

CODE ANALYSIS

1) APPLICABLE CODES
BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE (IBC)
MECHANICAL CODE: 2018 INTERNATIONAL MECHANICAL CODE (IMC)
PLUMBING CODE: 2018 INTERNATIONAL PLUMBING CODE (IPC)
ELECTRIC CODE: 2017 NATIONAL ELECTRICAL CODE (NEC)
FIRE CODE: 2018 INTERNATIONAL FIRE CODE (IFC)
ACCESSIBILITY CODE: 2009 ICC A117.1
FUEL / GAS CODE: 2018 INTERNATIONAL FUEL GAS CODE

2) DEFERRED SUBMITTALS
FIRE PROTECTION SYSTEM SHOP DRAWINGS
FIRE ALARM SYSTEM SHOP DRAWINGS

3) USE GROUP: M
4) TYPE OF CONSTRUCTION: III-B - UNLIMITED

5) THIS BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.

6) MIXED OCCUPANTS

A2 - BREAK ROOM AND FOOD TENANT - ACCESSORY USE
B - OFFICE, CUSTOMER SERVICE, PHARMACY, BAR - ACCESSORY USE
F-1 - FOOD PREP AREAS (DELI, BAKERY, MEAT, PRODUCE) - ACCESSORY USE
M - RETAIL SALES - MIXED USE
S1 - RECEIVING, STORAGE ROOMS, COOLERS/FREEZERS - STORAGE AREAS (MIXED USE)

7) ALLOWABLE AREA:
A) ALLOWABLE TABULAR AREA - UNLIMITED
B) ENTIRE BUILDING IS FULLY SPRINKLERED
8) ACTUAL BUILDING AREA:
A) EXISTING FOOTPRINT AREA (MAIN LEVEL) = 85,703 SF
B) NO ADDED SQUARE FOOTAGE AS PART OF THIS REMODEL
9) OCCUPANT LOAD: TABLE 1004.5

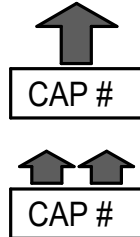
OCCUPANCY LOAD CALCULATIONS				
Name	Area	Occupancy Load	Occupants	
ASSEMBLY	3,289.16	15	218	
BUSINESS	2,318.24	150	16	
MERCANTILE	54,830.62	60	916	
PREP	6,033.35	200	31	
STORAGE	13,997.06	300	44	
Grand total	79,646.43		1,225	

10) EXITS REQUIREMENTS
A) (4) EXITS REQUIRED (SECTION 1006.3.2) - (7) PUBLIC & (1) EMPLOYEE PROVIDED
B) 250' MAXIMUM TRAVEL (TABLE 1017.2)
C) TOTAL OCCUPANT LOAD OF LIQUOR STORE = 202 OCCUPANTS
D) TOTAL OCCUPANT EXIT OF LIQUOR STORE = 770 OCCUPANTS
E) TOTAL OCCUPANT LOAD OF GROCERY PUBLIC SPACE = 916 OCCUPANTS
F) TOTAL OCCUPANT EXIT OF GROCERY PUBLIC SPACE = 2,200 OCCUPANTS
G) TOTAL EMPLOYEE OCCUPANT EXIT = 195 OCCUPANTS
H) TOTAL OCCUPANT EXIT PROVIDED = 3,165 OCCUPANTS (3,165 > 1,225)
I) TOTAL ACCESSIBLE EXITS (PER ADA): 2 REQUIRED & 5 PROVIDED

11) TRAVEL DISTANCE
MAXIMUM TRAVEL DISTANCE: 250 FT

12) PLUMBING FIXTURE COUNTS
PER TABLE 403.1 (IPC) AND CHAPTER 29 (IBC)
TOTAL BUILDING OCCUPANT LOAD: 1,225
LOAD DISTRIBUTION: 50% MALE, 50% FEMALE
DISTRIBUTION COUNT: 613 MALE & 613 FEMALE
LAVATORIES REQUIRED:
MALE LAVATORIES: 1 (6 PROVIDED)
FEMALE LAVATORIES: 1 (6 PROVIDED)
WATER CLOSETS REQUIRED:
MALE WATER CLOSETS: 2 (6 PROVIDED)
FEMALE WATER CLOSETS: 2 (6 PROVIDED)
UNISEX/FAMILY WATER CLOSETS: 0 (1 PROVIDED)
PER INTERNATIONAL PLUMBING CODE (IPC) TABLE 419.2
URINALS CAN BE SUBSTITUTED UP TO 50 PERCENT OF THE REQUIRED WATER CLOSETS
DRINKING FOUNTAINS:
3 REQUIRED, 2 PROVIDED (HI-LOW) + WATER AT SEATING AREA

CODE KEY PLAN



POINT OF EGRESS AND EGRESS CAPACITY

HORIZONTAL EXIT AND EGRESS CAPACITY

1 MAIN LEVEL CODE ANALYSIS PLAN

SCALE: 1/16" = 1'-0"

