

Tenant Improvement



1201 Rice Road
Lee's Summit, MO.

DRAWING SCHEDULE

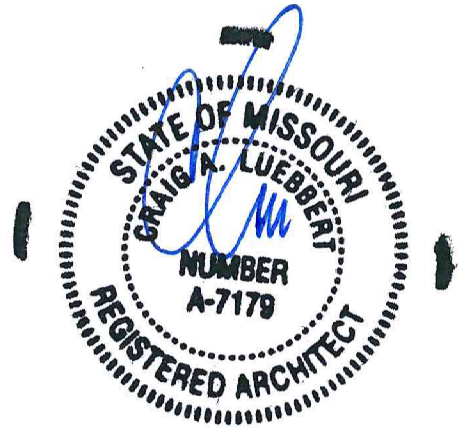
COVER

ARCHITECTURAL

A0.1 - ADA Guidelines

A0.2 - Code Plan

A1.0 - Floor Plan / Toilet Plan



10.20.21

ARCHITECT



Craig Luebbert
Architecture

24 NW CHIPMAN "A"
LEE'S SUMMIT, MO. 64063
PHONE: (816) 536-3472

DESIGN / BUILD CONTRACTOR

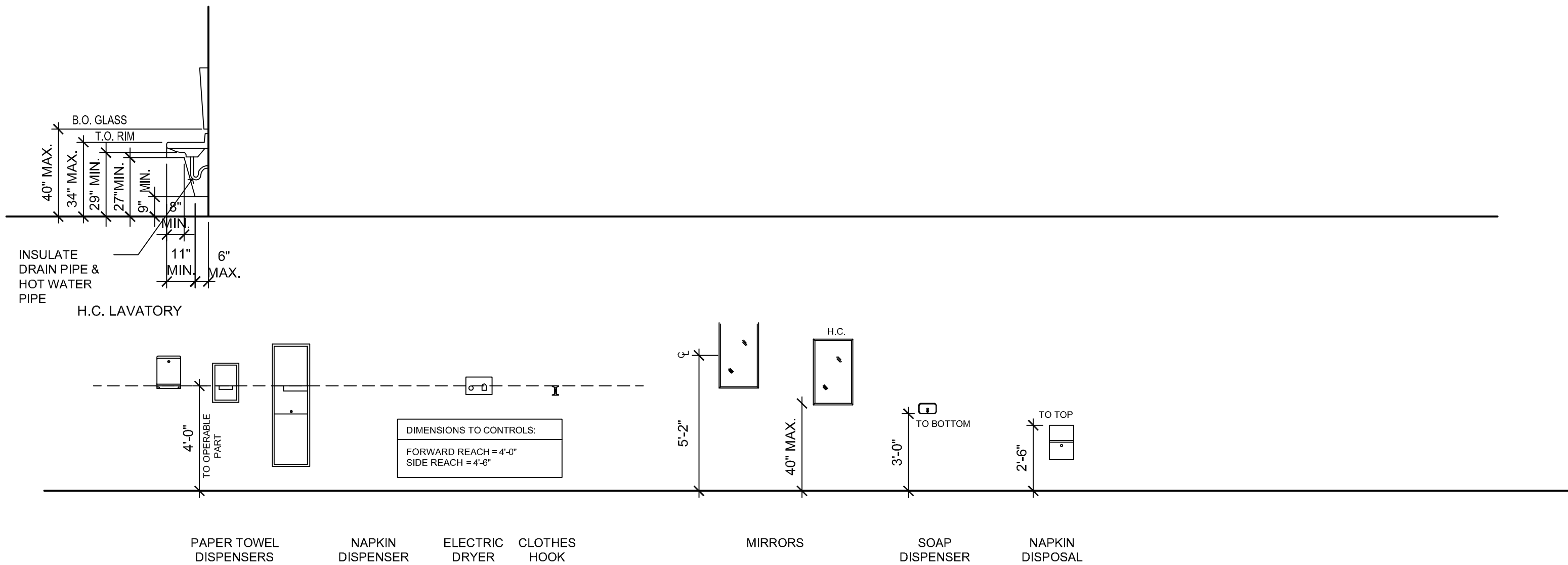
DL Kirby
24 NW CHIPMAN "A"
LEE'S SUMMIT, MO. 64063
PHONE: (816) 365-0605

GENERAL NOTES

- ALL CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH THE INCLUDED DRAWINGS.
- ALL CONSTRUCTION WORK SHALL COMPLY WITH GOVERNING BUILDING CODES IN EFFECT AT THE TIME CONSTRUCTION PERMITS ARE ISSUED FOR THIS PROJECT.
- SUB-CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS SHOWN, AND SHALL REPORT ANY DISCREPANCY TO THE ENGINEER PRIOR TO COMMENCING WITH ANY RELATED CONSTRUCTION WORK. SUB-CONTRACTORS SHALL FURTHER REPORT TO THE ENGINEER ALL DISCREPANCIES BETWEEN ACTUAL AND SHOWN CONDITIONS, PRIOR TO BEGINNING WORK RELATED THERETO.
- DIMENSIONS ARE TO FACE OF FINISH WALL UNLESS NOTED OTHERWISE.
- THE SUB-CONTRACTORS SHALL VERIFY LOCATION OF EXISTING UTILITIES, AND SHALL BE RESPONSIBLE FOR PROTECTING THESE UTILITIES DURING THE EXECUTION OF HIS WORK AND RELOCATION.
- SUB-CONTRACTOR TO LAY OUT BUILDING PRIOR TO ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
- SUB-CONTRACTOR TO ASSURE PROPER DRAINAGE AWAY FROM BUILDING.
- THE SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. THE SUB-CONTRACTORS ARE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.
- THE SUB-CONTRACTORS ARE RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSION FOR THEIR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ENGINEER BEFORE PROCEEDING WITH THE WORK IN QUESTION OR ANY RELATED WORK.
- THE SUB-CONTRACTORS SHALL TAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILTINS AND FINISHES.
- THE SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURES, UTILITIES, WALKS, STREETS, PAVED AREAS, CURBS, TREES AND OTHER LANDSCAPING CAUSED THROUGH HIS OPERATIONS UNDER THIS CONTRACT.
- THE SUB-CONTRACTORS SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK. JOIN MATERIALS TO UNIFORM, ACCURATE FITS SO THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS OR OVERLAPS. INSTALL EXPOSED MATERIALS APPROPRIATELY, LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES. DR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT.

