

CODE ITEMS:
2018 INTERNATIONAL BUILDING CODE, CITY OF LEE'S SUMMIT, MO
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL FIRE CODE
2017 NATIONAL ELECTRIC CODE
2009 (C/C/ANSI) A117
ALL CODE ITEMS AS REVISED BY THE CITY OF LEE'S SUMMIT

BUILDING DATA:

CONSTRUCTION TYPE: 3.0 SPRINKLERED
BUILDING HEIGHT: 1 STORY
USE: NEW RESTAURANT STORE IN AN EXISTING VACANT SHELL SPACE
OCCUPANCY TYPE: A-2 ASSEMBLY
TENANT AREA: 2,438 SF.
OCCUPANT LOAD:
DINING: 688 SF/15 SF PER OCC. = 46 OCC.
Fixed Seats = 12 Occ.
KITCHEN/COOKING: 815 SF/200 SF PER OCC. = 4 OCC.
TOTAL: 62 OCCUPANTS
EXITS: 2

GENERAL NOTES:
GENERAL CONTRACTOR AND ALL OTHER CONTRACTORS WORKING ON THIS CONSTRUCTION PROJECT SHALL MEET ALL CODE REQUIREMENTS SET BY THE 2018 INTERNATIONAL BUILDING CODE AND THE CITY OF LEE'S SUMMIT, MO AS DESCRIBED ON THESE DOCUMENTS, OR AS DICTATED BY THE CITY, FOR ANY ITEM INCLUDED OR DELETED ON THESE DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CITY REGULATIONS AND CODES, RULES AND SHALL BRING ANY DISCREPANCIES ON THE DOCUMENTS TO THE ARCHITECT IMMEDIATELY.
2. SUBSTANTIAL CORRECTIONS TO THE GENERAL CONTRACTOR FOR EVERY DAY OVER THEIR SUBMITTED SCHEDULE. COMPLETION SHALL BE DEEMED COMPLETED WHEN ALL FINISHES ARE COMPLETED & APPROVED, AND ALL SUPPORT EQUIPMENT IS INSTALLED AND COMPLETE. OWNER WILL DETERMINE FINAL COMPLETION.
3. ARCHITECT'S DESIGN AND CONSTRUCTION OF THE PROJECT ARE NOT RESPONSIBLE FOR ANY FINISHES. THE FINISHES ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINISHES AND THE FINISHES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINISHES AND THE FINISHES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
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EQUIPMENT SCHEDULE											
Item No.	Qty	Equipment Category	Manufacturer	Model Number	Volt	Ph	Amp	Watt	HW	OW	BTU
1	2	P.S.S. CASH REGISTER	ELWAY	SEW74594-STD-X	120	1					
2	10	48" x 24" S.S. WORK TABLE	NEWCO	6055A	120	1	10	1200			
3	2	COUNTERTOP FOOD WARMER	STAR	21143	120	1	15	1800			
4	2	2-SPEED SLOWCH/PAVING GRILL	STAR	21143	120	1	15	1800			
5	2	SANDWICH FOOD PRESS/REGRINDER	STAR	21143	120	1	15	1800			
6	2	SANDWICH/PAVING GRILL	STAR	21143	120	1	15	1800			
7	3	HAND SINK	JOHN BOOSE	PHMS-W-1415-P-SSLK	120	1	13.4	1608			
8	1	WIDEWAY	PANASONIC	NC-1504F							
9	1	6-BURNER RANGE W/ STANDARD OVEN	GARLAND	636-6R				226,000			
10	1	MISCELLANEOUS CHEF BASE	NOV-LAKE	NC1072	120	1	3	345			
11	1	COUNTERTOP GRIDDLE	WELLS	W0753630				90,000			
12	1	COUNTERTOP CHARBROILER	WELLS	W00B-36300				120,000			
13	1	EXHAUST HOOD 10'-6" x 4'-6"	CAPTIVE AIR								
14	1	1-COMP PREP SINK	SWIRE	SWC17181414R				1/2" 1/2"			
15	1	ICE TEA URN			120	1					
16	1	220A DISPOSER			120	1		1/2"			
17	1	WALK-IN COOL									
18	1	8' x 10' WALK-IN COOLER	NOV-LAKE	KL874810-C							
19	1	BURN PAN RACK	WIND	ALUK-20							
20	1	1-COMP SINK	SWIRE	SWC17181414R				1/2" 1/2"			
21	1	ICE MACHINE	MAINTOMOS	Y70455A ON D-400-BN	120	1	13.2	1584			
22	1	WOP SINK						1/2" 1/2"			
23	1	75 GALLON WATER HEATER	ADVANCE TAPCO	9-0P-20-EC-X (OR APPROVED EQUAL)							
24	1	ELECTRIC FOOD PROCESSOR	A.O. SMITH	BTXL-100 (OR APPROVED EQUAL)	120	1	7	840			
25	1	48" x 24" S.S. SINK	JOHN BOOSE	PHMS-W-1415-P-SSLK	120	1	13.4	1608			

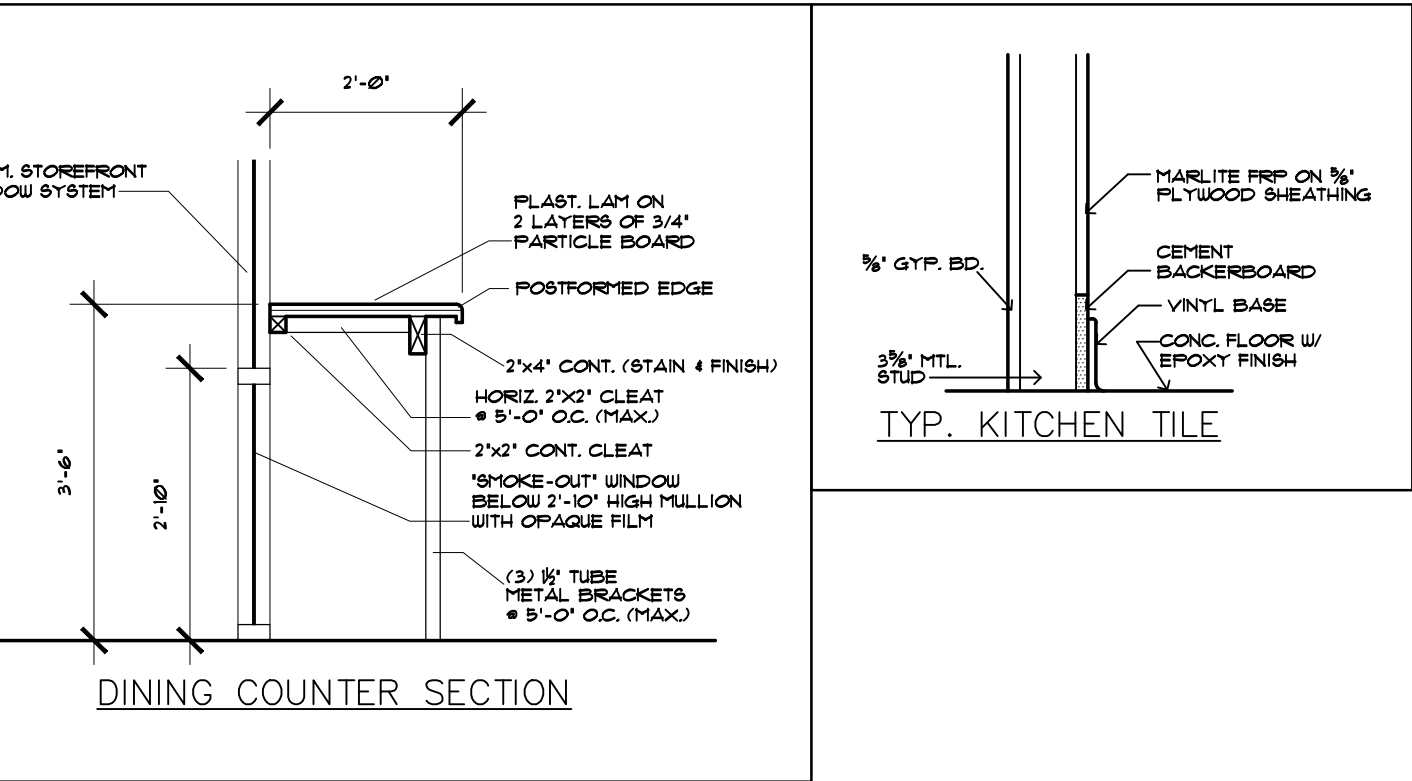
FINISH SCHEDULE														
ROOM NAME	WALLS						FLOOR		CEILING		REMARKS			
	NORTH		EAST		SOUTH		WEST		B	F		M	F	HEIGHT
	M	F	M	F	M	F	M	F						
DINING	GB	P	GB	P	GB	TFW	-	CT	SC	O	P2	-	NOTE #1	
TOILET #1	CBBB	CT	CBBB	CT	CBBB	CT	CBBB	CT	CT	MRG	EP	9'-0"		
TOILET #2	CBBB	CT	CBBB	CT	CBBB	CT	CBBB	CT	CT	MRG	EP	9'-0"		
HALL #1	GB	P	MRG	EP	MRG	EP	GB	P	CT	SC	GB	P	9'-0"	
BEVERAGE	-	-	-	-	MRG	TFW	MRG	TFW	CT	SC	VP2	-	NOTE #2	
COOKING	GB	P	-	-	-	MRG	EP	IE	SC	VP2	-	9'-2"	NOTES #3, #4	
KITCHEN	FW	FRP	FW	FRP	FW	FRP	FW	FRP	IE	CE	VF	9'-0"		
HALL #2	GB	P	GB	P	GB	P	GB	P	CT	SC	O	P2	-	NOTE #1

MATERIAL SCHEDULE

GB 5/8" GYPSUM BOARD
CBB 1/2" CEMENT BACKERBOARD
MRG 5/8" MOISTURE-RESISTANT GREENBOARD
FW 5/8" FIRE-RETARDANT PLYWOOD, EXCEPT WHERE SPECIFIED AS FLOOR PLAN NOTE #27
FRP FIBER REINFORCED PANEL
EP ENAMEL PAINT - COLOR BY TENANT
CT CERAMIC TILE
TFW "TWISTED FRESH" TYPICAL GRAPHIC WALLCOVERING
P LATEX PAINT - COLOR BY TENANT
P2 BLACK PAINT APPLIED TO ALL AREAS OPEN TO STRUCTURE ABOVE, AND TO ALL "RESTAURANT" & "HALL #2" WALLS ABOVE 9'-11" A.F.F.
IE 6" HIGH INTEGRAL EPOXY COVE BASE
SC STAINED CONCRETE
CE SEALED CONCRETE W/ EPOXY FINISH
O OPEN TO STRUCTURE ABOVE
VF WASHABLE 2'x4' x 5/8" VINYL-FACED CEILING PANELS IN NEW SUSPENDED CEILING SYSTEM
W2 WASHABLE 2'x2' x 5/8" VINYL-FACED CEILING PANELS IN NEW SUSPENDED CEILING SYSTEM

NOTES

#1 NO CEILING, SPACE IS OPEN TO STRUCTURE ABOVE.
#2 REFER TO CEILING PLAN FOR 9'-0" HIGH GYP. BD. SOFFIT CEILING ABOVE BEVERAGE COUNTER.
#3 PROVIDE 16 GA. ST. STL. PANEL BEHIND EXHAUST HOOD PER FLOOR PLAN NOTE #17.
#4 ON WEST WALL, ANY PAINTED SURFACE SHALL BE "TWISTED FRESH" TYPICAL RED.

