

Creststone - Hook Farms - Lot 20

2026 SW Hook Farm Dr
Lee's Summit, MO 64082



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2018 Interior Energy Cons. Code (Table N1102.1.2)	
Doors & Windows:	U-0.32 MAX
Glazing SHGF:	0.40
Skylights:	U-0.55 MAX
Roof:	
Attic Ceilings:	R-49 MIN
Vaults:	R-38 MIN
Vaults < 500sf:	R-30 MIN
Wood Frame Walls:	R-20 or R-13 + 5 MIN
Basement Walls:	R-13 or R-10 Continuous
Floor (over unconditioned):	R-19 MIN
Slab on Grade:	R-10 for 24" MIN
Ductwork:	R-8 MIN
Fuel Fired Furnace:	90% AFUE MIN
Electric Furnace:	No Minimum
Cooling System:	13 SEER MIN
Water Heater:	
Gas Fired Storage:	0.67 EF MIN
Gas Fired Instant:	0.62 EF MIN
Electric Storage:	0.97 EF MIN
Electric Instant:	0.93 EF MIN

An energy efficient certificate is required to be posted in or on the electrical panel before the final inspection. The certificate will be provided with all new residential permits. It is the permit holder/contractor's responsibility to ensure the certificate has accurate information and is posted before final inspection. Owner/Contractor is responsible for meeting the prescriptive requirements of IRC chapter 11 unless a HER Index Analysis for Performance Compliance based on the plans is submitted to the AHJ for approval.

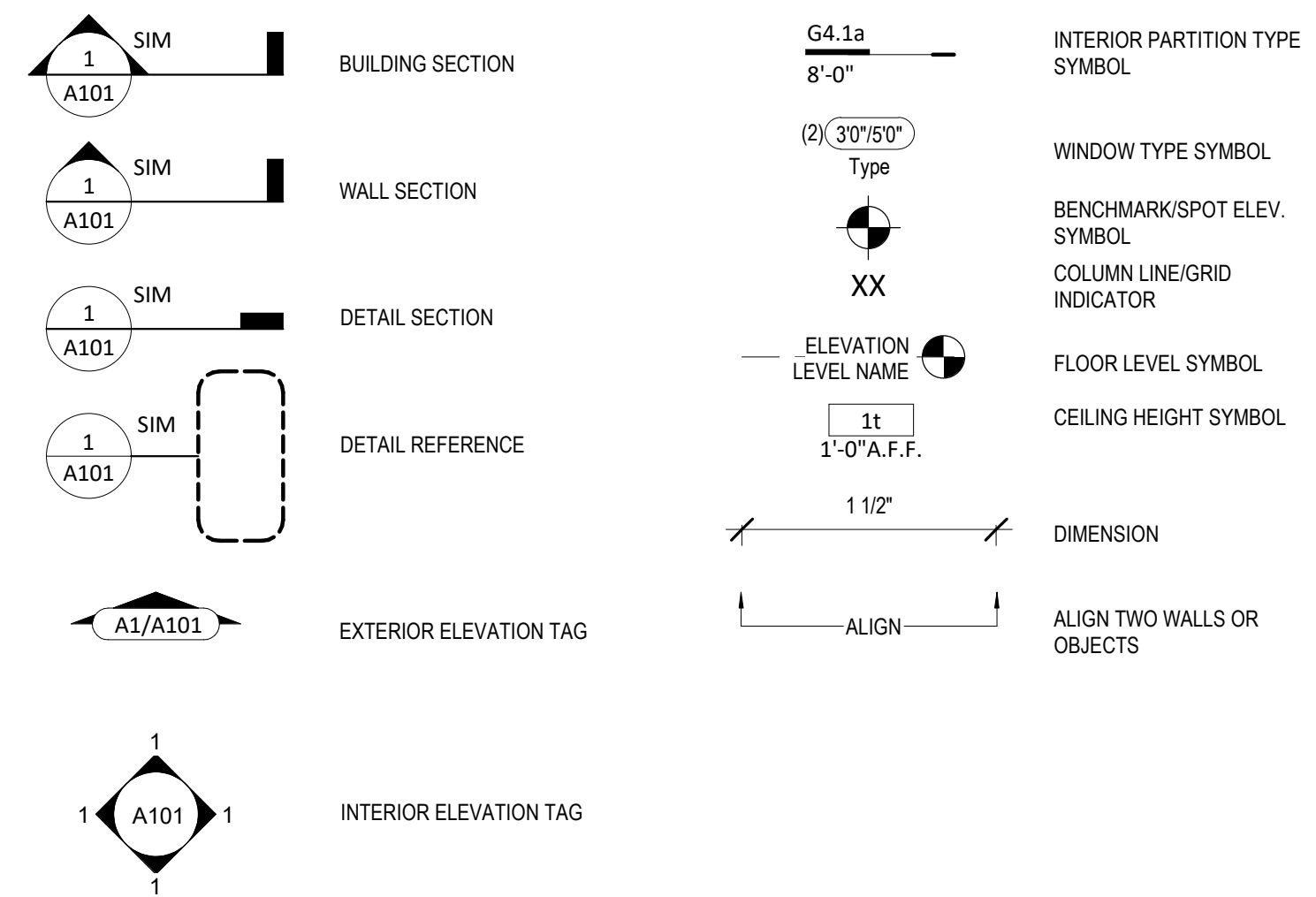
IRC 2018	
Ground Snow Load:	20PSF
Wind Speed:	115mph
Topography Effects:	No
Seismic Design Category:	A
Damage From Weather:	Severe
Frost Line Depth:	36 inches
Termites:	Moderate to Heavy
Winter Design Temperature:	6 F
Ice Barrier Underlayment:	Yes
Flood Hazard:	
Air Freezing Index:	927 or less
Mean Annual Temperature:	55.5 F

- Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 5 air changes per hour (at ACH50 standard R303.4).
- Carbon monoxide detectors required (R315)
- Steel columns shall be minimum schedule 40 (R507.2)
- Deck Ledger attachment to house shall be per Tables 507.9.1.3.
- New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11)
- Programmable thermostat required (N1103.1.1)
- Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
- Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
- Certain hot water pipes shall be insulated (N1103.4)
- All exhaust fans shall terminate to the building exterior (M1507.2)
- Makeup air system required for kitchen exhaust hoods that exceed 400 CFM (M1503.4)
- Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1, 47.5)
- An air handling system shall not serve both the living space and the garage (M1601.6)
- A concrete-Encased grounding electrode ("UFER Ground") connection complies with the requirements of the 2018 IRC Section E3308.1.2 in providing a connection with no less than the required minimum of steel.
- Compliance with the requirements and show connection as needed for roof beam, trus, rafter, and girder connections for uplift per IRC 802.11
- Garage Door Rating: DASMA 115 MPH Rated

REVISIONS		Permit set
Number	Description	Date
		10/7/2021

Sheet List

- 04 - Structure
- S0 Foundation Plan
- S1 Framing Plan
- 05 - Architecture
- A0 Floor Plan - Basement/Garage
- A1 Floor Plan - Living Space
- A3 RCP/Electrical Plan - Basement/Garage
- A4 RCP/Electrical Plan - Living Space
- A5.C Elevations
- A6 Elevations & Roof Plan
- A7 Building Sections
- A8 Wall Sections
- A9 Details
- A11 Interior Options

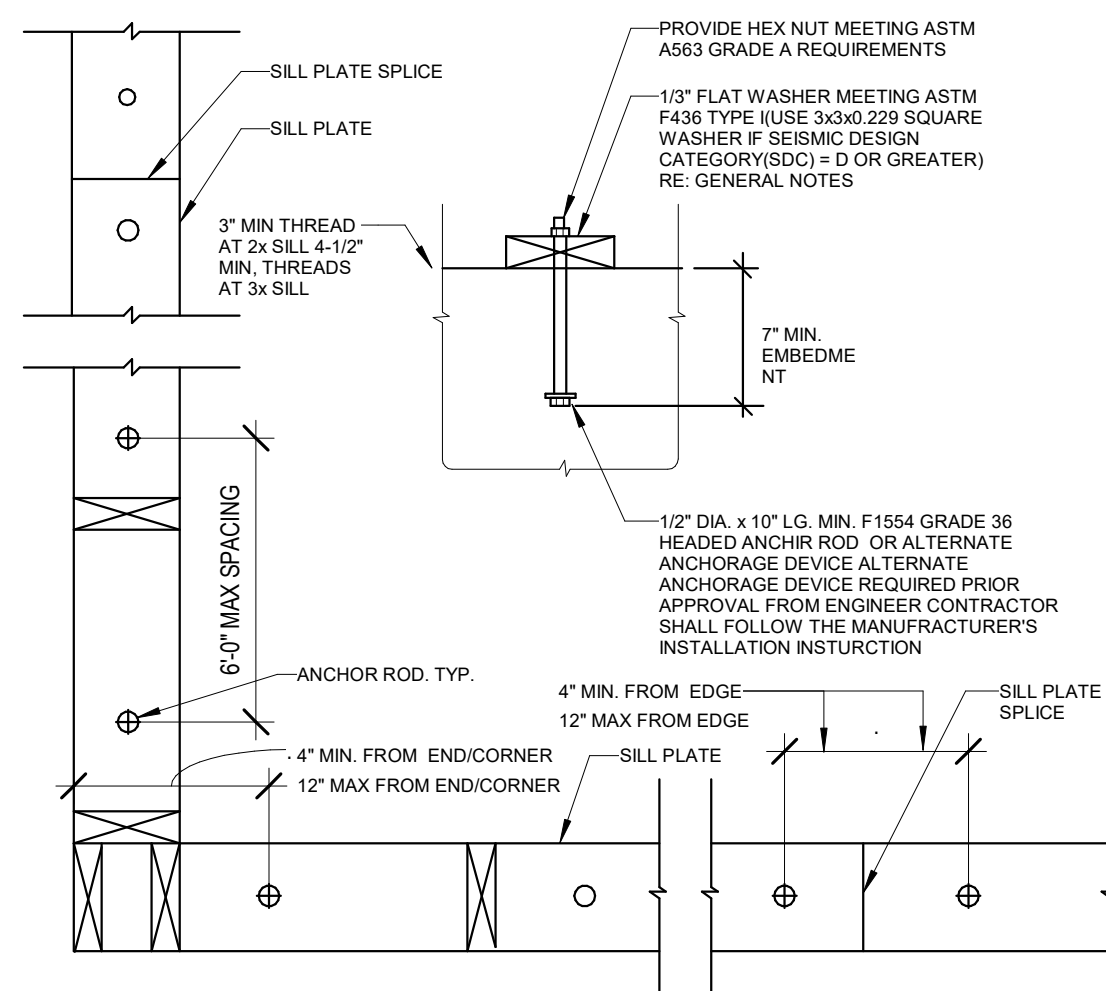


RELEASE FOR CONSTRUCTION
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DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
10/28/2021

Permit set

PLAN DESCRIPTION: Crestone

Cover



3 Sill Plate Layout/Details
1" = 1'-0"

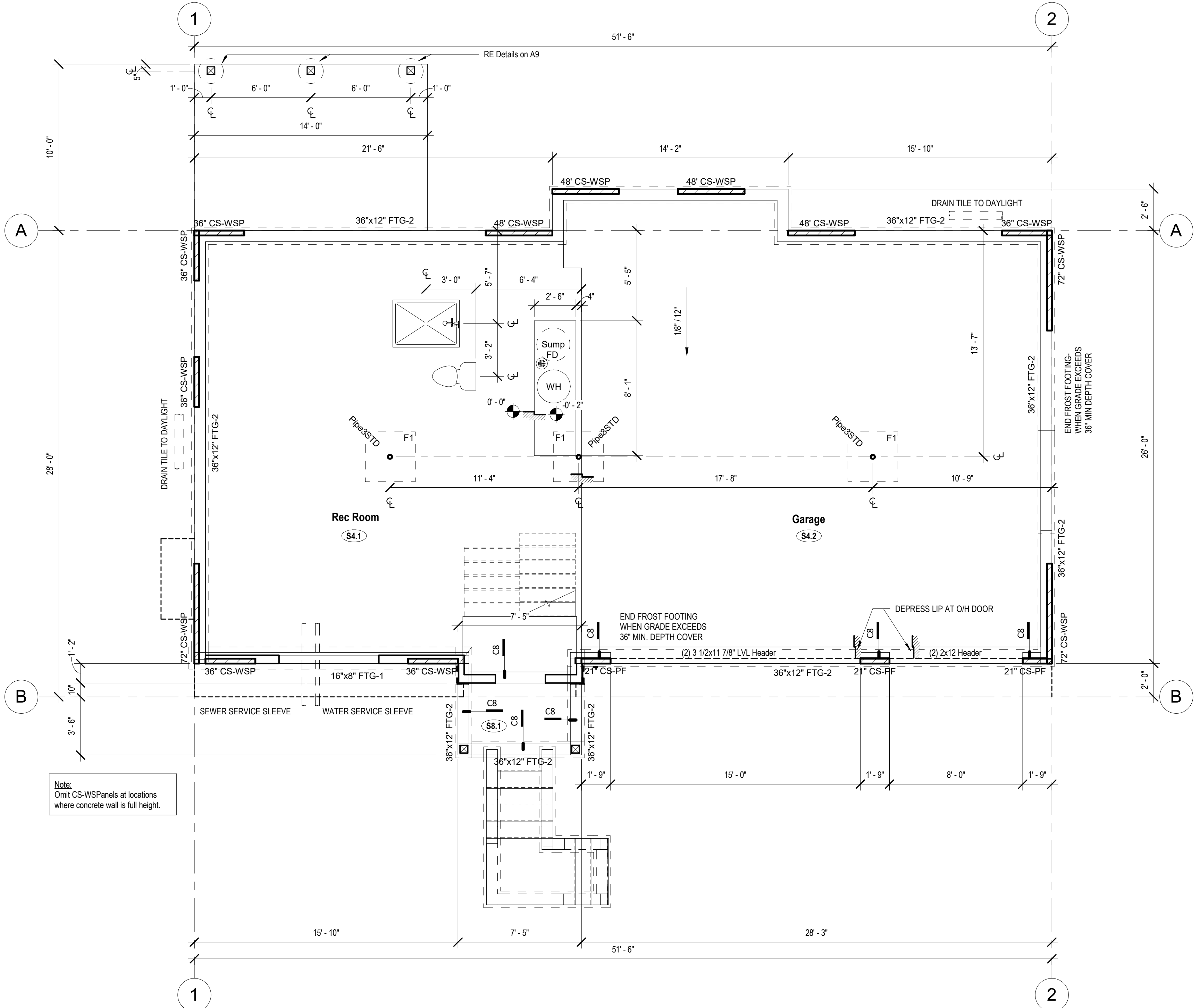
Slab Schedule	
Type	Description
S4.1	Concrete Strength at 28 days: 2,500 PSI. 4" MIN Conc Slab Reinf. W/ #4's E.W. @ 12" O.C. over compacted fill and gravel.
S4.2	Concrete Strength at 28 days: 3,500 PSI. 4" Min conc slab reinf. w/ #4's E.W. @ 12" O.C. Over compacted fill and gravel.
S8.1	Concrete Strength at 28 Days: 2,500 PSI. 8" Min conc Slab Reinf. W/ #4's E.W. @ 12" O.C. over compacted fill and gravel.

Note: Concrete shall be 6% (+/-1%) air-entrained for garage slabs and for all locations footings, walls or flatwork where exposed to weather.

Structural Foundation Schedule				
Type	Width	Length	Depth	Comments
Footings				
F1	3'-0"	3'-0"	1'-0"	Reinf w/ (6) #4's, rebar count is each way, equal centers
Wall Foundation				
FTG-1	1'-4"	<varies>	0'-8"	Reinf w/ (2) #4 bot. eq. spaced. Dowel into w/ w/ (1) #4 turned up @ 12" o.c.
FTG-2	1'-0"	<varies>	3'-0"	FROST FOOTING - Reinf. w/ (2) #4 @ bottom, center and top. T/B wrapped in #4 stirrup @ 36" o.c.

Foundation Wall Schedule				
Type	Width	Reinforcing	Comments	
C8	0'-8"	Concrete Strength at 28 Days: 3,000 PSI. Reinf. w/ #4 vert. @ 12" oc / (3) RE: plans for wall height #4 hor. equally spaced.		

- Foundation Notes:**
- FOOTINGS AND CONCRETE NOTES
 1. TO ADDRESS DIFFERENTIAL SETTLEMENT, ALL INTERIOR BEARING AND EXTERIOR FOOTINGS SHALL BE EXCAVATED & PLACED MIN. 18 INCHES INTO UNDISTURBED NATURAL SOIL.
 2. EXTERIOR FOOTINGS TO BE PLACED MIN. 36 INCHES BELOW FIN. GRADE.
 3. DESIGN IS BASED ON MIN. OF 2,000 PSF. CONCRETE STRENGTHS TO ACHIEVE THE FOLLOWING BASED UPON:
 - 3,000 PSF FOR FOOTINGS, FOUND. WALLS & VERT. SUPPORTS
 - 3,500 PSF FOR GARAGE FLOOR
 - 4,000 PSF FOR OTHER AREAS
 4. CONC. EXPOSED TO WEATHER TO HAVE 6% (+/-1%) AIR ENTRAINMENT
 5. PROVIDE 4" MIN. CONC. SLAB REINF. W/ #4 @ 12" O.C. E.W. TOP REINF. OVER PRECASTS AS INDICATED (4" X 7" FT @ 8" O.C. E.W. PLACE OVER 6 MIL VAPOR BARRIER)
 6. REINFORCE EXTERIOR FOOTINGS W/ #4 @ 24" E.W. REINFORCE W/ (2) #4 CONT. AT BOTTOM
 7. PROVIDE #4 X 48" (L) @ 45 DEGREES @ REINFRANT CORNERS
 8. (2) #4'S ASTM A615 ANCHOR BOLTS @ 48" O.C. @ EXT. WALLS
 9. ANCHOR PRESSURE TREATED PLATE @ INT. BEARING WALLS W/ 1/2" X 4-1/2" H/LTI WEDGE BOLTS @ 12" O.C. MAX. 12" FROM ENDS
 10. PROVIDE 24" LVL MIN. INCLUDING CORNERS
 11. INSTALL HOLD-DOWN BOLT ANCHORAGE AS INDICATED ON PLAN
 12. PROVIDE BITUMINOUS DAMP-PROOFING AT FOUNDATION WALLS
 13. SOIL BEARING CAPACITY IS NOT ASSUMED TO BE GREATER THAN 2,000 PSF IN THE CURRENT FOUNDATION DESIGN. ALL COMPACTED FILL AREAS REQUIRE A SPECIAL INSPECTION
- STEEL COLUMNS & OTHER BASEMENT FOUNDATION NOTES
1. ALL STEEL PIPE COLUMNS TO BE 3" (OR 3 1/2" SCHEDULE 40 GRADE
 2. INTER. BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB
 3. INTER. NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE
 4. AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 FEET BEYOND THE OVERSIC AREA WITH #4 BARS AT 24 INCHES O.C. PERPENDICULAR AND HORIZONTAL TO THE WALL. MAXIMUM 4-FOOT OVERSIC
 5. AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED WITH A MINIMUM R-6 INSULATION FOR A MIN. OF 3 FEET BELOW THE BOTTOM OF THE SLAB.
 6. WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERALLY AT THE TOP BY SOLID BLOCKING FOR MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.



