

RESPONSIBILITY MATRIX							
ITEM	PURCHASED BY:		INSTALLED BY:		LL SCOPE	TENANT SCOPE	STATUS / NOTES
	PET PEOPLE	G.C.	PET PEOPLE	G.C.			
OBTAIN ALL APPLICABLE PERMITS, C OF O		●		●		●	
PERFORM HVAC INSPECTION		●		●		●	
EXISTING SANITARY LINES TO BE SCOPED		●		●		●	
UTILITY FEES (CONNECTION/START UP FEES)		●		●		●	
SEPARATE UTILITIES (ELECTRIC, GAS, WATER)					●	●	
MINIMUM 200 AMP 120/208V ELECTRICAL SERVICE		●			●		
INCOMING GAS SERVICE AND METER		●				●	METER BY GC
1 1/2" MINIMUM INCOMING WATER SERVICE, 40 PSI		●		●		●	METER BY GC
WATER SERVICE BACKFLOW PREVENTER		●		●		●	
DEDICATED 4" SANITARY LINE WITH EXTERIOR TIE-IN		●		●	●		EXISITNG
PLYWOOD TELEPHONE BOARD		●		●		●	
INCOMING TELEPHONE SERVICE		●		●		●	
EXTERIOR WALLS - PENETRATIONS		●		●		●	
TENANT'S EXTERIOR FRONT FACADE		●		●	●		EXISITNG
PAIR OF 36" WIDE RECEIVING/EGRESS DOORS		●		●	●	●	
FROST SLAB AT EXTERIOR DOORS		●		●	●	●	
AT-GRADE DELIVERY DOCK AREA		●		●		●	EXISITNG
STOREFRONT FRAMING AND GLAZING		●		●	●		EXISITNG
PAIR 36" WIDE ALUMINUM/GLASS ENTRY DOORS		●		●			EXISITNG
FACADE SIGNAGE	●			●		●	
CONSTRUCTION OF DEMISING WALLS		●		●	●		
12" HIGH CLEAR ZONE THROUGHOUT SALES AREA		●		●			
INTERIOR DEMOLITION		●		●		●	
EXPOSED, PAINTED ROOF DECK		●		●		●	
INTERIOR CONCRETE FLOOR SLAB		●		●		●	
VESTIBULE (IF REQUIRED BY CODE)		●		●			AIR CURTAIN
GYPSUM BOARD ON PERIMETER SALES WALL		●		●		●	
INTERIOR PARTITIONS		●		●		●	DOG WASH BY TENANT
ALL INTERIOR FINISHES PER TENANT'S PLANS		●		●			
INTERIOR DOORS WITH TENANT REQUIRED HARDWARE		●		●		●	DOG WASH BY TENANT
RESTROOM: GRAB BARS/ MIRROR		●		●		●	
RESTROOM: SOAP/ PT/ TP DISPENSER/ MOP HOLDER	●			●		●	
SUPPLY CABINETRY/CASEWORK IN STOCKROOM	●			●		●	
FIRE EXTINGUISHERS		●		●		●	
DRINKING FOUNTAIN	●		●		●		EXISITNG
STORE FIXTURES AND MERCHANDISING HARDWARE	●		●			●	
2X4 EXPOSED FURRING FOR STORE FIXTURE ANCHORING		●		●		●	
CASH WRAP MILLWORK AND HARDWARE	●			●			
HIGH EFFICIENCY HVAC UNITS WITH DUCT SMOKE DETECTORS		●		●	●		
ROOF CURBS AND/OR CURB ADAPTORS FOR ROOF TOP UNITS		●		●	●		
HVAC - INTERIOR DISTRIBUTION DUCTWORK		●		●	●	●	
THERMOSTATS PER TENANT'S PLANS		●		●		●	
AIR BALANCE OF HVAC SYSTEM		●		●		●	
PLUMBING (BRANCH LINES)		●		●		●	
PLUMBING FIXTURES (INCLUDING TANKLESS/HOT WATER TANK)		●		●		●	
SPRINKLER SYSTEM							MODIFICATIONS
FIRE ALARM SYSTEM/MONITORING		●		●		●	
REST ROOM FIXTURES		●		●	●		EXISITNG
DOG WASH SINKS	●			●		●	
DOG WASH DRAINS		●		●		●	
MOP SINK		●		●		●	
ELECTRICAL PANELS	●			●		●	
ALL INTERIOR ELEC. DISTRIBUTION, DISTRIBUTION BOXES, ETC		●		●		●	
OVERHEAD STRIP LIGHTS	●			●		●	
LAY IN CEILING LIGHTS	●			●		●	
ACCENT TRACK LIGHTS	●			●		●	
PENDANT LIGHTS & REGISTERS	●			●		●	
IN-FIXTURE LIGHTS	●			●		●	
ELECTRICAL/ACCESS PANEL FOR FACADE SIGNAGE		●		●		●	
EXTERIOR BUILDING-MOUNTED LIGHT FIXTURES					●		
EMERGENCY, EXIT AND MISCELLANEOUS LIGHT FIXTURES	●			●		●	
DATA CONDUIT (FOR REGISTER SYSTEM) WITH PULL STRINGS		●		●		●	
TELEPHONES	●		●			●	
DATA LINES FOR REGISTER SYSTEM	●		●			●	
CONDUIT AND JUNCTION BOXES FOR LOW VOLTAGE WIRING		●		●		●	