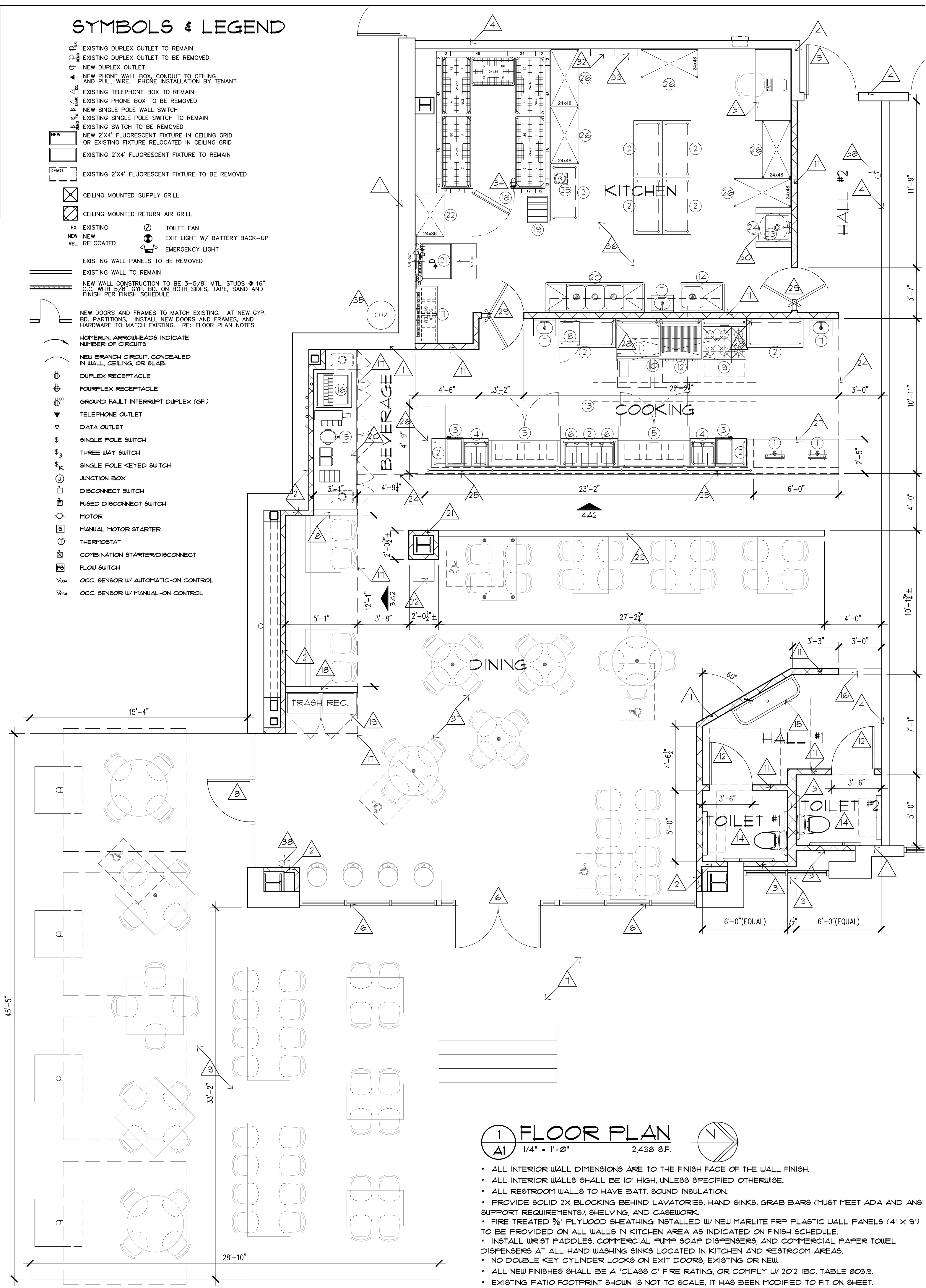


SCOPE OF WORK AND PLAN NOTES:

- EXISTING EXTERIOR WALL TO REMAIN. PROVIDE INTERIOR WALL FINISH PER FINISH SCHEDULE.
- EXISTING EXTERIOR WALL TO REMAIN. PROVIDE NEW FURRED WALL ON INTERIOR SIDE AS INDICATED. FURRED WALL TO BE 3 3/8" METAL STUDS @ 16" O.C. REFER TO FINISH SCHEDULE FOR WALL FINISH.
- AT EXISTING STOREFRONT, PROVIDE NEW FURRED WALL AS INDICATED. FURRED WALL TO BE 3 3/8" METAL STUDS @ 16" O.C. REFER TO FINISH SCHEDULE FOR WALL FINISH. INSTALL "SMOKE-OUT" OPAQUE FILM ON INTERIOR SIDE OF GLAZING.
- EXISTING 1-HOUR FIRE RATED DEMISING WALL (PER UL 1419) TO REMAIN.
- EXISTING 1-HOUR DOOR TO REMAIN.
- EXISTING STOREFRONT DOOR & WINDOW SYSTEM TO REMAIN.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- REMOVE MIDDLE SECTION OF EXISTING STOREFRONT WINDOW SYSTEM AS INDICATED, AND REPLACE WITH NEW 3'x1' ALUM. DOOR W/ FULL-LENGTH TEMPERED GLASS WINDOW. (FIELD VERIFY OPENING WIDTH BETWEEN MULLION FRAMES PRIOR TO WORK). THE DOOR SHALL HAVE A CLOSER, PUSH-FULL HARDWARE, AND PROVIDE A DOUBLE-CYLINDER DEADBOLT W/ KEY-OPERATION ON EGRESS SIDE. DOOR GLAZING SHALL MATCH EXISTING ADJACENT GLAZING.
- EXISTING CONCRETE PATIO SPACE TO REMAIN. FURNITURE & MOVEABLE UMBRELLA SHADES BY OWNER.
- DINING COUNTER AT STOREFRONT WINDOW, RE: DETAIL 2P1.
- NEW WALL TO BE 3 3/8" METAL STUDS @ 16" O.C. PROVIDE WALL FINISH PER FINISH SCHEDULE.
- NEW 3'-0"x1'-0" SOLID-CORE WOOD DOOR (STAIN & FINISH) W/ 1/2" FR BUTTS ON HOLLOW METAL FRAME W/ CLOSER & PUSH-BUTTON LOCK. PROVIDE WALL-MOUNTED ACCESSIBLE TOILET SIGN WITH LETTERS, H.C. SYMBOL, AND BRAILLE ON WALL ADJACENT TO DOOR.
- NEW WALL TO BE 6" METAL STUDS @ 16" O.C. PROVIDE WALL FINISH PER FINISH SCHEDULE.
- NEW "TOILET" ROOM. REFER TO GENERAL NOTE #23 & RESTROOM ELEVATIONS 2A2 & 2A3 FOR FIXTURES & ACCESSORIES. RE: PLUMB.
- NEW COMMUNAL LAVATORY BY TENANT, INSTALLED BY CONTRACTOR. RE: PLUMB.
- REFER TO CEILING PLAN 1A2 FOR HEADER ABOVE.
- EDGE OF SOFFIT CEILING ABOVE. RE: CEILING PLAN 1A2.
- NEW 4'-6" HIGH WALL TO BE 3 3/8" METAL STUDS @ 16" O.C. WITH 3/8" GYPSUM BOARD ON EACH SIDE.
- PROVIDE 4" WOOD CAP AT TOP OF WALL.
- 24" DEEP BUILT-IN TRASH RECEPTACLE WITH PLAST. LAM. COUNTERTOP & PLAST. LAM. BASE CABINET. COUNTERTOP HEIGHT TO BE @ 34" AFF. W/ FRONT OVERLAY DOORS & FRONT HINGED SWINGING TRASH OPENING AT TOP.
- 36" DEEP BEVERAGE COUNTER WITH SOLID SURFACE COUNTERTOP & PLAST. LAM. BASE CABINET. COUNTERTOP HEIGHT TO BE @ 34" AFF. W/ INTERIOR ADJUSTABLE SHELVES & OVERLAY DOORS.
- URAP EXISTING COLUMN WITH NEW FURRED WALL UP TO 10' AFF. FURRED WALL TO BE 3 3/8" METAL STUDS @ 16" O.C. W/ 3/8" GYPSUM BOARD.
- 18"x18" CARRY-OUT SHELVE UNIT BY TENANT.
- NEW 4'-6" HIGH WALL W/ 4" WOOD CAP. WALL SHALL BE 3 3/8" MTL. STUDS @ 16" O.C. W/ 1 LAYER 3/8" GYP. BD. ON ALL SIDES. AT EACH END & AT 6' O.C. (MAX.) PROVIDE 2" DIA. STEEL PIPE (FOR WALL STABILITY) TO BE CORE DRILLED DOWN TO BELOW FINISH FLOOR - SEAL PENETRATION.
- EDGE OF CEILING ABOVE. RE: CEILING PLAN 1A2.
- SOLID SURFACE CAP @ 3'-6" AFF. ON 3 3/8" METAL STUDS @ 16" O.C. WITH MARLITE FRP PLASTIC WALL PANELS ON 3/8" FIRE-RETARDANT PLYWOOD SHEATHING ON "COOKING" SIDE & SHIPLAP FINISH ON "DINING" SIDE. INSTALL SHEZEGUARD TO BE GLASS PANELS (18" HIGH MAX.) BETWEEN 1/2" DIA. BRUSHED STAINLESS STEEL POSTS, WHERE INDICATED.
- 18" DEEP SOLID SURFACE COUNTERTOP @ 3'-6" AFF. ON 3 3/8" METAL STUDS @ 16" O.C. WITH MARLITE FRP PLASTIC WALL PANELS ON 3/8" FIRE-RETARDANT PLYWOOD SHEATHING ON "COOKING" SIDE & SHIPLAP FINISH ON "BEVERAGE" SIDE. COUNTERTOP SHALL HAVE 1" OVERHANG ON "BEVERAGE" SIDE & 12" BULLNOSE OVERHANG ON "COOKING" SIDE.
- 30" DEEP SOLID SURFACE COUNTERTOP @ 3'-6" AFF. ON PLAST. LAM. BASE CABINET W/ OPEN (1" ADJUSTABLE) SHELVEING. ON "DINING" SIDE, PROVIDE CERAMIC TILE FINISH.
- PROVIDE 16 GA. ST. STL. WALL FROM 24" AFF. FROM 24" AFF. TO WALL HOOD ABOVE. PROVIDE 3/8" CONCRETE PANEL BEHIND ST. STL. WALL PANEL & BEHIND EXHAUST HOOD.
- NEW 3'-0"x1'-0" ALUM. SWING PIVOT DOOR W/ SIGN PANEL.
- 30" MOP SINK W/ 5" HIGH SURROUNDING WALLS, AS INDICATED. WALLS TO BE MARLITE FRP PLASTIC WALL PANELS ON 3/8" FIRE-RETARDANT PLYWOOD SHEATHING ON 3 3/8" METAL STUDS @ 16" O.C. INSTALL WATER HEATER ABOVE MOP SINK. RE: DETAIL 2P1.
- OFFICE DESK BY TENANT.
- EXISTING 400 AMP ELECTRICAL MAIN PANEL TO REMAIN. RE: ELECT.
- NEW 200 AMP ELECTRICAL SUB-PANEL. RE: ELECT.
- WALK-IN COOLER - REFER TO MANUF. SPECS.
- EXTERIOR CO2 TANK BY OTHERS.
- KITCHEN EQUIPMENT BY TENANT. ALL EQUIPMENT TO BE COMMERCIAL GRADE NSF APPROVED.
- FURNITURE BY TENANT.
- PROVIDE FIRE PROTECTION (FIRE EXTINGUISHERS) PER CITY REQUIREMENTS.