1 Foundation Plan
1/4" = 1'-0"

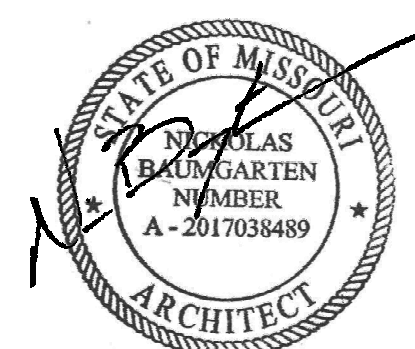


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architect:
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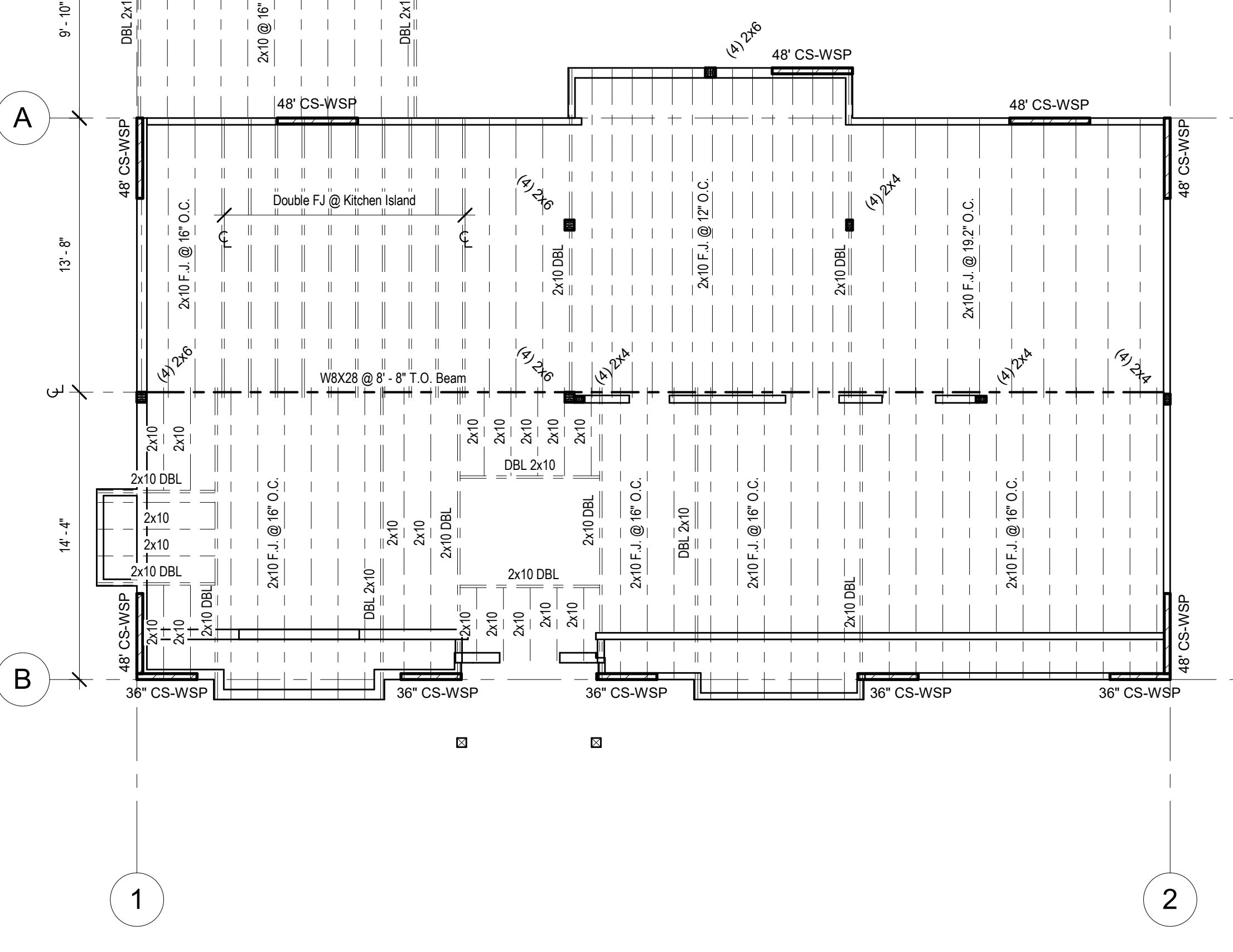
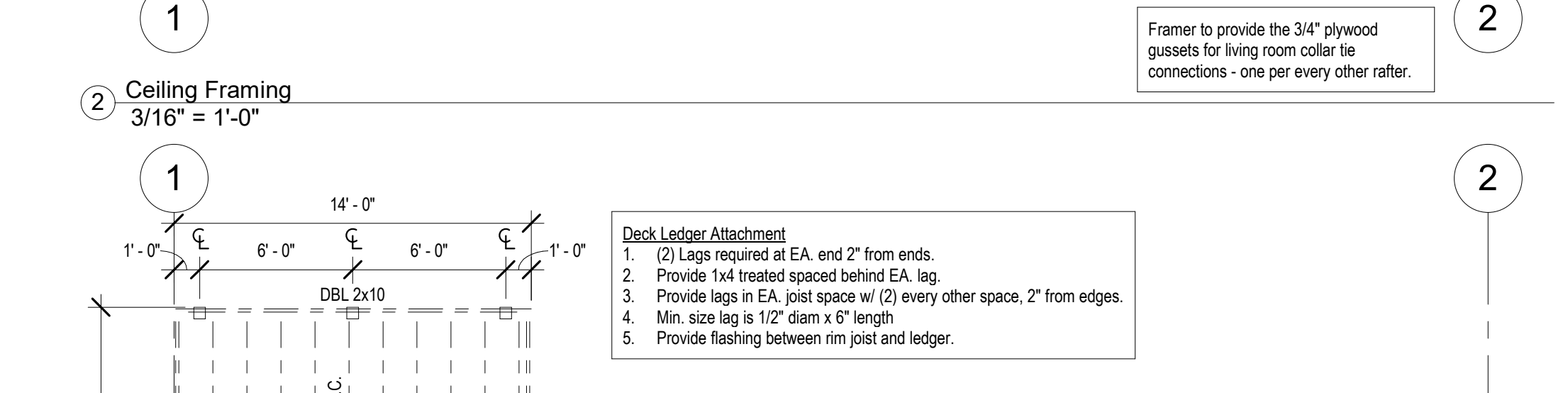
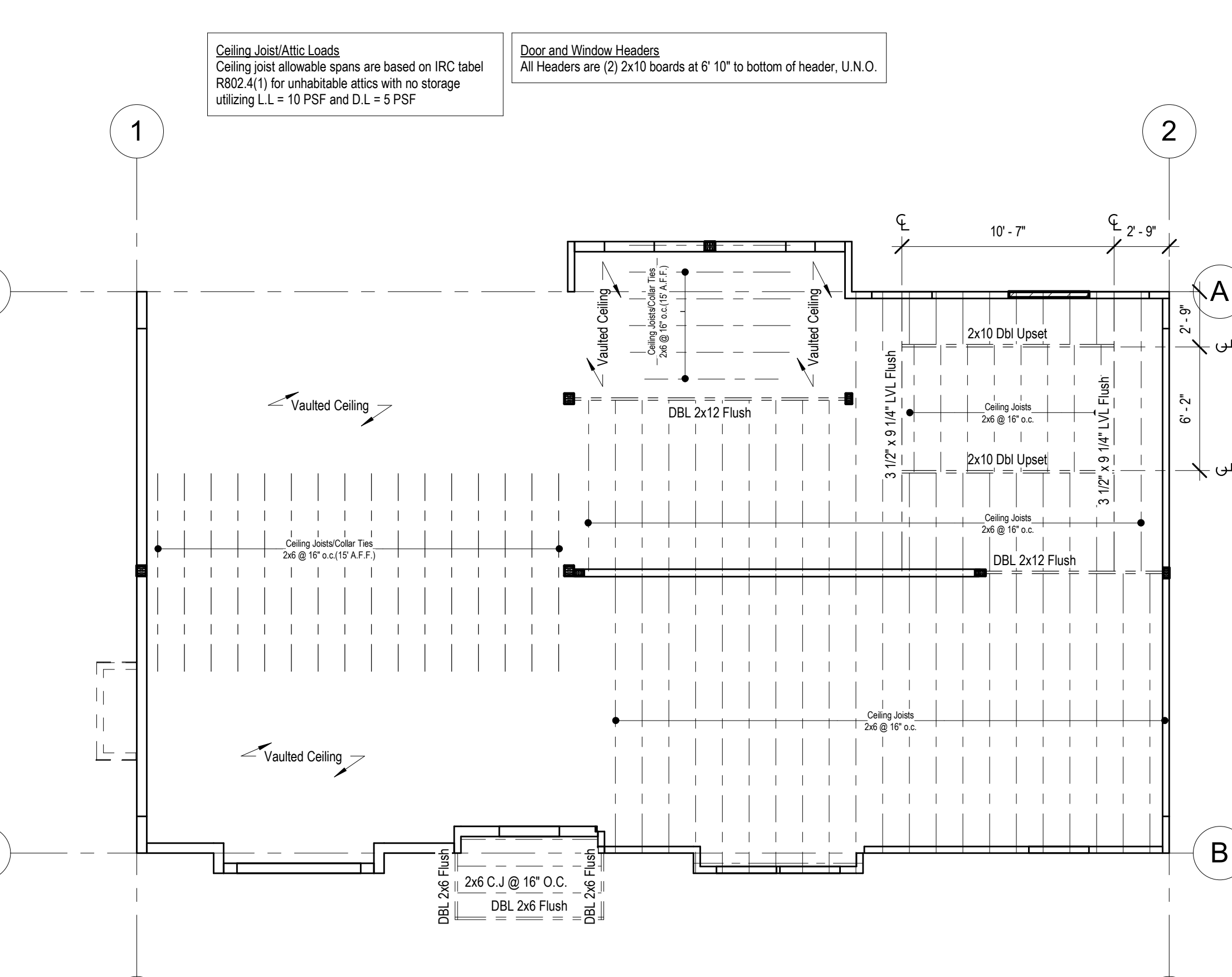
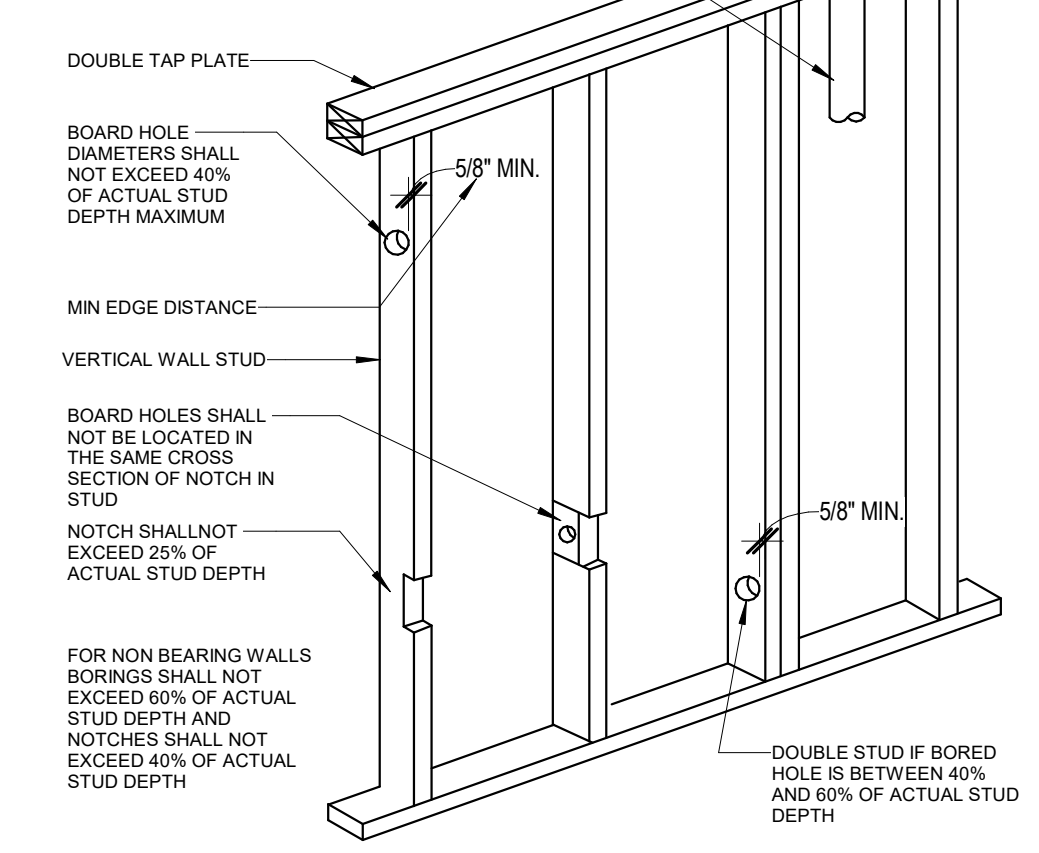
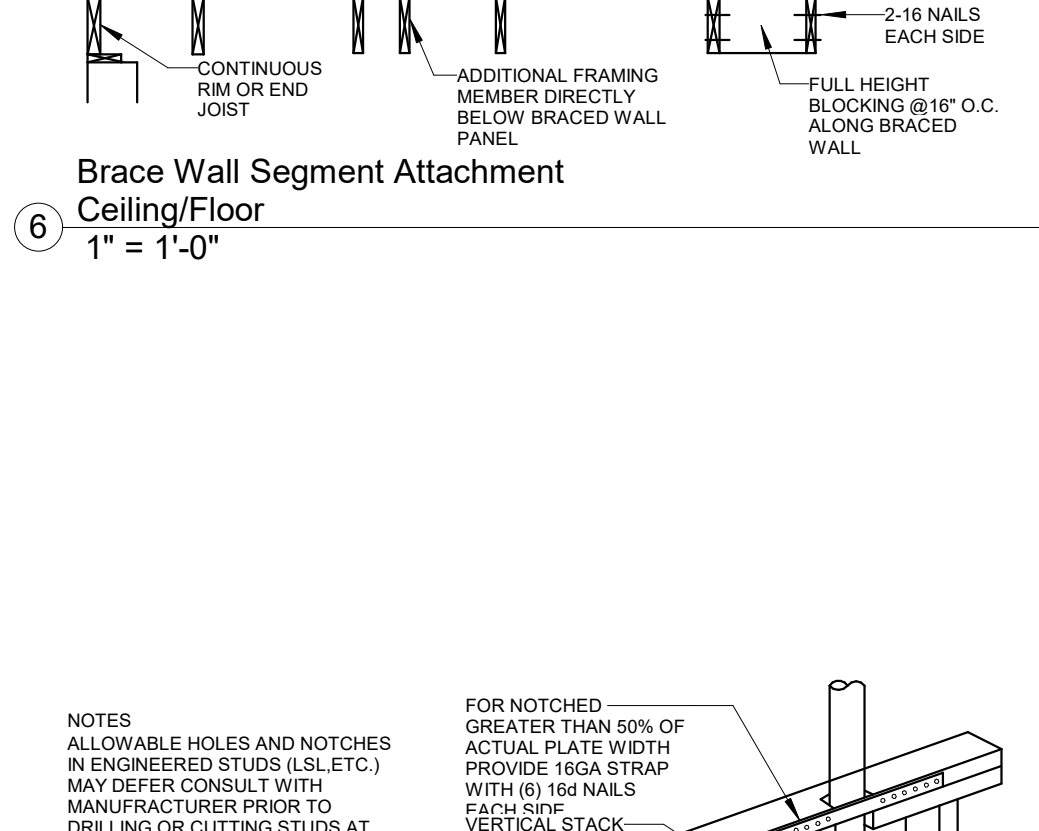
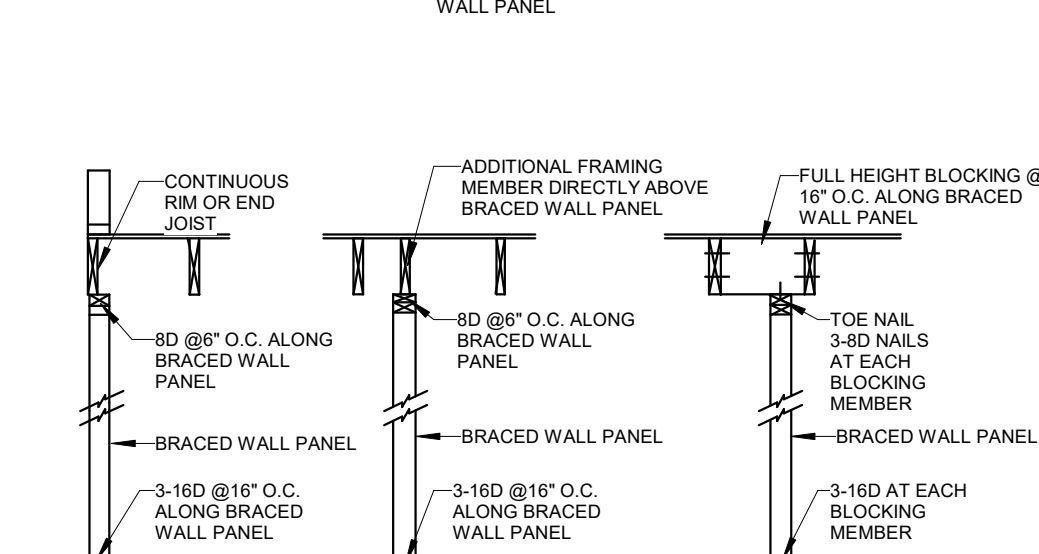
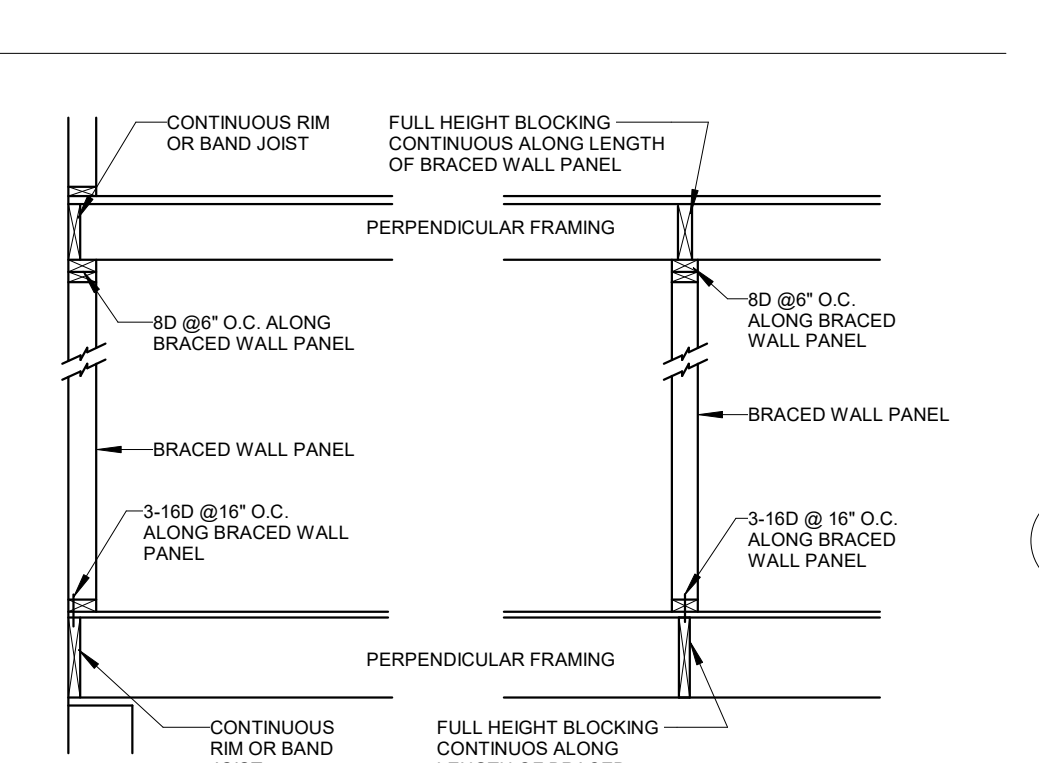
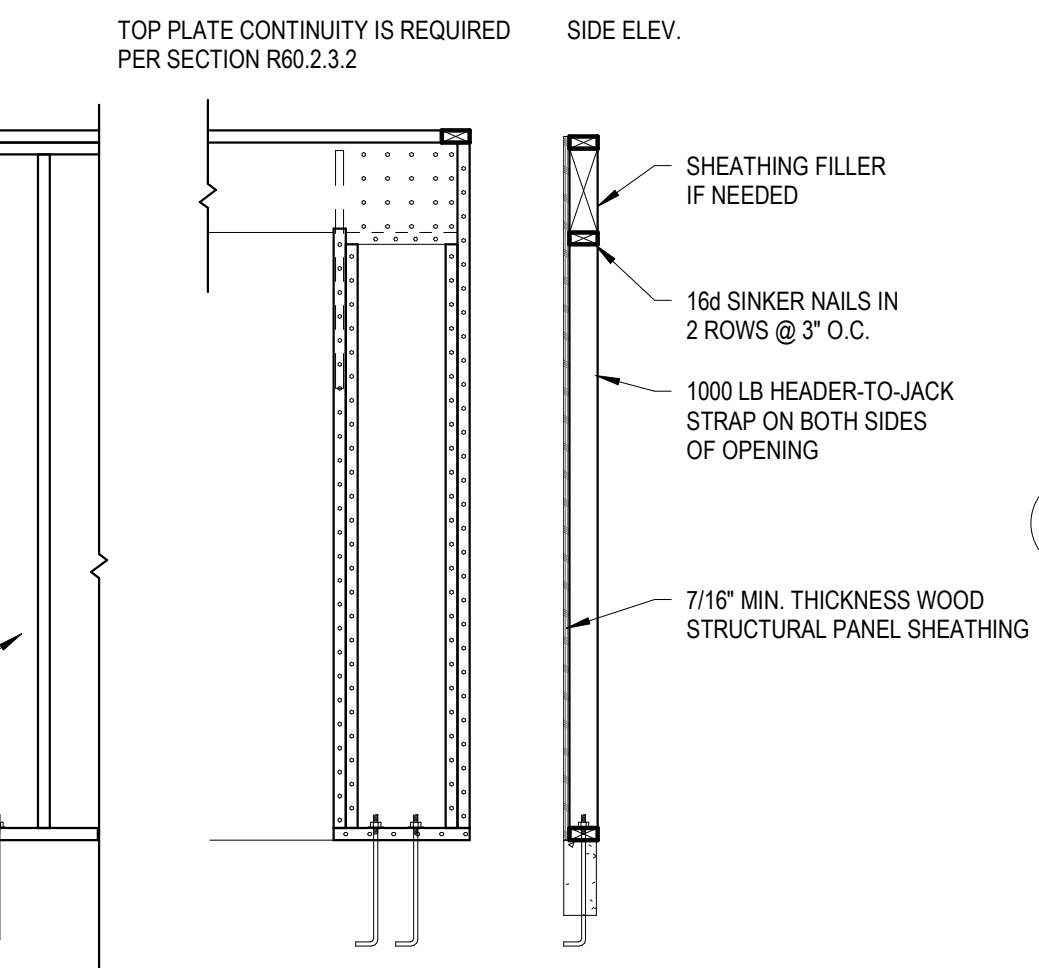
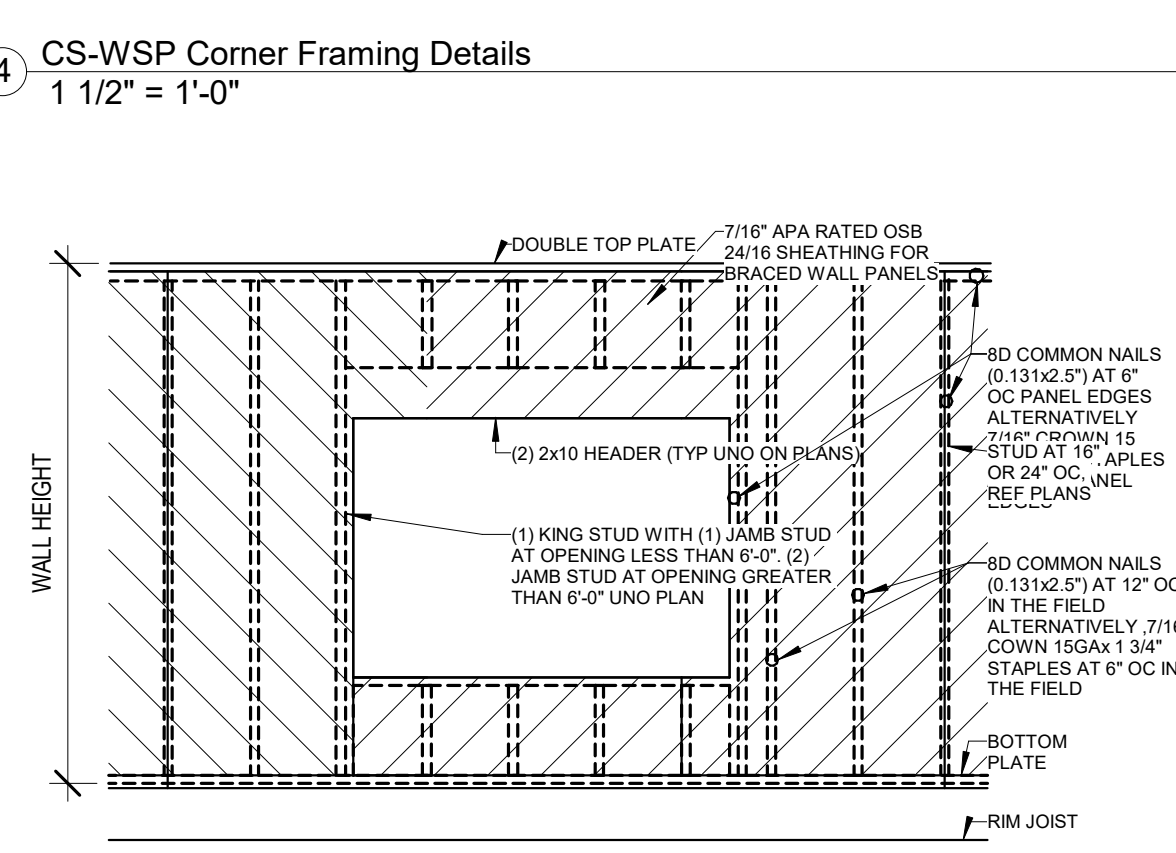
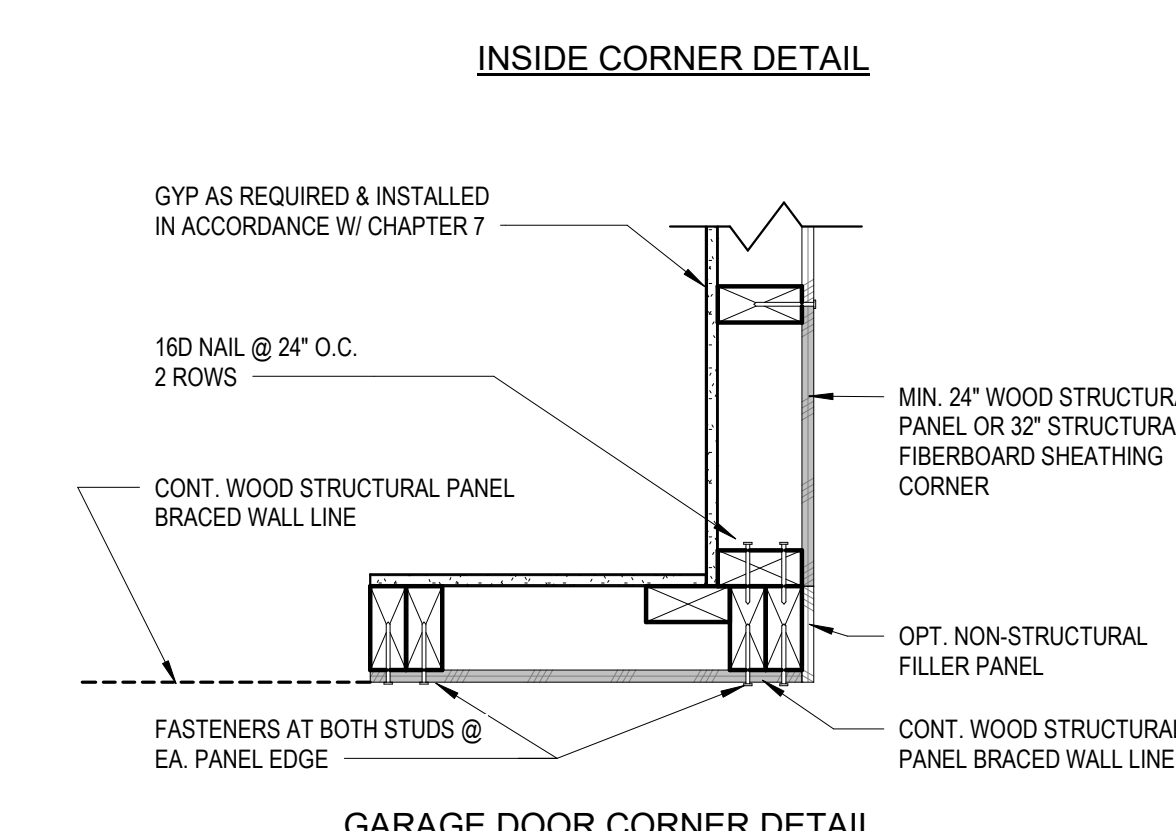
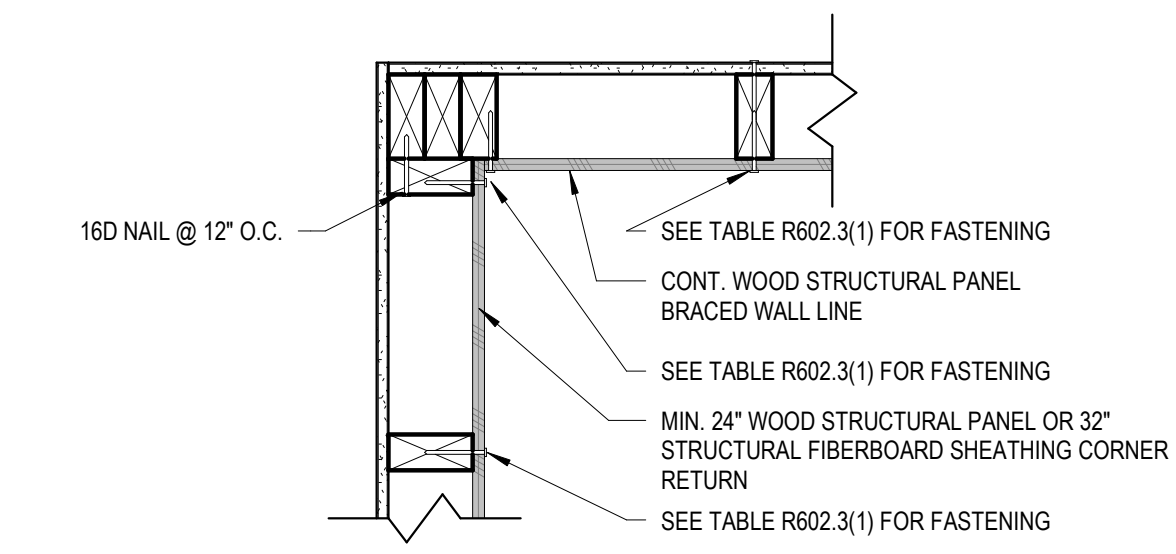
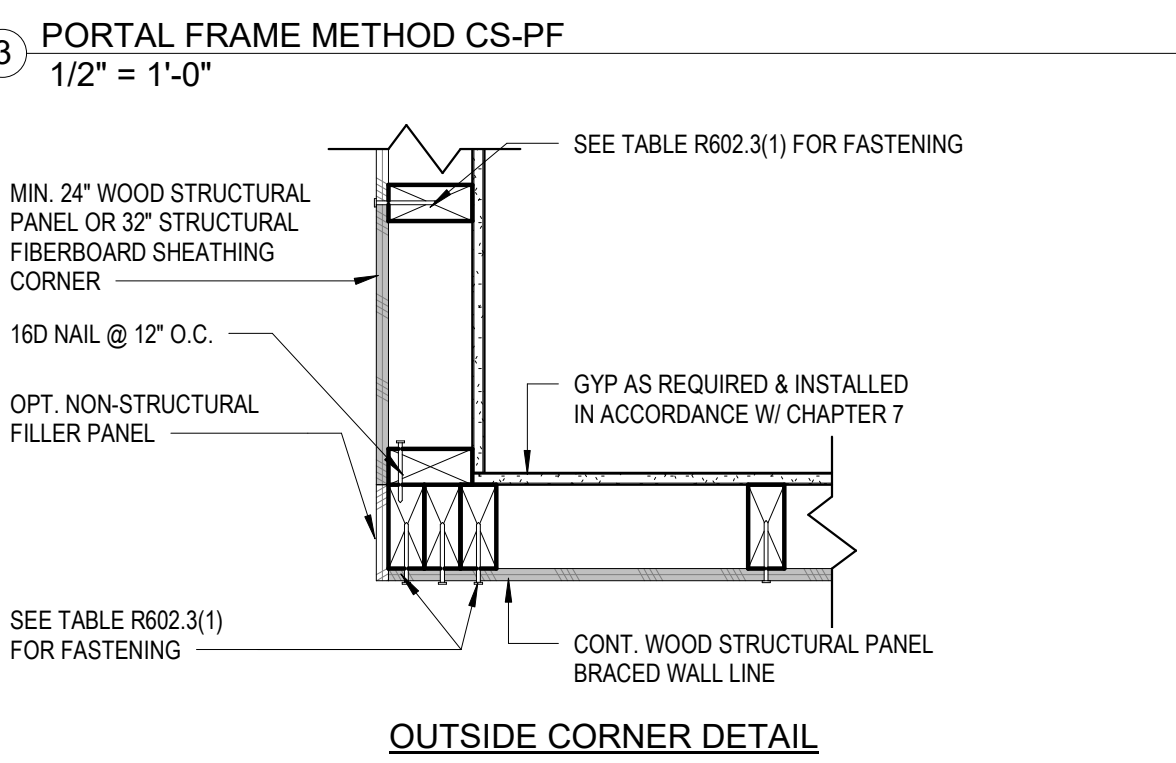
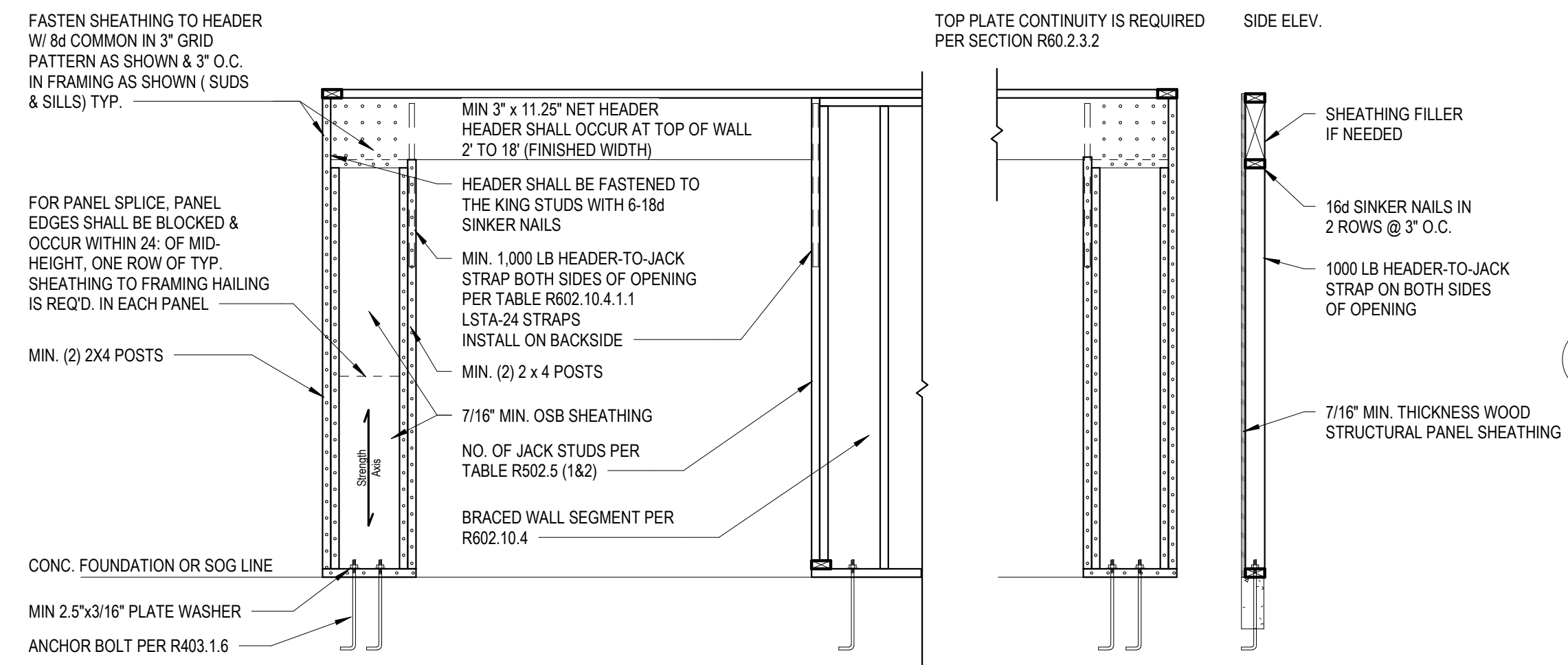
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Number	DESCRIPTION	DATE