CONTACTS

ARCHITECT

ONYX CREATIVE
25001 EMERY ROAD, SUITE 400
CLEVELAND, OH 44128
CONTACT: STACEY O'GUINN
216.223.3226
soguinn@onyxcreative.com

MEP ENGINEERS

BLUESTREAK CONSULTING
25001 EMERY ROAD, SUITE 410
CLEVELAND, OH 44128
CONTACT: PETE FITZGERALD
216.223.3240
pfitzgerald@bluestreak-consulting.com

TENANT

PET PEOPLE
6450 NORTHINGTON GALENA ROAD
NORTHINGTON, OH 43085
CONTACT: JUSTIN GRIMM
614.524.6196
jgrimm@petpeopleeast.com

*** ALL PROJECT BIDDING IS HANDLED DIRECTLY BY PETPEOPLE BY INVITED BID

PROJECT SUMMARY

THE PROJECT CONSISTS OF THE TENANT INTERIOR FIT-OUT FOR A PET PEOPLE RETAIL SPACE IN A WHITE BOX PREPARED BY THE LANDLORD.

THE WORK OF THIS PHASE INCLUDES APPROXIMATELY 4,334 SQ. FT. SPACE, INCLUDING BUT NOT LIMITED TO HVAC DISTRIBUTION, LIGHTING, DOG WASH, AND CEILINGS.

CODES

BUILDING CODE - 2018 INTERNATIONAL BUILDING CODE
MECHANICAL CODE - 2018 INTERNATIONAL MECHANICAL CODE
PLUMBING CODE - 2018 INTERNATIONAL PLUMBING CODE
FUEL GAS CODE - 2018 INTERNATIONAL FUEL GAS CODE
FIRE CODE - 2018 INTERNATIONAL FIRE CODE
ELECTRICAL CODE - 2017 NATIONAL ELECTRIC CODE
ADA - 2009 ICC/ANSI A117.1

CODE SUMMARY

CRITERIA	REQUIREMENTS	KBC 2018 CHAPTER #
TYPE OF CONSTRUCTION	IIB, FULLY SPRINKLERED	KBC SECTION 602
NUMBER OF FLOORS	1	
USE AND OCCUPANCY CLASSIFICATION	M	KBC SECTION 302
OCCUPANT LOAD CALCULATIONS M: 4,334 SF / 60 = 69 OCCUPANTS GROSS FLOOR AREA / OCCUPANTS	4,334 SQ FT / 73 OCCUPANTS	KBC TABLE 1004.1.2
EGRESS REQUIREMENTS (PER AREA)		KBC SECTION 1005.1
SALES AREA EGRESS WIDTH REQUIRED 73 OCCUPANTS x 0.20' PER OCCUPANT = EGRESS WIDTH PROVIDED: 1 PAIR DOORS @ 10' CLEAR + 1 DOOR @ 42" CLEAR TOTAL EGRESS WIDTH PROVIDED:	14.6' 112" PROVIDED (COMPLY)	KBC SECTION 1005.1
EXITS REQUIRED / PROVIDED	2 / 2	KBC TABLE 1021.2(2)
PLUMBING CALCULATIONS		
PLUMBING FIXTURES	1 TOILET / 1 LAY	KBC SECTION 2402.2.3
DRINKING FOUNTAINS REQUIRED = 1 PER 1000 OCCUPANTS	1 WATER BUBBLER	KBC 2402.1
SERVICE SINK REQUIRED = 1	1	