SYMBOLS & LEGEND

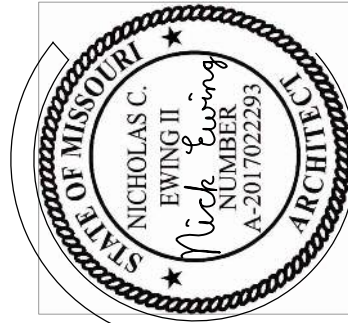
- EXISTING DUPLEX OUTLET TO REMAIN
- EXISTING DUPLEX OUTLET TO BE REMOVED
- NEW DUPLEX OUTLET
- NEW PHONE WALL BOX, CONDUIT TO CEILING AND PULL WIRE. PHONE INSTALLATION BY TENANT
- EXISTING TELEPHONE BOX TO REMAIN
- EXISTING PHONE BOX TO BE REMOVED
- NEW SINGLE POLE WALL SWITCH
- EXISTING SINGLE POLE SWITCH TO REMAIN
- EXISTING SWITCH TO BE REMOVED
- NEW 2'x4' FLUORESCENT FIXTURE IN CEILING GRID OR EXISTING FIXTURE RELOCATED IN CEILING GRID
- EXISTING 2'x4' FLUORESCENT FIXTURE TO REMAIN
- EXISTING 2'x4' FLUORESCENT FIXTURE TO BE REMOVED
- CEILING MOUNTED SUPPLY GRILL
- CEILING MOUNTED RETURN AIR GRILL
- TOILET FAN
- EXIT LIGHT W/ BATTERY BACK-UP
- EMERGENCY LIGHT
- EXISTING WALL PANELS TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW WALL CONSTRUCTION TO BE 3'-5/8" MTL. STUDS @ 16" O.C. WITH 5/8" GYP. BD. ON BOTH SIDES, TAPE, SAND AND FINISH PER FINISH SCHEDULE
- HOTTERIN APPROXIMATELY INDICATE NUMBER OF CIRCUITS
- NEW BRANCH CIRCUIT, CONCEALED IN WALL, CEILING OR SLAB
- DUPLEX RECEPTACLE
- FOURPLEX RECEPTACLE
- GROUND FAULT INTERRUPT DUPLEX (GFI)
- TELEPHONE OUTLET
- DATA OUTLET
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- SINGLE POLE KEYED SWITCH
- JUNCTION BOX
- DISCONNECT SWITCH
- FUSED DISCONNECT SWITCH
- MOTOR
- MANUAL MOTOR STARTER
- THERMOSTAT
- COMBINATION STARTER/DISCONNECT
- FLOW SWITCH
- OCC. SENSOR W/ AUTOMATIC-ON CONTROL
- OCC. SENSOR W/ MANUAL-ON CONTROL



FLOOR PLAN

1/4" = 1'-0" 2,438 SF.

- ALL INTERIOR WALL DIMENSIONS ARE TO THE FINISH FACE OF THE WALL FINISH.
- ALL INTERIOR WALLS SHALL BE 10' HIGH, UNLESS SPECIFIED OTHERWISE.
- ALL RESTROOM WALLS TO HAVE BATT. SOUND INSULATION.
- PROVIDE SOLID 2X BLOCKING BEHIND LAVATORIES, HAND SINKS, GRAB BARS (MUST MEET ADA AND ANSI SUPPORT REQUIREMENTS), SHELVEING, AND CASEWORK.
- FIRE TREATED 3/8" PLYWOOD SHEATHING INSTALLED W/ NEW MARLITE FRP PLASTIC WALL PANELS (4' x 9')
- TO BE PROVIDED ON ALL WALLS IN KITCHEN AREA AS INDICATED ON FINISH SCHEDULE.
- INSTALL WRIST PADDLES, COMMERCIAL PUMP SOAP DISPENSERS, AND COMMERCIAL PAPER TOWEL DISPENSERS AT ALL HAND WASHING SINKS LOCATED IN KITCHEN AND RESTROOM AREAS.
- NO DOUBLE KEY CYLINDER LOCKS ON EXIT DOORS, EXISTING OR NEW.
- ALL NEW FINISHES SHALL BE A "CLASS C" FIRE RATING, OR COMPLY W/ 2012 IBC, TABLE 803.3.
- EXISTING PATIO FOOTPRINT SHOWN IS NOT TO SCALE, IT HAS BEEN MODIFIED TO FIT ON SHEET.



10-21-21

TENANT FINISH
TWISTED FRESH
940A NW PRYOR RD., LEE'S SUMMIT, MO 64081

SULLIVAN
PALMER
ARCHITECTS

Date:

10-15-21

Revision:

10-21-21

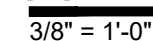
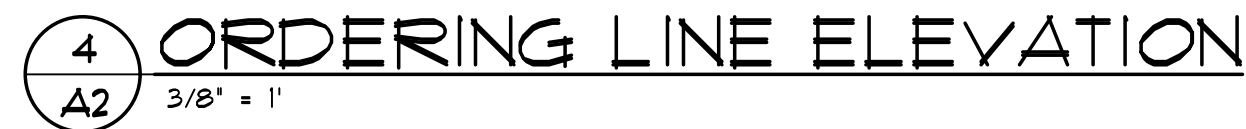
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NCE

Sheet:

A1



 EXISTING DUPLEX OUTLET TO REMAIN
 EXISTING DUPLEX OUTLET TO BE REMOVED
 NEW DUPLEX OUTLET
 NEW PHONE WALL BOX, CONDUIT TO CEILING
 AND PULL WIRE - PHONE INSTALLATION BY TENANT
 EXISTING TELEPHONE BOX TO REMAIN
 EXISTING PHONE BOX TO BE REMOVED
 NEW SINGLE POLE WALL SWITCH
 EXISTING SINGLE POLE SWITCH TO REMAIN
 EXISTING SWITCH TO BE REMOVED
 NEW 2'x4' FLUORESCENT FIXTURE IN CEILING GRID
 OR EXISTING FIXTURE RELOCATED IN CEILING GRID
 EXISTING 2'x4' FLUORESCENT FIXTURE TO REMAIN
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 EXISTING 2'x4' FLUORESCENT FIXTURE TO BE REMOVED



1. AREA SHALL REMAIN OPEN TO UNDERSIDE OF ROOF STRUCTURE - PAINT BLACK. ANY EXPOSED DUCTWORK SHALL BE INSULATED & PAINTED BLACK TO MATCH EXISTING.

2. NEW CEILING GRID SYSTEM - 9'-2" AFF. W/ 6" HIGH PERIMETER EDGE. PROVIDE 2' x 2' x 1/2" WASHABLE, VINYL-FACED CEILING PANELS.

3. 9'-2" AFF. TO BE 3/4" GYPSUM BOARD ON 3/4" METAL STUDS @ 16" O.C. TOP OF FACE OF SOFFIT SHALL BE UP TO UNDERSIDE OF LOWEST UTILITY ELEMENT (FIELD VERIFY PRIOR TO WORK). FINISH ON FACE OF SOFFIT SHALL BE 'TUSTED FRESH' TYPICAL GRAPHIC WALLCOVERING.

4. NEW TYPE I EXHAUST HOOD - REFER TO CAPTIVE AIR DUGS & MECHANICAL PLAN M1.

5. 9'-2" AFF. TO REMAIN.

6. NEW HEADER AT 1'-0" AFF. HEADER TO BE 3/4" METAL STUDS @ 16" O.C. REFER TO FINISH SCHEDULE.

7. CEILING TO BE 3/4" MOISTURE-RESISTANT GREENBOARD ON 3/4" METAL STUDS @ 16" O.C. CEILING HEIGHT TO BE 9'-0" AFF. PROVIDE BATT. SOUND INSULATION ABOVE THE CEILING.

8. CEILING GRID TO BE CHICAGO METALLIC 1/2" SYSTEM @ 9'-0" AFF. INSTALL 2' x 4' x 1/2" WASHABLE, VINYL-FACED CEILING PANELS.

9. LOCATION OF EXIT SIGNAGE PER LIGHTING PLAN IL1.



- * ALL INTERIOR WALL DIMENSIONS ARE TO THE FINISH FACE OF THE WALL FINISH.
- * ALL LIGHT FIXTURES IN KITCHEN, COOKING, AND RESTROOM AREAS SHALL BE PROPERLY SHIELDED.
- * REFER TO LIGHTING PLAN FOR NEW LIGHT FIXTURE SPECS.
- * REFER TO MECHANICAL PLAN FOR NEW DUCTWORK, AND GRILLES/DIFFUSERS LOCATIONS.

TENANT FINISH
TWISTED FRESH

940A NW PRYOR RD., LEE'S SUMMIT, MO 64081



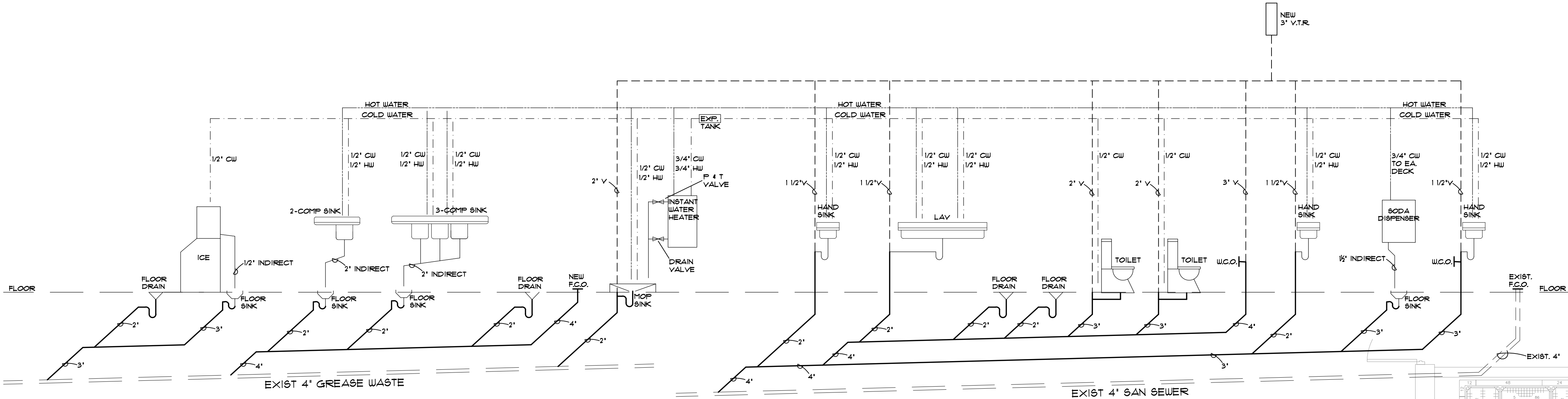
Date:
10-15-21

Revision:

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NCE

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A2



3 PLUMBING RISER - SCHEMATIC

PI NO SCALE

- INSTALL EXPANSION TANK OFF WATER HEATER.
- WATER LINE TO WATER HEATER SHALL COME FROM EXISTING WATER LINE STUBBED IN SPACE.

Item No	Qty	Equipment Category	Manufacturer	Model Number	Volt	Ph	Amp	Watt	HW	CW	BTU	Equipment Remarks
1	2	P.O.S. CASH REGISTER	---	---	120	1						BY OWNER
2	10	48" x 24" S.S. WORK TABLE	ELKAY	SEWT24548-STG-X								-
3	2	COUNTERTOP FOOD WARMER	NEMCO	6055A	120	1	10	1200				-
4	2	2-SIDED SANDWICH/PANINI GRILL	STAR	GX14IS	120	1	15	1800				-
5	2	SANDWICH FOOD PREP REFRIGERATOR	NOR-LAKE	NLSMP60-24	120	1	7.9	948				-
6	2	SANDWICH/PANINI GRILL	GLOBE	GS614D	120	1	15	1800				-
7	3	HAND SINK	JOHN BOOS	PBHS-W-1410-P-SSLR					1/2"	1/2"		-
8	1	MICROWAVE	PANASONIC	NE-1054F	120	1	13.4	1608				-
9	1	6-BURNER RANGE W/ STANDARD OVEN	GARLAND	G36-6R							236,000	-
10	1	REFRIGERATED CHEF BASE	NOR-LAKE	NLCB72	120	1	3	345				-
11	1	COUNTERTOP GRIDDLE	WELLS	HDTG3630G							90,000	-
12	1	COUNTERTOP CHARBROILER	WELLS	HDCB-3630G							120,000	-
13	1	EXHAUST HOOD 10'-6" x 4'-6"	CAPTIVE AIRE									RE: MECH. & ELECT. DWGS FOR SPECS
14	1	1-COMP. PREP SINK	SKIBEE	SKIC1T18181418L					1/2"	1/2"		-
15	1	ICE TEA URN			120	1						-
16	1	SODA DISPENSER			120	1			1/2"			RE: MANUF. SPECS FOR ICE MAKER ELECT. REQ.
17	1	BAG-IN-BOX			120	1						RE: MANUF. SPECS FOR ELECT. REQ.
18	1	8' x 10' WALK-IN COOLER	NOR-LAKE	KLB74810-C								RE: MANUF. SPECS FOR ELECT. REQ.
19	1	BUN PAN RACK	WINCO	ALRK-20								-
20	1	3-COMP. SINK	SKIBEE	SKIC3116201418RL					1/2"	1/2"		W/ PRE-RINSE FAUCET (1/2" HW & 1/2" CW)
21	1	ICE MACHINE	MANITOWOC	JYT4050A DN D-400 BIN	120	1	13.2	1584	1/2"	1/2"		W/ 3M #ICE125-S WATER FILTER (1/2" CW)
22	1	36" x 24" S.S. SHELVING UNIT										-
23	1	MOP SINK	ADVANCE TABCO	9-OP-20-EC-X (OR APPROVED EQUAL)					1/2"	1/2"		-
24	1	75 GALLON WATER HEATER	A.O. SMITH	BTXL-100 (OR APPROVED EQUAL)							100,000	MOUNT ON PLATFORM ABOVE MOP SINK
25	1	ELECTRIC FOOD PROCESSOR	ROBOT COUPE	R2N	120	1	7	840				-
26	5	48" x 24" S.S. SHELVING UNIT										-