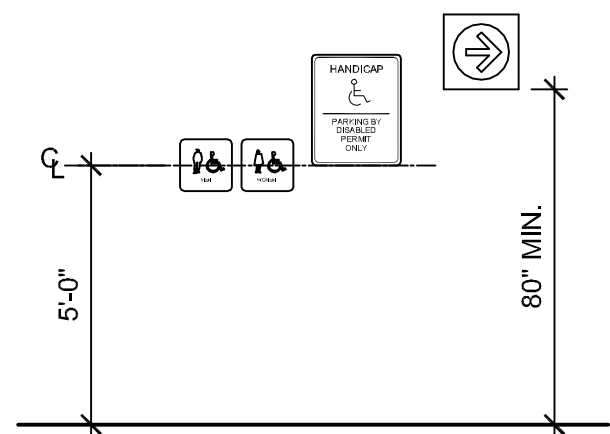
ABBREVIATIONS

A/C	AIR CONDITIONING	EA	EACH	JB	JUNCTION BOX	RM	ROOM
AB	ANCHOR BOLT	EJ	EXPANSION JOINT	JST	JOIST	RO	ROUGH OPENING
AC	ACCOUSTICAL	ELEC	ELECTRIC/ELECTRICAL	JT	JOINT	ROW	RIGHT OF WAY
ACT	ACCOUSTICAL TILE	EL	ELEVATION	L	LENGTH	RTU	ROOF TOP UNIT
AF	ABOVE FINISHED FLOOR	EMERG	EMERGENCY ENCLOSURE	LAV	LAVATORY	RV	ROOF VENT
AGG	AGGREGATE	ENT	ENTRANCE	LT	LIGHT	SCHED	SCHEDULE
ALT	ALTERNATE	EP	ELECTRICAL PANEL	LVL	LEVEL	SECT	SECTION
ALUM	ALUMINUM	EQ	EQUAL	MAS	MASONRY	SF	SQUARE FEET
ANOD	ANODIZED	EQUIP	EQUIPMENT	MAX	MAXIMUM	SHT	SHEET
APPROX	APPROXIMATELY	EX	EACH WAY	MECH	MECHANICAL	SIM	SIMILAR
ARCH	ARCHITECTURAL	EXH	EXHAUST	MEMB	MEMBRANE	SPEC	SPECIFICATION
ASPH	ASPHALT	EXP	EXPANSION	MTL	METAL	SPK	SPEAKER
AVG	AVERAGE	EXT	EXTERIOR	MFG	MANUFACTURER	SQ	SQUARE
BD	BOARD	FD	FLOOR DRAIN	MIN	MINIMUM	SST	STAINLESS STEEL
B.F.F.	BELOW FINISHED FLOOR	FDN	FOUNDATION	MISC	MISCELLANEOUS	STD	STANDARD
BIT	BITUMINIOUS	FFE	FINISHED FLOOR ELEVATION	MO	MASONRY OPENING	STL	STEEL
BKR	BREAKER	FLR	FLOOR	NIC	NOT IN CONTRACT	STRUC	STRUCTURAL
BLDG	BUILDING	FLR	FLOOR	NOM	NOMINAL	SUP	SUPPLY
BM	BEAM	FLASH	FLASHING	NTS	NOT TO SCALE	SUSP	SUSPEND
BRG	BEARING	FLOUR	FLUORESCENT	OA	OVERALL	TEMP	THERMOSTAT
BTU	BRITISH THERMAL UNIT	FRM	FRAME	OC	ON CENTER	THK	THICK
CCT	CIRCUIT	FRP	FIBERGLASS REINFORCED PLASTIC	OD	OUTSIDE DIAMETER	THRES	THRESHOLD
CEM	CEMENT	FT	FOOT	OFF	OFFICE	TYP	TYPICAL
CFM	CUBIC FEET/MINUTE	FTG	FOOTING	OPNG	OVERHEAD OPENING	UC	UNDERCUT
CJ	CONTROL JOINT	FUR	FURRING	P	POLE	UL	UNDERWRITER
CLG	CEILING	GA	GAUGE	PL	PLATE	UNO	UNLESS NOTED OTHERWISE
CLR	CLEAR	GAL	GALLON	PLG	PLUMBING	UR	URINAL
CMU	CONCRETE MASONRY UNIT	GALV	GALVANIZED	PLYND	PLYWOOD	UTIL	UTILITIES
CNDT	CONDUIT	GEN	GENERAL	PR	PAIR	VOL	VOLT
CO	CLEAN OUT	GRD	GRADE	PREFAB	PREFABRICATED	VB	VAPOR BARRIER
COL	COLUMN	GYP	GYPSON	PSF	POUNDS/SQUARE FOOT	VERT	VERTICLE
CONC	CONCRETE	HB	HOSE BIBB	PSI	POUNDS/SQARE INCH	VEST	VESTIBULE
COND	CONDENSATE	HDR	HEADER	PT	PAINT	VOL	VOLUME
CONN	CONNECTION	HDR	HARDWARE	PVC	POLYVINYL CHLORIDE	VTR	VENT THROUGH ROOF
CONST	CONSTRUCTION	HGT	HEIGHT	QT	QUARRY TILE		
CONT	CONTINUOUS	HORZ	HORIZONTAL				
CT	CERAMIC TILE	HP	HORSE POWER				
CH	COLD WATER	HR	HOUR	R	RADIUS	HV	HVTH
		HTG	HEATING	RSR	RISER	KC	KITCHEN CLOSET
DBL	DOUBLE	HTR	HEATER	RJA	RETURN AIR	KD	KITCHEN
DEPT	DEPARTMENT	HN	HOT WATER	RGPT	REGISTRATION	KH	KITCHEN HEATER
DIA	DIAMETER			RD	ROOF DRAIN	KP	KITCHEN PROOFING
DIM	DIMENSION	ID	INSIDE DIAMETER	REC	RECESSED	KSGT	KITCHEN SINK
DISC	DISCONNECT	IN	INSIDE	REF	REFERENCE	KT	KITCHEN
DN	DOWN	INSUL	INSULATION	REG	REGISTER	KWF	KITCHEN WELDING FABRIC
DR	DOOR	INT	INTERIOR	REINF	REINFORCING	YD	YARD
DS	DOWNSPOUT			REQD	REQUIRED		
DTL	DETAIL			RFG	ROOFING		
DNG	DRAWING						
DNL	DOWNHILL						



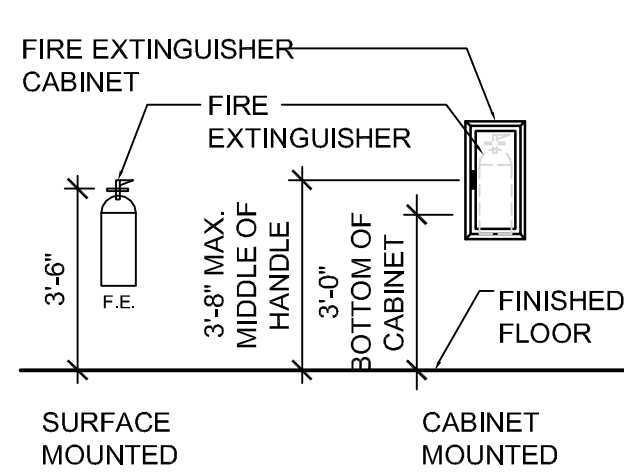
ACCESSIBLE MOUNTING HEIGHTS AT TOILET ACCESSORIES

SCALE: 1/4" = 1'-0"



