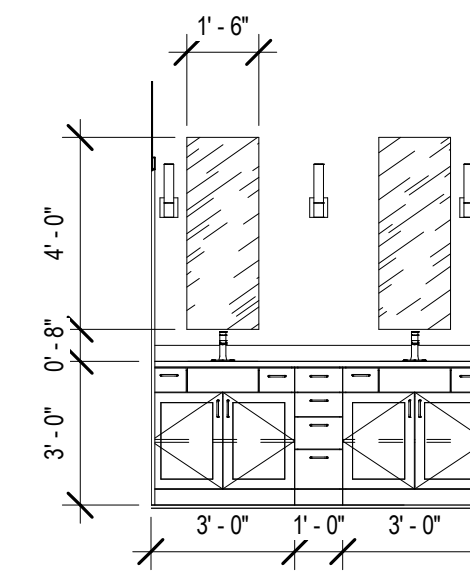
① Plan Pod Options - Key Plan
1/8" = 1'-0"



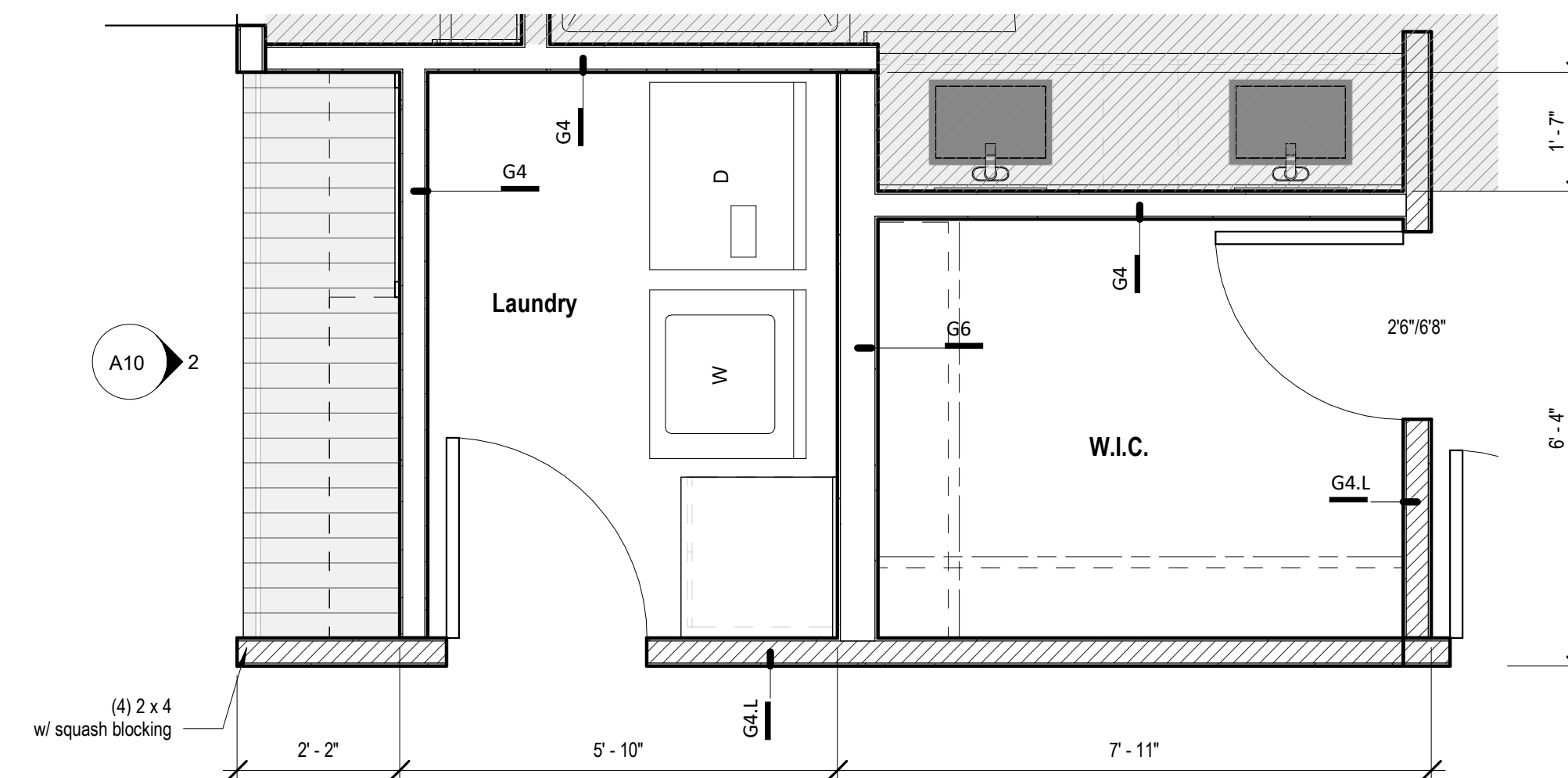
⑫ Master Bath Pod - Classic
1/2" = 1'-0"