NOTE:
THE CONTRACTOR IS TO PROVIDE AND INSTALL FIRE EXTINGUISHERS THROUGHOUT THE PROJECT AS REQUIRED BY THE LOCAL FIRE MARSHALL. CONTRACTOR IS TO VERIFY TYPES, QUANTITIES, AND LOCATIONS WITH THE LOCAL FIRE MARSHALL.
PROVIDE PORTABLE FIRE EXTINGUISHERS THROUGHOUT THE BUILDING AS REQUIRED BY THE APPLICABLE BUILDING AND FIRE CODES. SIZE AND LOCATE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10. STANDARD FOR PORTABLE FIRE EXTINGUISHERS SHALL BE 20 LB. TYPE 2A, 10BC IN ALL AREAS EXCEPT WHERE LOCATED NEAR COMMERCIAL COOKING EQUIPMENT. FIRE EXTINGUISHERS NEAR COMMERCIAL COOKING EQUIPMENT SHALL BE TYPE K.

LEGEND:
FIRE EXTINGUISHER FE

REVISION		DATE BY
1	ASR #1	11/12/20
7	ASR #8	09/10/21
10	ASR #11	08/13/21

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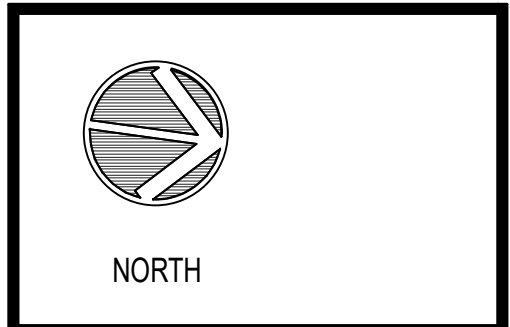
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HyVee
EMPLOYEE OWNED



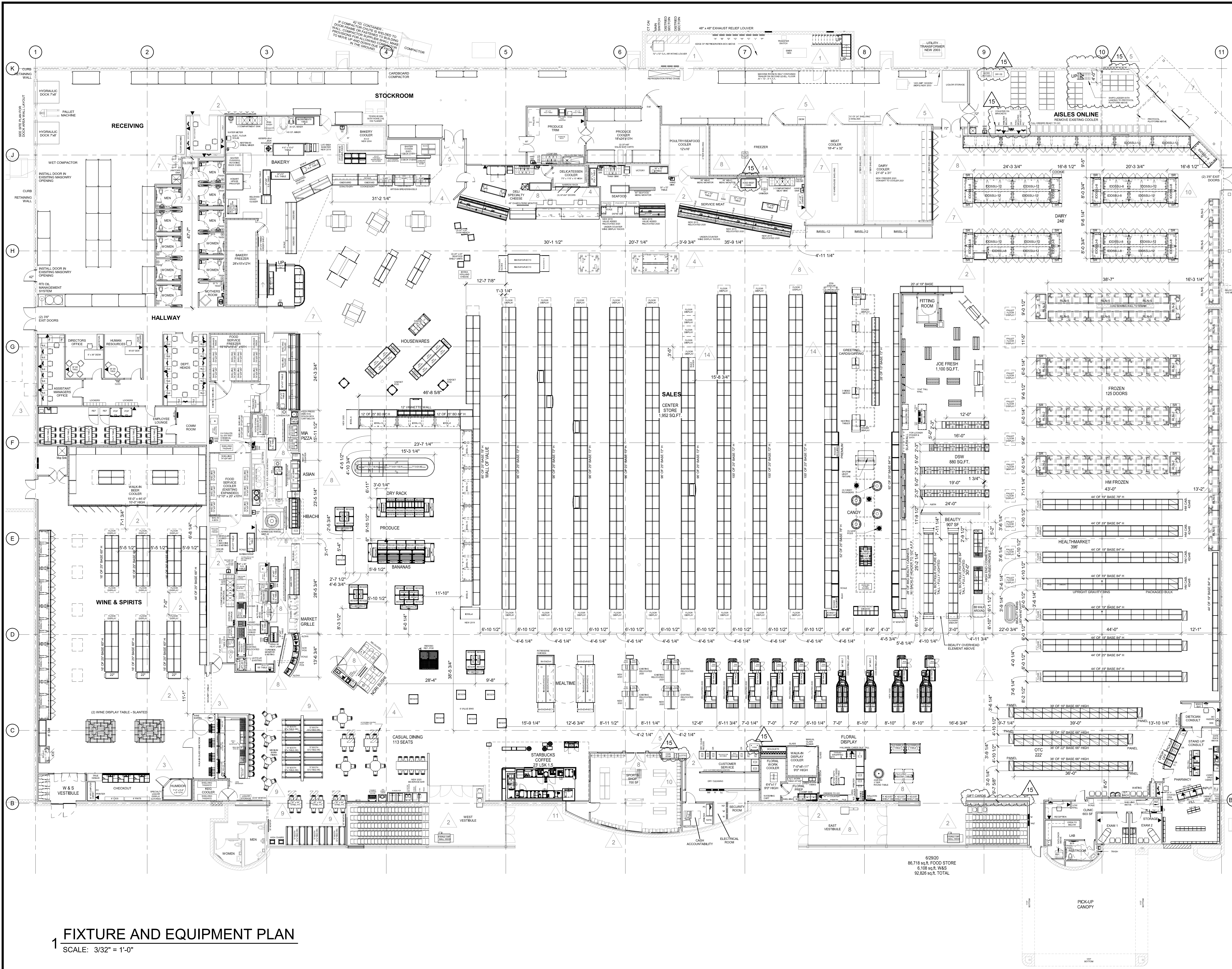
CODE ANALYSIS PLAN

PROJECT MANAGER SB	CHECKED BY
DRAWN BY: AP	DATE: 8/13/21
SCALE: As indicated	JOB NUMBER: 62930547

SHEET:
G0.0

1 FIXTURE AND EQUIPMENT PLAN

SCALE: 3/32" = 1'-0"