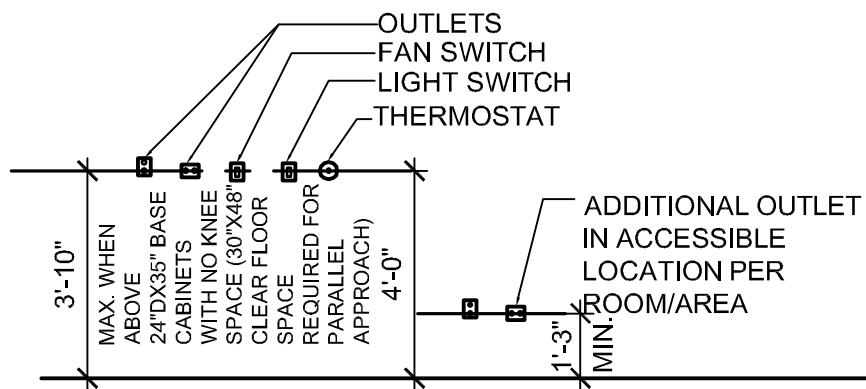
4 SIGNAGE

SCALE: 1/4" = 1'-0"



5 ACCESSIBLE FIRE EXTINGUISHER AND CABINET MOUNTING HEIGHT

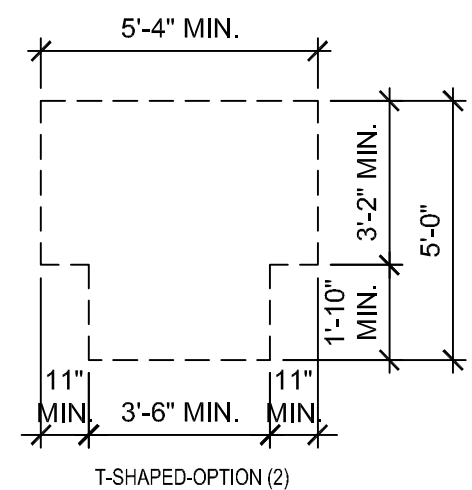
SCALE: 1/4" = 1'-0"



6 ACCESSIBLE MOUNTING HEIGHTS AT CONTROLS AND OUTLETS

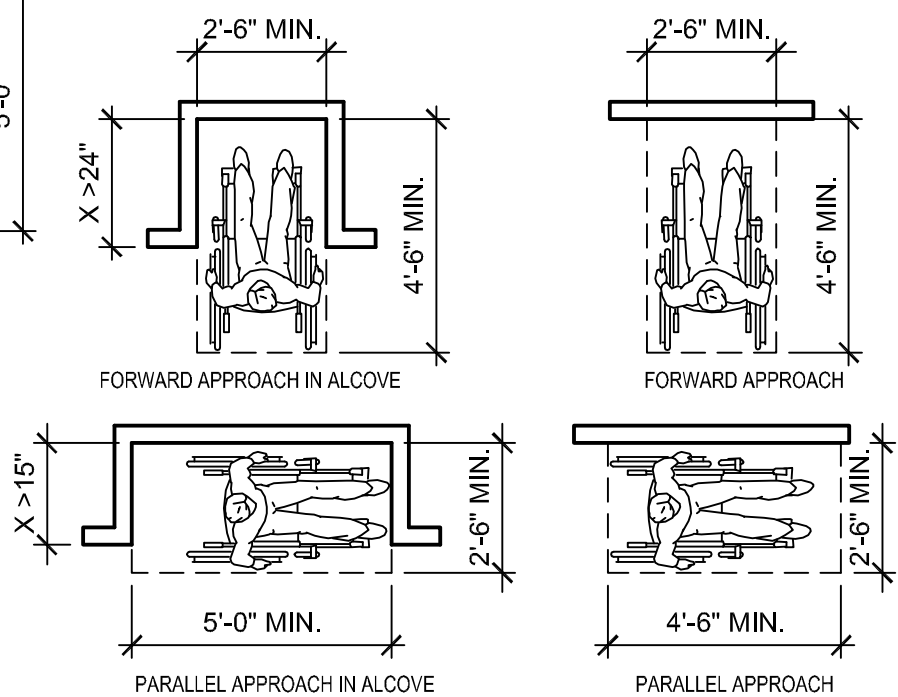
SCALE: 1/4" = 1'-0"

NOTE:
1. A 30"x48" CLEAR FLOOR SPACE AREA SHALL BE PROVIDED PERPENDICULAR TO THE WALL FOR A FORWARD REACH TO CONTROLS AND ACCESSIBLE OUTLETS.
2. ELECTRICAL OUTLETS ON WALLS OVER CABINETS MUST BE A MINIMUM 36" FROM A CORNER.



7 SIZE OF TURNING SPACE

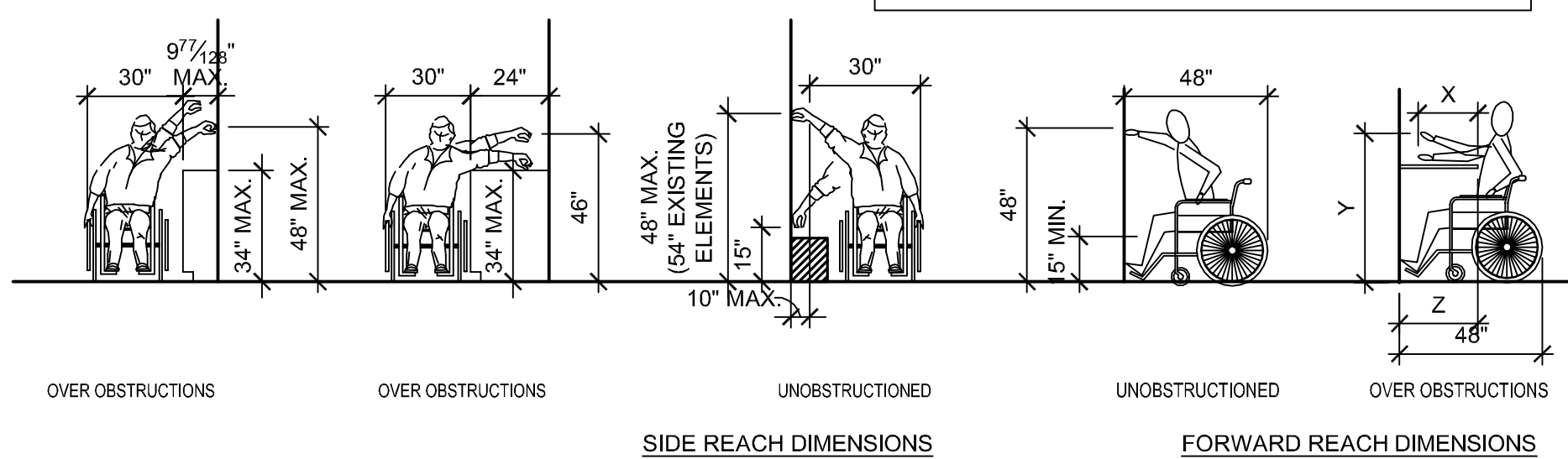
SCALE: N.T.S.