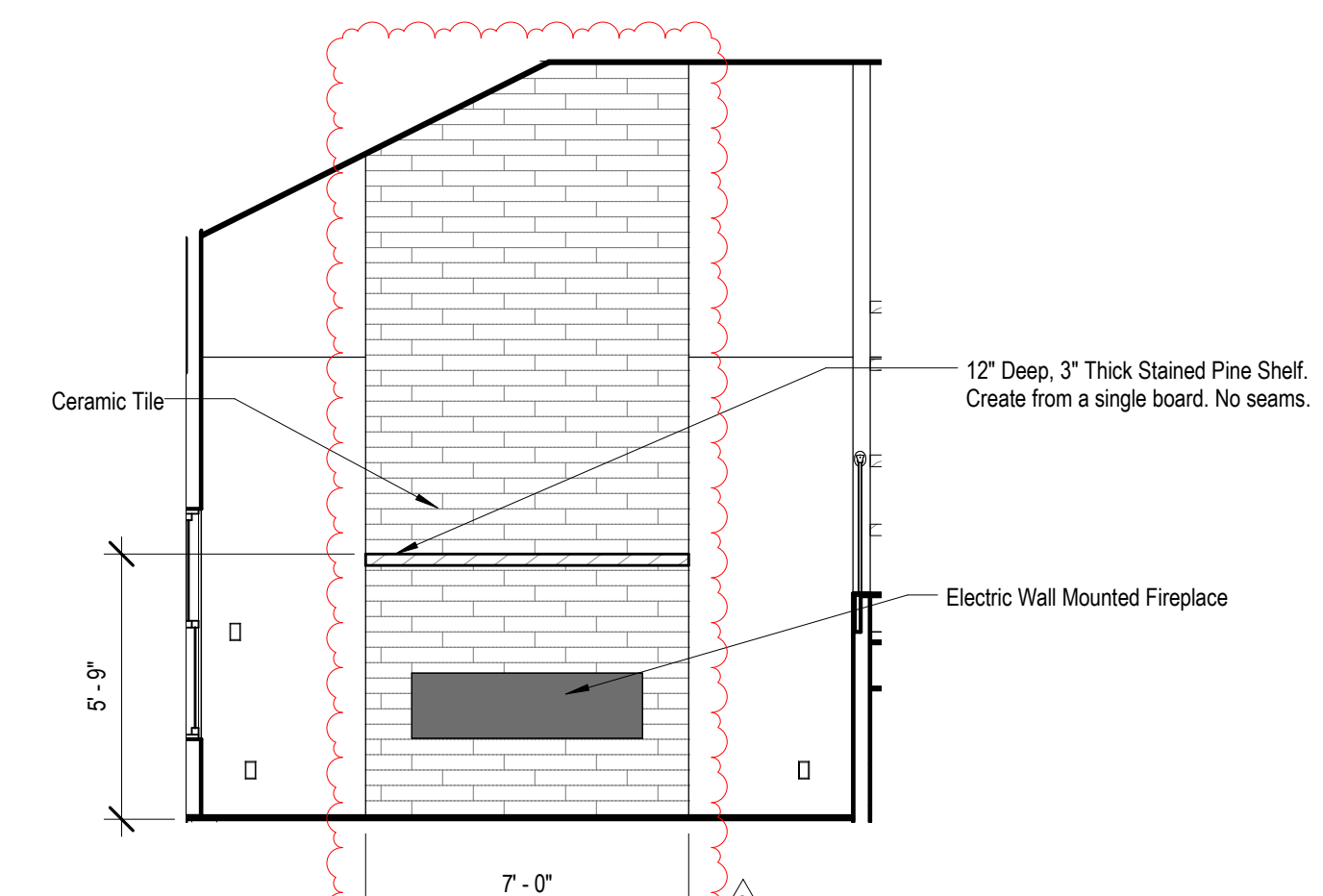
② Interior Elevation - Pocket Office
1/4" = 1'-0"