Foundation Plan

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Framing Notes:

EXTERIOR WALL FRAMING

- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL.
- SILL PLATES SHALL BE FASTENED TO MIN. 6-INCHES ABOVE GRADE.
- ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16-D NAILS MIN.
- ALL EXTERIOR CORNERS TO BE BRACED WITH 716" OSB NAILING SCHEDULE SHALL BE 8' COMMON @ 6" O.C. ALONG EDGES & 8' COMMON @ 12" O.C. @ INTERMEDIATE STUDS.

ROOF FRAMING

- ALL ROOF EAVES OVERHANGS TO BE 16" UNO.
- ALL JOISTS & RAFTERS TO BE ALIGNED OVER SUDS.
- ROOF SHEATHING SHALL BE 716" OSB NAIL W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ RAVY SPACER CLIPS ALONG ALL EDGES - SECURE SHEATHING W/ 8 COMMON NAILS TO RAFTERS AT 6" O.C. ALL EDGES.

WOOD FRAMING, FLOORS AND ROOF NOTES

- EXT. WALL FRAMING TO BE 2x4 (SPF OR DFL STUD GRADE 2 OR BETTER) @ 16" O.C.
- ROOF SHEATHING TO BE 716" OSB NAIL W/ 8 @ 6" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNSUPPORTED PANEL EDGES.
- SHEATH EXT. WALLS W/ 716" OSB NAIL W/ 8 @ 6" O.C.
- HEADERS: PROVIDE 2x4 W/ 9" OR (2) OR BETTER) UNO. CONSTRUCT HEADERS W/ 2x4 & 716" OSB BETWEEN W/ (2) ROWS OF 16 @ 16" O.C.
- BLOCKING MIN. 1.5 INCHES UTILITY GRADE LUMBER-JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOCKING NOT < 2-INCHES.
- 1x4 F.J. C.J. & RAFTERS TO BE SPF OR DFL GRADE #2 OR BETTER.
- EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF CEILING DIAPHRAGM PER RC 602.3.
- STUDS, RAFTERS, JOISTS, MS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.

BRACED WALL LINE SCHEDULE

WALL LINE	TOTAL LENGTH	AVG SPACING	TABLE R602.10.3			PROVIDED LENGTH
			BASE	ADJ FACTOR	REQD LENGTH	
LOWER FLOOR						
A	51.5'	51.5'	17'	1.24	21.00'	22.00'
B	51.5'	51.5'	17'	1.24	21.00'	21.25"
1	28'	28'	9'	1.24	11.12'	12.00'
2	28'	28'	9'	1.24	11.12'	12.00'
MAIN FLOOR						
A	51.5'	51.5'	9'	1.14	10.26'	12.00'
B	51.5'	51.5'	9'	1.14	10.26'	15.00'
1	28'	28'	4.5'	1.14	5.13'	8.00'
2	28'	28'	4.5'	1.14	5.13'	8.00'

* CS-PF PANELS CONTRIBUTING LENGTH ARE CALCULATED AT 1.5x ACTUAL LENGTH PER TABLE R602.10.5

- CS-WSP PANELS: DISTANCE FROM END OF BRACED WALL LINE TO FIRST BRACED WALL PANEL CANNOT EXCEED A COMBINED TOTAL OF 10' PER R602.10.2.2
- WOOD STRUCTURAL PANELS: BLOCKING OF HORIZONTAL JOINTS IS REQUIRED UNLESS EXCEPTION R602.10.4.1 IS NOTED AS BEING APPLIED IN SCHEDULE ABOVE.
- CS-WSP PANELS: MIN. 2' PANELS AT BOTH CORNERS WITHOUT USING HOLD DOWNS PER R602.10.4.4 AND MAX. 12'-0" FROM CORNER.
- CS-WSP PANELS: MIN PANELS LENGTH ADJACENT TO AN OPENING FOR 9' PLATE = 27", FOR 8' PLATE = 24" PER TABLE R602.10.5.

architect:
Elevate Design + Build
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Original Issue Date: 10/7/2021

REVISIONS

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Framing Plan

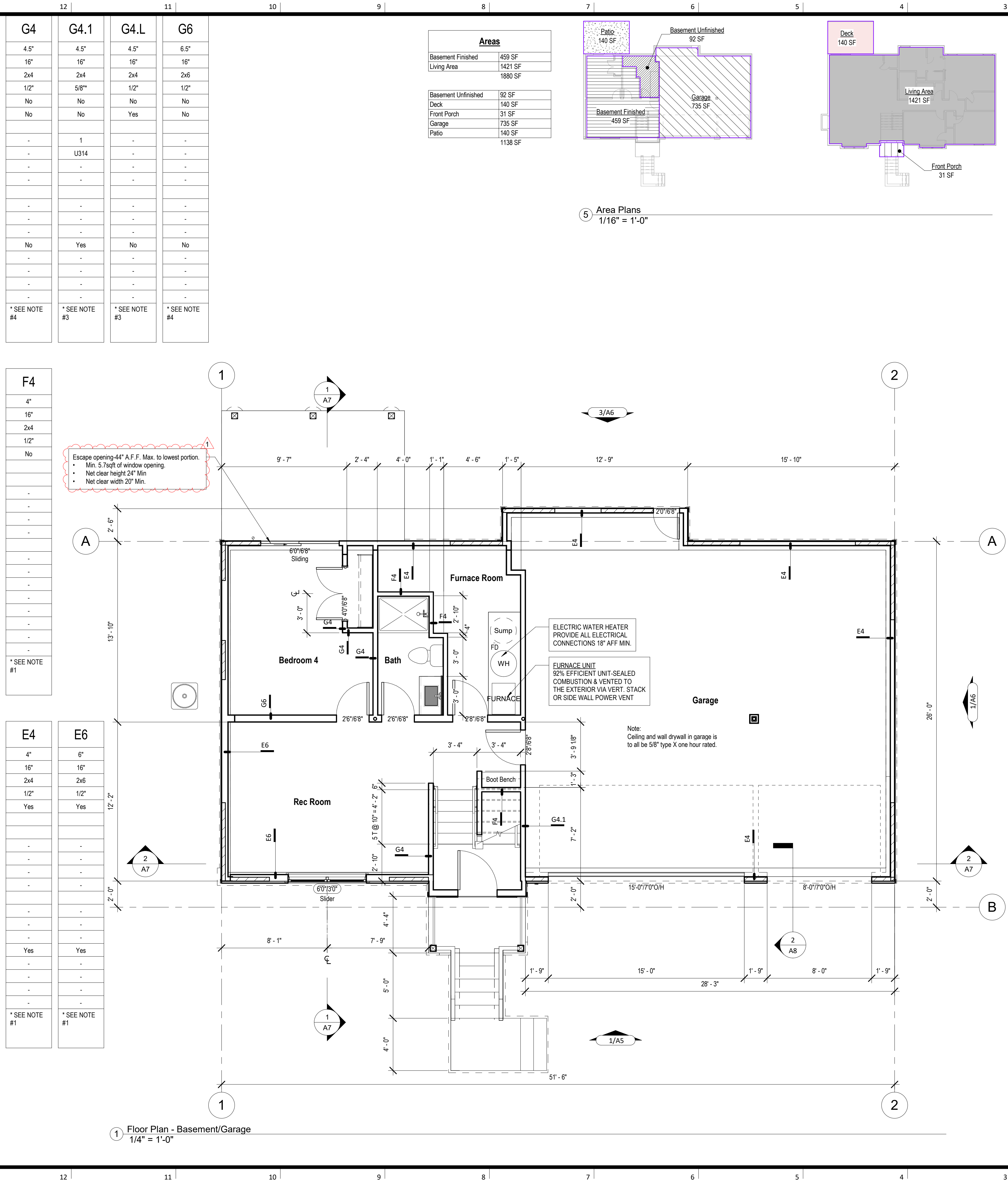
S1

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<p>NOTES:</p> <ol style="list-style-type: none"> PROVIDE MOISTURE RESISTANT GWB IN WET AREAS EXTEND ALL FIRE RATED WALLS STRUCTURE TO STRUCTURE. USE TYPE "X" GWB FOR ALL FIRE RATED PARTITIONS REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O. 	<p>PARTITION IDENTIFICATION PLAN SYMBOL</p> <table border="1"> <tr><td>G4</td><td>G4.1</td><td>G4.L</td><td>G6</td></tr> <tr><td>BASE PARTITION THICKNESS</td><td>4.5"</td><td>4.5"</td><td>6.5"</td></tr> <tr><td>STUD SPACING (O.C.)</td><td>16"</td><td>16"</td><td>16"</td></tr> <tr><td>STUD SIZE</td><td>2x4</td><td>2x4</td><td>2x6</td></tr> <tr><td>GWB THICKNESS</td><td>1/2"</td><td>5/8"</td><td>1/2"</td></tr> <tr><td>JOINT SEALANTS</td><td>No</td><td>No</td><td>No</td></tr> <tr><td>INTERIOR LOAD BEARING WALL</td><td>No</td><td>No</td><td>Yes</td></tr> </table>	G4	G4.1	G4.L	G6	BASE PARTITION THICKNESS	4.5"	4.5"	6.5"	STUD SPACING (O.C.)	16"	16"	16"	STUD SIZE	2x4	2x4	2x6	GWB THICKNESS	1/2"	5/8"	1/2"	JOINT SEALANTS	No	No	No	INTERIOR LOAD BEARING WALL	No	No	Yes
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<p>PARTITION SYSTEM: GYPSUM FURRING PARTITION</p>	<p>REMARKS:</p> <table border="1"> <tr><td>* SEE NOTE #1</td></tr> </table>	* SEE NOTE #1																
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<p>NOTES:</p> <ol style="list-style-type: none"> REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O. 	<p>PARTITION IDENTIFICATION PLAN SYMBOL</p> <table border="1"> <tr><td>E4</td><td>E6</td></tr> <tr><td>BASE PARTITION THICKNESS</td><td>4"</td><td>6"</td></tr> <tr><td>STUD SPACING (O.C.)</td><td>16"</td><td>16"</td></tr> <tr><td>STUD SIZE</td><td>2x4</td><td>2x6</td></tr> <tr><td>GWB THICKNESS</td><td>1/2"</td><td>1/2"</td></tr> <tr><td>JOINT SEALANT</td><td>Yes</td><td>Yes</td></tr> </table>	E4	E6	BASE PARTITION THICKNESS	4"	6"	STUD SPACING (O.C.)	16"	16"	STUD SIZE	2x4	2x6	GWB THICKNESS	1/2"	1/2"	JOINT SEALANT	Yes	Yes
E4	E6																	
BASE PARTITION THICKNESS	4"	6"																
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JOINT SEALANT	Yes	Yes																
<p>PARTITION SYSTEM: Exterior Partition</p>	<p>REMARKS:</p> <table border="1"> <tr><td>* SEE NOTE #1</td><td>* SEE NOTE #1</td></tr> </table>	* SEE NOTE #1	* SEE NOTE #1															
* SEE NOTE #1	* SEE NOTE #1																	



General Notes:

DOORS AND WINDOWS

- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS 12" AND WITH DOORS ABOVE PARTITIONS TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE WITH SECTION 308 OF THE IRC.
- SHOWERS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.