8 CLEAR FLOOR SPACE

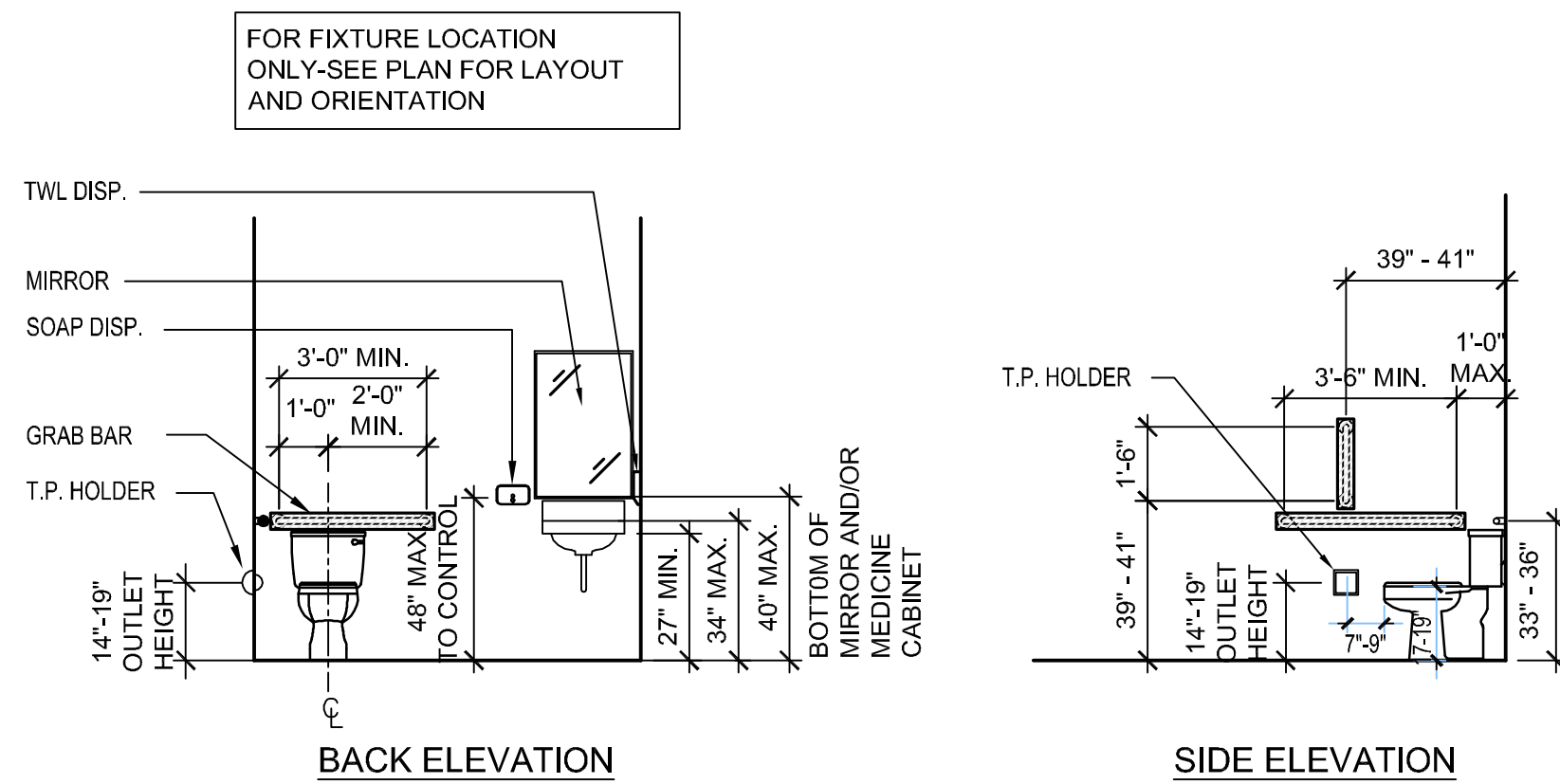
SCALE: N.T.S.

NOTE: X SHALL BE < 25"; Z SHALL BE > X. WHEN X ≤ 20", THEN Y SHALL BE 48" MAX. WHEN X IS ≥ 20" - 25", THEN Y SHALL BE 44" MAX.



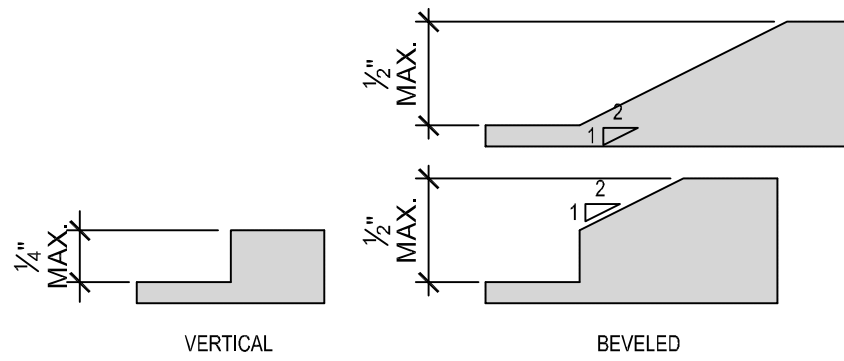
9 PROTRUDING OBJECTS

SCALE: N.T.S.



1 MINIMUM ACCESSIBLE TOILET ROOMS

SCALE: 1/4" = 1'-0"



3 CHANGES IN LEVEL

SCALE: N.T.S.