- PLUMBING GENERAL NOTES:
- ALL PLUMBING SYSTEMS TO COMPLY WITH INTERNATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL CODES.
 - ALL PIPING (NEW AND EXISTING) SHALL BE CONCEALED, UNLESS INDICATED OTHERWISE.
 - ALL PLUMBING FIXTURES TO MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT FOR PUBLIC ACCOMMODATIONS. ALL TOILET FIXTURES AND MOUNTING HEIGHTS TO COMPLY WITH ADA REQUIREMENTS.
 - EXISTING 4" SANITARY SEWER LINE (FIELD VERIFY) UNDERSLAB TO REMAIN - TAP INTO LINE FOR NEW EQUIPMENT NEEDS.
 - ALL HOT AND COLD WATER LINES TO BE PE-X (ALTERNATE: TYPE L COPPER WITH SWEAT FITTINGS).
 - FLOOR DRAINAGE SHALL HAVE TRAP SEALS OR TRAP SEAL PRINTER VALVES.
 - ALL INTERIOR DRAINAGE PIPING TO BE ABS OR PVC (PER LOCAL CODES) TYPE WITH WELDED JOINTS AND FITTINGS.
 - ALL GAS LINES TO BE DUCTILE IRON TYPE. ALL QUICK CLOSING AND QUARTER TURN VALVES TO HAVE WATER WAPPER ARMRESTORS.
 - NO PLUMBING LINES SHALL BE EXPOSED.
 - PROVIDE VACUUM BREAKER ON MOP SINK.
 - ALL MEMBRANE PENETRATIONS SUCH AS STEEL, FERROUS, COPPER, PIPES, VENTS, ELECTRICAL OUTLET BOXES OR TUBES ARE TO BE PROTECTED MAINTAINING THE FIRE RESISTANCE INTEGRITY OF THE DEMISING WALLS.
 - LOCATE HAND SINKS AT 34" AFF TO TOP OF FLOOR RIM.
 - PROVIDE TEMPERING VALVES AT ALL HAND SINKS.
 - INSTALL NEW USC-APPROVED REDUCED PRESSURE ASSEMBLY (RPA) ON MAIN WATER SUPPLY LINE TO TENANT SPACE, IF NONE IS CURRENTLY EXISTING (FIELD VERIFY PRIOR TO WORK). NEW RPA SHALL BE 3/4" WATTS 1"PODS.
 - PROVIDE NEW 3/4" COLD WATER LINE TO ICE MACHINE FILTRATION SYSTEM. CONNECT 1/2" FILTERED WATER TO NEW ICE MACHINE W/ SHUT-OFF VALVE. PROVIDE BACKFLOW DEVICE PRIOR TO CONNECTION TO WATER FILTER.

SYMBOLS & LEGEND

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|--|---|
| <p>EXISTING DUPLEX OUTLET TO REMAIN</p> <p>NEW DUPLEX OUTLET</p> <p>NEW PHONE WALL BOX, CONDUIT TO CEILING AND PULL WIRE. PHONE INSTALLATION BY TENANT</p> <p>EXISTING TELEPHONE BOX TO REMAIN</p> <p>EXISTING PHONE BOX TO BE REMOVED</p> <p>NEW SINGLE POLE WALL SWITCH</p> <p>EXISTING SINGLE POLE SWITCH TO REMAIN</p> <p>EXISTING SWITCH TO BE REMOVED</p> <p>NEW 2'x4' FLUORESCENT FIXTURE IN CEILING GRID OR EXISTING FIXTURE RELOCATED IN CEILING GRID</p> <p>EXISTING 2'x4' FLUORESCENT FIXTURE TO REMAIN</p> <p>EXISTING 2'x4' FLUORESCENT FIXTURE TO BE REMOVED</p> <p>CEILING MOUNTED SUPPLY GRILL</p> <p>CEILING MOUNTED RETURN AIR GRILL</p> <p>EXISTING</p> <p>NEW</p> <p>REL. RELOCATED</p> <p>EXISTING WALL PANELS TO BE REMOVED</p> <p>EXISTING WALL TO REMAIN</p> <p>NEW WALL CONSTRUCTION TO BE 3-5/8" MTL. STUDS @ 16" O.C. WITH 5/8" GYPS. BD. ON BOTH SIDES, TAPE, SAND AND FINISH PER FINISH SCHEDULE</p> <p>NEW DOORS AND FRAMES TO MATCH EXISTING. AT NEW GYP. BD. PARTITIONS. INSTALL NEW DOORS AND FRAMES, AND HARDWARE TO MATCH EXISTING. RE: FLOOR PLAN NOTES.</p> | <p>HORIZONTAL ARROWHEADS INDICATE NUMBER OF CIRCUITS</p> <p>NEW BRANCH CIRCUIT, CONCEALED IN WALL, CEILING, OR SLAB.</p> <p>DUPLEX RECEPTACLE</p> <p>FOURPLEX RECEPTACLE</p> <p>GROUND FAULT INTERRUPT DUPLEX (GFI)</p> <p>TELEPHONE OUTLET</p> <p>DATA OUTLET</p> <p>SINGLE POLE SWITCH</p> <p>THREE WAY SWITCH</p> <p>SINGLE POLE KEYED SWITCH</p> <p>JUNCTION BOX</p> <p>DISCONNECT SWITCH</p> <p>FUSED DISCONNECT SWITCH</p> <p>MOTOR</p> <p>MANUAL MOTOR STARTER</p> <p>THERMOSTAT</p> <p>COMBINATION STARTER/DISCONNECT</p> <p>FLOW SWITCH</p> <p>OCC. SENSOR W/ AUTOMATIC-ON CONTROL</p> <p>OCC. SENSOR W/ MANUAL-ON CONTROL</p> |
|--|---|

PIPING INSULATION SCHEDULE

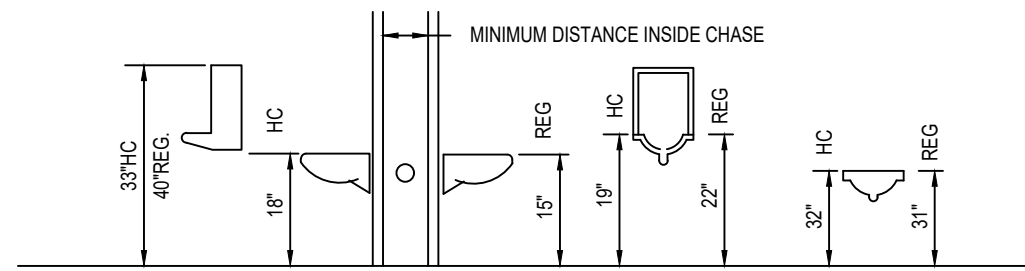
PIPE SYSTEM	INSULATION	THICKNESS	TEMP.	U-VALUE
ROOF DRAINS	OWENS CORNING ASUSSU-11	1"	150°F	
REFRIGERANT SUCTION		1"	-20°F TO 70°F	27 PER INCH (MIN.)
DOMESTIC HOT & COLD HORIZONTAL MAINS ONLY		1"	-20°F TO 70°F	27 PER INCH (MIN.)
HANDICAP "P" TRAP & HOT WATER UNDER LAVATORY		1/2"	-20°F TO 70°F	

- NOTE: ALL HORIZONTAL HOT & COLD WATER MAINS ARE TO BE INSULATED. VERTICAL MAINS AS NOTED OR SHOWN ON PLANS.
- INSULATE IN CONDITIONED AND UNCONDITIONED SPACES.
- * WASTE & VENT PIPING WITHIN 6 LINEAR FEET OF ROOF DRAIN OR PIPING SHALL BE INSULATED AS PER FOLLOWING:
- ROOF DRAIN INSULATION: FIBERGLASS PIPE INSULATION - (UP TO 10" SIZES) PREFORMED FIBERGLASS UL LISTED, 0.30 BTU-INH-SF THERMAL CONDUCTIVITY AT 150°F, WITH ALL SERVICE JACKET, DOUBLE SELF SEALING LAP WITH 0.02 PERM-IN. OWENS CORNING ASI-SSL-11.
- ** FLEXIBLE UNCELLULAR (UP THRU 2") UNCELLULAR ELASTOMERIC CLOSED CELL INSULATION, 0.27 BTU-INH-SF THERMAL CONDUCTANCE AT 75°F, 3% MAXIMUM WATER ABSORPTION BY WEIGHT, ARMSTRONG AP ARMAFLEX OR RUBATEX.

PLUMBING CONNECTION/MOUNT.

FIXTURE	HOT WATER	COLD WATER	WASTE	VENT
LAVATORY OR SINK	1/2"	1/2"	1-1/2"	1-1/2"
WATER CLOSET W/ FV			3"	3"
WATER CLOSET, TANK TYPE			2"	2"
URINALS	1/2"	3/4"	1-1/2"	1-1/2"
SERVICE SINKS	1/2"	1/2"	2"	2"
MOP BASINS	1/2"			

FIXTURE	MOUNTING HEIGHT
LAVATORY OR SINK	31" FLOOR TO RIM
HANDICAPPED LAVATORIES	34" FLOOR TO RIM
WATER CLOSET	15" FLOOR RIM
HANDICAPPED WATER CLOSET	18" FLOOR TO RIM
STANDARD URINALS	22" FLOOR TO RIM
HANDICAPPED URINALS	17" FLOOR TO RIM



2 WTR. HTR. SUPPORT SHELF

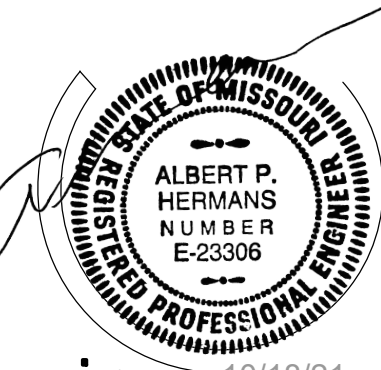
PI NO SCALE

1 PLUMBING PLAN

1/4" = 1'

- * PRIOR TO WORK, CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERSLAB PLUMBING (SANITARY SEWER & GREASE WASTE) AT PARKING GARAGE LEVEL BELOW.