GARAGES:

- GARAGE SEPARATION WALL TO BE 1 HR CONST. W/ MIN. 5/8" TYPE X GWB, EXTEND TO BOTTOM OF ROOF. DOOR TO BE 20 MIN RATED, 1 3/8" C.I. EQUIPPED W/ CLOSURE & LATCH.
- 15 & 20 AMP RECEPTACLES SHALL HAVE GFCI PROTECTION.
- TYPE X 5/8" GB REQUIRED ON GARAGE CEILING BELOW LIVING AREAS.

LIGHT AND VENTILATION

- PROVIDE STAIRWAY ILLUMINATION PER R303.3.
- GABLE VENT & WINDOW VENTS TO PROVIDE A MIN. OF 10 SF. NET-FREE OF ATTIC VENTILATION.
- FURNACES ENCLOSED IN A ROOM LESS THAN 100 SF. SHALL BE PROVIDED IN A MANSION OF COMBUSTION MAKE-UP AIR AS DETERMINED/CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR.
- VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3.
- PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG EAVE SPACED EVENLY W/ NO MORE THAN 8'-0" O.C.

GYPSUM BOARD:

- GWB APPLIED TO CEILINGS SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD.

MECHANICAL SYSTEMS

- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS IN PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO GARAGE.
- PROVIDE MIN. 75% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED.
- PROVIDE MIN. 13 SEER FOR AIR CONDITIONING EQUIPMENT.
- SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8.

ELECTRICAL SYSTEMS

- PROVIDE GROUND ENCASED IN CONCRETE FOOTING.
- ALL ELECTRICAL CONDUCTORS SHALL BE COPPER.
- RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
 - BEDROOM, KITCHEN (W/IN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS.
 - ALL BRANCH CIRCUITS THAT SUPPLY 120-V. SHINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
 - BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
 - ALL 15 & 20 A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
 - EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:
 - RECEPTACLES LOCATED MORE THAN 5.5 FEET AFF.
 - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCES ARE NOT EASILY MOVED. APPLIANCES TO BE CORD-IN-PLUG CONNECTED TO RECEPT.

UNFINISHED BASEMENT REQUIREMENTS

- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER.
- JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" GWB.
- UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED OH FLOORCEILING (MIN R-19).
- ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-4 INSULATED OR ENCLOSED INSIDE A FLOORCEILING.
- UNFINISHED BASEMENTS SHALL HAVE NO UNCONDITIONED AIR OUTLETS.

EROSION CONTROL

- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE, RE-INSPECTION FEE & STOP-WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
 - A. SILT FENCE OR STRAW BATTLE AROUND ALL DISTURBED SOIL SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS.
 - B. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE.
 - C. STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROOM CLEAN CONDITION AT ALL TIMES.

PHYSICAL SECURITY ORDINANCE

- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION.

Interior Partition Naming Convention

Partition Material Type
Nominal Stud/Partition Thickness
Fire Rating or other modifier
Partition Height. Omitted at walls spanning full height.

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice

2026 SW Hook Farm Dr
Lee's Summit, MO 64082

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Architect License No. A-2017038489

Original Issue Date: 10/7/2021

REVISIONS

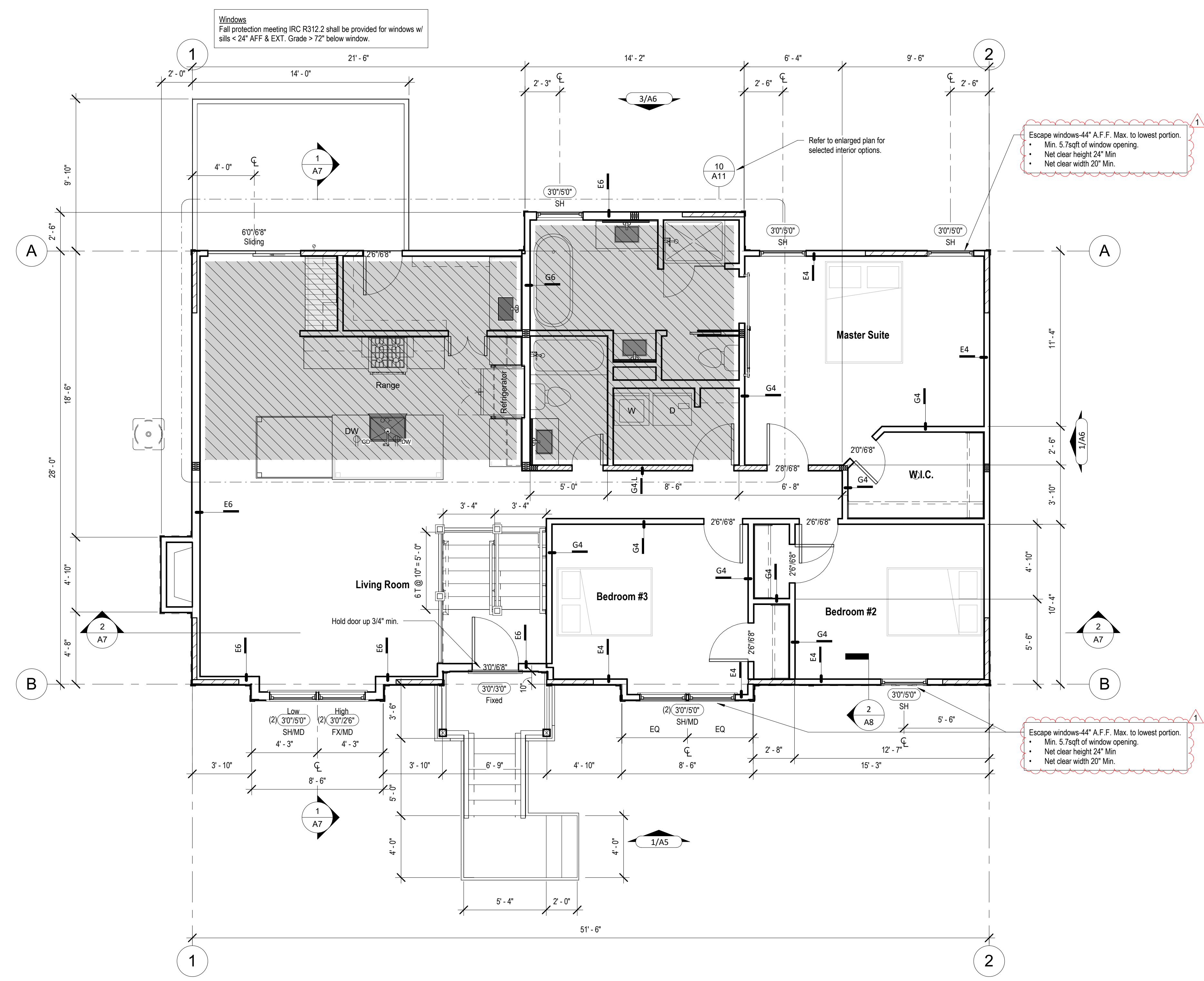
Number	DESCRIPTION	DATE
1	Revision 1	10/27/2021

Floor Plan - Basement/Garage

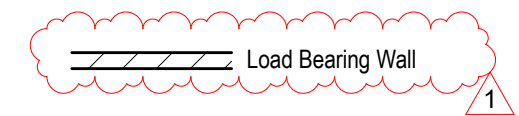
A0

General Notes:

- DOORS AND WINDOWS**
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- GARAGES**
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- LIGHT AND VENTILATION**
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- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION.



1 Floor Plan - Living Space
 1/4" = 1'-0"



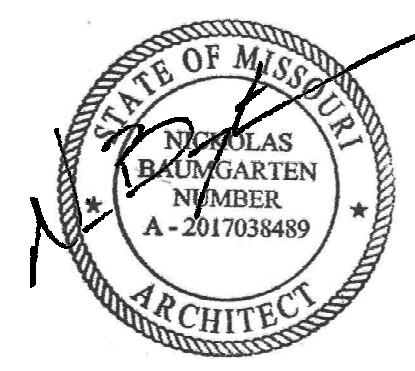
Escape windows-44" A.F.F. Max. to lowest portion.
 • Min. 5.7sqft of window opening.
 • Net clear height 24" Min.
 • Net clear width 20" Min.

Escape windows-44" A.F.F. Max. to lowest portion.
 • Min. 5.7sqft of window opening.
 • Net clear height 24" Min.
 • Net clear width 20" Min.

architect:
Elevate Design + Build
 350 SW Longview Blvd
 Lee's Summit, MO 64081
 816.622.8826 voice

2026 SW Hook Farm Dr
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 Original Issue Date: 10/7/2021

REVISIONS		
Number	DESCRIPTION	DATE
1	Revision 1	10/27/2021

Floor Plan - Living Space

A1

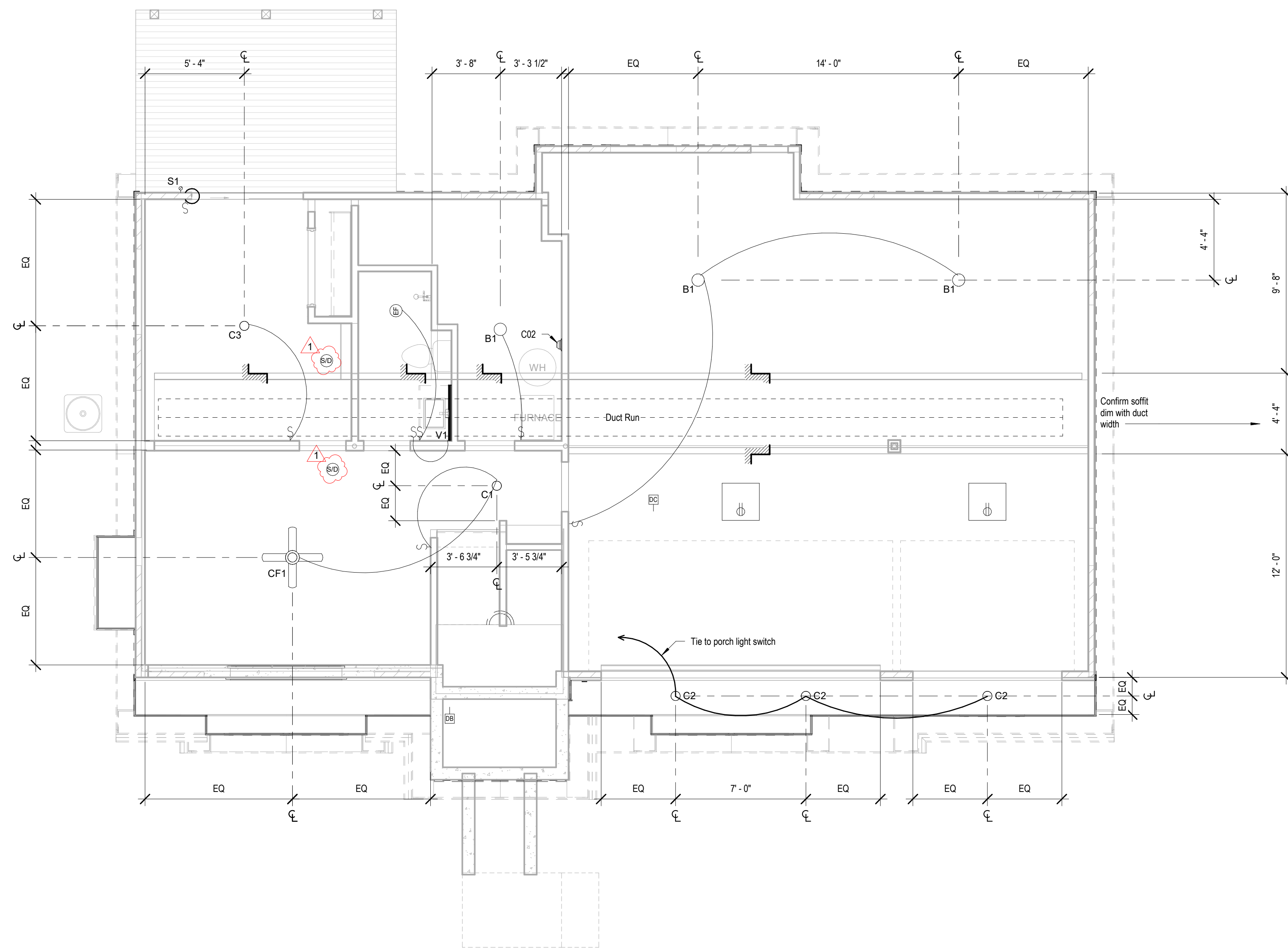
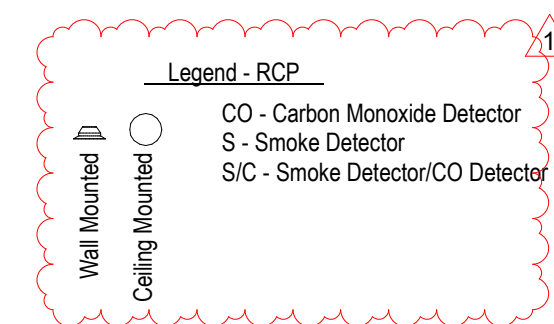
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RELEASE FOR ~~10/28/2021~~
 AS NOTED FOR PLAN REVIEW
 DEVELOPMENT SERVICES
 LEE'S SUMMIT, MISSOURI
10/28/2021

Creststone - Hook Farms - Lot 20

Lighting Fixture Schedule		
Type Mark	Description	Type Comments
B1	Ceiling Mounted Exposed Bulb	
C1	Recessed Can Light - Interior	
C2	Recessed Can Light - Exterior	
C3	LED Disk Light	
CF1	Ceiling Fan w/ Light - Surface Mounted	
CF2	Ceiling Fan w/ Light - Down Rod	Mount with 2'-0" Down Rod
P1	Decorative Pendant Fixture	Mount bottom of fixture 72" AFF
P2	Decorative Pendant Fixture	Mount bottom of fixture 72" AFF
S1	Wall Sconce - Exterior	
V1	Vanity Wall Mounted	

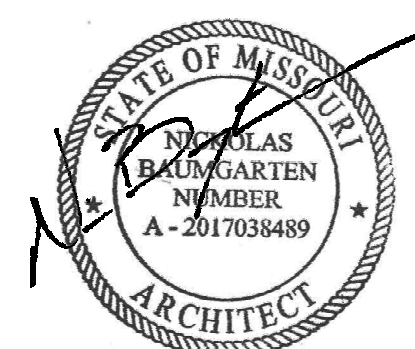
Note:
1. Lighting fixtures penetrating the thermal envelope (Ex: can lights in attic) shall be IC-Rated, Leakage-Rated and sealed to the gypsum wallboard (N1103.1.1)



architect:
Elevate Design + Build
350 SW Longview Blvd
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Lee's Summit, MO 64082

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RCP/Electrical Plan -
Basement/Garage

A3

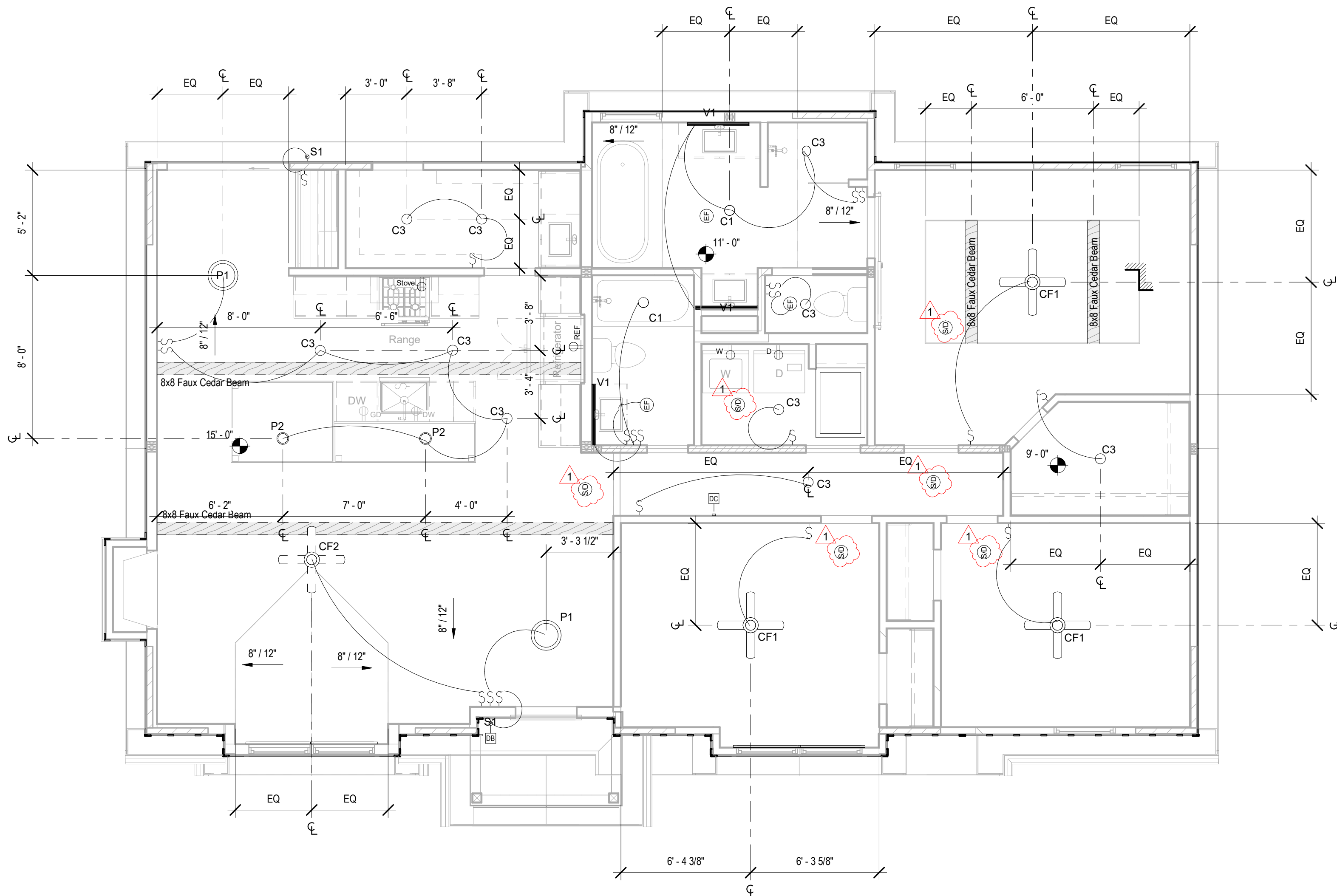
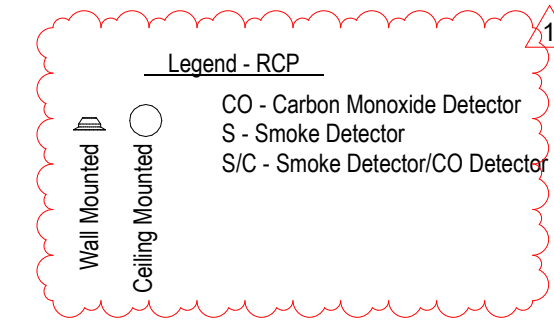
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10/28/2021

① RCP/Electrical Plan - Basement/Garage
1/4" = 1'-0"

Creststone - Hook Farms - Lot 20

Lighting Fixture Schedule		
Type Mark	Description	Type Comments
B1	Ceiling Mounted Exposed Bulb	
C1	Recessed Can Light - Interior	
C2	Recessed Can Light - Exterior	
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CF1	Ceiling Fan w/ Light - Surface Mounted	
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S1	Wall Sconce - Exterior	
V1	Vanity Wall Mounted	



1 RCP/Electrical Plan - Living Space
1/4" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
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816.622.8826 voice

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RCP/Electrical Plan - Living Space

A4

Project No.