GENERAL NOTES

- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AIA A-201, 2007 IS APPLICABLE TO THE PROJECT AND INCLUDED HERE-IN BY REFERENCE.
- DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM THE ARCHITECT TO RESOLVE DISCREPANCIES OR TO SUPPLY ADDITIONAL INFORMATION.
- WORK IS TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES, CONDITIONS STATED ON THE PERMIT DOCUMENTS, LOCAL ORDINANCES, THE U.S. DEPARTMENT OF JUSTICE 2010 ADA STANDARDS, AND THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION (AHJ).
- WOOD NOT CLASSIFIED AS INTERIOR FINISH MATERIAL SHALL BE FIRE RETARDANT TREATED. USE AN EXTERIOR GRADE FRT PRODUCT IN EXTERIOR WALL CONSTRUCTION, ROOF RELATED CONSTRUCTION AND FLASHING CONDITIONS.
- WHERE EXISTING STRUCTURAL STEEL IS PROTECTED WITH A FIREPROOFING MATERIAL, PROTECT DURING DEMOLITION, ALTERATION AND CONSTRUCTION. PATCH AND REPAIR ANY MISSING OR DAMAGED FIREPROOFING TO MAINTAIN PROTECTION OF THE STRUCTURE.
- AT PENETRATIONS THROUGH FIRE RATED ASSEMBLIES, PROVIDE PROTECTION MEETING THE REQUIREMENTS OF ASTM E-814 AND BEARING THE APPROPRIATE U.L. LABEL FOR THE CONDITION.
- DESIGN & SELECTION OF SUPPORTS, BRACES, ANCHORS, ATTACHMENTS AND RELATED FASTENERS, UNLESS SHOWN ON THE DRAWINGS OR IN THE SPECIFICATIONS, IS THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR, UTILIZING INDUSTRY STANDARD MATERIALS AND METHODS SUITABLE TO THE CONDITION.
- WALL AND CEILING MOUNTED ITEMS, INCLUDING BUT NOT LIMITED TO REGISTERS, DIFFUSERS, GRILLES, SPEAKERS, CLEAN-OUTS AND COVER PLATES, WHETHER FACTORY PRE-FINISHED OR NOT, WHICH DO NOT MATCH THE ADJACENT WALL OR CEILING COLOR SHALL BE FIELD PAINTED, UNLESS OTHERWISE NOTED. COLOR AND FINISH TO BE APPROVED BY THE ARCHITECT.
- COMPLY WITH SPECIAL WORKING CONDITIONS RELATING TO THE PROJECT, INCLUDING BUT NOT LIMITED TO REQUIREMENTS FOR TEMPORARY PROTECTION, TRASH MANAGEMENT, NOISE, LIGHT, DUST AND POLLUTION CONTROL, AND LIMITATIONS ON WORKING HOURS.
- ALL CONTRACTORS AND SUBS ARE TO RECEIVE AND REVIEW THE ENTIRE CONSTRUCTION SET PRIOR TO CONSTRUCTION AND VERIFY THEY ARE WORKING FROM THE APPROVED PERMIT SET AND/OR LATEST REVISION.
- VERIFY ALL FIRE ALARM WORK WITH LLD PRIOR TO COMMENCING WORK.
- SUBMITTALS: THE GC TO PROVIDE COVER SHEET WITH GC REVIEW STAMP AND ROOM FOR ARCHITECT/ENGINEER STAMP.
- SUBSTITUTIONS: ALL SUBSTITUTIONS SHALL BE SUBMITTED INDEPENDENTLY AND SEPARATE FROM OTHER SUBMITTALS WITH A "REQUEST FOR SUBSTITUTION" LETTER. THE SUBMITTAL MUST INCLUDE THE ORIGINAL DESIGN CUT SHEETS ALONG WITH THE SUBSTITUTIONS CUT SHEETS BOTH HIGHLIGHTED TO SHOW COMPLIANCE.