④ Elevation - Bathroom Vanity
1/4" = 1'-0"



⑨ Closet Pod - Pocket Office
1/2" = 1'-0"



⑧ Elevation - Fireplace
1/4" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lees Summit, MO 64081
816.622.8826 voice

2046 SW Hook Farm Dr
Lee's Summit, MO 64082

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Missouri License No.: A-2021009818
Nicholas Baumgarten Date: 10/11/2021
Architect License No. A-2017038489

Permit Set
Original Issue Date: 10/11/2021

REVISIONS		
Number	DESCRIPTION	DATE
3	Revision 3	11/2/21

Interior Options

A10

Project No.

RELEASE FOR PERMIT
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
11/03/2021

Woodcrest - Hook Farms Lot 15

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REVISIONS

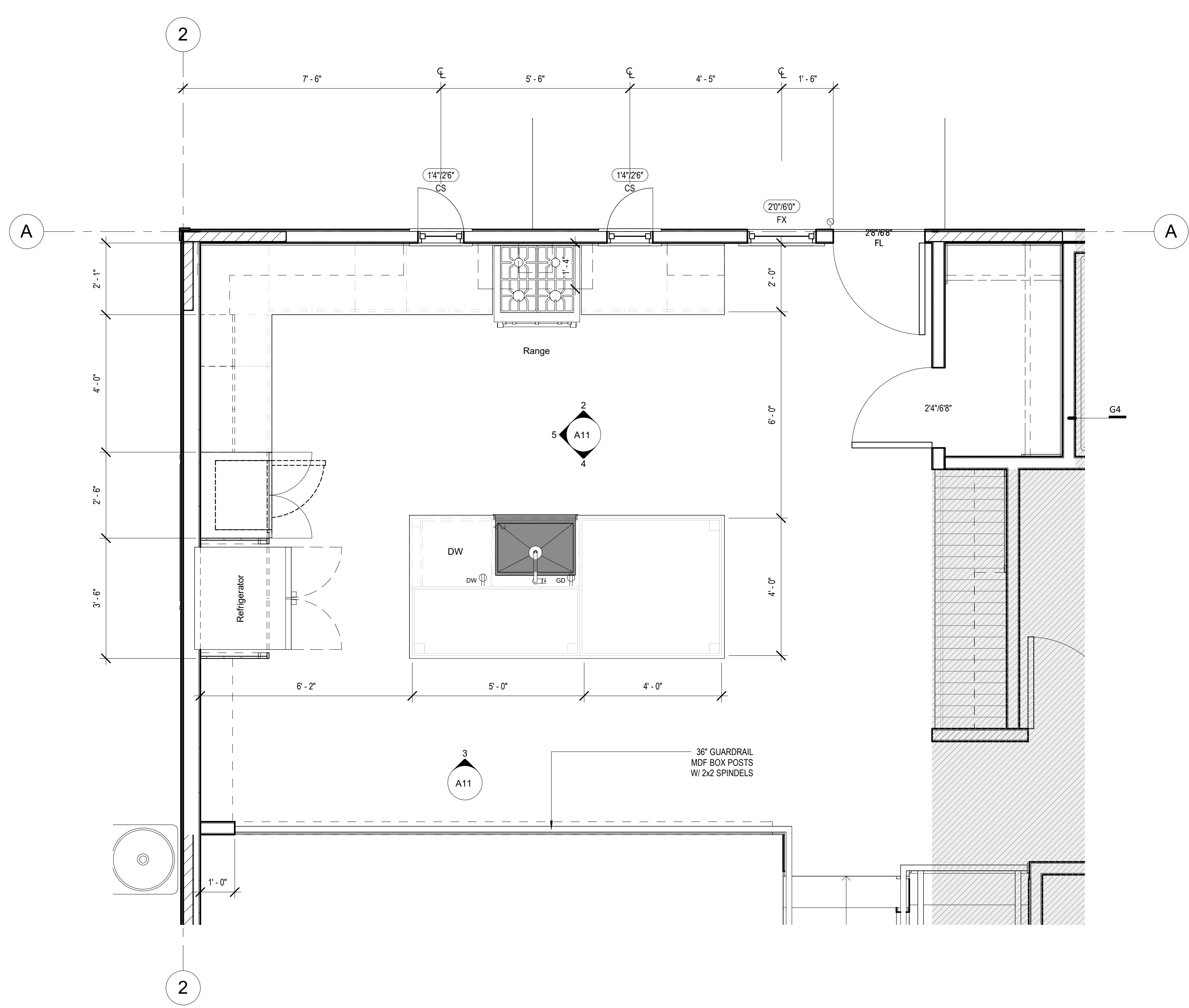
Number	DESCRIPTION	DATE

Kitchen

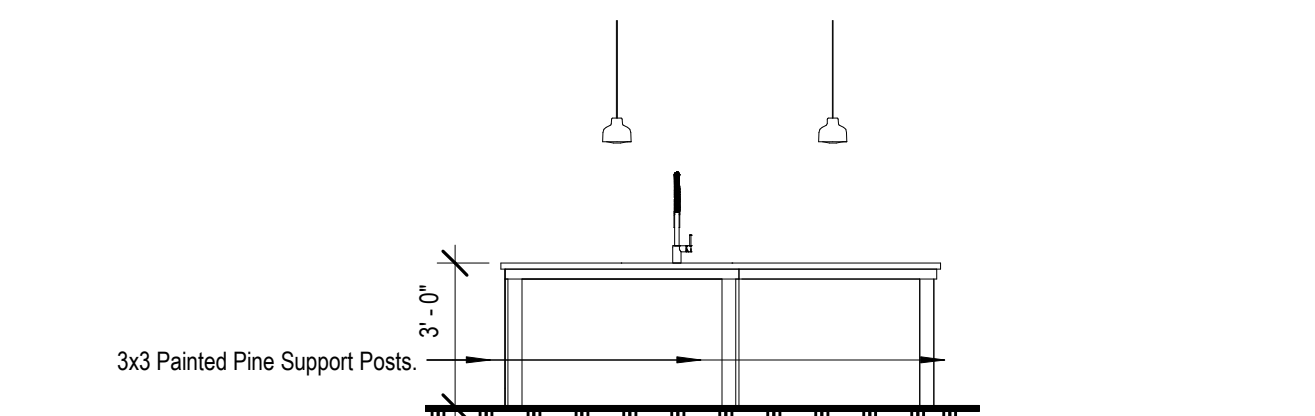
A11

Project No.