REVISION		DATE
1	ASR #1	11/20/21
2	ASR #2	11/20/21
3	ASR #3	01/26/21
4	ASR #4	02/02/21
5	ASR #5	03/16/21
6	ASR #6	04/16/21
7	ASR #7	05/19/21
8	ASR #8	06/16/21
9	ASR #9	07/23/21
10	ASR #10	08/13/21
11	ASR #11	09/07/21
12	ASR #12	10/12/21

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HY-VEE
EMPLOYEE OWNED

NORTH

FIXTURE & EQUIPMENT PLAN

PROJECT MANAGER
SB

CHECKED BY
JPS

DRAWN BY:
AP

DATE:
8/13/21

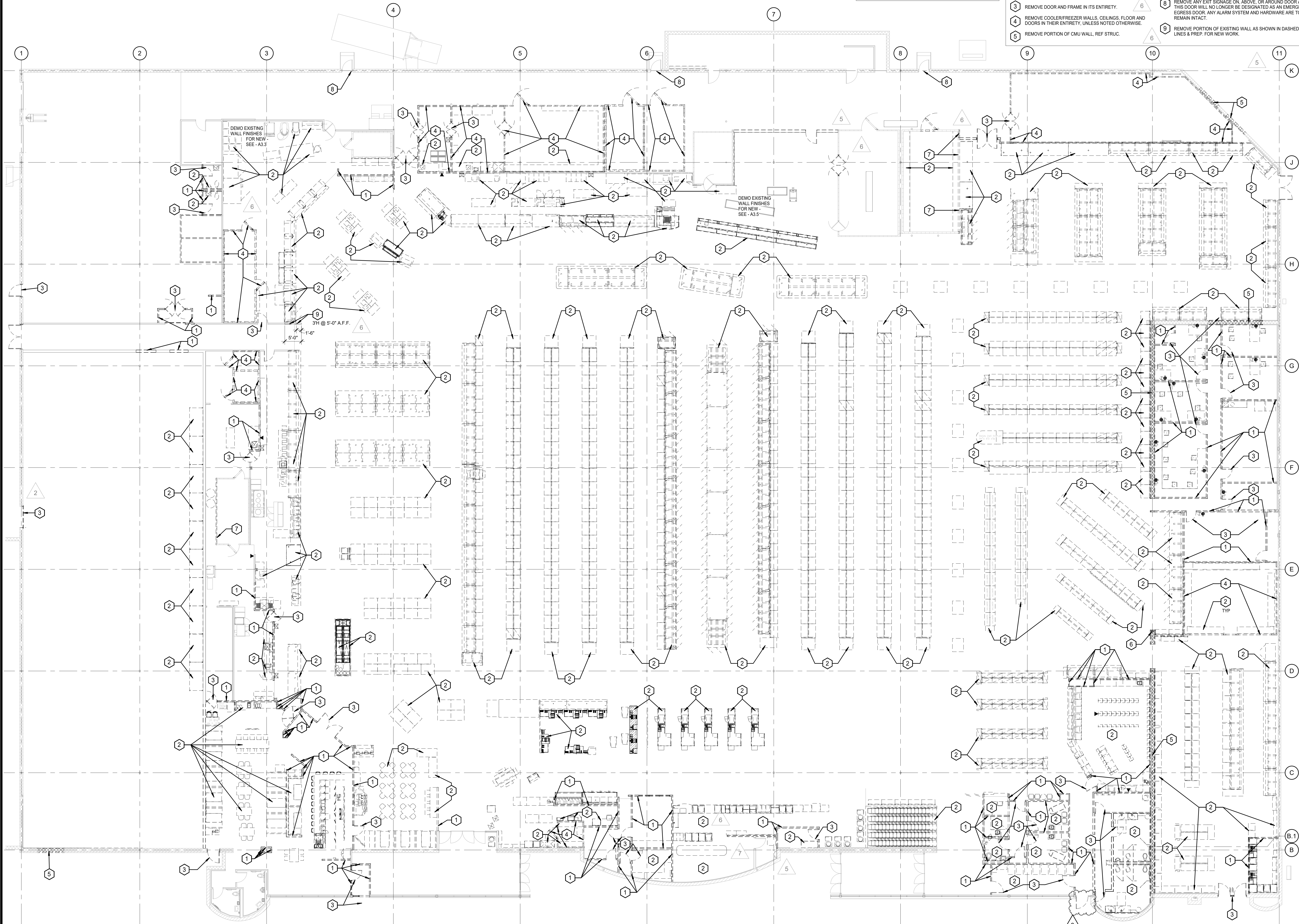
SCALE:
3/32" = 1'-0"

JOB NUMBER:
62930547

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NOTE: WHERE JUST A PORTION OF A COOLER/FREEZER BOX OR COOLER/FREEZER BOX DOOR IS TO BE REMOVED, THE PARTIAL REMOVAL AND BOTH THE TEMPORARY AND PERMANENT SUPPORT OF THE EXISTING COOLER/FREEZER BOX CEILING ABOVE IS TO BE BY THE REFRIGERATION CONTRACTOR.