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10/28/2021

Creststone - Hook Farms - Lot 20



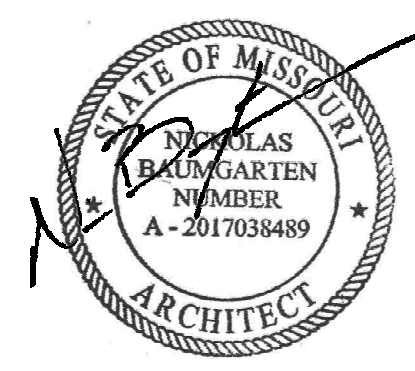
Fall protection meeting IRC R312.2 shall be provided for windows w/ sills < 24\"/>

1 Elevation - Front - Option C
1/4" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice

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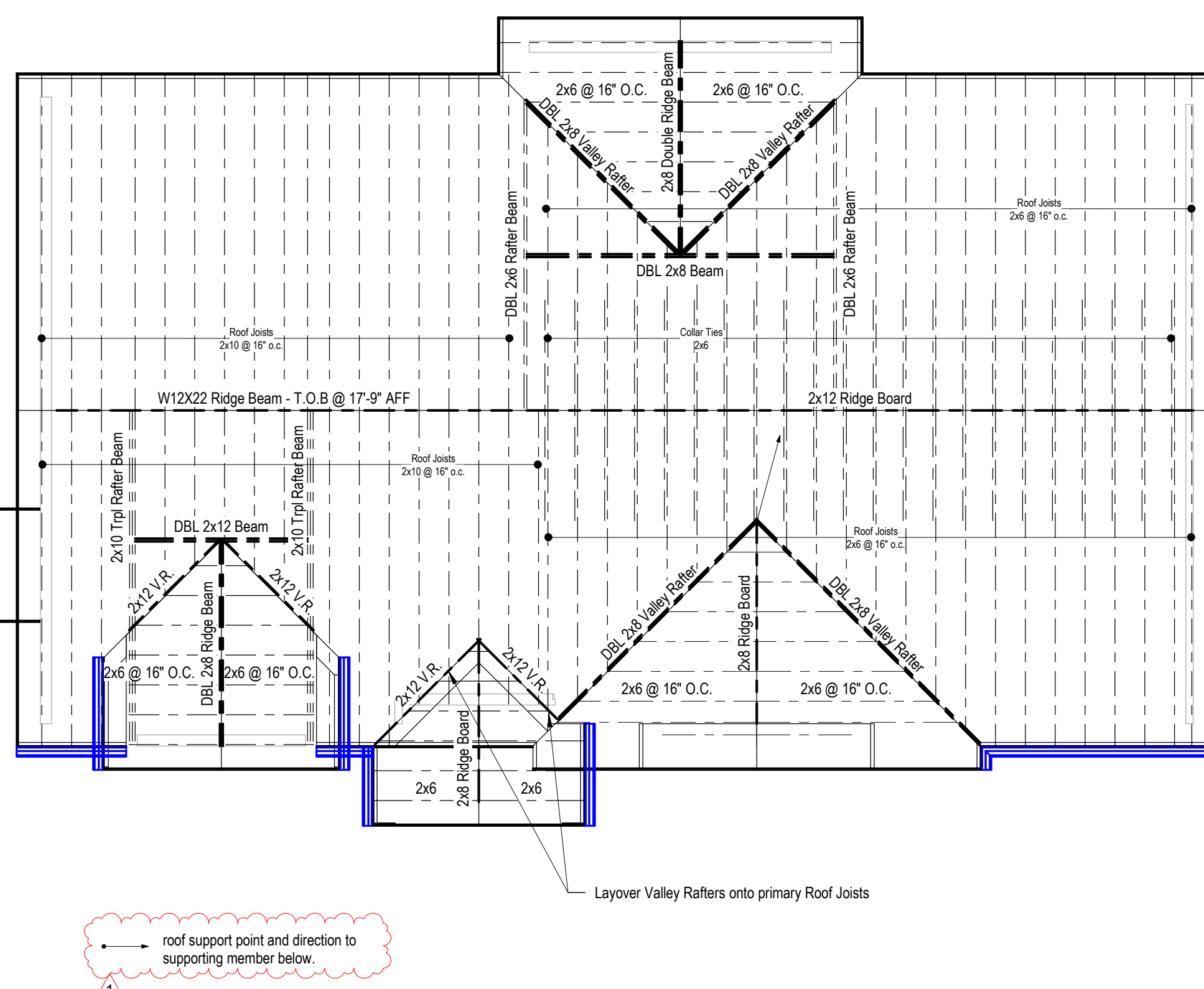
Elevations

A5.C

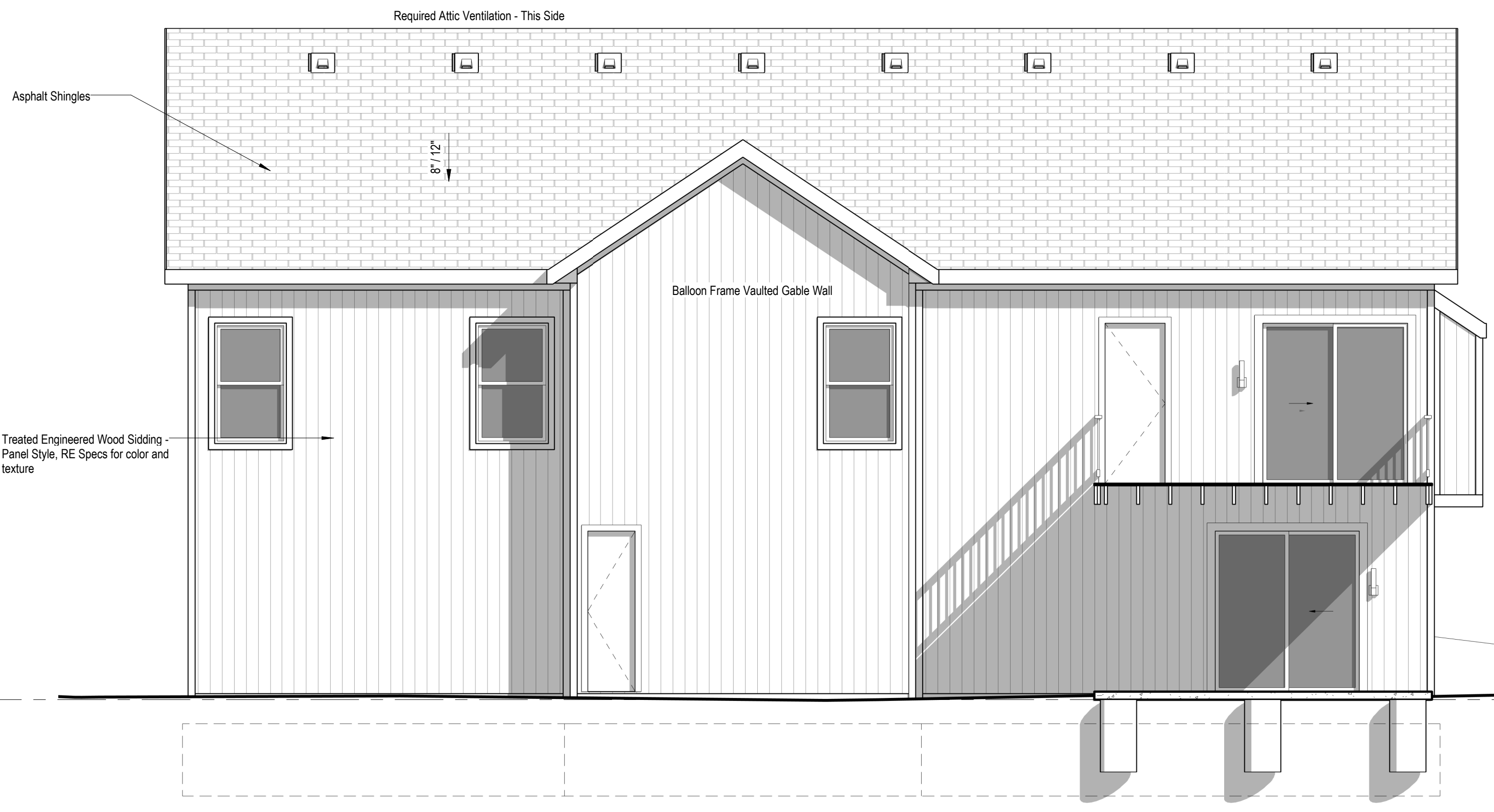
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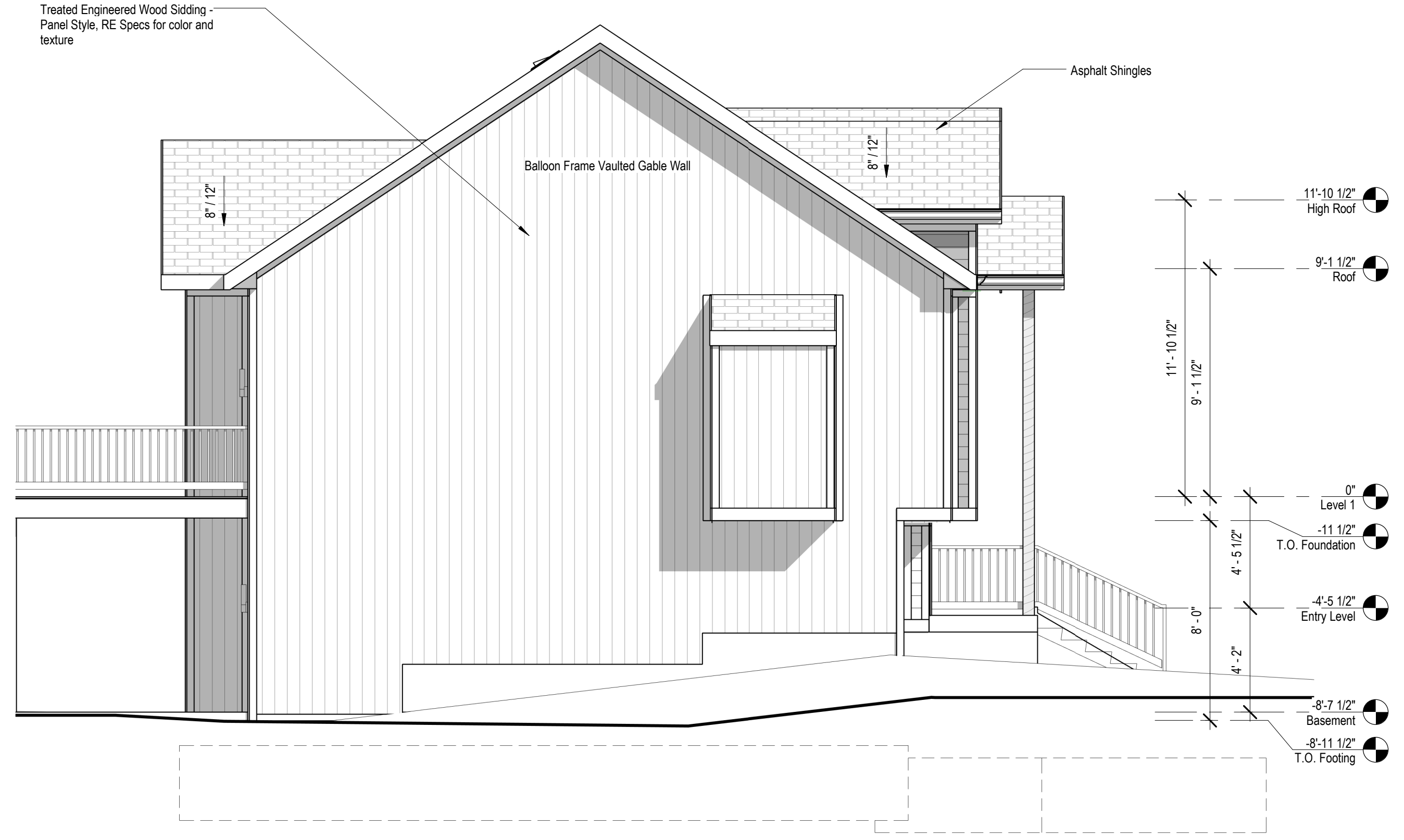
Creststone - Hook Farms - Lot 20



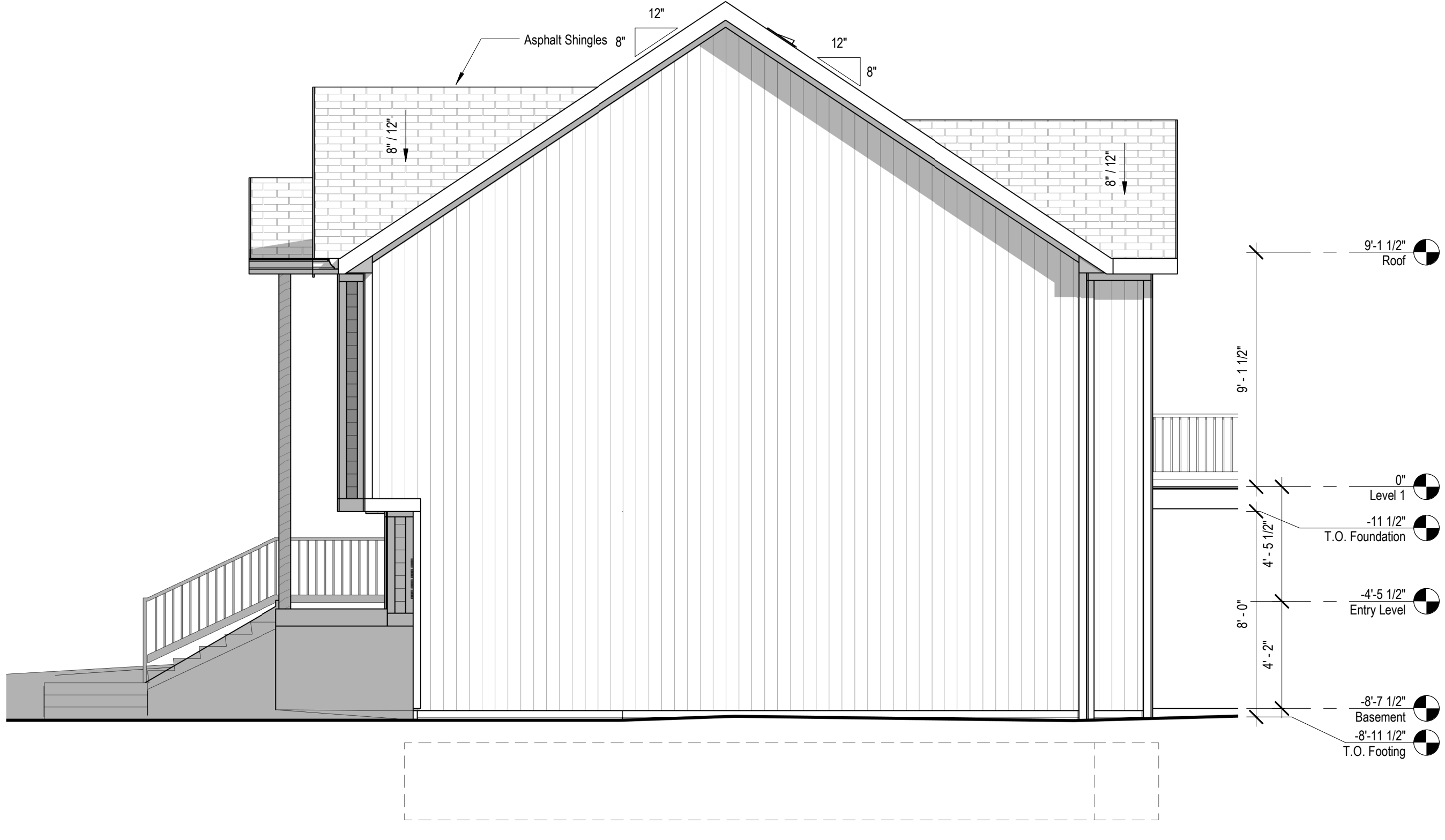
④ Roof Plan
3/16" = 1'-0"



③ Elevation - Back
1/4" = 1'-0"



② Elevation - Left
1/4" = 1'-0"

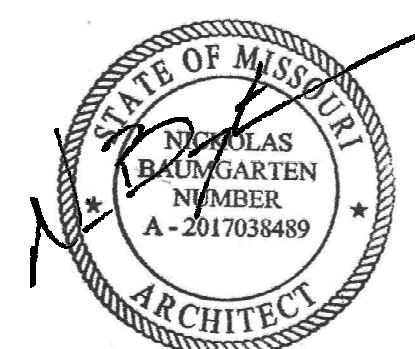


① Elevation - Right
1/4" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice

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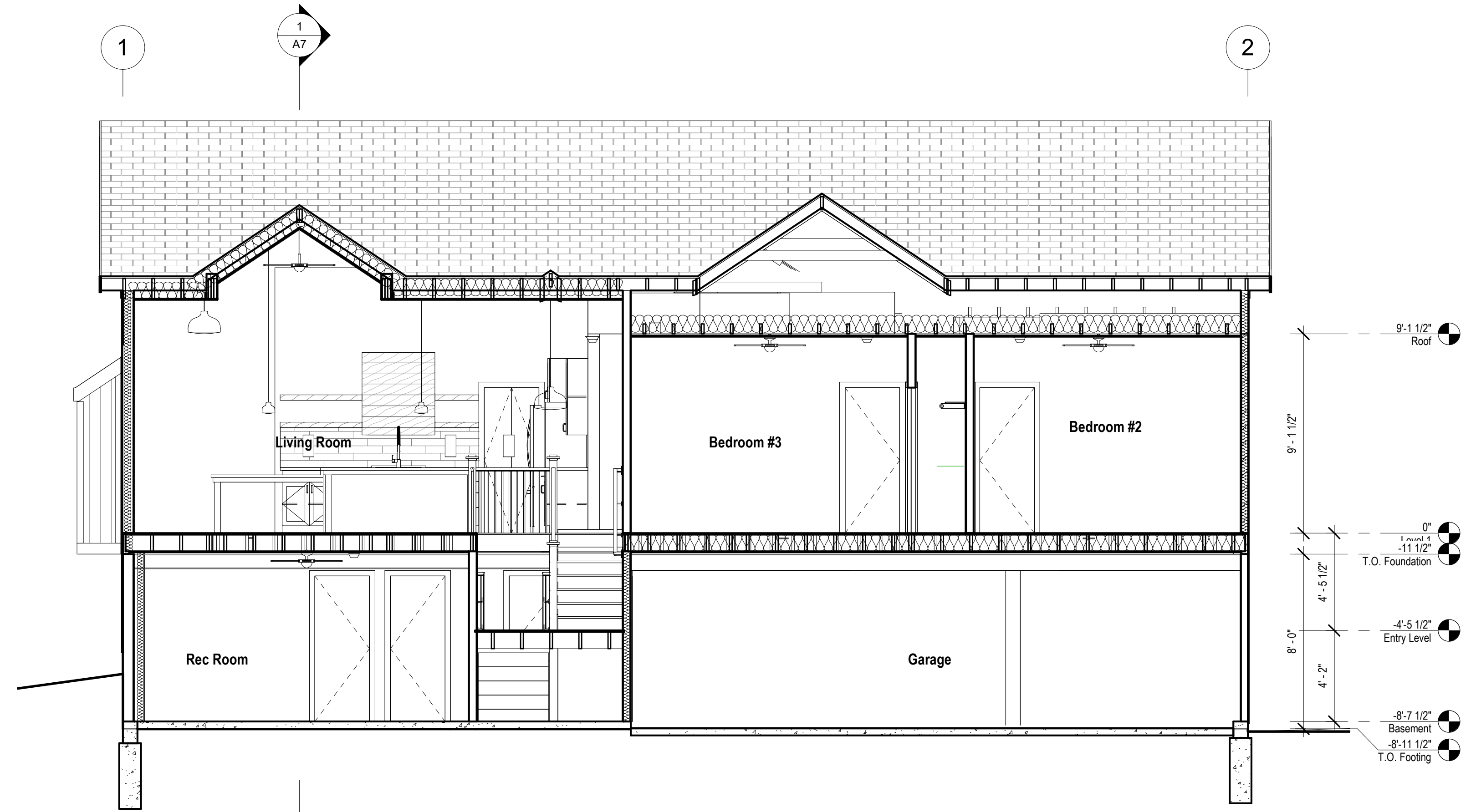
Elevations & Roof Plan

A6

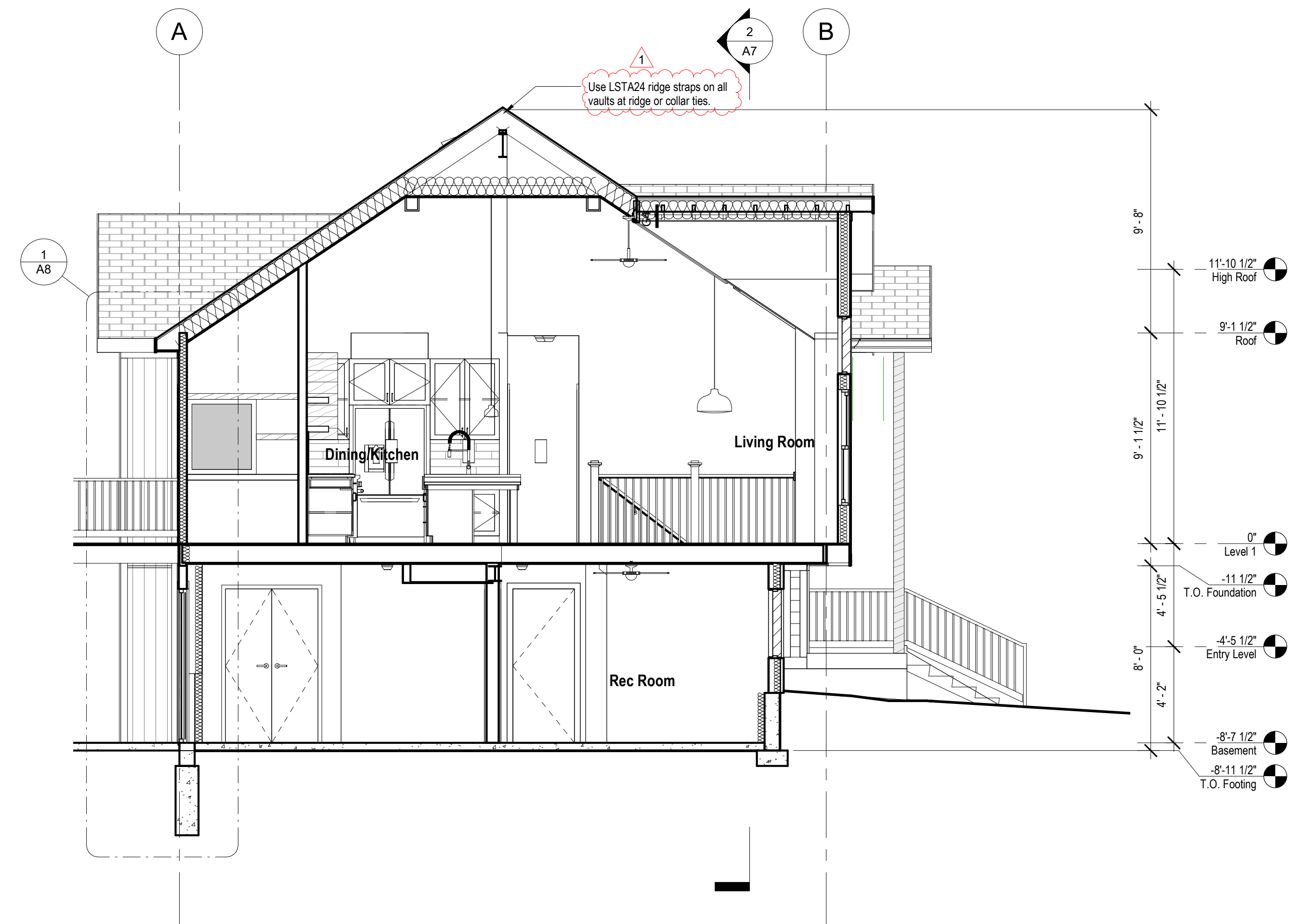
Project No.