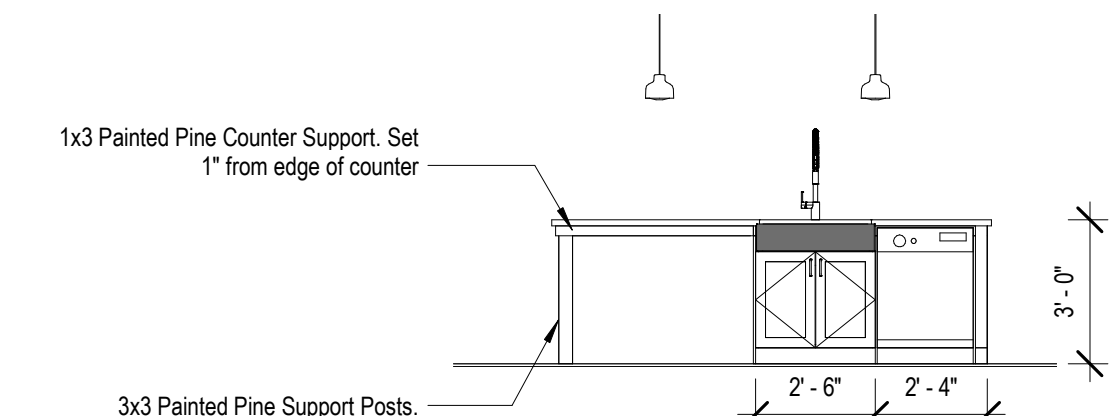
RELEASE FOR PERMIT
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
11/03/2021



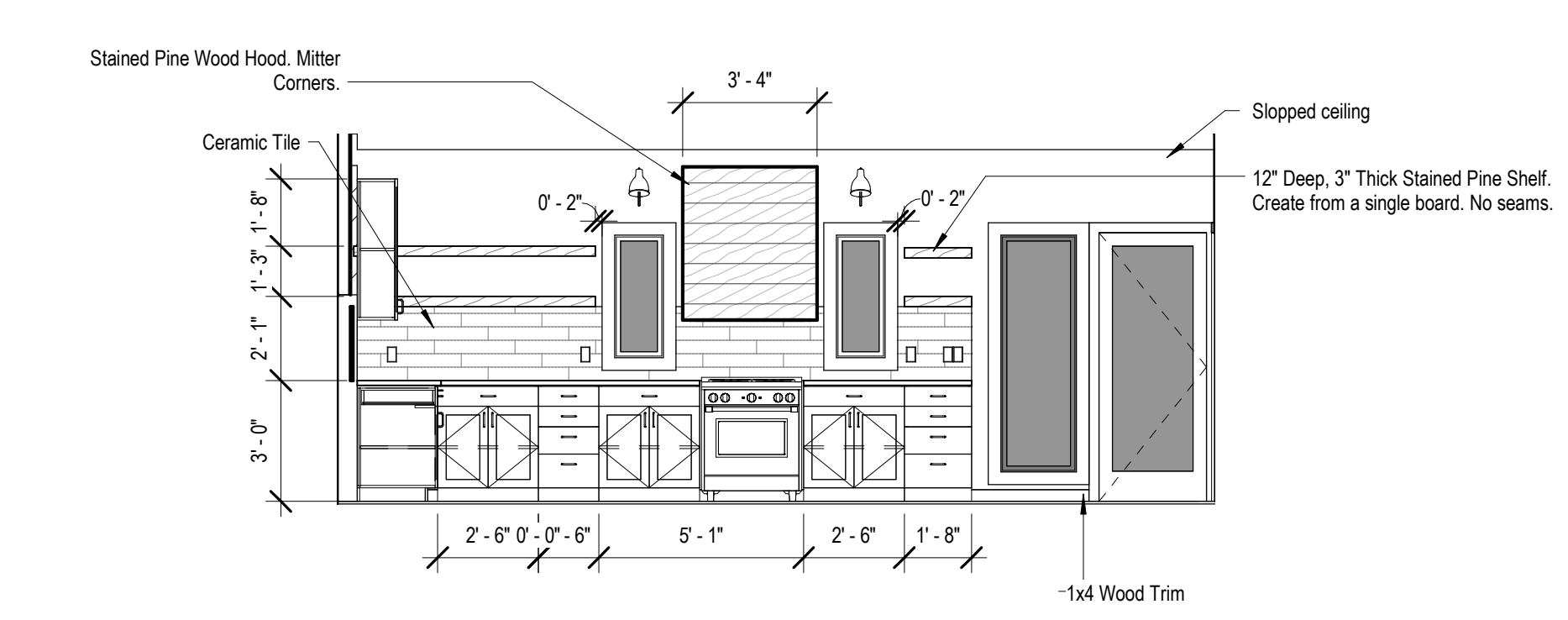
1 Floor Plan - Kitchen - Design
1/2" = 1'-0"