GAS FIXTURES	
(4) FRYERS	360,000 BTU
4-BURN RANGE	132,000 BTU
3" CHARBROILER	120,000 BTU
3" GRIDDLE	90,000 BTU
75 GAL. WTR. HTR.	100,000 BTU
TOTAL	866,676 BTU



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TENANT FINISH
TWISTED FRESH
940A NW PRYOR RD., LEE'S SUMMIT, MO 64081

SULLIVAN PALMER ARCHITECTS
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Overland Park, Kansas
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Date: 10-15-21

Revision:

Drawn by: NCE

Sheet: **P1**

GENERAL REQUIREMENTS

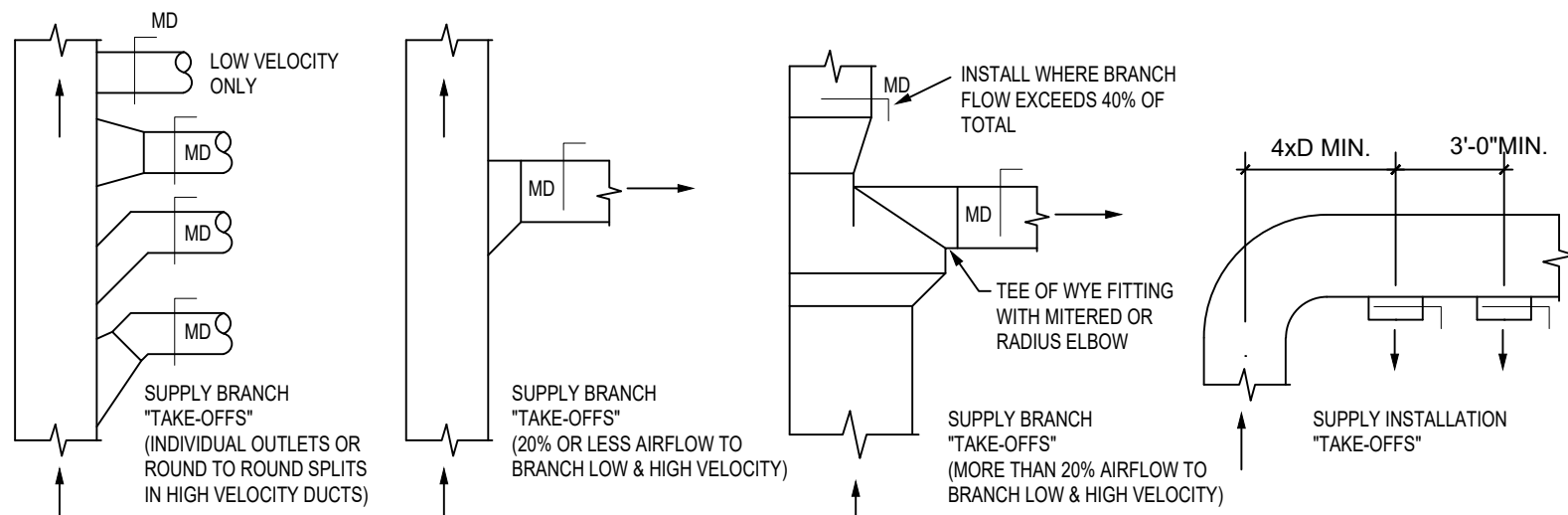
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL BUILDING, MECHANICAL, PLUMBING CODES NATIONAL ELECTRICAL CODE, NATIONAL FIRE PROTECTION CODE, EPA REGULATIONS, AND OCCUPATIONAL SAFETY & HEALTH ACT.
- CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIAL, AND EQUIPMENT TO PROVIDE COMPLETE AND FUNCTIONING INSTALLATIONS, AND ALL MATERIAL AND EQUIPMENT SHALL BE NEW UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL PROTECT ALL EXISTING WORK TO REMAIN, AND SHALL REPAIR ANY DAMAGED INCIDENTAL TO PERFORMANCE OF NEW WORK.
- INTERFERENCE WITH OWNERS OPERATIONS OR INTERRUPTION OF SERVICES SHALL BE FULLY COORDINATED WITH OTHERS.
- ACCEPTANCE OF WORK SHALL BE SUBJECT TO OWNER'S REPRESENTATIVE APPROVAL OF WORK IN PLACE AS WELL AS SHOP DRAWINGS AND SAMPLES OF MATERIALS & EQUIPMENT WHICH SHALL BE CHECKED BY CONTRACTOR BEFORE SUBMITTAL.
- CONTRACTOR SHALL SUBMIT MARKED UP CLEAN PRINTS OF AS-BUILT CONDITIONS SHOWING CONCEALED DEVIATIONS FROM DESIGN.
- CONTRACTOR SHALL KEEP PREMISES OF WORK AREA CLEAN DAILY, BROOM CLEAN AT PROJECT COMPLETION, AND SHALL REMOVE ALL REFUSE FROM SITE REGULARLY.
- CONTRACTOR SHALL BECOME COMPLETELY FAMILIAR WITH EXISTING CONDITIONS BEFORE STARTING NEW WORK. CONCEALED CONDITIONS SHALL BE ADDRESSED WITH DUE CAUTION SUCH THAT UTILITIES & SYSTEMS ARE PROTECTED.
- CONTRACTOR SHALL CUT AND PATCH HOLES IN EXISTING CONSTRUCTION AS REQUIRED FOR NEW WORK WITH DUE CAUTION SUCH AS STRUCTURAL AND WEATHER-PROOF INTEGRITY IS MAINTAINED WITHOUT IMPAIRMENT.
- CONTRACTOR SHALL WARRANTY ALL NEW WORK FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE AND SHALL REPAIR OR REPLACE AND DEFECTIVE WORK INCLUDING MATERIAL, LABOR & EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
- EXISTING CONDITIONS INDICATED ON THE DRAWINGS ARE TAKEN FROM THE BEST INFORMATION AVAILABLE ON PREVIOUS CONTRACT DRAWINGS AND FROM VISUAL SITE INSPECTIONS AND ARE NOT TO BE CONSTRUCTED AS "AS-BUILT" CONDITIONS, BUT ARE TO INDICATE THE INTENT OF THIS WORK.
- UNLESS SPECIFIED OTHERWISE, ALL EXISTING MATERIAL AND EQUIPMENT SHOWN OR REQUIRED TO BE REMOVED FROM EXISTING CONSTRUCTION AND NOT SHOWN TO BE REUSED OR TURNED OVER TO THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE.
- ALL PERMITS AND LICENSES THAT ARE REQUIRED BY GOVERNING AUTHORITIES FOR THE PERFORMANCE OF MECHANICAL AND ELECTRICAL WORK SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL EQUIPMENT IN SUCH A MANNER AS TO CONTROL THE TRANSMISSION OF NOISE AND VIBRATION FROM ANY INSTALLED EQUIPMENT OR SYSTEM, SO THE SOUND LEVEL SHALL NOT EXCEED NC35, IN ANY OCCUPIED SPACE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY OBJECTIONABLE NOISE IN ANY OCCUPIED AREA DUE TO IMPROPERLY INSTALLED EQUIPMENT.
- MECHANICAL CONTRACTOR SHALL COORDINATE EXACT DIMENSIONS AND ROUTING WITH ARCHITECTURAL REFLECTED CEILING PLAN AND THE LAYOUT OF RECESSED LIGHT FIXTURES SHOWN ON ELECTRICAL DRAWINGS AND MAKE ONLY APPROVED CHANGES TO MAINTAIN SPECIFIED CEILING HEIGHTS.
- MECHANICAL CONTRACTOR SHALL COORDINATE EXACT LOCATION OF DIFFUSERS, REGISTERS AND GRILLS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND ELECTRICAL LIGHT LAYOUT.
- MECHANICAL CONTRACTOR SHALL COORDINATE EXACT LOCATIONS OF ROOF TOP EQUIPMENT AND DUCT PENETRATIONS WITH STRUCTURAL.
- MECHANICAL CONTRACTOR SHALL SIZE AND INSTALL REFRIGERANT PIPING TO EQUIPMENT AS RECOMMENDED BY EQUIPMENT MANUFACTURER, INCLUDE ALL NECESSARY CONTROLS AND INTERLOCK WIRING, INSULATE SUCTION PIPING W/ 1" THICK ARMAFLEX (OUTDOOR INSULATION SHALL BE ULTRAVIOLET PROTECTED) W/ A U-VALUE OF .27 PER INCH/MIN.).
- MECHANICAL CONTRACTOR SHALL PROVIDE SMOKE DETECTOR IN RETURN AIR DUCT OF AIR HANDLING SYSTEMS OF 2000 CFM OR LARGER CAPACITY FOR THE AUTOMATIC SHUT-OFF OF THE SYSTEM UPON SIGNAL FROM THE SMOKE DETECTOR. EQUAL TO FENWALL DN31; BRK DH1851AC OR ROBERT SHAW 2650-150 SERIES.
- RECTANGULAR DUCT TO BE CONSTRUCTED OF PRIME GALVANIZED SHEET METAL LINED WITH 1/2", 3 lb. DENSITY FIBERGLASS INSULATION, ROUND FLEXIBLE DUCT TO BE THERMAFLEX TYPE MKC OR EQUAL WITH 1" FIBERGLASS INSULATION EXTERNALLY WRAPPED. PLANS REFLECT COMPENSATION OF 1/2" INTERIOR INSULATION LINER.
- MECHANICAL CONTRACTOR SHALL PROVIDE AND INSTALL TURNING VANES AND VOLUME EXTRACTOR WHERE SHOWN ON DRAWINGS AND AS REQUIRED FOR SMOOTH AIRFLOW.
- MECHANICAL CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO SUBMITTING A BID. FIELD CHECK AND VERIFY EXACT SIZE AND LOCATION OF ALL EXISTING EQUIPMENT AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- MECHANICAL CONTRACTOR SHALL COORDINATE ALL WIRING AND ELECTRICAL INTERLOCKS WITH THE ELECTRICAL CONTRACTOR.
- PLUMBING CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO SUBMITTING A BID. FIELD VERIFY ALL UTILITIES LOCATION, SIZE ACCESSIBILITY AND FEES. REPORT ANY DISCREPANCIES TO THE ENGINEER/ARCHITECT IMMEDIATELY.
- PLUMBING CONTRACTOR TO PROVIDE WHEELHANDLE STOPS AND AIR CHAMBERS ON ALL HOT & COLD WATER LINE PRIOR TO CONNECTION TO EACH FIXTURES.
- PLUMBING CONTRACTOR TO CONNECT ALL GAS (PROPANE) LINES TO GAS FIRED EQUIPMENT THRU GAS COCK, UNION, & DIRT LEG, (PER AGA STANDARDS).
- FIRE DAMPERS ARE REQUIRED AT EACH FIRE RATED WALL, CEILING AND FLOOR DUCT PENETRATION AS SHOWN OR NOTED ON MECHANICAL AND ARCHITECTURAL FLOOR PLANS (SEE DETAIL). FIELD IDENTIFY DUCT SIZE FOR SPECIFIC DAMPER SIZES, AND PROVIDE ACCESS PANELS AS REQUIRED FOR EACH FIRE DAMPER.
- MECHANICAL CONTRACTOR TO INSTALL NEW CEILING DIFFUSERS SHOWN, IN NEW REFLECTED CEILING PLAN CONFIGURATION. SEE ARCHITECTURAL AND ELECTRICAL PLANS FOR COORDINATION, SPEAKERS, AND ALARM SYSTEMS.
- ALL MEMBRANE PENETRATIONS SUCH AS STEEL, FERROUS, COPPER, PIPES, VENTS, ELECTRICAL OUTLET BOXES, OR TUBES ARE TO BE PROTECTED MAINTAINING THE FIRE RESISTANCE INTEGRITY OF THE DEMISING WALLS.
- HVAC DUCT DETECTORS ARE TO BE IN THE RETURN AIR DUCT. DUCT DETECTORS TO Tie INTO THE BUILDING FIRE ALARM SYSTEM.
- HVAC UNITS TO HAVE DUCT SMOKE DETECTORS INSTALLED, AND SHALL HAVE REMOTE INDICATORS IF THE DETECTORS ARE IN CONCEALED LOCATIONS OR MORE THAN 10' OFF THE FLOOR. SMOKE DETECTORS MUST BE READILY VISIBLE TO FIRE DEPARTMENT PERSONNEL.