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10/28/2021

Creststone - Hook Farms - Lot 20



② Building Section
1/4" = 1'-0"

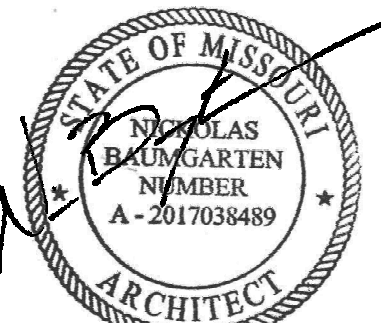


① Building Section
1/4" = 1'-0"

architect:
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350 SW Longview Blvd
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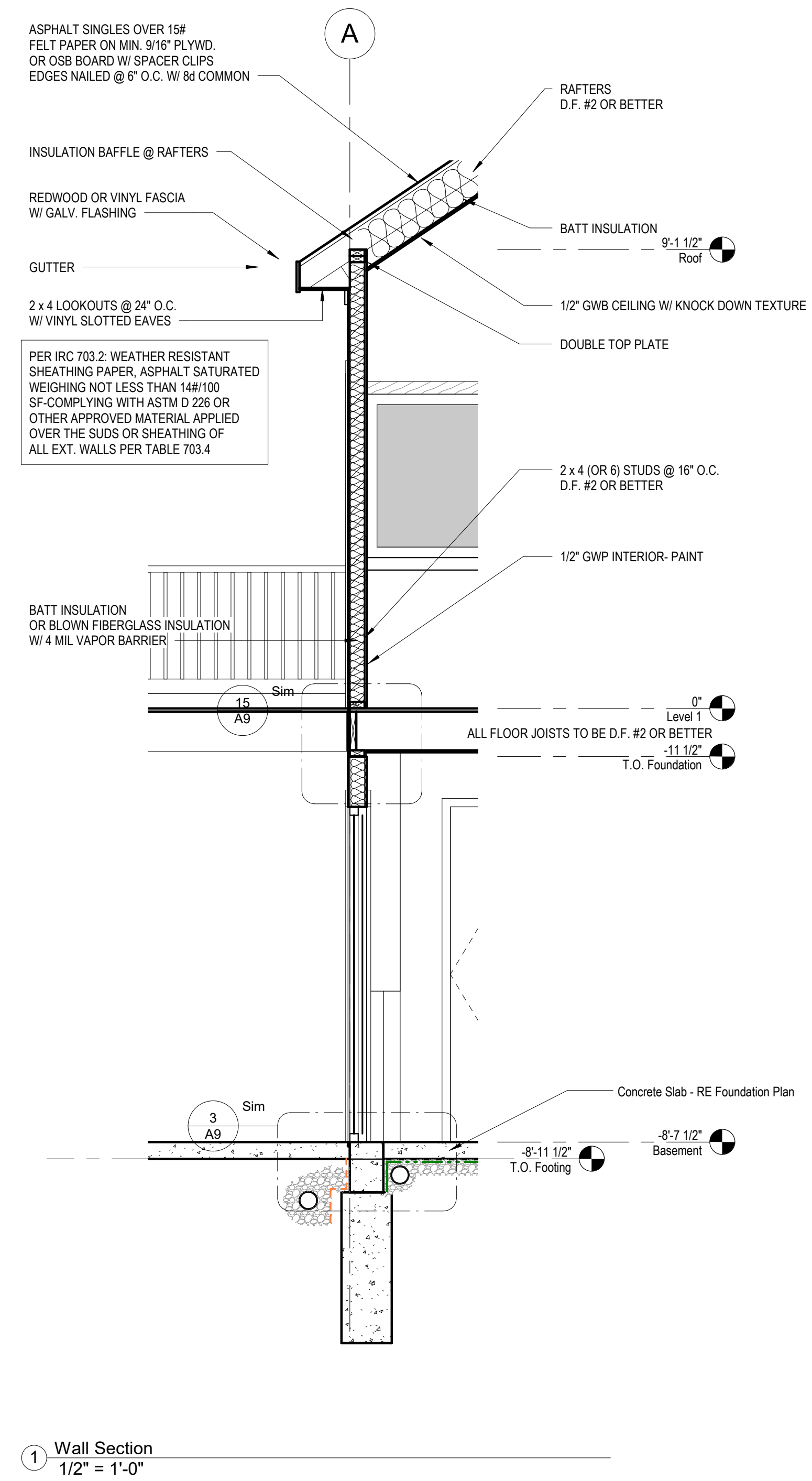
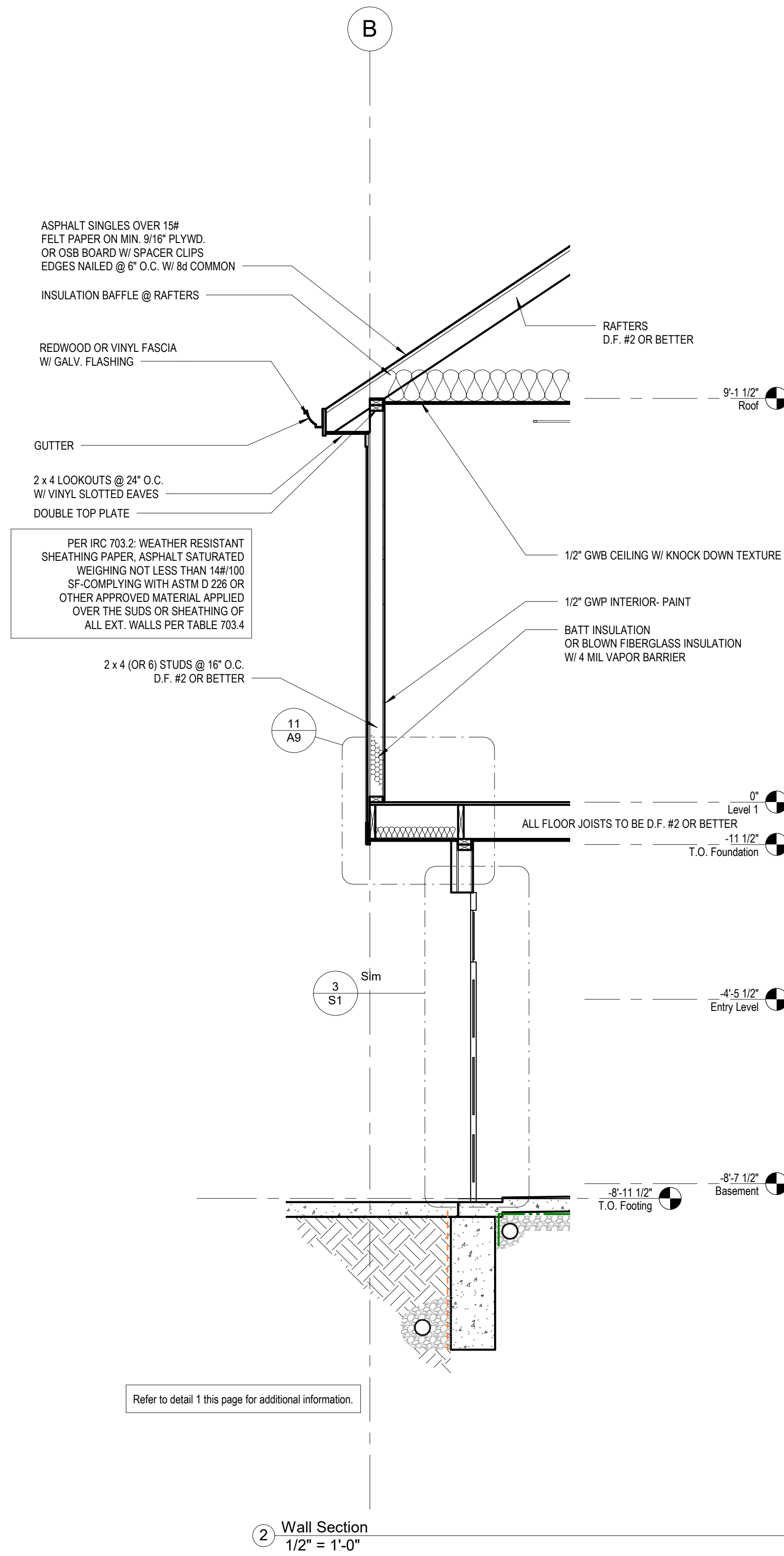
Building Sections

A7

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LEE'S SUMMIT, MISSOURI
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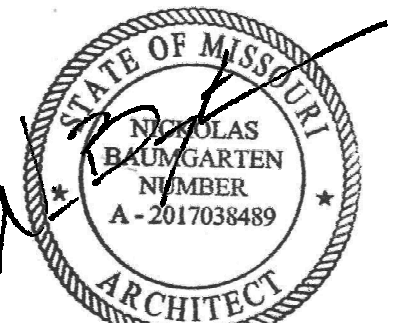
Creststone - Hook Farms - Lot 20



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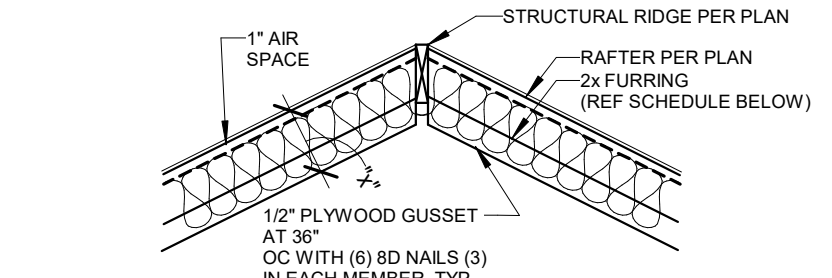
Number	DESCRIPTION	DATE

A8

Project No.

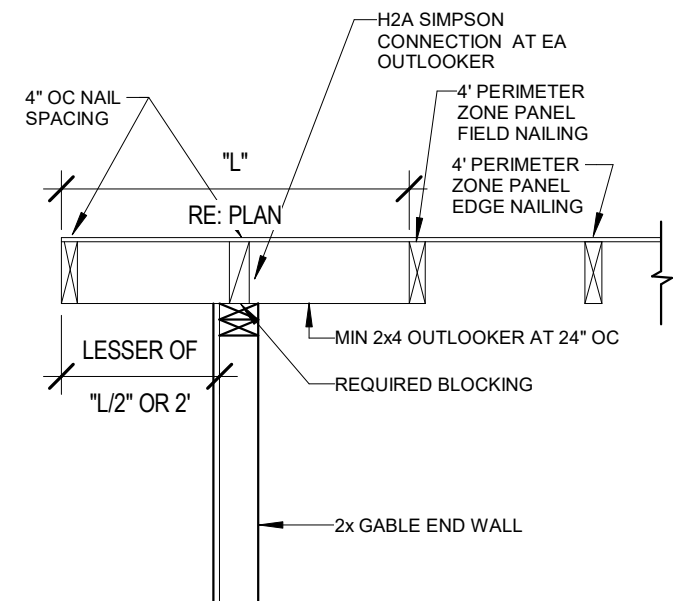
RELEASE FOR **10/20** ACTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
10/28/2021

Creststone - Hook Farms - Lot 20

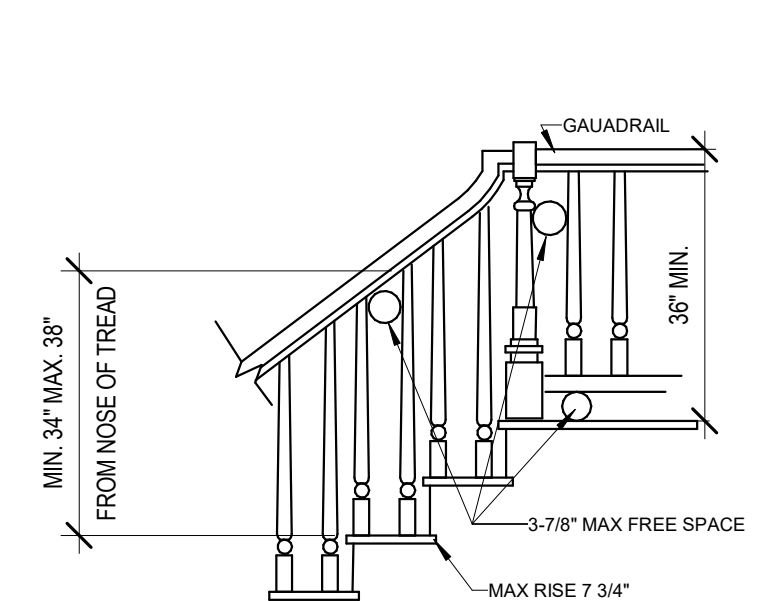


FURR OUT SCHEDULE		
RAFTER SIZE	R-30C INSULATION (X" = 9 1/4")	R-38C INSULATION (X" = 11 1/4")
2x6	2x6	2x6
2x8	2x4	2x6
2x10	NOT REQUIRED	2x4
2x12	NOT REQUIRED	NOT REQUIRED

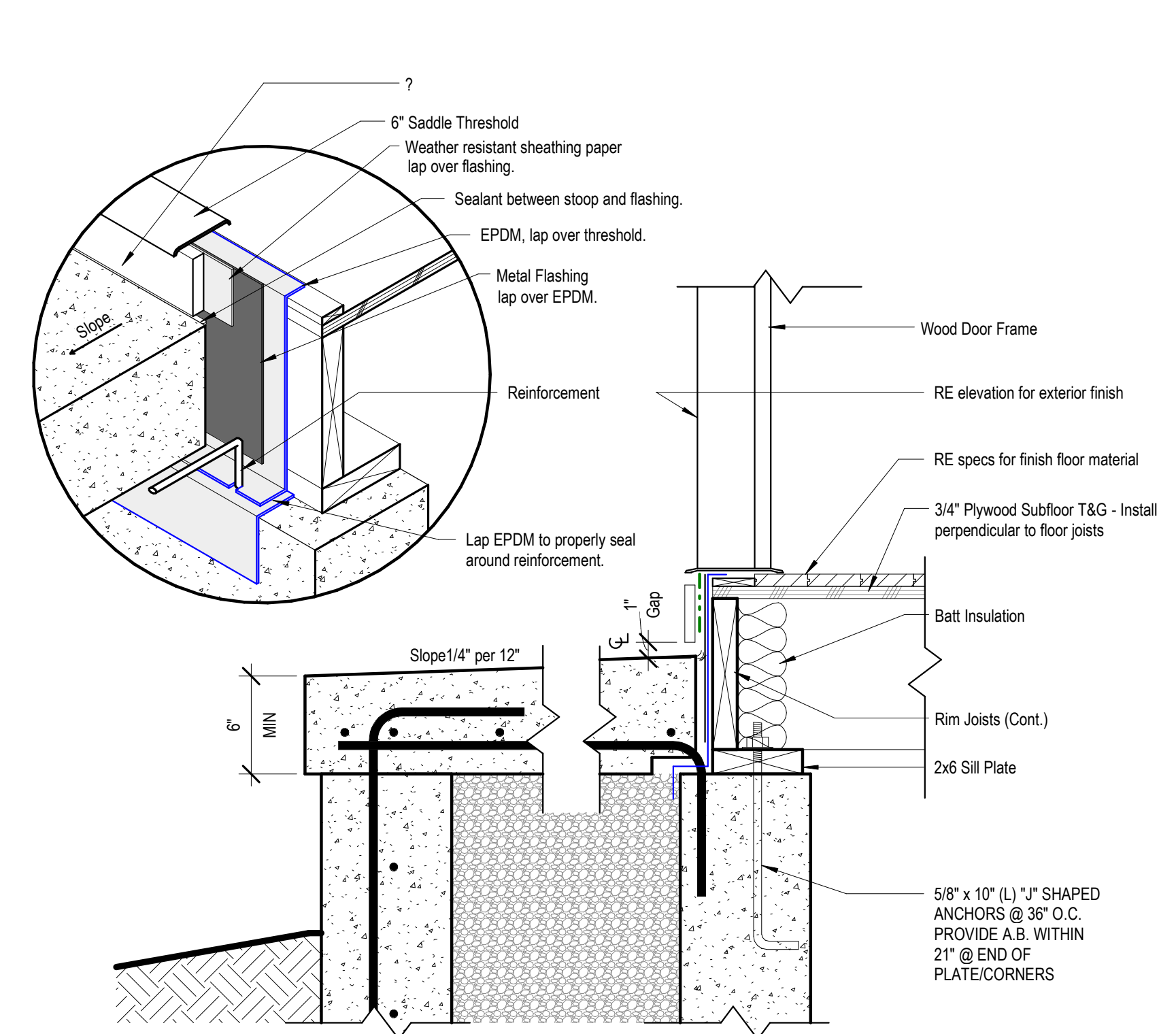
5 Rafter Furr Down Requirements
1" = 1'-0"



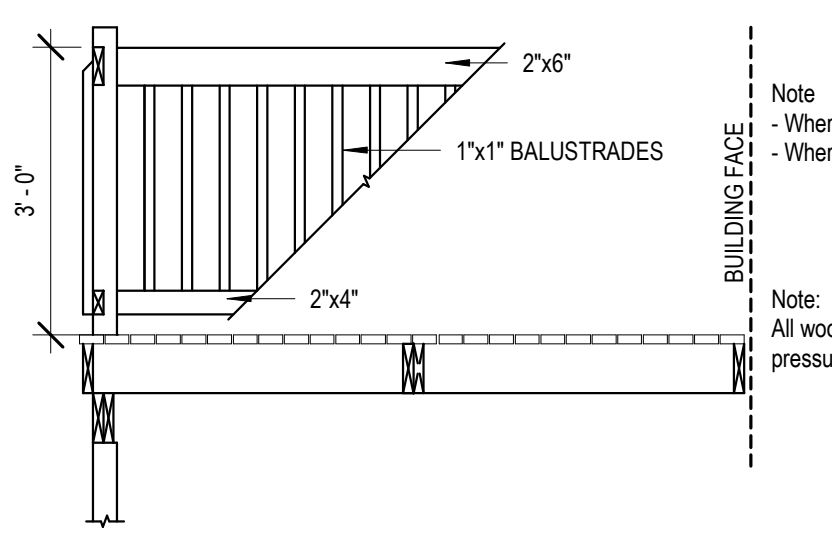
7 Gable Framing Requirements
1" = 1'-0"



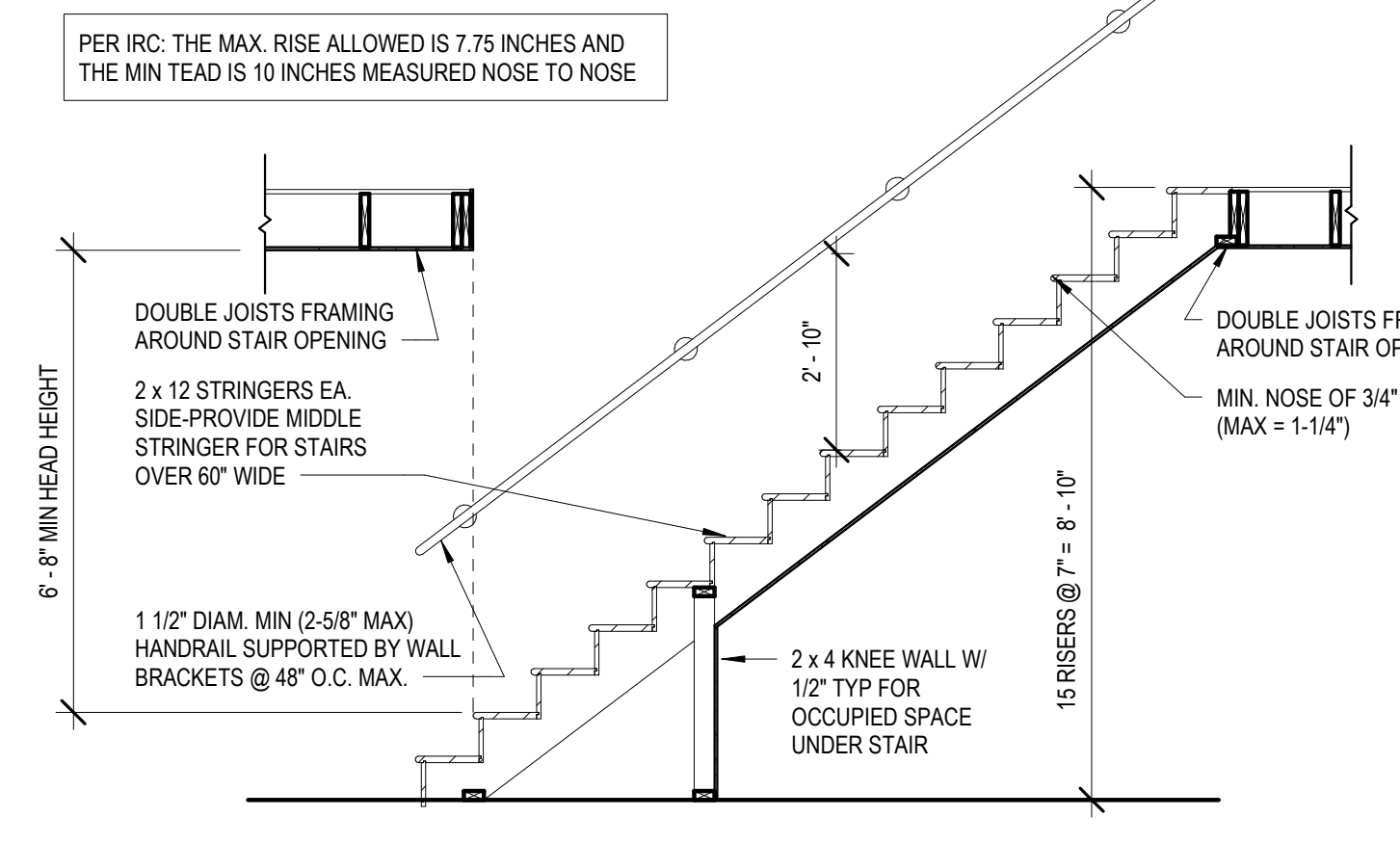
12 Railing Detail
1" = 1'-0"