DEMOLITION NOTES

- 1 REMOVE WALL IN ITS ENTIRETY. PATCH/REPAIR EXISTING ADJACENT SURFACES TO RECEIVE NEW FINISHES.
- 2 REMOVE FIXTURE IN ITS ENTIRETY. CAP ALL ABANDONED UTILITIES. CONTRACTOR TO VERIFY WITH HY-VEE IF REMOVED EQUIPMENT IS TO BE SALVAGED.
- 3 REMOVE DOOR AND FRAME IN ITS ENTIRETY.
- 4 REMOVE COOLER/FREEZER WALLS, CEILINGS, FLOOR AND DOORS IN THEIR ENTIRETY, UNLESS NOTED OTHERWISE.
- 5 REMOVE PORTION OF CMU WALL, REF. STRUC.
- 6 REMOVE COLUMN, REF. STRUC.
- 7 REMOVE PORTION OF COOLER/FREEZER WALL SHOWN DASHED.
- 8 REMOVE ANY EXIT SIGNAGE ON, ABOVE, OR AROUND DOOR AS THIS DOOR WILL NO LONGER BE DESIGNATED AS AN EMERGENCY EGRESS DOOR. ANY ALARM SYSTEM AND HARDWARE ARE TO REMAIN INTACT.
- 9 REMOVE PORTION OF EXISTING WALL AS SHOWN IN DASHED LINES & PREP. FOR NEW WORK.

REVISION		DATE BY
2	ADD #2	01/02/21
5	ADD #5	03/19/21
6	ADD #6	04/16/21
7	ADD #7	05/19/21
8	ADD #8	05/19/21
9	ADD #9	07/23/21

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Hy-Vee
EMPLOYEE OWNED

NORTH

**ARCHITECTURAL
DEMOLITION PLAN**

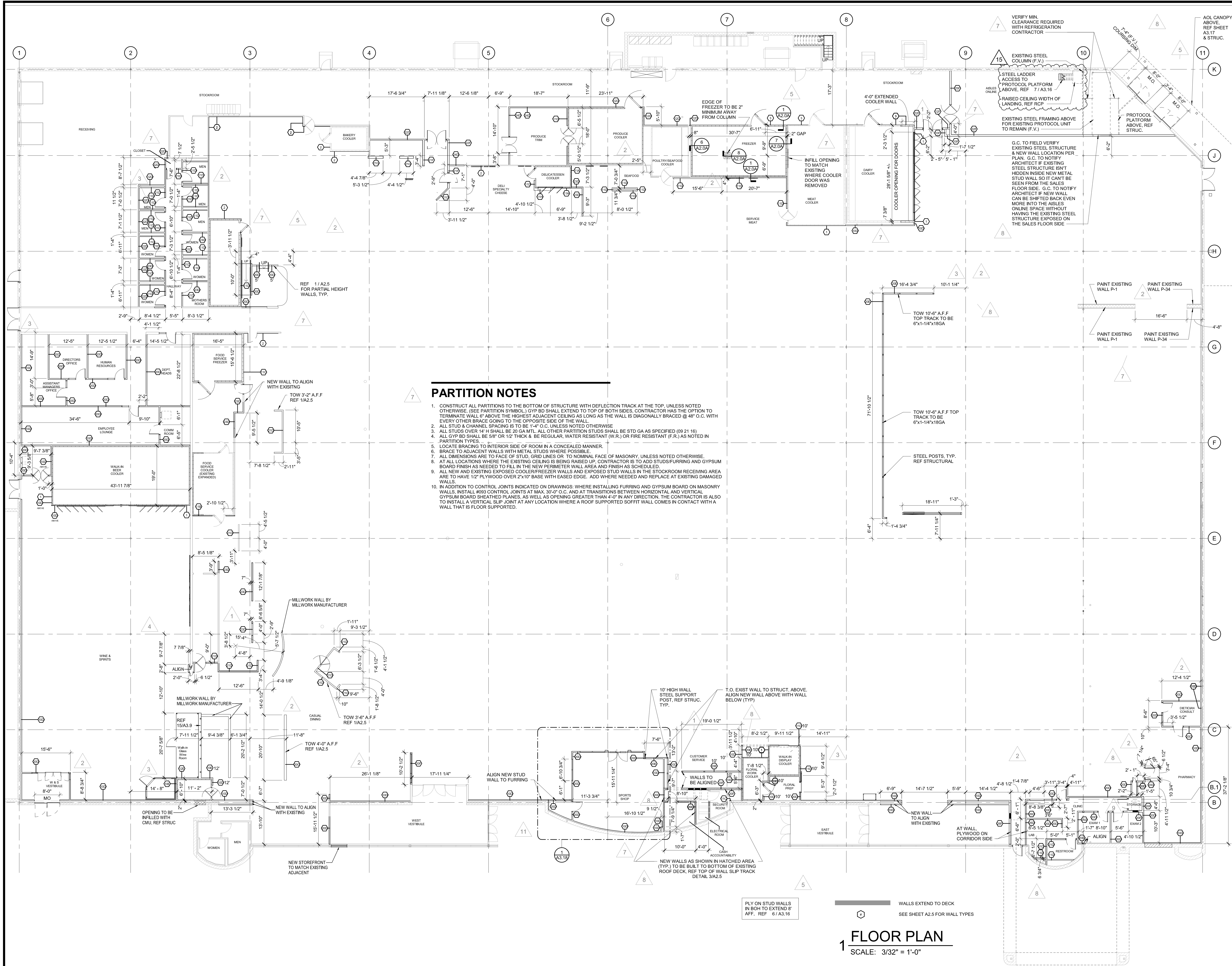
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SB	JPS