GENERAL ACCESSIBILITY NOTES

1. DRAWINGS ON THIS SHEET ARE INTERPRETATIONS BASED UPON:
 - 1.1. AMERICAN NATIONAL STANDARD ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC/ANSI A117.1-2009) AS PUBLISHED BY INTERNATIONAL CODE COUNCIL IN MAY, 2004.
 - 1.2. INTERNATIONAL BUILDING CODE 2003 AS PUBLISHED BY INTERNATIONAL CODE COUNCIL IN JANUARY 2004
 - 1.3. AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AS PUBLISHED BY U.S. ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD (ACCESS BOARD)
2. THIS SHEET IS NOT INCLUSIVE OF ALL ACCESSIBILITY REQUIREMENTS BY ANY JURISDICTION AND IS NOT INTENDED TO REPLACE OR ALTER ANY CODIFIED REQUIREMENTS BY ANY JURISDICTION.
3. ACCESSIBILITY REQUIREMENTS SHALL BE MET IN ACCORDANCE WITH ANY AND ALL FEDERAL AND STATE, LOCAL AND OTHER MUNICIPAL JURISDICTIONS.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY CONFLICTS AND DISCREPANCIES TO ARCHITECT.
5. WALKWAYS WILL HAVE A SLOPE NO STEEPER THAN 1 : 20.
6. FLAT SURFACES SHALL HAVE A SLOPE NO STEEPER THAN 1 : 48 AT WET LOCATIONS.
7. PROVIDE NON-SLIP FLOOR SURFACES AT ALL WET LOCATIONS.
8. OPERABLE AND DISPENSING HEIGHTS SHALL BE 15" MINIMUM AND 44" MAXIMUM ABOVE FINISHED FLOOR UNLESS OTHERWISE REQUIRED AS DEFINED BY LOCAL AUTHORITY.
9. ALL FIXTURES AND ACCESSORIES SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS TO MEET ACCESSIBILITY REQUIREMENTS.
10. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
11. HANGING FIXTURES AND ACCESSORIES SHALL HAVE WALL BLOCKING TO MEET MINIMUM FORCE REQUIREMENTS.
12. EXPOSED PIPING AT LAVATORIES SHALL BE INSULATED. NO SHARP OR ABRASIVE SURFACES SHALL BE ALLOWED.
13. PROVIDE SOAP AND HAND TOWEL DISPENSERS AT ALL HAND WASHING LOCATIONS.
14. SEE DRAWINGS FOR ACTUAL FIXTURE AND ACCESSORY LOCATIONS.



Craig Luebert
Architecture

Tenant Improvements For:
YRCG
Year-Round Garden
1201 Rice Road
Lee's Summit, MO.

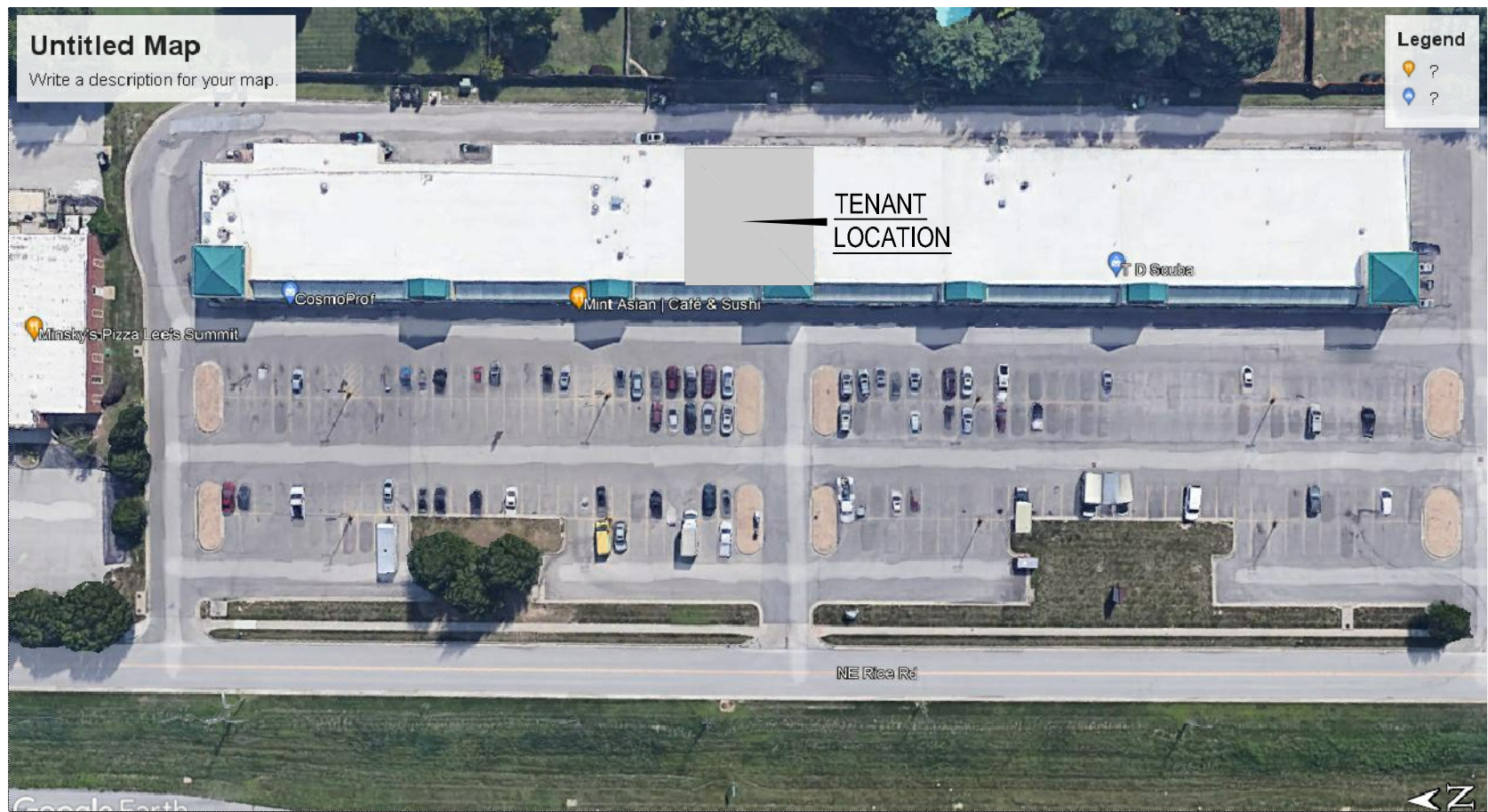
DATE ISSUED:
10.20.21

REVISIONS:

NO.	DESCRIPTION

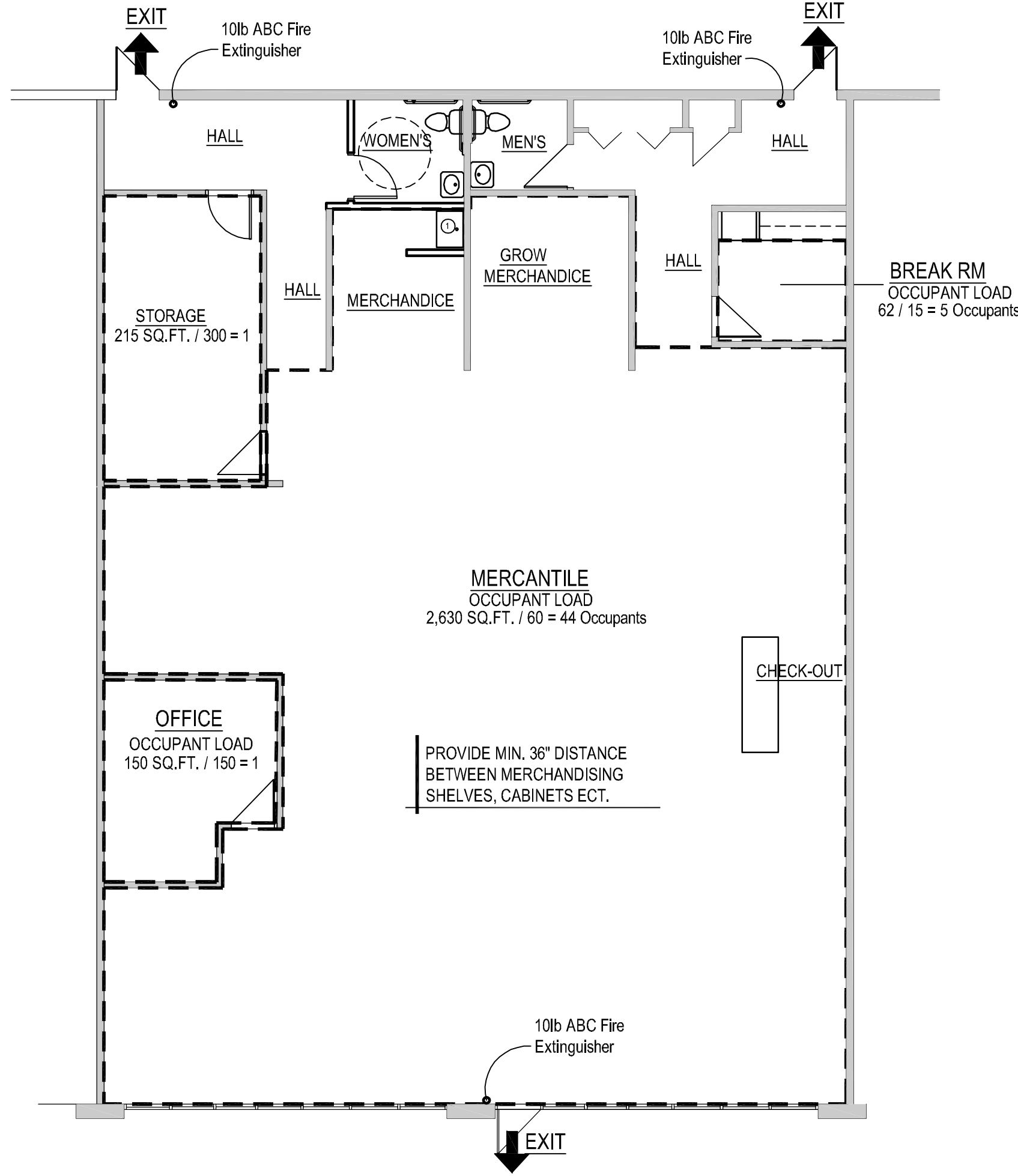
ARCHITECTURAL PROJECT NUMBER

SHEET NUMBER
A0.1



2 Tenant Location

SCALE: 1/8"=1'



1 Code Review Plan

SCALE: 1/8"=1'



PROJECT CODE DATA

A) TYPE OF OCCUPANCY: M OCCUPANCY (MERCANTILE) CHANGE IN USE FROM B OCCUPANCY

BUILDING USE: GARDENING CENTER

B) TYPE OF CONSTRUCTION: BUILDING TYPE V B, UNPROTECTED, BUILDING IS FULLY SPRINKLED

C) CODE REFERENCES:

1. INTERNATIONAL BUILDING CODE - 2018 EDITION
2. INTERNATIONAL PLUMBING CODE - 2018 EDITION
3. INTERNATIONAL MECHANICAL CODE - 2018 EDITION
4. INTERNATIONAL FUEL GAS CODE - 2018 EDITION
5. INTERNATIONAL FIRE PREVENTION CODE - 2018 EDITION
6. NATIONAL ELECTRICAL CODE - 2017 EDITION
7. INTERNATIONAL FIRE CODE - 2018 EDITION
8. AMERICAN NATIONAL STANDARD ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ANSI A117.1-2009)

D) TENANT AREA: 3,670 SQ.FT

E) OCCUPANT LOAD - 51 (SEE PLAN)

F) FIRE RESISTANT RATING FOR EXTERIOR WALLS
≥10' TO ADJACENT PROP. LINES

G) MINIMUM FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

FIRE RATINGS OF STRUCTURAL ELEMENTS PER IBC TABLE 601: TYPE II B

ELEMENTS FIRE RATING REQUIRED

STRUCTURAL FRAME 0

BEARING WALLS

EXTERIOR 0

INTERIOR 0

NONBEARING EXT. WALLS 0

NONBEARING INT. WALLS 0

FLOOR CONSTRUCTION 0

ROOF CONSTRUCTION 0

H) PLUMBING FIXTURE REQUIREMENTS: CHAPTER 29

OCCUPANT LOAD: 51

WATER CLOSETS

REQUIRED

PROVIDED

26 FEMALE: SEE NOTE 1 BELOW

1

1

26 MALE: SEE NOTE 1 BELOW

1

1

LAVATORIES

REQUIRED

PROVIDED

26 FEMALE: SEE NOTE 2 BELOW

1

1

26 MALE: SEE NOTE 2 BELOW

1

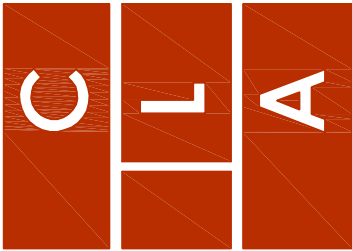
1

NOTE 1: 1 PER 500

NOTE 2: 1 PER 750



Craig Luebbert
Architecture



Tenant Improvements For:



Year-Round Garden
1201 Rice Road
Lee's Summit, MO.