SCHEDULE OF PIPE AND FITTING MATERIAL

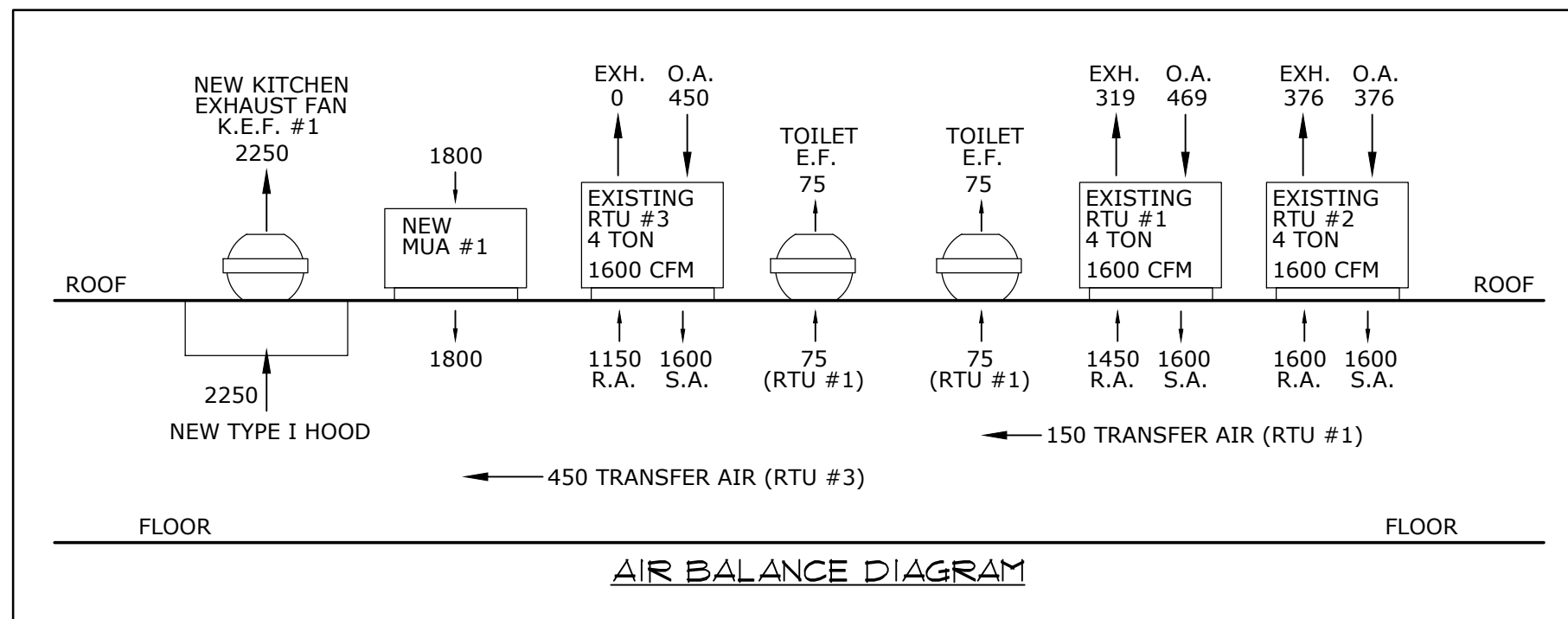
SERVICE	MATERIAL	JOINTS	FITTINGS	NOTES
CONDENSATE DRAINS	COPPER "M" HARD	SOLDERED OD BRAZED	WROUGHT COPPER OR CAST BRONZE	①
VENTS AND WASTE LINES (ABOVE GROUND)	SERVICE WEIGHT CAST IRON (CI)	LEAD OR TYSEAL	CAST IRON	①
SOIL LINES (BELOW GROUND) - UNDER SLAB	CAST IRON (CI)	LEAD OR TYSEAL	CAST IRON	②
REFRIGERANT AND DOMESTIC WATER PIPE - (BELOW GROUND) SMALLER THAN 3"	COPPER "K" SOFT DRAWN	SOLDERED OR BRAZED	WROUGHT COPPER OR CAST BRONZE	⑥ ⑦
DOMESTIC WATER 3" AND LARGER	DUCTILE IRON	MECHANICAL		
DOMESTIC WATER PIPE (ABOVE GROUND)	COPPER "L" HARD ASTM C-200	SOLDERED OR BRAZED	WROUGHT COPPER OR CAST BRONZE	⑦
SEWER LINE PIPING (BELOW GROUND) NOT UNDER SLAB	VCP EXTRA STRENGTH ASTM C-200	ASTM C-425	ASTM C-200	① ②
GAS PIPE (BELOW GROUND)	SCHEDULE 40, BLACK STEEL-TRUE COATED AND WRAPPED	CAST IRON	CAST IRON MALLEABLE IRON	③ ④
GAS PIPE (ABOVE GROUND)	SCHEDULE 40 BLACK STEEL	SCREWED	CAST IRON MALLEABLE IRON	③ ⑤

NOTES

- PVC OR ABS SCHEDULE 40, SOLVENT WELDED JOINTS MAY BE USED ONLY WITH WRITTEN AUTHORIZATION OF APPROVAL BY LOCAL INSPECTING AUTHORITY SUBMITTED BELOW TO ARCHITECT AND ENGINEER PRIOR TO BIDDING. CONDITIONS OF NOTE: BEL-35 SCR-35 SANITARY PIPE WHEN APPROVED.
- NO PVC OR ABS TO BE USED IN TYPE II CONSTRUCTION, THROUGH OR IN RETURN AIR PLENUMS, IN CITIES WHERE SUCH MATERIAL IS NOT ACCEPTABLE, OR BELOW BUILDING SLAB OR DRIVEWAY SURFACES.
- SCREWED GAS CONNECTION FOR 2" AND SMALLER; WELDED CONNECTION FOR 2" AND LARGER, AND IN RETURN AIR PLENUMS.
- THREADS AND WELDS PAINTED PRIOR TO WRAPPING. ALL EXTERIOR PIPING (ESPECIALLY ON ROOF) TO BE PAINTED (COLOR BY ARCHITECT) TO MATCH ADJACENT SURFACE. PROVIDE CATHODIC UNDERGROUND PROTECTION ON GAS PIPING AS RECOMMENDED BY LOCAL KPL GAS SERVICE (FOR GOVERNING AUTHORITY)
- CONNECT ALL GAS TO EQUIPMENT THROUGH GAS COCK, UNION AND DIRT LEG.
- NO WATER FITTINGS OR CONNECTIONS BELOW FLOOR SLAB. MAKE GRADUAL BEND OR RADII.
- PROVIDE AIR CHAMBERS 18" TALL PRIOR TO CONNECTION OF HOT/COLD WATER LINES TO PLUMBING FIXTURES. COLD WATER LINES TO PLUMBING FIXTURES. ALL POTABLE WATER SYSTEMS SOLDERING TO BE 55S, TIN ANTIMONIAL OR UL, BOCA, UPC APPROVAL FOR SUBSTITUTION.



DUCT STANDARDS
NO SCALE



OUTDOOR AIR REQUIREMENTS:

EXISTING RTU #1
DINING: 10 Occ per 1000 SF. = 313 SF. / 1000 SF.
= 313 X 10 = 2611 Occ X 1.5 CFM per Occ
= 195.825 CFM
18 CFM per SF. = 18 CFM X 313 SF.
= 5634 CFM
195.825 + 5634 = 5829.825 CFM / 0.8 = 328.7
RESTROOMS: 10 CFM per Fixture
= 10 CFM X 1 Fixture
= 10 CFM
TOTAL: 469 CFM

EXISTING RTU #2
DINING: 10 Occ per 1000 SF. = 666 SF. / 1000 SF.
= 666 X 10 = 4661 Occ X 1.5 CFM per Occ
= 349.65 CFM
18 CFM per SF. = 18 CFM X 666 SF.
= 11988 CFM
349.65 + 11988 = 46933 CFM / 0.8 = 375.6
TOTAL: 376 CFM

EXISTING RTU #3
KITCHEN: 20 Occ per 1000 SF. = 815 SF. / 1000 SF.
= 815 X 20 = 16300 Occ X 1.5 CFM per Occ
= 12225 CFM
12 CFM per SF. = 12 CFM X 815 SF.
= 9780 CFM
12225 + 9780 = 22005 CFM / 0.8 = 275.1
DINING: 10 Occ per 1000 SF. = 16 SF. / 1000 SF.
= 16 X 10 = 532 Occ X 1.5 CFM per Occ
= 39.9 CFM
18 CFM per SF. = 18 CFM X 16 SF.
= 1368 CFM
39.9 + 1368 = 5358 CFM / 0.8 = 67
HALL: 06 CFM per SF. = 06 CFM X 123 SF.
= 738 CFM / 0.8 = 92
TOTAL: 351 CFM

SYMBOLS & LEGEND

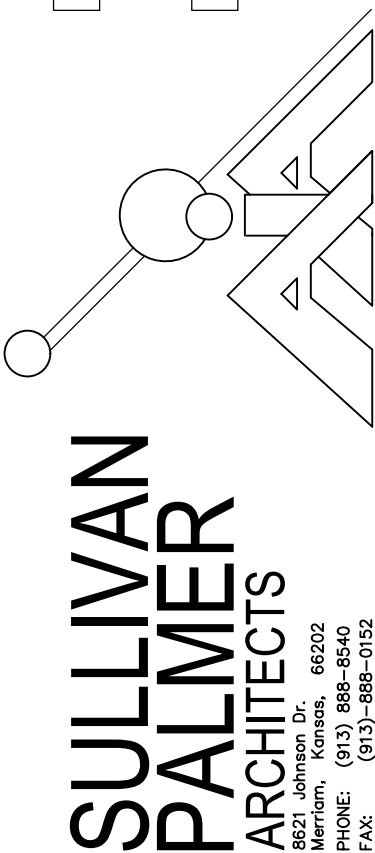
EXISTING DUPLEX OUTLET TO REMAIN	HOVERLINE ARROWHEADS INDICATE NUMBER OF CIRCUITS
EXISTING DUPLEX OUTLET TO BE REMOVED	NEW BRANCH CIRCUIT, CONCEALED IN WALL, CEILING, OR SLAB.
NEW DUPLEX OUTLET	DUPLEX RECEPTACLE
NEW PHONE WALL BOX, CONDUIT TO CEILING AND PULL WIRE - PHONE INSTALLATION BY TENANT	FOURPLEX RECEPTACLE
EXISTING TELEPHONE BOX TO REMAIN	GROUND FAULT INTERRUPT DUPLEX (GFI)
EXISTING PHONE BOX TO BE REMOVED	TELEPHONE OUTLET
NEW SINGLE POLE WALL SWITCH	DATA OUTLET
EXISTING SINGLE POLE SWITCH TO REMAIN	SINGLE POLE SWITCH
EXISTING SWITCH TO BE REMOVED	THREE WAY SWITCH
NEW 2'x4' FLUORESCENT FIXTURE IN CEILING GRID OR EXISTING FIXTURE RELOCATED IN CEILING GRID	SINGLE POLE KEYED SWITCH
EXISTING 2'x4' FLUORESCENT FIXTURE TO REMAIN	JUNCTION BOX
EXISTING 2'x4' FLUORESCENT FIXTURE TO BE REMOVED	DISCONNECT SWITCH
CEILING MOUNTED SUPPLY GRILL	FUSED DISCONNECT SWITCH
CEILING MOUNTED RETURN AIR GRILL	MOTOR
EXISTING TOILET FAN	MANUAL MOTOR STARTER
NEW EXIT LIGHT W/ BATTERY BACK-UP	THERMOSTAT
RELOCATED EMERGENCY LIGHT	COMBINATION STARTER/DISCONNECT
EXISTING WALL PANELS TO BE REMOVED	FLOW SWITCH
EXISTING WALL TO REMAIN	OCG. SENSOR W/ AUTOMATIC-ON CONTROL
NEW WALL CONSTRUCTION TO BE 3-5/8" MTL. STUDS @ 16" O.C. WITH 5/8" GYP. BD. ON BOTH SIDES, TAPE, SAND AND FINISH PER FINISH SCHEDULE	OCG. SENSOR W/ MANUAL-ON CONTROL
NEW DOORS AND FRAMES TO MATCH EXISTING. AT NEW GYP. BD. PARTITIONS. INSTALL NEW DOORS AND FRAMES, AND HARDWARE TO MATCH EXISTING. RE: FLOOR PLAN NOTES.	

MECHANICAL PLAN

- CONTRACTOR SHALL FIELD VERIFY EXISTING RTU SIZE PRIOR TO WORK.
- CONTRACTOR TO REPORT ANY ISSUES WITH ARCHITECT/ENGINEER PRIOR TO WORK.
- FIELD VERIFY EXISTING ROOF-MOUNTED (3) AIR CONDITIONERS PRIOR TO WORK.
- NO FLEXIBLE DUCT RUNS SHALL BE LONGER THAN 14'.
- ANY INTAKE AIR LOCATIONS SHALL BE LOCATED 10'-0" MIN. FROM ANY EXTERIOR EXHAUST.
- TYPE I HOOD'S MANUAL PULL STATION SHALL BE INSTALLED BETWEEN 10'-20' FROM EXHAUST SYSTEM.