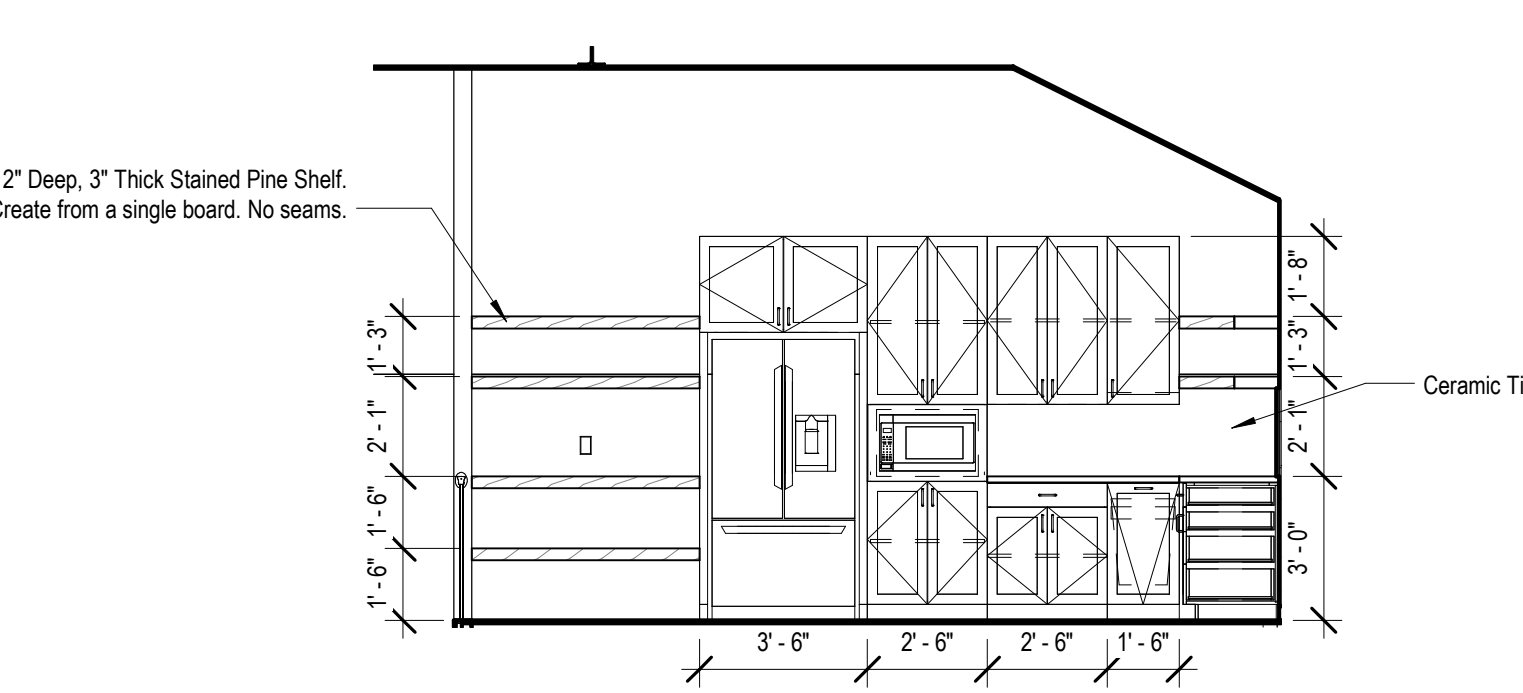
3 Interior Elevation
1/4" = 1'-0"



4 Interior Elevation
1/4" = 1'-0"



2 Interior Elevation
1/4" = 1'-0"



5 Interior Elevation
1/4" = 1'-0"

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