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As indicated	3/19/2021

SCALE:	JOB NUMBER:
As indicated	62930547

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1 **DEMOLITION PLAN**
SCALE: 3/32" = 1'-0"



PARTITION NOTES

1. CONSTRUCT ALL PARTITIONS TO THE BOTTOM OF STRUCTURE WITH DEFLECTION TRACK AT THE TOP, UNLESS NOTED OTHERWISE. (SEE PARTITION SYMBOL) GYP BD SHALL EXTEND TO TOP OF BOTH SIDES. CONTRACTOR HAS THE OPTION TO TERMINATE WALL 6" ABOVE THE HIGHEST ADJACENT CEILING AS LONG AS THE WALL IS DIAGONALLY BRACED @ 48" O.C. WITH EVERY OTHER BRACE GOING TO THE OPPOSITE SIDE OF THE WALL.
2. ALL STUD & CHANNEL SPACING IS TO BE 1'-4" O.C. UNLESS NOTED OTHERWISE.
3. ALL STUDS OVER 14" H SHALL BE 20 GA MTL. ALL OTHER PARTITION STUDS SHALL BE STD GA AS SPECIFIED (09 21 16).
4. ALL GYP BD SHALL BE 5/8" OR 1/2" THICK & BE REGULAR, WATER RESISTANT (W.R.) OR FIRE RESISTANT (F.R.) AS NOTED IN PARTITION TYPES.
5. LOCATE BRACING TO INTERIOR SIDE OF ROOM IN A CONCEALED MANNER.
6. BRACE TO ADJACENT WALLS WITH METAL STUDS WHERE POSSIBLE.
7. ALL DIMENSIONS ARE TO FACE OF STUD, GRID LINES OR TO NOMINAL FACE OF MASONRY, UNLESS NOTED OTHERWISE.
8. AT ALL LOCATIONS WHERE THE EXISTING CEILING IS BEING RAISED UP, CONTRACTOR IS TO ADD STUDS/FURRING AND GYPSUM BOARD FINISH AS NEEDED TO FILL IN THE NEW PERIMETER WALL AREA AND FINISH AS SCHEDULED.
9. ALL NEW AND EXISTING EXPOSED COOLER/FREEZER WALLS AND EXPOSED STUD WALLS IN THE STOCKROOM RECEIVING AREA ARE TO HAVE 1/2" PLYWOOD OVER 2"x10" BASE WITH EASED EDGE. ADD WHERE NEEDED AND REPLACE AT EXISTING DAMAGED WALLS.
10. IN ADDITION TO CONTROL JOINTS INDICATED ON DRAWINGS: WHERE INSTALLING FURRING AND GYPSUM BOARD ON MASONRY WALLS, INSTALL #893 CONTROL JOINTS AT MAX. 30'-0" O.C. AND AT TRANSITIONS BETWEEN HORIZONTAL AND VERTICAL GYPSUM BOARD SHEATHED PLANES, AS WELL AS OPENING GREATER THAN 4'-0" IN ANY DIRECTION. THE CONTRACTOR IS ALSO TO INSTALL A VERTICAL SLIP JOINT AT ANY LOCATION WHERE A ROOF SUPPORTED SOFFIT WALL COMES IN CONTACT WITH A WALL THAT IS FLOOR SUPPORTED.