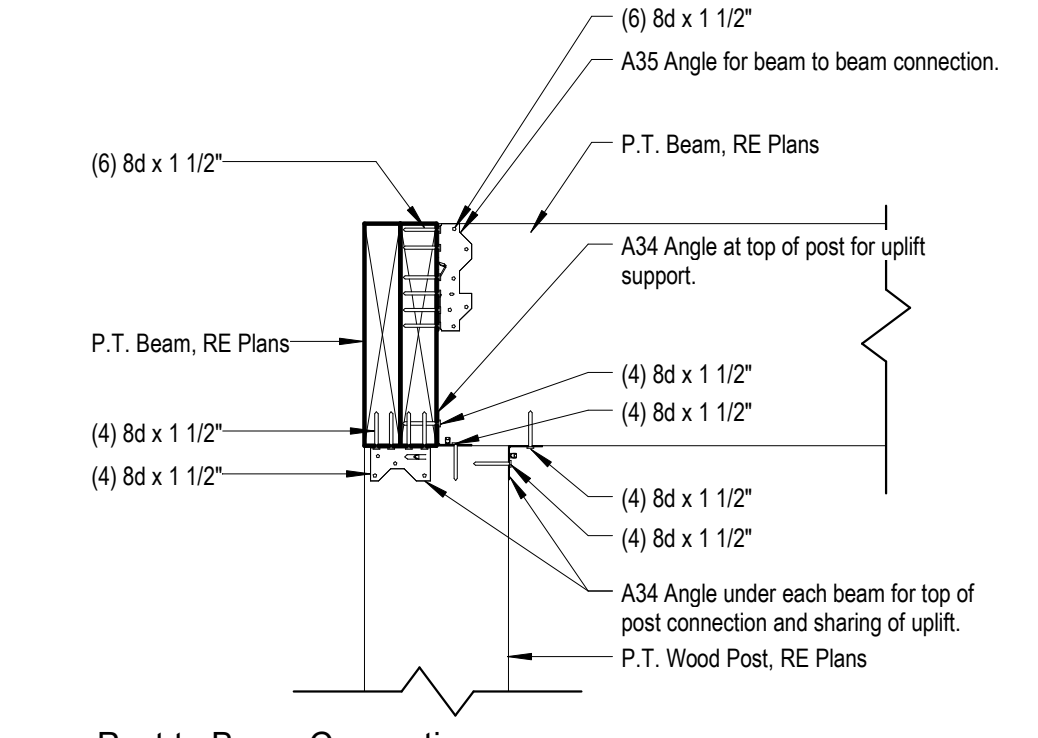
14 Detail - Front Stoop
1 1/2" = 1'-0"



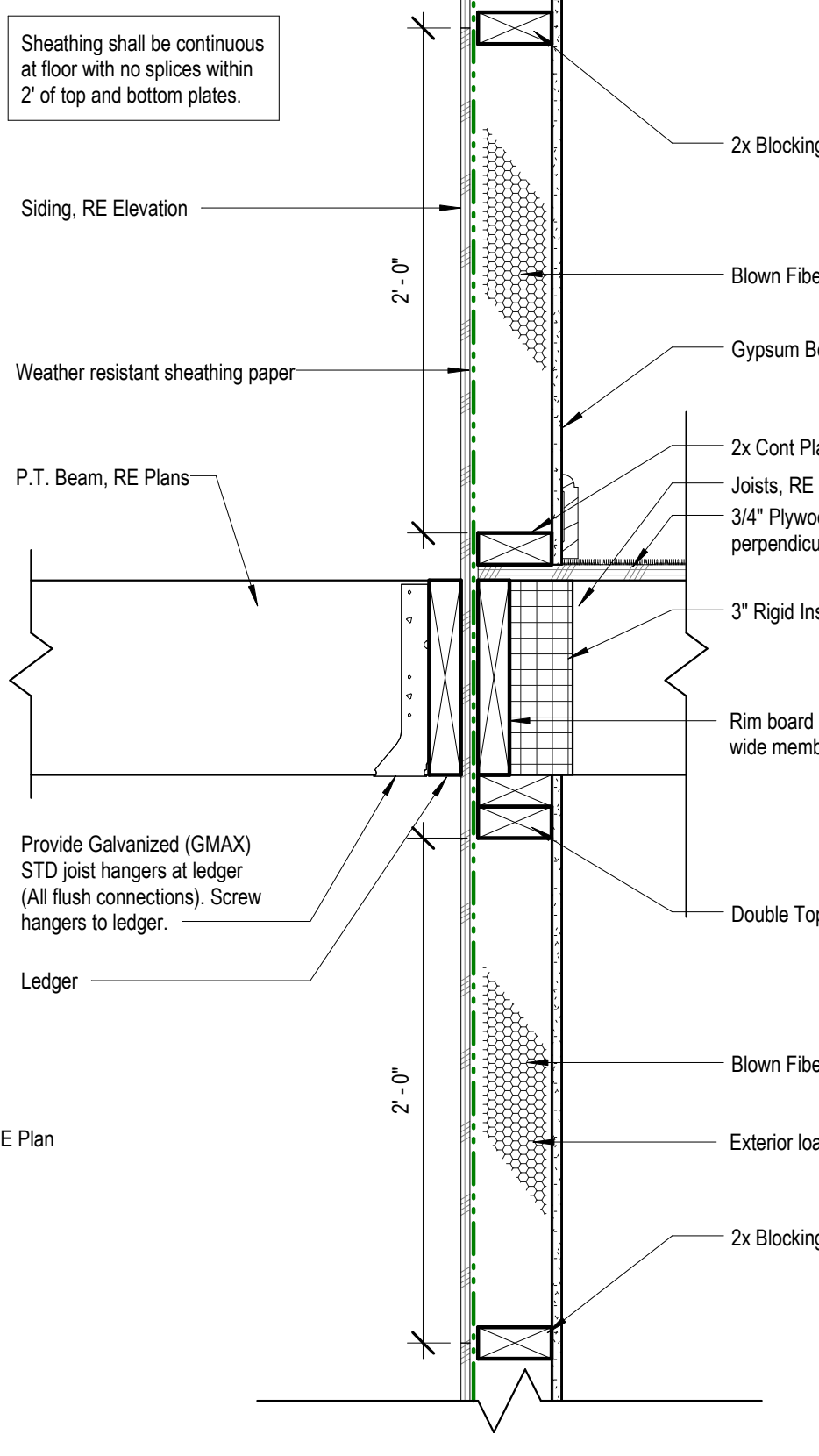
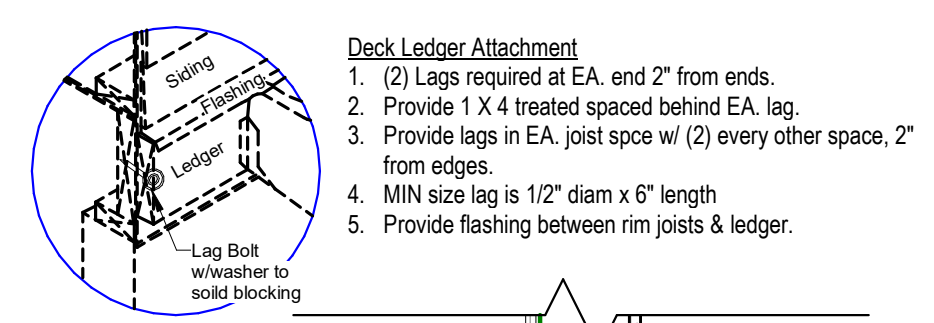
13 Deck Railing
1/2" = 1'-0"



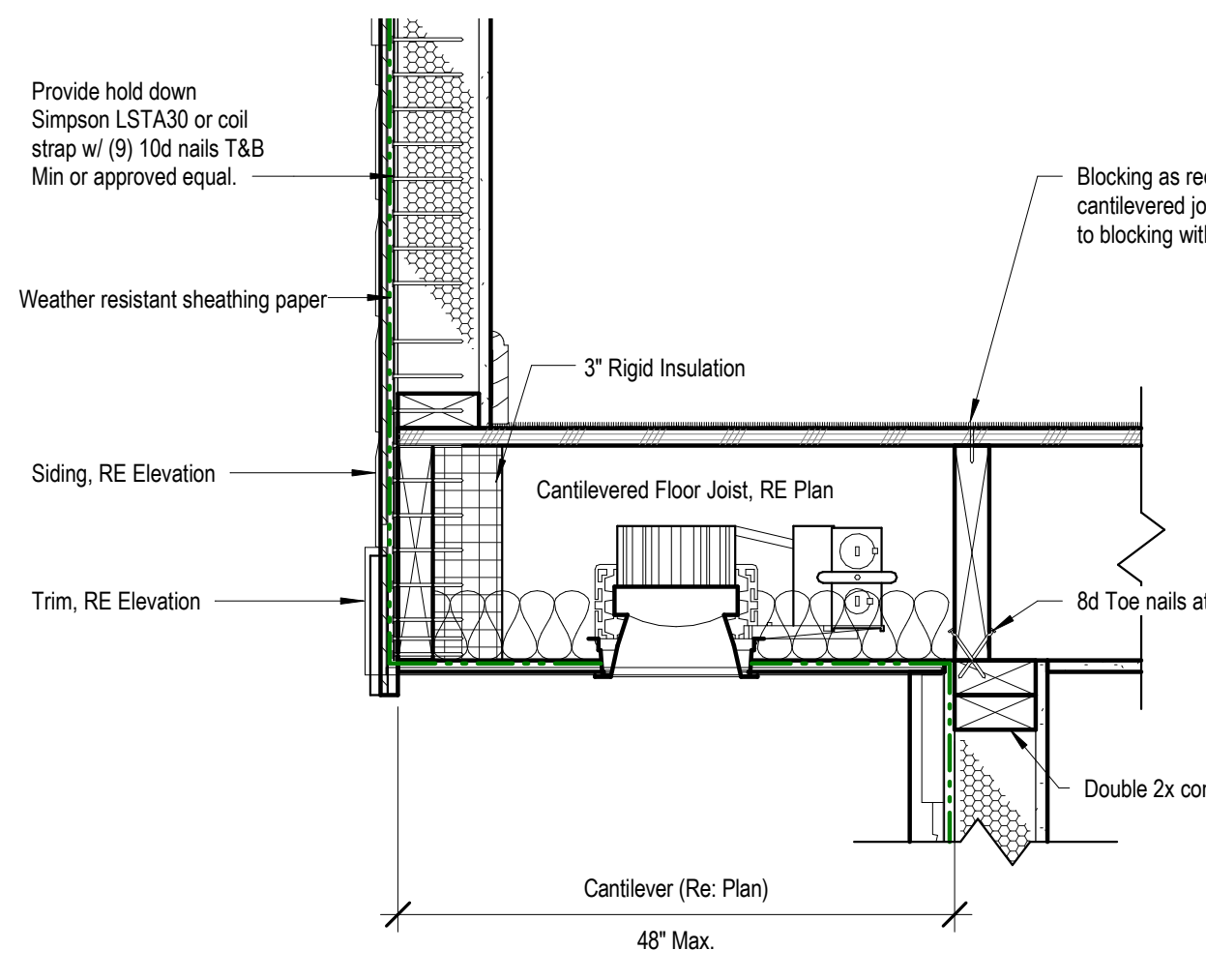
6 TYP STAIR SECTION/REQUIREMENTS
3/8" = 1'-0"



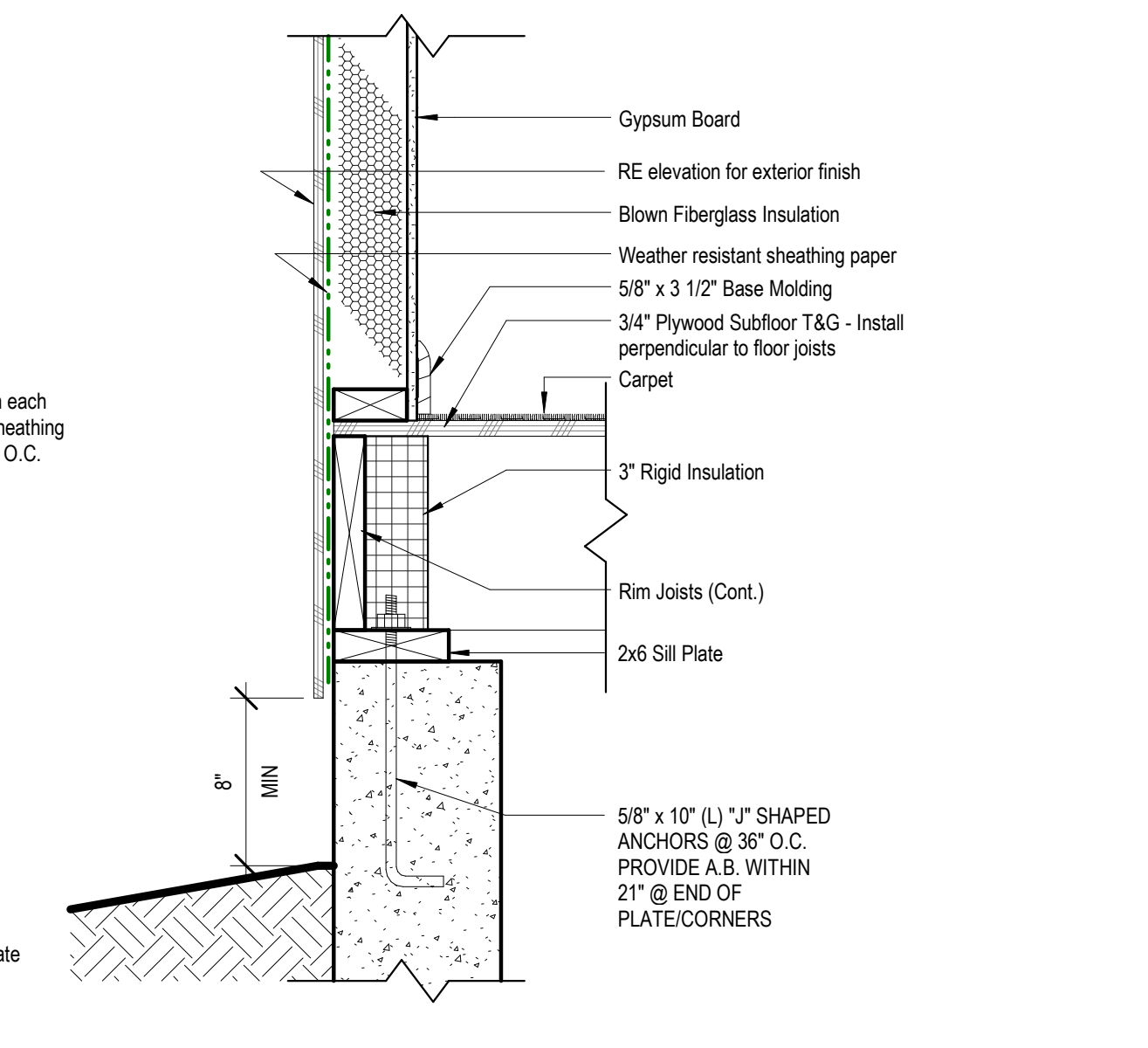
10 Post to Beam Connection
1 1/2" = 1'-0"



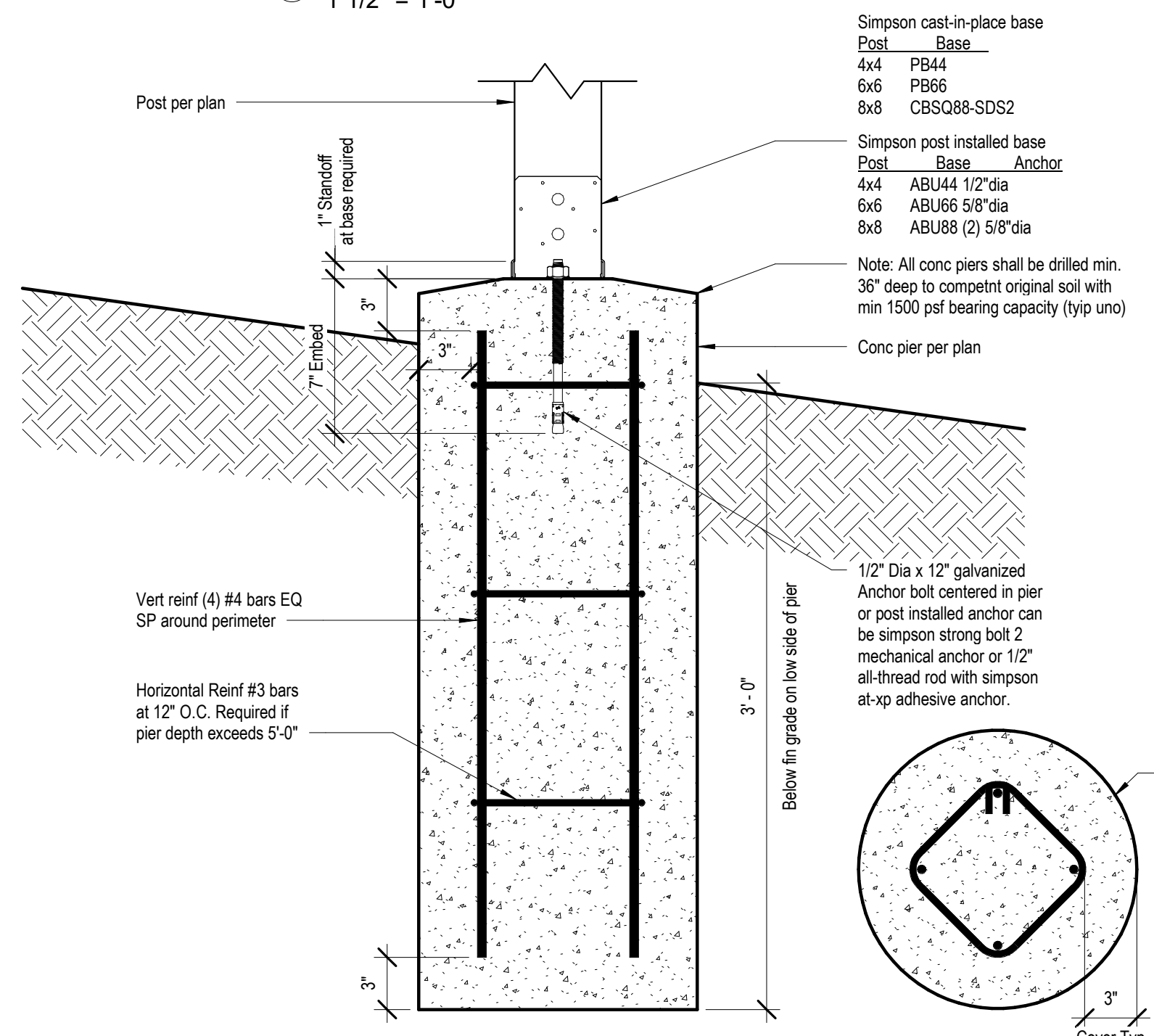
9 Lateral Deck Connection1
1 1/2" = 1'-0"



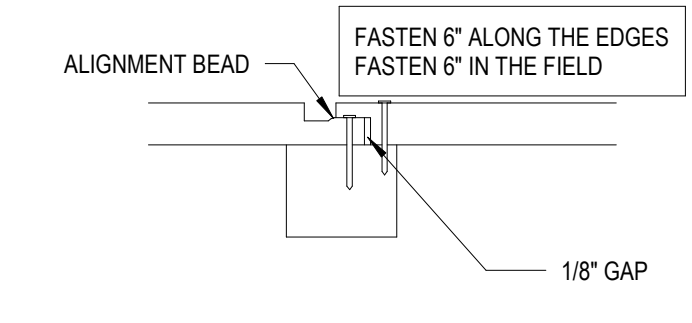
11 Detail - Cantilever
1 1/2" = 1'-0"



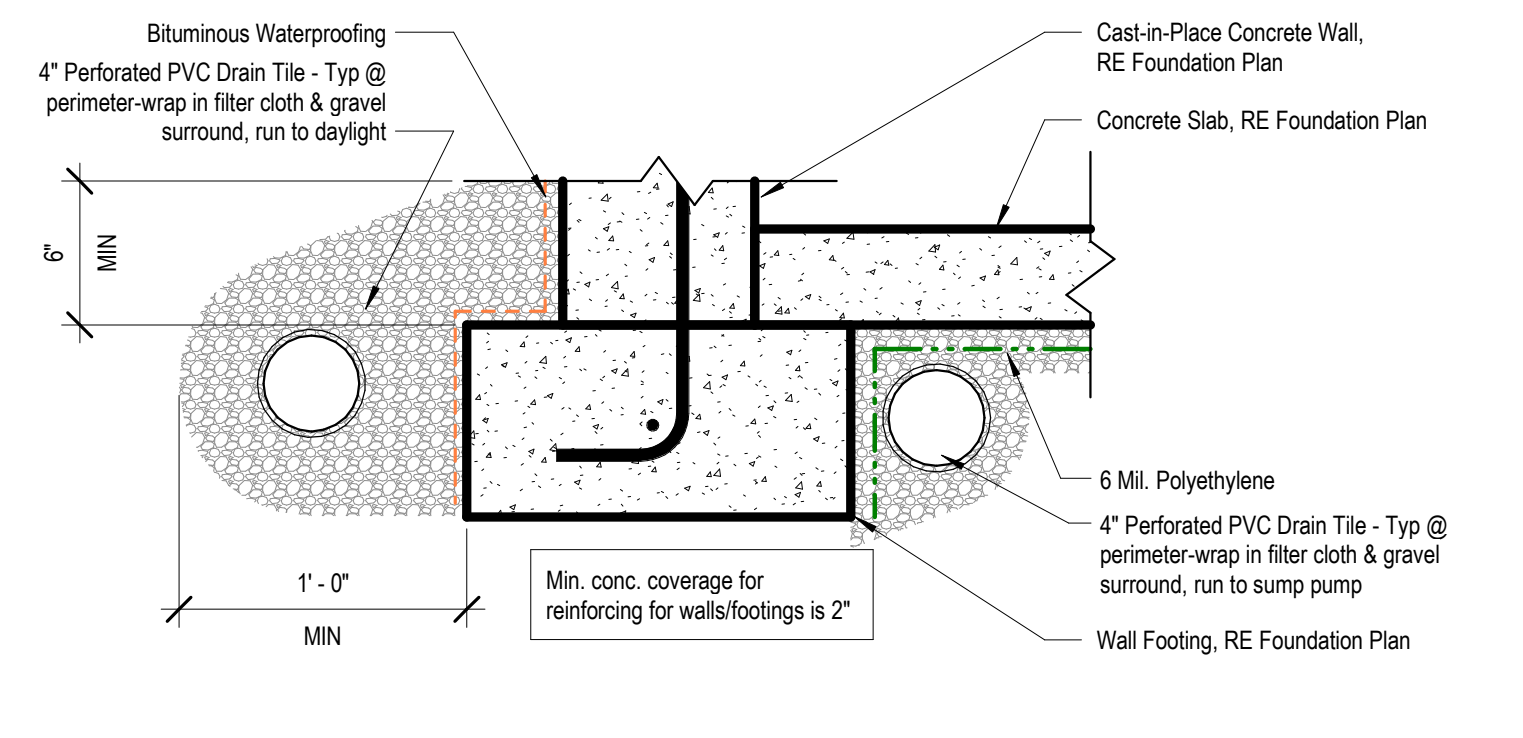
15 Detail - Top of Foundation Wall1
1 1/2" = 1'-0"