TENANT FINISH
SOC
TWISTED FRESH
940A NW PRYOR RD., LEE'S SUMMIT, MO 64081



Date:
10-15-21

Revision:

Drawn by:
NCE

Sheet:

M1

ELECTRICAL SPECIFICATIONS

1. CONDUIT

- (A) ALL ELECTRICAL WIRING, INCLUDING LOW VOLTAGE WIRING, SHALL BE INSTALLED CONDUIT AS HEREIN SPECIFIED. NO CONDUIT OR TUBING OF LESS THAN 3/4 INCH NOMINAL SIZE SHALL BE USED, FOR EMT. ONLY COMPRESSION TYPE FITTINGS SHALL BE USED (MINIMUM SIZE 3/4 INCH).
- (B) CONDUIT SHALL BE HOT-DIP GALVANIZED INSIDE AND OUTSIDE INCLUDING ENDS AND THREADS AND ENAMELED OR LACQUERED INSIDE IN ADDITION TO GALVANIZING.
- (C) CONDUIT FOR INTERIOR WIRING, IN GENERAL, SHALL BE RIGID GALVANIZED STEEL ON EMT UNLESS OTHERWISE NOTED. CONDUIT INSTALLED IN CONCRETE SLABS AND ON THE EXTERIOR OF THE BUILDING SHALL BE RIGID STEEL. SHORT RUNS OF GALVANIZED FLEXIBLE CONDUIT SHALL BE USED FOR THE CONNECTIONS OF MOTOR DRIVEN EQUIPMENT.
- (D) RACEWAYS SHALL BE CONTINUOUS FROM OUTLET TO OUTLET AND FITTING TO FITTING. A RUN OF CONDUIT BETWEEN OUTLETS OR FITTINGS SHALL NOT CONTAIN MORE THAN THE EQUIVALENT OF FOUR QUARTER-BENDS INCLUDING THOSE BENDS LOCATED IMMEDIATELY AT THE OUTLET OR FITTING. THE RADIUS OF BENDS SHALL NOT BE LESS THAN THAT OF THE CORRESPONDING TRADE ELBOW. THE SYSTEM SHALL BE COMPLETE WITH OUTLETS, DISTRIBUTION BOXES, ETC. SMOOTH INSIDE AND OUTSIDE AND MECHANICALLY SECURE IN PLACE. APPROVED STRAPS, HANGERS, OR SUPPORTS SHALL BE USED TO SECURE CONDUITS IN PLACE. CONDUITS SHALL, IN GENERAL, BE SUPPORTED AT INTERVALS NOT EXCEEDING 10'-0".
- (E) CONDUITS SHALL BE CONCEALED WITHIN THE WALLS, CEILING, AND FLOORS (INSULATED BUSHINGS OR THIN-WALL CONNECTORS WITH INSULATED THROAT SHALL BE USED WITH CONDUITS 1-1/4 INCH AND LARGER IF CONDUIT CANNOT BE CONCEALED IN EXISTING WALLS. GENERAL CONTRACTOR TO INSTALL FURRED GYPSUM BOARD WALL EXTENDING A MINIMUM DISTANCE FROM EXISTING WALL TO PROVIDE COVERAGE.

2. WIRE AND CABLE:

- (A) WIRE AND CABLE SHALL BE OF SIZES AS SHOWN ON THE DRAWINGS OR HEREIN SPECIFIED.
- (B) ALL CONDUCTORS SHALL BE NO. 12 AWG COPPER UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL CONDUCTOR SIZES SHOWN ON THE DRAWINGS ARE FOR COPPER CONDUCTORS.
- (C) NO. 10 AWG AND SMALLER CONDUCTORS SHALL BE SOLID WITH TYPE THIN OR THIN INSULATION AND NO. 8 AWG AND LARGER CONDUCTORS SHALL BE STRANDED WITH TYPE THIN OR THIN INSULATION EXCEPT THAT CONDUCTORS WITHIN 3 INCHES OF LIGHT FIXTURE BALLASTS SHALL HAVE THIN OR EQUAL. INSULATION RATED FOR 150°C APPLICATION.

3. WALL PLATES:

- (A) GROUPS OF SWITCHES OR SWITCH AND OUTLET COMBINATIONS SHALL BE MOUNTED UNDER ONE MULTI-GANG PLATE.
- (B) WALL PLATES SHALL FIT AND COVER PROPERLY THE DEVICE AND WALL OPENING. NO OPEN OR UNFINISHED SURFACES SHALL SHOW AFTER INSTALLATION OF THE WALL PLATES.
- (C) WALL PLATES FOR ALL DEVICES AND TELEPHONE OUTLETS, UNLESS OTHERWISE NOTED, SHALL BE WHITE PLASTIC.

4. WIRING DEVICES:

- (A) WALL TUBES/ER SWITCHES FOR GENERAL USE SHALL BE SPECIFICATION GRADE GENERAL ELECTRIC NO. GE-5431-2, OR EQUAL. WALL SWITCHES SHALL BE OF THE MECHANICALLY SILENT TYPE WITH WHITE PLASTIC HANDLES, AND SHALL BE RATED 20 AMPERES AC, 120/277 VOLTS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- (B) TWENTY AMPERE 120/208 VOLT TOGGLE SWITCHES SHALL BE GENERAL ELECTRIC NO. GE-5951-2, OR EQUAL.
- (C) CONVENIENCE OUTLETS SHALL BE GENERAL ELECTRICAL NO. GE-4060-2, WHITE, DUPLEX, GROUNDING TYPE RECEPTACLE, OR EQUAL.
- (D) GFI OUTLET SHALL BE HUBBELL NO. GF-53621, WHITE, DUPLEX GROUND FAULT TYPE, OR EQUAL.

5. TELEPHONE:

- (A) TELEPHONE WALL OUTLETS SHALL CONSIST OF AN OUTLET BOX WITH GENERAL ELECTRIC NO. GE-12181 SMOOTH WHITE WALL PLATE AND 3/4 INCH CONDUIT UP IN WALL TO TERMINATION ABOVE CEILING. INSTALL TELEPHONE SWITCH BOX ABOVE CEILING.

6. LIGHTING AND POWER PANELBOARDS:

- (A) LIGHTING AND POWER PANELBOARDS SHALL BE GENERAL ELECTRIC TYPE NAB, SURFACE MOUNT, 120/208 VOLT, 3 PHASE, 4 WIRE WITH CIRCUIT BREAKERS AS NOTED ON THE DRAWINGS OR EQUAL.
- (B) BREAKERS SHALL BE BOLT-ON TYPE HAVING 10000 SYMMETRICAL AMPERES INTERRUPTING CAPACITIES.
- (C) A TYPEWRITTEN DIRECTORY FOR EACH PANELBOARD, SHOWING THE FUNCTION OF EACH BREAKER SHALL BE FURNISHED & INSTALLED.

7. SAFETY SWITCH:

- (A) SAFETY SWITCH SHALL BE GENERAL DUTY FUSIBLE TYPE AS INDICATED ON THE DRAWINGS. VERIFY LOCATION & TYPE W/ LANDLORD.

ELECTRICAL GENERAL NOTES

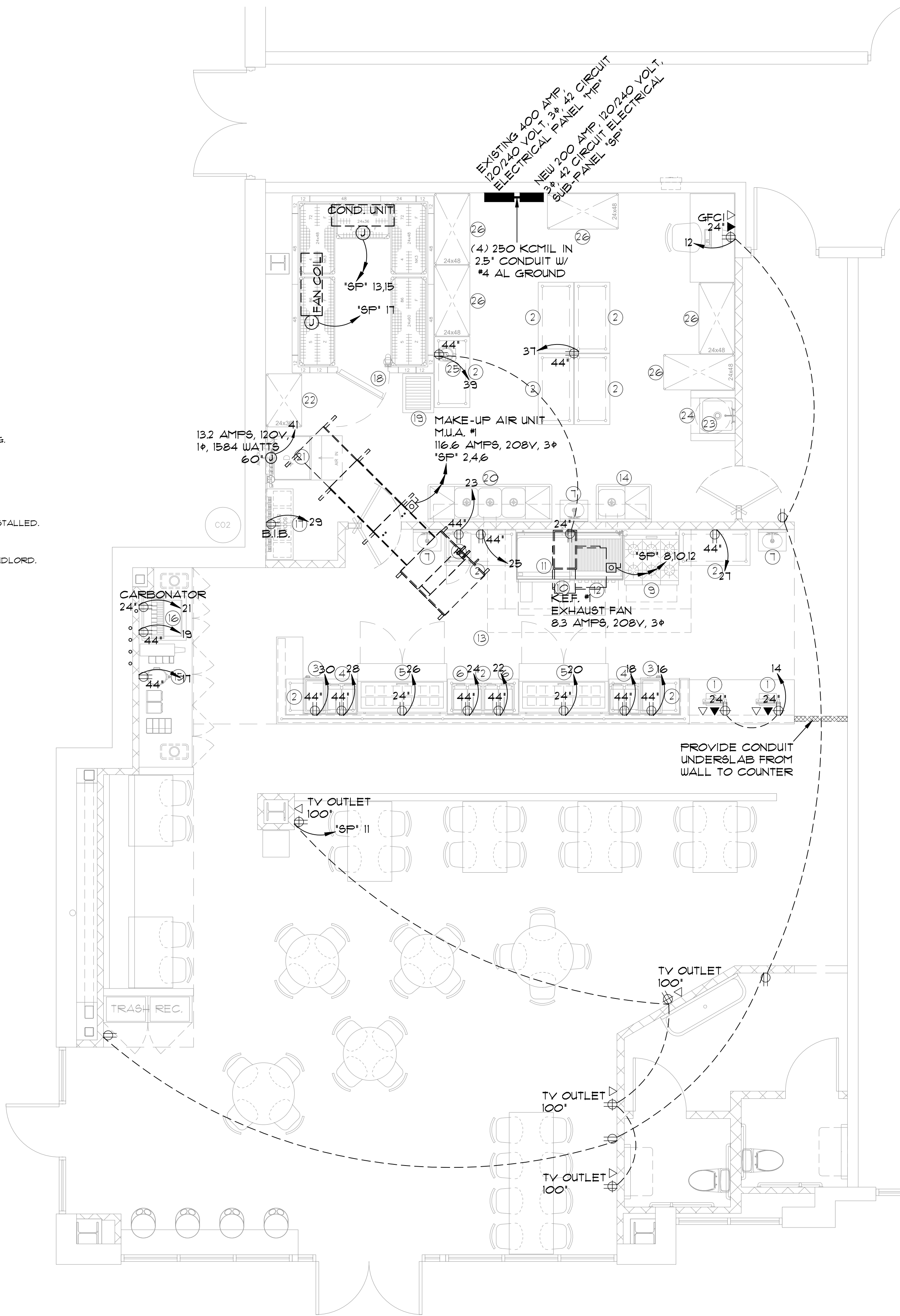
- ALL ELECTRICAL OUTLETS WITHIN 6 FEET OF SINK OR LAVATORY SHALL BE GFI PROTECTED.
- EXIT LIGHTS SHALL BE E-CO-NO-LIGHT LED WITH BATTERY BACK-UP, WITH STENCIL FACE, OR APPROVED EQUAL.
- EMERGENCY LIGHTS TO BE E-CO-NO-LIGHT LED WITH BATTERY BACK-UP, OR APPROVED EQUAL.
- EXTERIOR EMERGENCY LIGHTS TO BE E-CO-NO-LIGHT LED WITH BATTERY BACK-UP, OR APPROVED EQUAL.
- ALL ELECTRICAL SYSTEM TO COMPLY WITH NEC AND APPLICABLE LOCAL CODES.
- ALL ELECTRICAL WORK SHALL MEET ALL CITY AND ELECTRIC BUILDING CODES.
- ELECTRICAL CONTRACTOR TO VERIFY EXISTING LINE VOLTAGES AND VERIFY COMPATIBILITY OF COOKING EQUIPMENT PRIOR TO THE START OF ANY WORK. REPORT ANY INCOMPATIBILITY TO THE ARCHITECT.
- TELEPHONE LOCATIONS, PROVIDE STANDARD PHONE JACKS AT LOCATIONS INDICATED. WIRE BACK TO EXISTING PHONE BOARD LOCATION.
- DUPLEX OUTLETS IN EACH ROOM AND ALL WALLS PER CODE. OUTLET HEIGHT SHALL BE 12" AFF OR AS NOTED ON DRAWINGS AND OUTLETS LOCATED ABOVE CASEWORK OR EQUIPMENT SHALL CLEAR THE CASEWORK OR EQUIP. AND SHALL BE AT MIN 42" AFF TO THE BTM. OF OUTLET.
- T = THERMOSTAT LOCATION.
- ALL WIRING AND CONDUIT SHALL BE CONCEALED. NO ELECTRICAL ROUGH-IN ITEMS SHALL BE EXPOSED.
- ALL MEMBRANE PENETRATIONS SUCH AS STEEL, FERROUS, COPPER, PIPES, VENTS, ELECTRICAL OUTLET BOXES, OR TUBES ARE TO BE PROTECTED MAINTAINING THE FIRE RESISTANCE INTEGRITY OF THE DEMISING WALLS.
- FIRE ALARM MODIFICATION & REWORKING SHALL BE PERFORMED BY A QUALIFIED FIRE ALARM CONTRACTOR WHO WILL DESIGN & PREPARE PLANS WHICH ARE TO BE SUBMITTED TO BUILDING INSPECTION THROUGH THE PERMIT PROCESS FOR APPROVAL PRIOR TO ANY WORK BEING PERFORMED ON THE SYSTEM. TENANT SHALL HAVE ALARM SYSTEMS TIED INTO LANDLORD COMMON MALL SYSTEMS.
- STOREFRONT SIGNS REQUIRE A LOCAL DISCONNECT (AT EACH STOREFRONT SIGN), AND ON A TIME CLOCK.