WALLS EXTEND TO DECK
SEE SHEET A2.5 FOR WALL TYPES

1 FLOOR PLAN

SCALE: 3/32" = 1'-0"

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1	ASR#1	11/20/21
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3	ASR#3	01/26/21
4	ASR#4	02/02/21
5	ASR#5	03/16/21
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12	ASR#12	09/13/21

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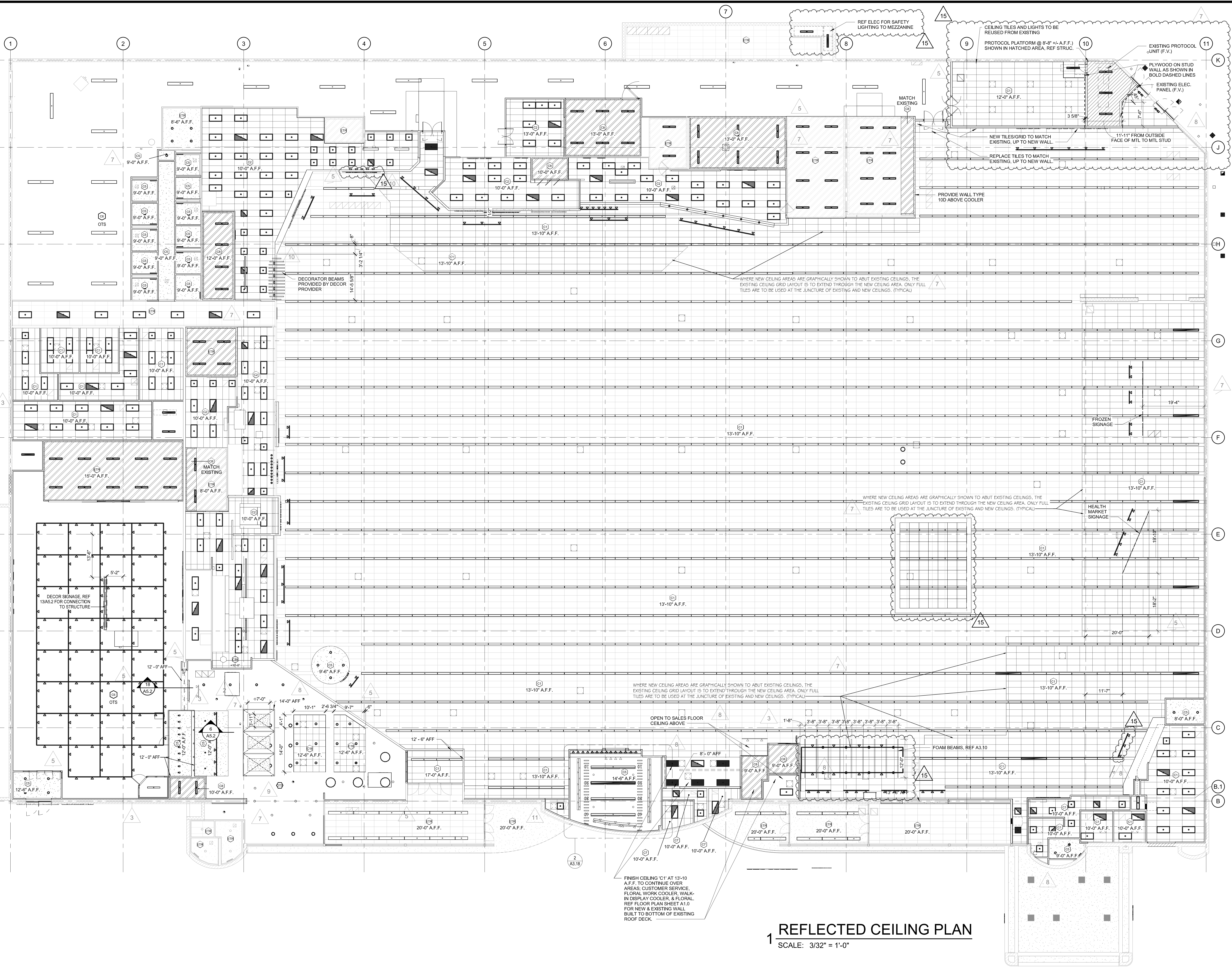
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FLOOR PLAN	
PROJECT MANAGER SB	CHECKED BY JPS
DRAWN BY RB	DATE 8/13/21
SCALE 3/32" = 1'-0"	JOB NUMBER 62930547
SHEET A1.0	

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REFLECTED CEILING PLAN

SCALE: 3/32" = 1'-0"

REVISION		DATE BY
1	AS1#1	11/12/21
2	AS1#2	11/18/21
3	AS1#3	01/26/21
4	AS1#4	03/19/21
5	AS1#5	04/16/21
6	AS1#6	05/19/21
7	AS1#7	06/12/21
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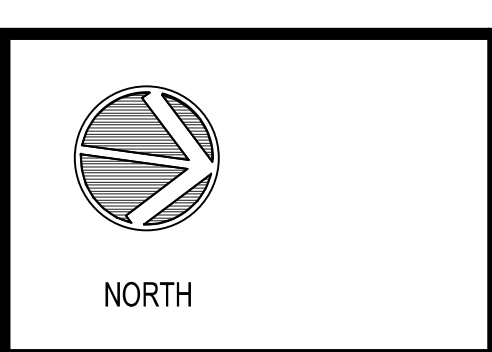
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HyVee
EMPLOYEE OWNED



REFLECTED
CEILING PLAN

PROJECT MANAGER	CHECKED BY
SB	JPS
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AO	8/13/21
SCALE	JOB NUMBER
3/32" = 1'-0"	62930547