8 Typ Details for Post/Pier
1 1/2" = 1'-0"



2 SMARTSIDE PANEL NAILING PATTERN
3" = 1'-0"

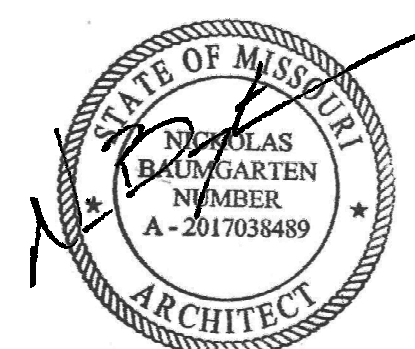


3 Detail - Footing
1 1/2" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice

2026 SW Hook Farm Dr
Lee's Summit, MO 64082

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Nicholas Baumgarten Date: 10/07/2021
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Original Issue Date: 10/7/2021

REVISIONS		
Number	DESCRIPTION	DATE

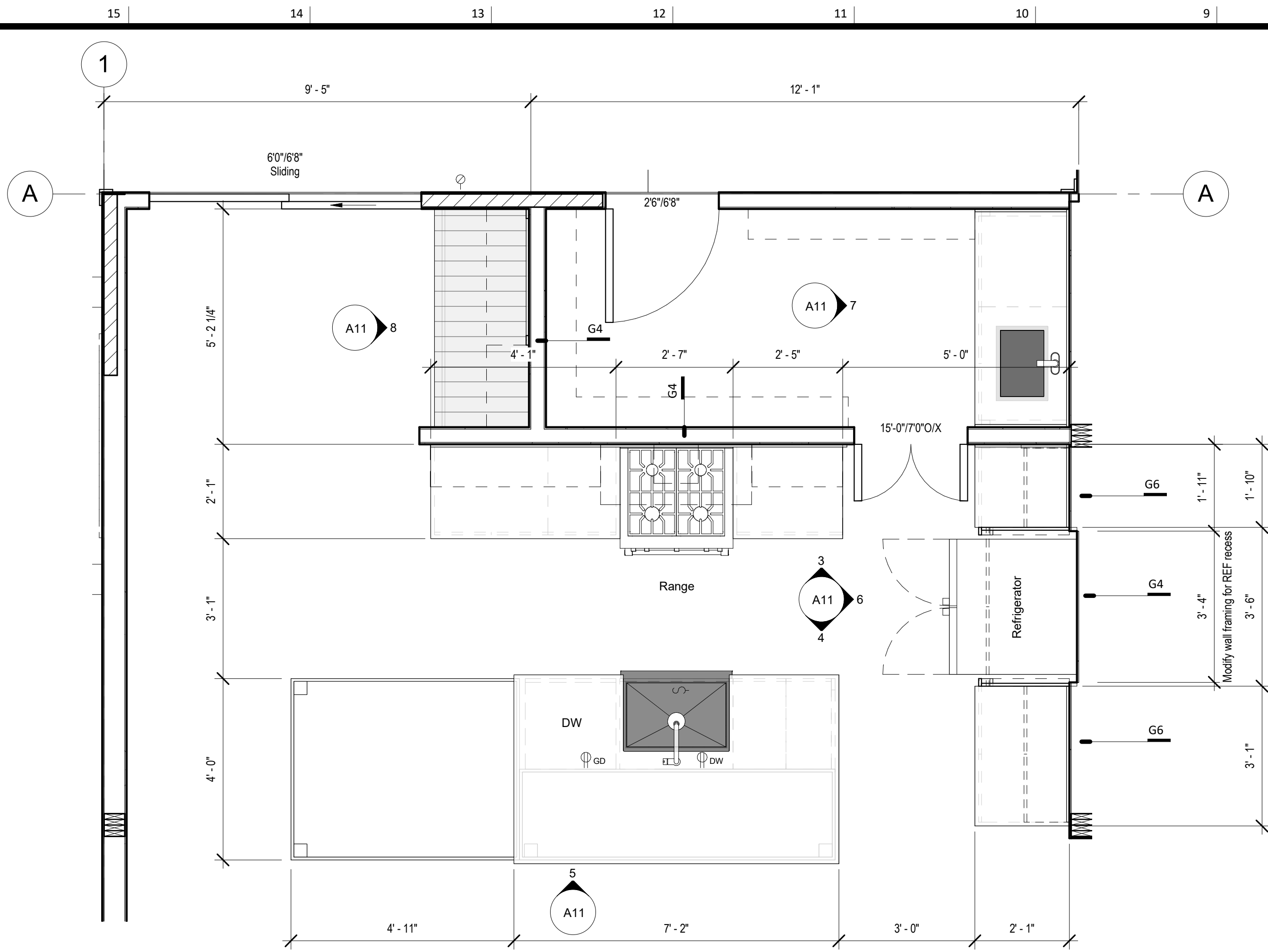
Details

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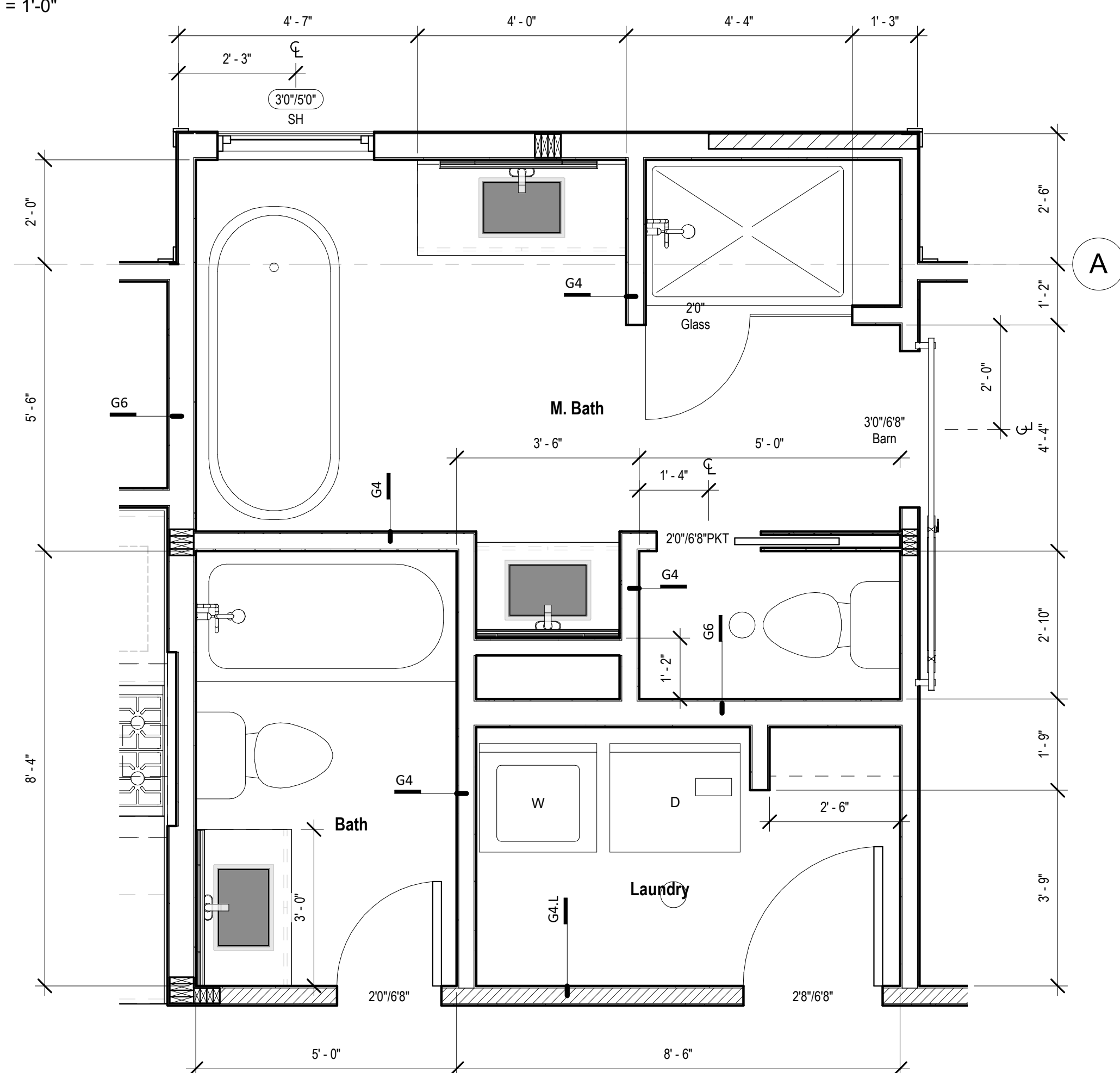
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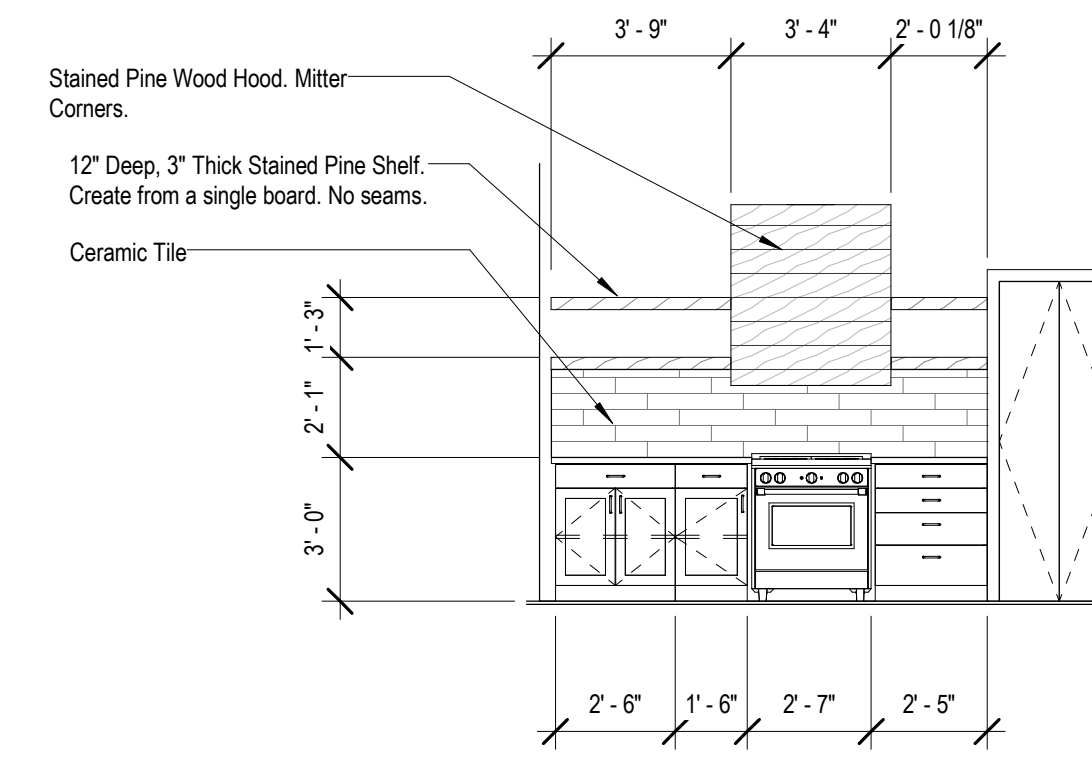
Creststone - Hook Farms - Lot 20



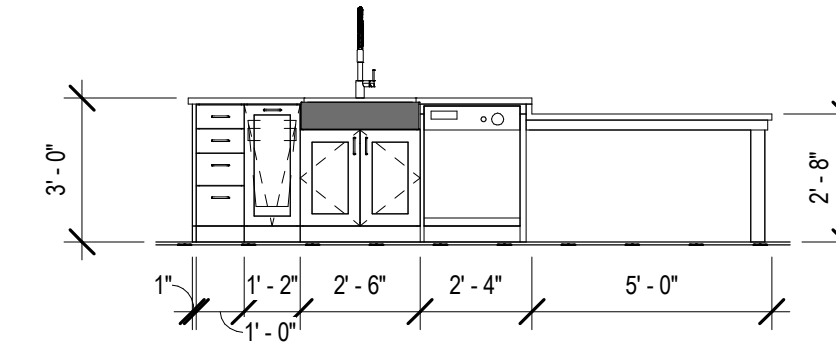
2 Floor Plan - Kitchen - Option B
1/2" = 1'-0"



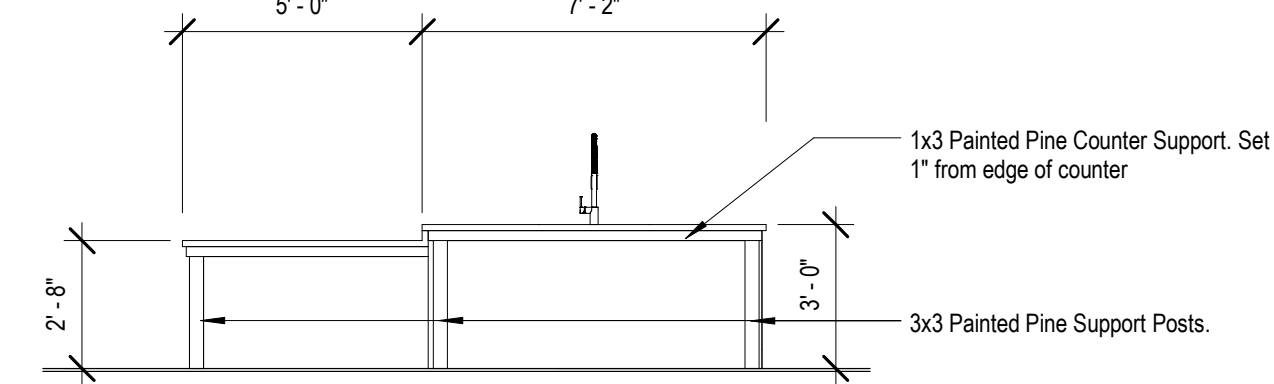
1 Floor Plan - M Bath
1/2" = 1'-0"



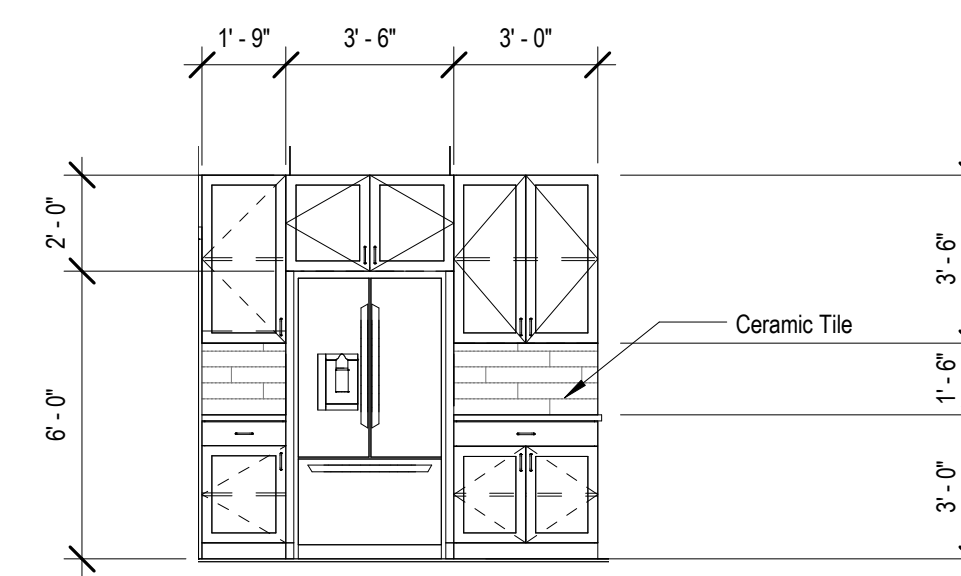
3 Interior Elevation
1/4" = 1'-0"



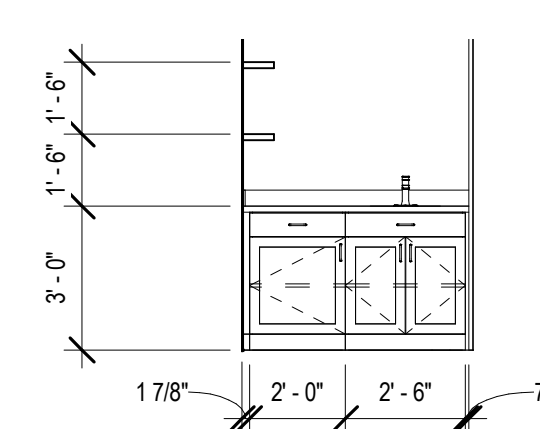
4 Interior Elevation
1/4" = 1'-0"



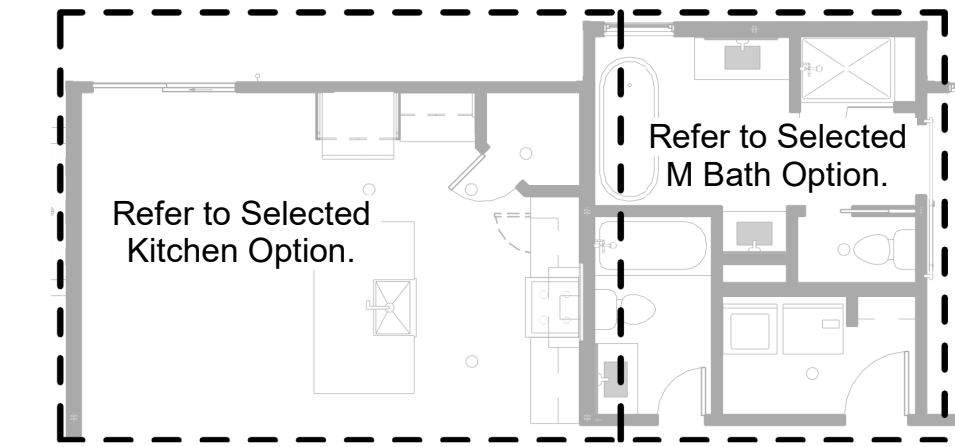
5 Interior Elevation
1/4" = 1'-0"



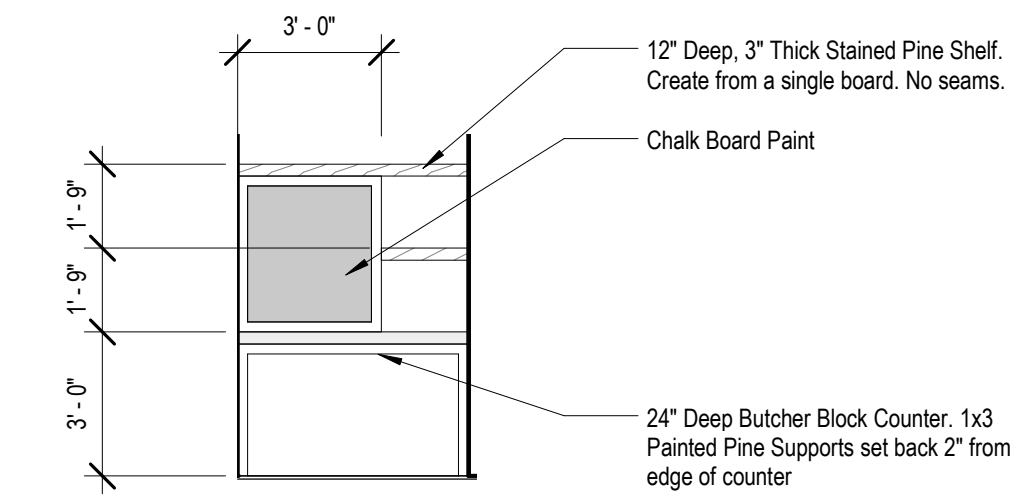
6 Interior Elevation
1/4" = 1'-0"



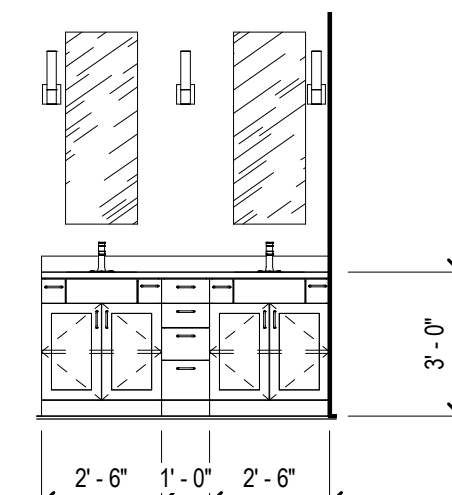
7 Interior Elevation
1/4" = 1'-0"



10 Plan Options - Key Plan
1/8" = 1'-0"



8 Interior Elevation - Zoom Desk
1/4" = 1'-0"



9 Elevation - Bathroom Vanity
1/4" = 1'-0"

architect:
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REVISIONS

Number	DESCRIPTION	DATE

Interior Options

A11

Project No.

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