PetPeople

TENANT IMPROVEMENTS

SUMMIT AT WEST PRYOR

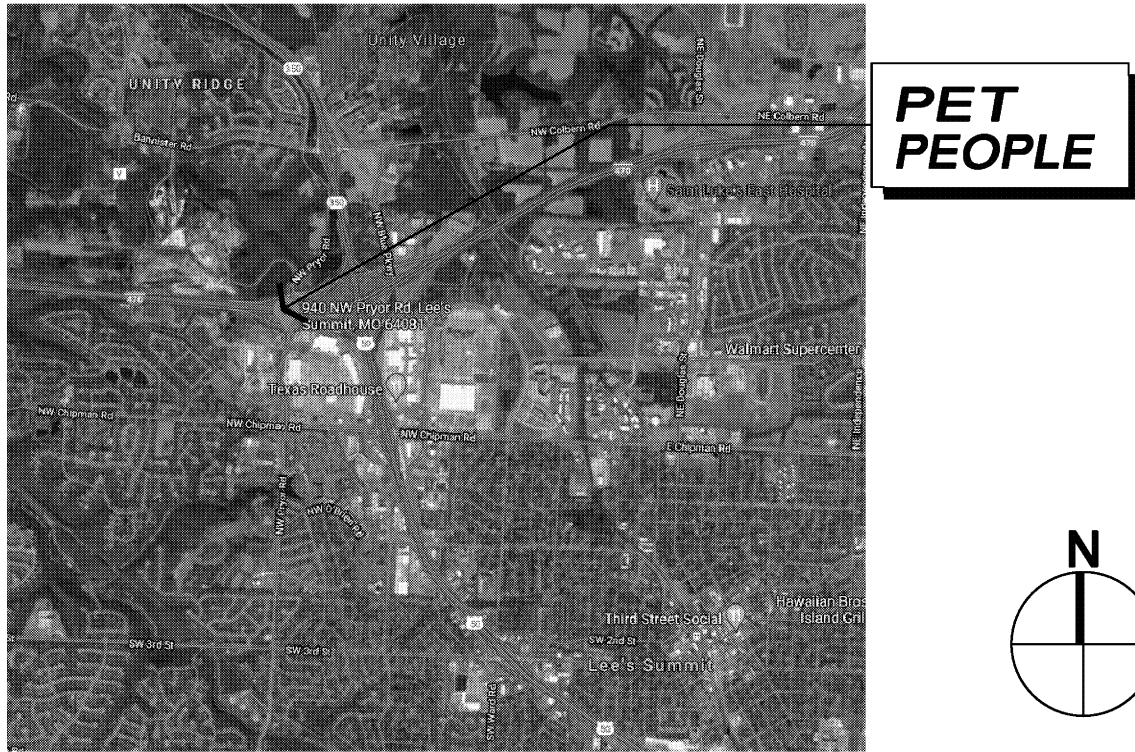
940 NW PRYOR RD, UNIT J,

LEE'S SUMMIT, MO 64081

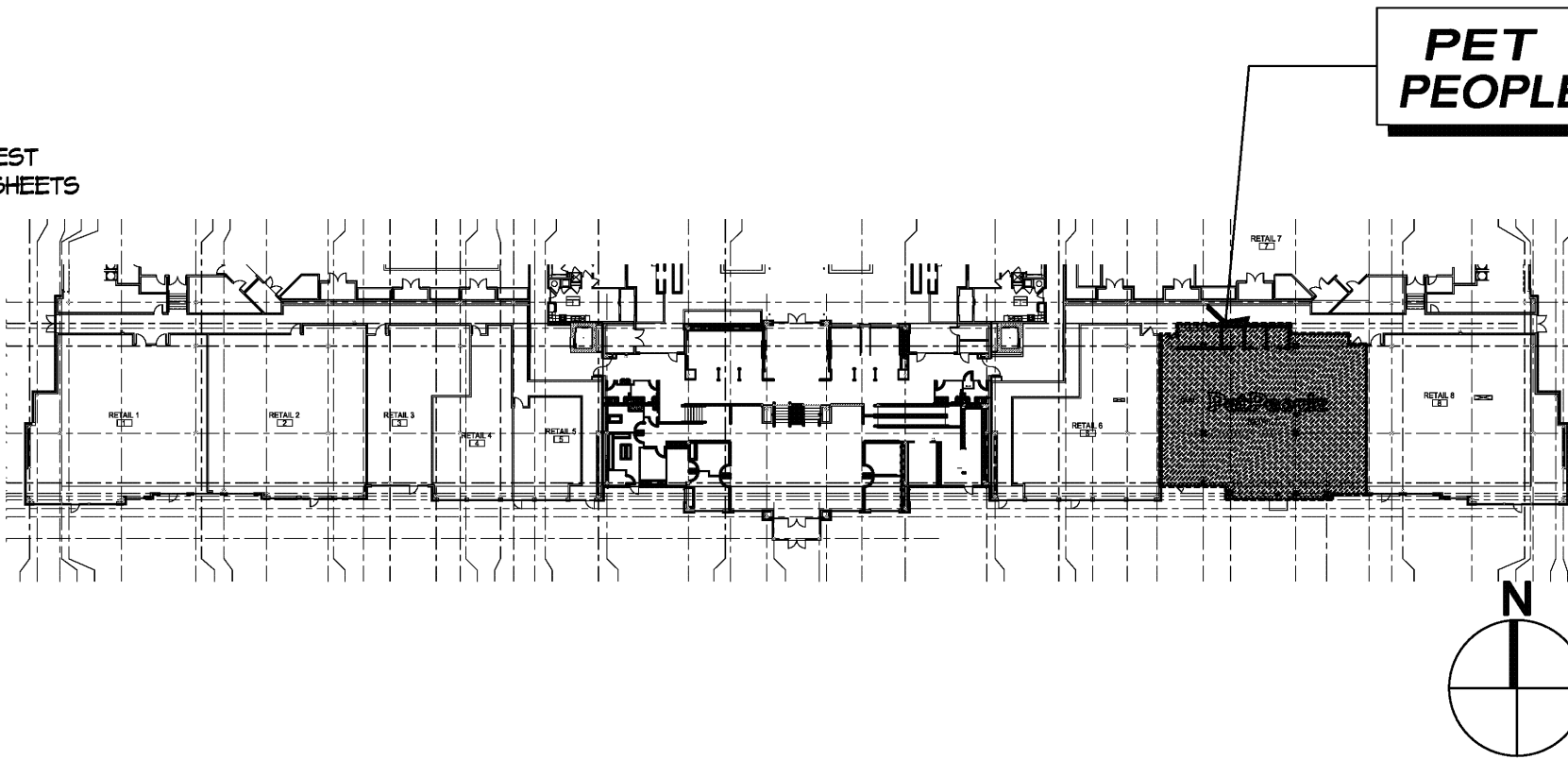
DRAWING INDEX

		REVISIONS			
ARCHITECTURAL		7/9/21	9/27/21	10/22/21	-
CS1.0	COVER SHEET		△		
A01.0	SPECIFICATIONS				
A01.1	SPECIFICATIONS				
A01.2	SPECIFICATIONS				
A01.3	SPECIFICATIONS				
A01.4	SPECIFICATIONS				
D1.0	DEMOLITION PLAN	△		△	
A1.0	FLOOR PLAN, WALL TYPES	△	△	△	
A2.0	ENLARGED PLAN, ELEVATIONS & DETAILS	△	△	△	
A3.0	REFLECTED CEILING PLAN			△	
A4.0	INTERIOR ELEVATIONS		△	△	
A4.1	INTERIOR/EXTERIOR ELEVATIONS				
A5.0	SCHEDULES AND DETAILS			△	
A6.0	FIXTURE PLAN/ LIFE SAFETY PLAN		△	△	
MECHANICAL					
M1.0	MECHANICAL PLAN		△	△	
M2.0	MECHANICAL DETAILS & SCHEDULES		△		
MP1.0	MECHANICAL & PLUMBING SPECIFICATIONS				
MP1.1	MECHANICAL & PLUMBING SPECIFICATIONS				
PLUMBING					
P1.0	PLUMBING PLAN, DETAILS	△	△	△	
P2.0	ISOMETRIC AND SCHEDULES	△	△		
ELECTRICAL					
E1.0	LIGHTING PLAN		△	△	
E1.1	LIGHTING SCHEDULE				
E2.0	POWER PLAN	△	△	△	
E2.1	EQUIPMENT SCHEDULES		△		
E3.0	ELECTRICAL SCHEDULES LEGEND & DETAILS		△		
E4.0	ELECTRICAL SPECIFICATIONS				
E4.1	ELECTRICAL SPECIFICATIONS				
E4.2	ELECTRICAL SPECIFICATIONS				

LOCATION MAP



SITE REFERENCE PLAN



Design and construction documents are instruments of service and are given in confidence and remain the property of Onyx Creative. The use of this design and these construction documents for purposes other than the specific project named herein is strictly prohibited without expressed written consent of Onyx Creative.

PetPeople
SUMMIT AT WEST PRYOR
940 NW PRYOR RD, UNIT J
LEE'S SUMMIT (KANSAS CITY), MO

Project No: 18804
Drawn By: SK
Date: 07/16/2021
Issue: Etk/ Permit
07/30/2021 △ Revision: 1
08/27/2021 △ Revision: 2
10/22/2021 △ Revision: 3

CS1.0
COVER SHEET