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REVISION		DATE BY
2	ASL K	01/08/21
5	ASL MS	04/16/21
6	ASL #7	04/16/21
7	ASL #5	05/19/21
9	ASL #10	07/23/21
10	ASL #11	08/13/21

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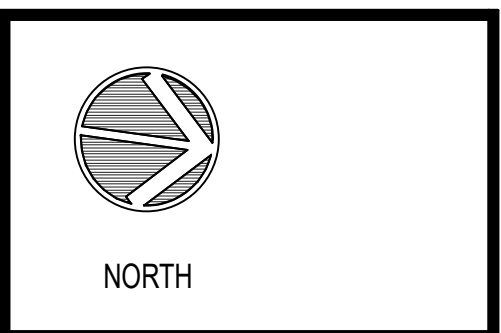
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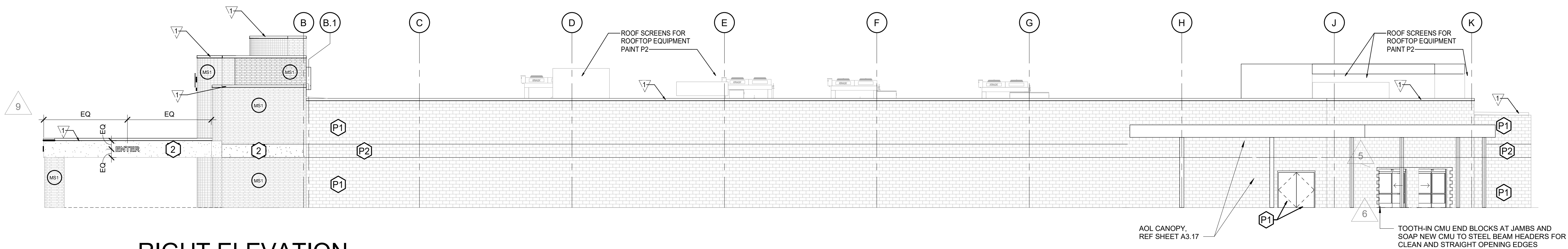
HyVee
EMPLOYEE OWNED



EXTERIOR ELEVATIONS

PROJECT MANAGER SB	CHECKED BY
DRAWN BY: SB	DATE: 8/13/21
SCALE: As indicated	JOB NUMBER: 62930547
SHEET:	

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1 RIGHT ELEVATION
SCALE: 3/32" = 1'-0"

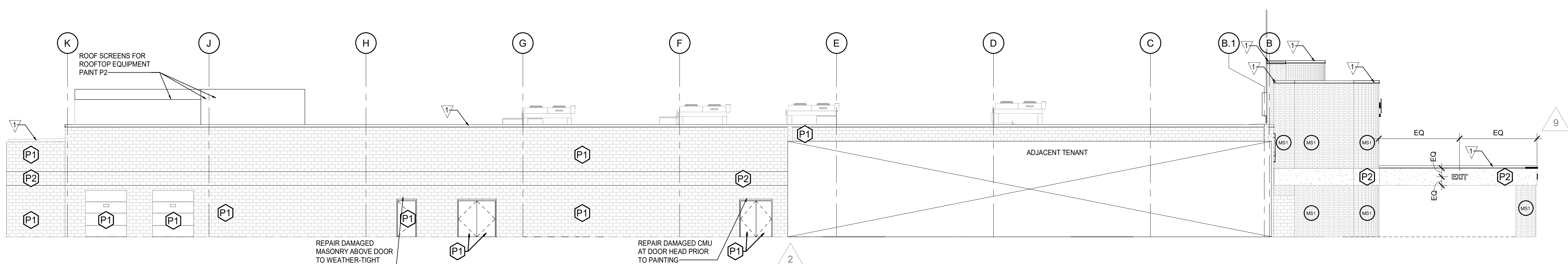
MASONRY STAIN COLORS:
MS1 COLOR TO MATCH KANSAS BRICK AND TILE #530 FLASH FACE SET

PAINT COLORS:
P1 MATCH S.W. #7526 "MAISON BLANCHE"
P2 MATCH S.W. #7527 "NANTUCKET DUNE"
P3 MATCH NEW BRICK COLOR - KANSAS BRICK AND TILE #530 FLASH FACE SET
P4 ALL EXISTING STOREFRONT MULLIONS ARE TO BE PAINTED TO MATCH "WOODZED ALUMINUM" PER SPECS