DATE ISSUED:
10.20.21

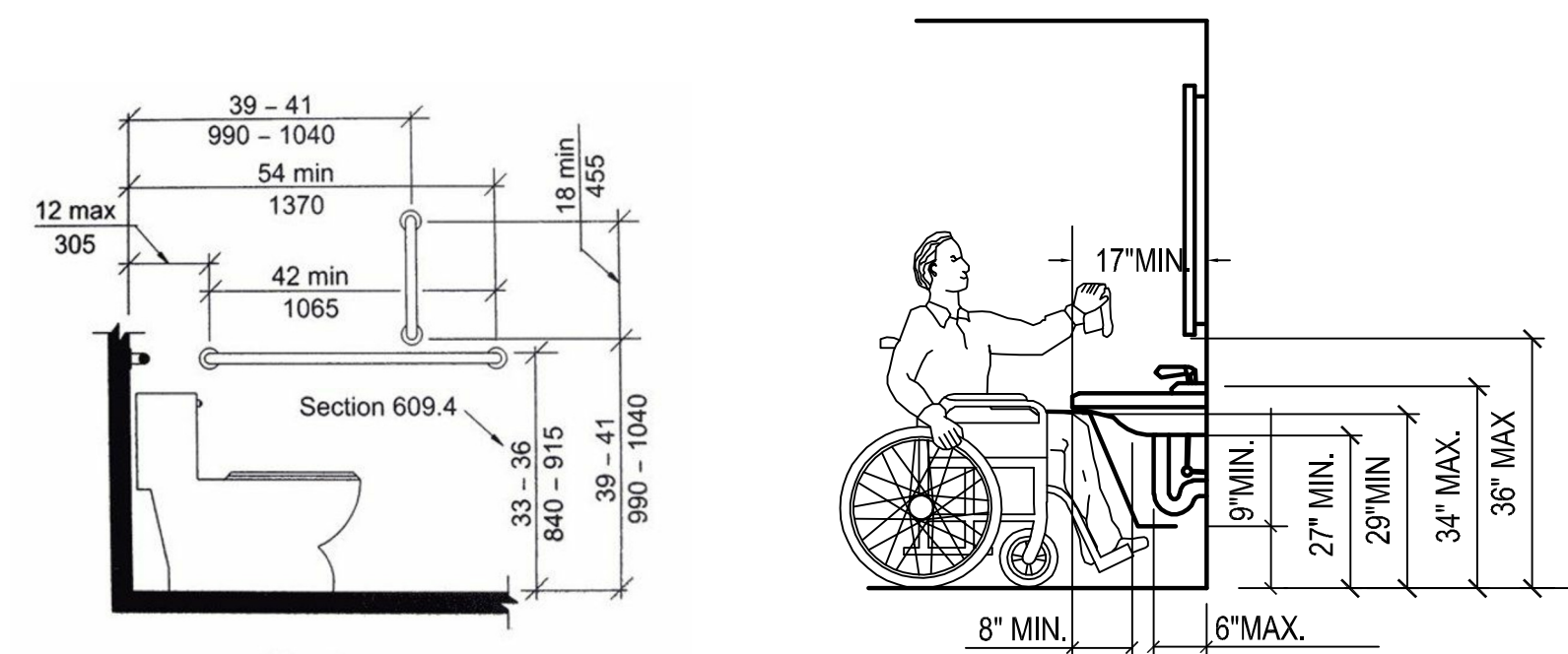
REVISIONS:

CITY COMMENTS 2.22.21

ARCHITECTURAL PROJECT NUMBER

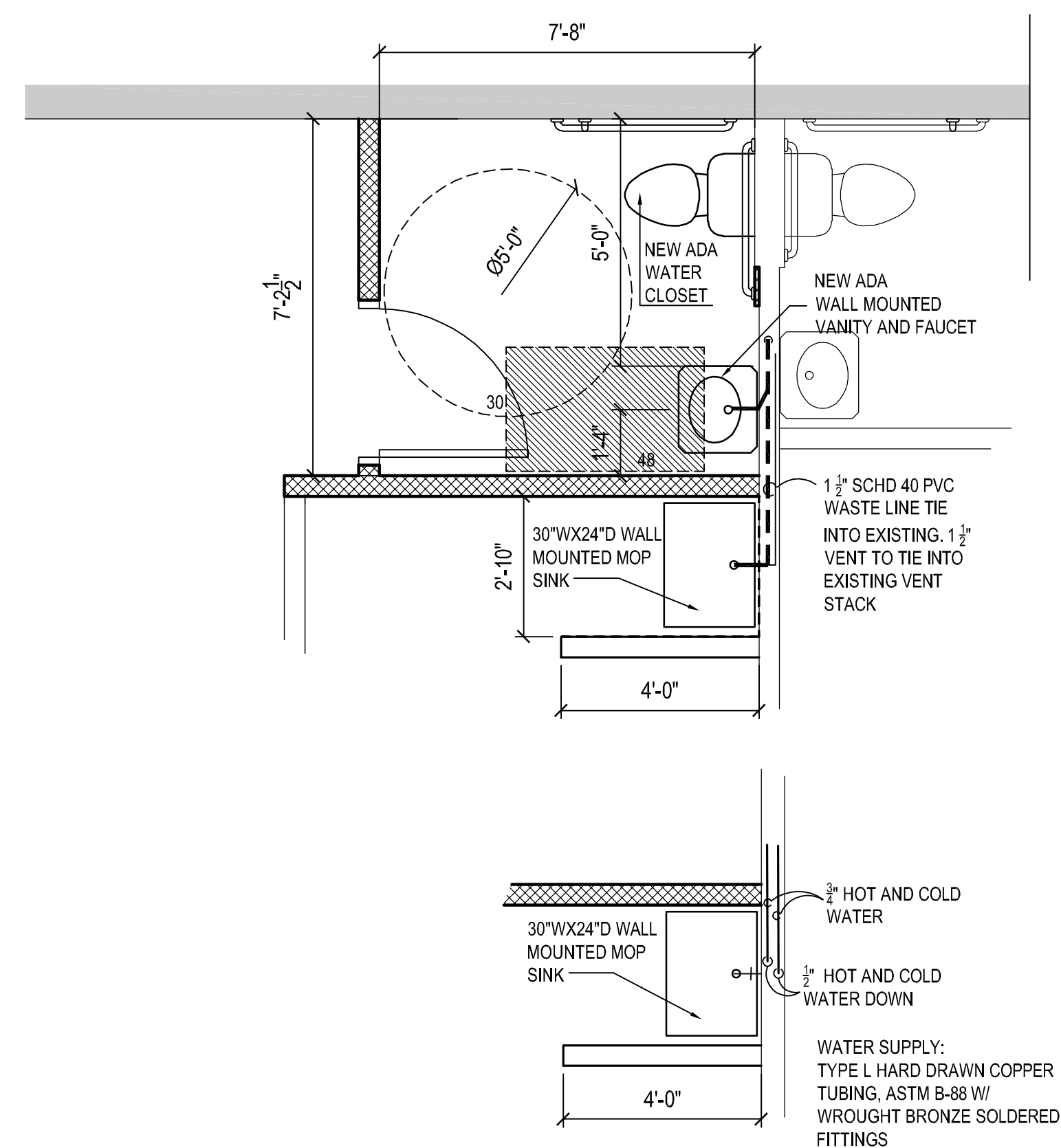
SHEET NUMBER

A0.2

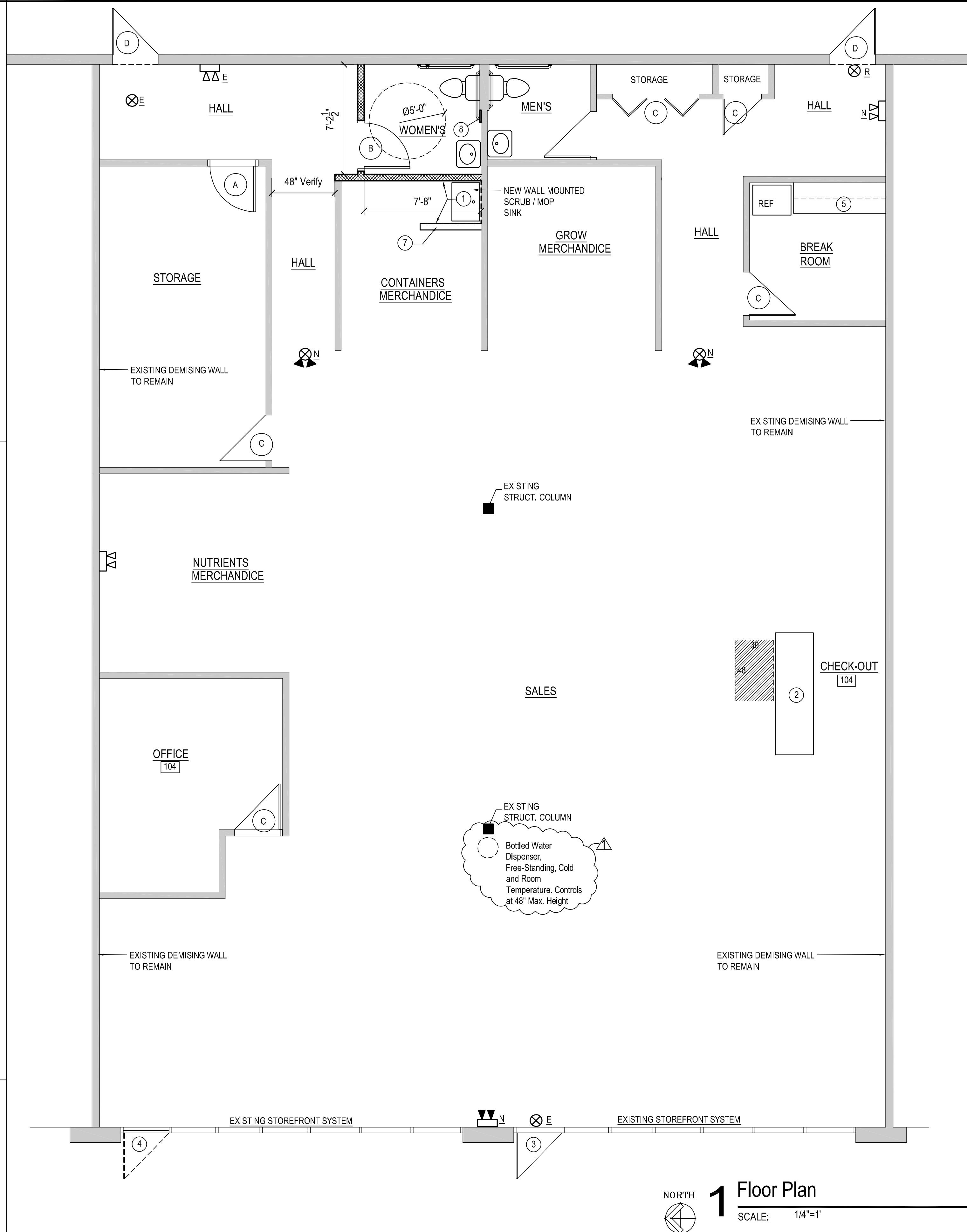


2 Toilet ADA Dimensions

■ SCALE: 1/4"=1'



SCALE: $3/8"=1'$



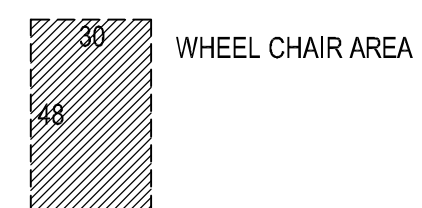
PLAN NOTES






- ① PROVIDE FRP PANEL OR EPOXY PAINT ON WALLS SURROUNDING SINK UP 48" MIN AND 24" MIN. IN FRONT OF SINK - TYP. (3) WALLS
- ② SALES COUNTER MAX. HEIGHT 34" AFF
- ③ EXISTING STOREFRONT DOOR - DOOR TO HAVE SIGNAGE: 'THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED'
- ④ EXISTING STOREFRONT DOOR: REMOVE HARDWARE DOOR TO BE CLOSED OFF
- ⑤ CASEWORK PROVIDED BY OWNER. MAXIMUM HEIGHT FROM COUNTER TO FLOOR 34" - TYP.
- ⑥ NOTE NOT USED
- ⑦ 48" TALL WALL
- ⑧ FUR WALL AS REQUIRED FOR NEW 36" GRAB BAR

DOORS

- ☐ A 3'-0"X6'-8" DOOR, ADA LEVERSTYLE LATCH
- ☐ B 3'-0"X6'-8" DOOR, ADA LEVERSTYLE LATCH, PRIVACY LOCK
- ☐ C EXISTING DOORS TO REMAIN
- ☐ D EXISTING DOOR WITH PANIC DEVICE

LEGEND



-  NEW WALL - 3 $\frac{5}{8}$ " METAL STUDS @ 16" O.C. TO BOTTOM OF GRID.
-  NEW COMB. EXIT LIGHT AND EMERGENCY LIGHT WITH BATTERY BACKUP
-  EXISTING EMERGENCY LIGHT W/ BATTERY BACKUP
-  RELOCATE EXISTING EXIT LIGHT WITH BATTERY BACKUP
-  NEW EMERGENCY LIGHT W/ BATTERY BACKUP

MEP WORK SCOPE:

ELECTRICAL: NO WORK. ANY RECEPTACLES REMOVED OR CAPPED TERMINATE IN METAL JUNCTION BOXES.
LIGHTING: EXISTING LIGHTING TO REMAIN
RELOCATE EXISTING FIXTURES AS REQUIRED

MECHANICAL: RELOCATE EXISTING SUPPLY DIFFUSERS AS REQUIRED. PROVIDE FRESH AIR PER TABLE 403.3.1.1 'MINIMUM VENTILATION RATE'

PLUMBING: INSTALL NEW ADA WATER CLOSET,
INSTALL NEW ADA WALL HUNG LAVATORY.
INSTALL NEW WALL HUNG MOP SINK.

FINISHES:

WALLS NEW AND EXISTING: - PAINT
CEILING: EXISTING GRID TO REMAIN. REPLACE
ANY DAMAGED TILES
FLOORING: ALL AREAS TO RECEIVE NEW
LUXURY VINYL TILE

MEN'S AND WOMEN'S TOILET ROOMS
WALLS NEW AND EXISTING: - EPOXY PAINT
FLOORS: LUXURY VINYL FLOORING