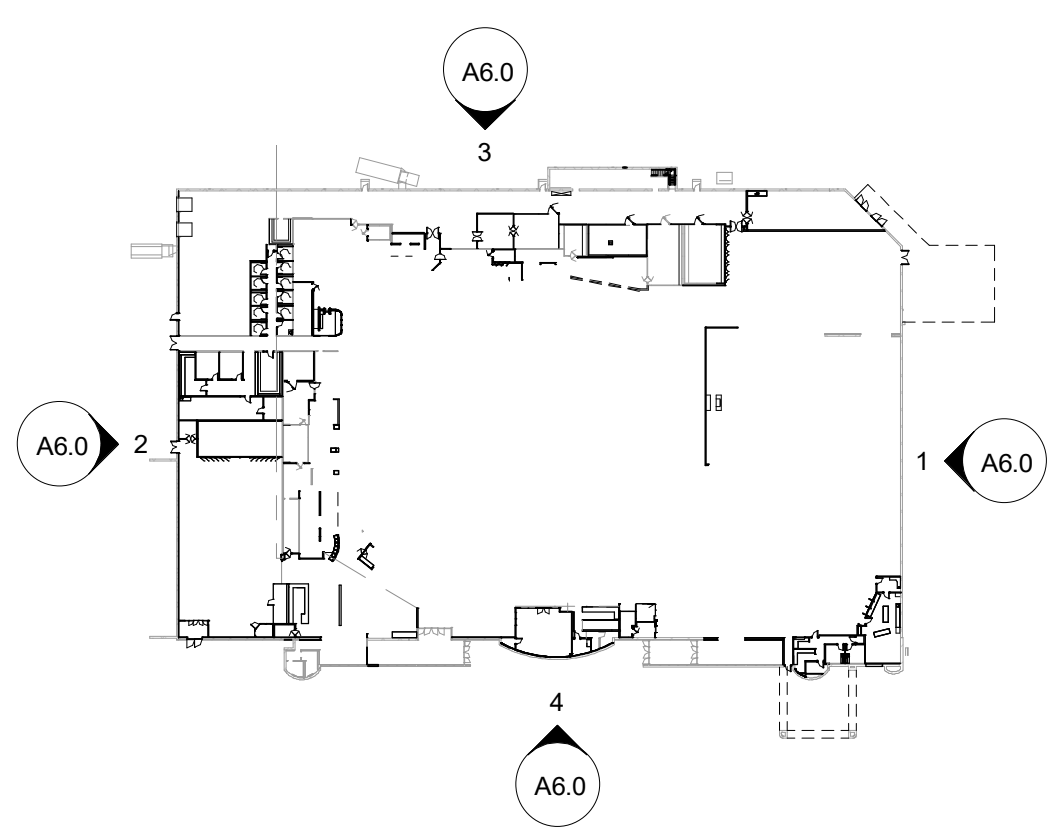
METAL FLASHINGS:
V1 PREFINISHED METAL WALL CAP COLOR TO MATCH S.W. #7526 MAISON BLANCHE

EXTERIOR METAL ASSEMBLIES:
PAINT ALL EXTERIOR PIPE BOLLARDS TO MATCH MAIN BRICK COLOR - P3

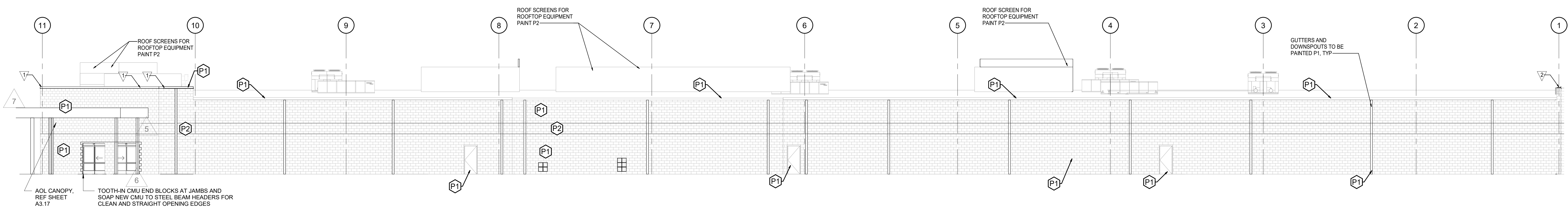
TUCKPOINT EXISTING BRICK AS NEEDED. COORDINATE LOCATIONS WITH HY-VEE.



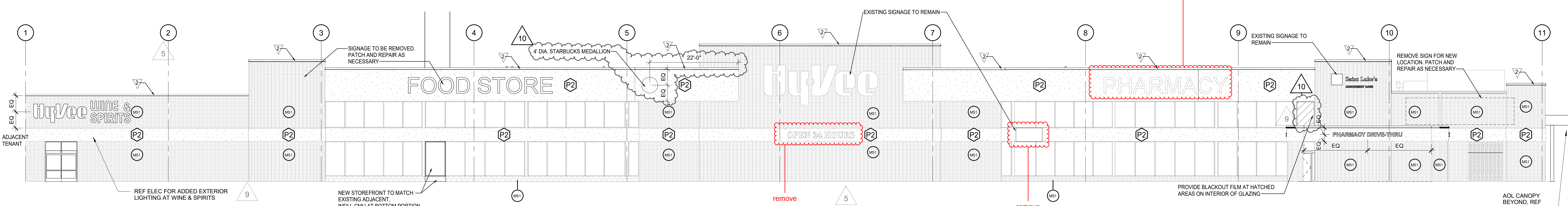
2 LEFT ELEVATION
SCALE: 3/32" = 1'-0"



KEY PLAN
SCALE: N.T.S.



3 REAR ELEVATION
SCALE: 3/32" = 1'-0"



4 FRONT ELEVATION
SCALE: 3/32" = 1'-0"