SYMBOLS & LEGEND

	EXISTING DUPLEX OUTLET TO REMAIN		HORIZONTAL ARROWHEADS INDICATE NUMBER OF CIRCUITS
	EXISTING DUPLEX OUTLET TO BE REMOVED		NEW BRANCH CIRCUIT CONCEALED IN WALL, CEILING OR SLAB
	NEW PHONE WALL BOX, CONDUIT TO CEILING AND PULL WIRE. PHONE INSTALLATION BY TENANT		DUPLEX RECEPTACLE
	EXISTING TELEPHONE BOX TO REMAIN		FOURPLEX RECEPTACLE
	EXISTING SINGLE POLE SWITCH TO REMAIN		GROUND FAULT INTERRUPT DUPLEX (GFI)
	EXISTING SWITCH TO BE REMOVED		TELEPHONE OUTLET
	NEW 2'X4' FLUORESCENT FIXTURE IN CEILING GRID OR EXISTING FIXTURE RELOCATED IN CEILING GRID		DATA OUTLET
	EXISTING 2'X4' FLUORESCENT FIXTURE TO REMAIN		SINGLE POLE SWITCH
	EXISTING 2'X4' FLUORESCENT FIXTURE TO BE REMOVED		THREE WAY SWITCH
	CEILING MOUNTED SUPPLY GRILL		SINGLE POLE KEYED SWITCH
	CEILING MOUNTED RETURN AIR GRILL		JUNCTION BOX
	EXISTING TOILET FAN		DISCONNECT SWITCH
	NEW TOILET FAN		FUSED DISCONNECT SWITCH
	EXISTING EXIT LIGHT W/ BATTERY BACK-UP		MOTOR
	NEW EXIT LIGHT W/ BATTERY BACK-UP		MANUAL MOTOR STARTER
	EXISTING EMERGENCY LIGHT		THERMOSTAT
	EXISTING WALL PANELS TO BE REMOVED		COMBINATION STARTER/DISCONNECT
	EXISTING WALL TO REMAIN		FLOW SWITCH
	NEW WALL CONSTRUCTION TO BE 3-5/8" MTL. STUDS @ 16" O.C. WITH 5/8" GYP. BD. ON BOTH SIDES, TAPE, SAND AND FINISH PER FINISH SCHEDULE		OCC. SENSOR W/ AUTOMATIC-ON CONTROL
	NEW DOORS AND FRAMES TO MATCH EXISTING. AT NEW GYP. BD. PARTITIONS, INSTALL NEW DOORS AND FRAMES, AND HARDWARE TO MATCH EXISTING. RE: FLOOR PLAN NOTES.		OCC. SENSOR W/ MANUAL-ON CONTROL

EQUIPMENT SCHEDULE

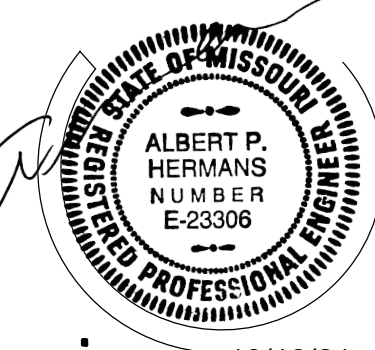
Item No.	Qty	Equipment Category	Manufacturer	Model Number	Volt	Ph	Amp	Watt	HW	CW	BTU	Equipment Remarks
1	2	P.O.S. CASH REGISTER	----	----	120	1						BY OWNER
2	10	48" x 24" S.S. WORK TABLE	ELKAY	SEW24548-STG-X								
3	2	COUNTERTOP FOOD WARMER	NEMCO	6055A	120	1	10	1200				
4	2	2-SIDED SANDWICH/PANINI GRILL	STAR	GX1415	120	1	15	1800				
5	2	SANDWICH FOOD PREP REFRIGERATOR	NOR-LAKE	NLSMP60-24	120	1	7.9	948				
6	2	SANDWICH/PANINI GRILL	GLOBE	GSG14D	120	1	15	1800				
7	3	HAND SINK	JOHN BOOS	PBH5-W-1410-P-SSLR					1/2"	1/2"		
8	1	MICROWAVE	PANASONIC	NE-1054F	120	1	13.4	1608				
9	1	6-BURNER RANGE W/ STANDARD OVEN	CARLSON	G36-6R						236,000		
10	1	REFRIGERATED CHEF BASE	NOR-LAKE	NLCB72	120	1	3	345				
11	1	COUNTERTOP GRIDDLE	WELLS	HDTG3630G						90,000		
12	1	COUNTERTOP CHARBROILER	WELLS	HDCB-3630G						120,000		
13	1	EXHAUST HOOD 10'-6" x 4'-6"	CAPTIVE AIRE									RE: MECH. & ELECT. DWGS FOR SPECS
14	1	1-COMP. PREP SINK	SKIBEE	SKIC118181418L					1/2"	1/2"		
15	1	ICE TEA URN	----	----	120	1						
16	1	SODA DISPENSER	----	----	120	1				1/2"		RE: MANUF. SPECS FOR ICE MAKER ELECT. REQ.
17	1	BAG-IN-BOX	----	----	120	1						RE: MANUF. SPECS FOR ELECT. REQ.
18	1	8" x 10" WALK-IN COOLER	NOR-LAKE	KL874810-C								RE: MANUF. SPECS FOR ELECT. REQ.
19	1	BUN PAN RACK	WINCO	ALRK-20								
20	1	3-COMP. SINK	SKIBEE	SKIC3116201418RL					1/2"	1/2"		W/ PRE-RINSE FAUCET (1/2" HW & 1/2" CW)
21	1	ICE MACHINE	MANITOWOC	MT0450A ON D-400 BIN	120	1	13.2	1584		1/2"		W/ 3M #ICE125-S WATER FILTER (1/2" CW)
22	1	36" x 24" S.S. SHELVING UNIT	----	----								
23	1	MOP SINK	ADVANCE TABCO	9-OP-20-EC-X (OR APPROVED EQUAL)					1/2"	1/2"		
24	1	75 GALLON WATER HEATER	A.O. SMITH	BTXL-100 (OR APPROVED EQUAL)						100,000		MOUNT ON PLATFORM ABOVE MOP SINK
25	1	ELECTRIC FOOD PROCESSOR	ROBOT COUPE	R2N	120	1	7	840				
26	5	48" x 24" S.S. SHELVING UNIT	----	----								



1 ELECTRICAL PLAN

1/4" = 1'

* ALL CIRCUITS SHALL BE ON ELECTRICAL PANEL "MP", UNLESS INDICATED OTHERWISE AS "SP".

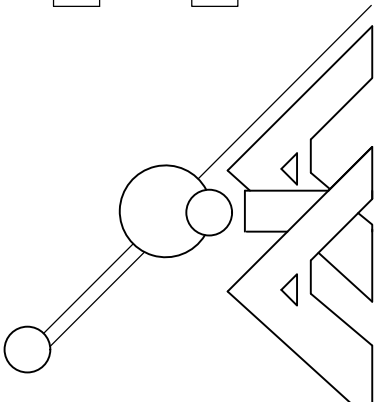


10/18/21

ENGINEERING, INC.
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TENANT FINISH
TWISTED FRESH

940A NW PRYOR RD., LEE'S SUMMIT, MO 64081



SULLIVAN
PALMER
ARCHITECTS
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Lee's Summit, MO
816/258-0102 FAX

Date:
10-15-21

Revision:

Drawn by:
NCE

Sheet:
E1

LIGHTING FIXTURE SCHEDULE ①②							
SYMBOL	TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMPS	MOUNTING	VOLTS
○	A	4" CYLINDER	PRESCOLITE	LTC-4RD-CM-10L35K8NR-DM1NXE_-SBLBT-BL	12W, 3500K, 80 CRI, 1000 LUMENS	SUSPEND @ 10' A.F.F.	120
⎓	B	TRAC LIGHT	JUNO	TRAC-MASTER AVANT GARDE "CYLINDRA 15W LED" T254L_-G2-35K-80CRI-PDIM-NFL-BL, 8' LONG TRAC	4 TRACK HEADS 15.2W EA., 3500K, 80 CRI	SUSPEND @ 9' A.F.F.	120
⊙	C	PENDANT	BESA	1XT-719841-LED-SN	5W, 3000K, 90 CRI	SUSPEND @ 6'-8" A.F.F.	120
○	D	LED DOWN	HE WILLIAMS	6DR-L10/835-UNV-O-M-OF-CS-WET/CC-N-F1 W/ WHITE TRIM	8.7W, 3500K, 80 CRI	RECESSED	120
□	E	LED TROFFER	HE WILLIAMS	50G-S24-L33/835-F-AF12125-EM/10W-WET-DRV-UNV	25W, 3500K, 80 CRI	SUSPEND @ 6'-8" A.F.F.	120
⎓	F	TRAC LIGHT	JUNO	TRAC-MASTER AVANT GARDE "CYLINDRA 15W LED" T254L_-G2-35K-80CRI-PDIM-NFL-BL, 4' LONG TRAC	2 TRACK HEADS 15.2W EA., 3500K, 80 CRI	SUSPEND @ 9' A.F.F.	120
⊙	G	PENDANT	BESA	1XP-719841-LED-SN ON 12" TRAC W/ RAIL ADAPTER	5W, 3000K, 90 CRI	SUSPEND @ 6'-8" A.F.F.	120
○○○	H	WALL SCONCE		SELECTED BY OWNER, INSTALLED BY CONTRACTOR		SURFACE	120

NOTES:
① ALL LIGHTING FIXTURES ARE TO BE PROVIDED BY ELECTRICAL CONTRACTOR.
② INSTALLATION OF LIGHTING FIXTURES TO BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND ACCORDING TO CODE REQUIREMENTS.

PANEL BOARD SCHEDULE "MP"											
	A	B	C	CIRCUIT •	BREAKER	POLE	POLE	BREAKER	CIRCUIT •		
EXIST. 4 TON CU #1	3144			1	45	2	2	45	2	3144	EXIST. 4 TON CU #3
EXIST. 4 TON CU #1		3144		3	45	2	2	45	4	3144	EXIST. 4 TON CU #3
EXIST. 4 TON AHU #1			1800	5	20	2	2	20	6	1800	EXIST. 4 TON AHU #3
EXIST. 4 TON AHU #1		1800		7	20	2	2	20	8	1800	EXIST. 4 TON AHU #3
EXIST. 4 TON CU #2		3144		9	45	2	1	20	10	1500	
EXIST. 4 TON CU #2			3144	11	45	2	1	20	12	1500	OUTLETS
EXIST. 4 TON AHU #2		1800		13	20	2	1	20	14	1500	P.O.S. CASH REG.
EXIST. 4 TON AHU #2		1800		15	20	2	1	20	16	1200	FOOD WARMER
ICE TEA URN			1500	17	20	1	1	20	18	1800	2-SIDED PANINI
SODA DISPENSER		1500		19	20	1	1	20	20	948	REFG. PREP UNIT
CARBONATOR		1500		21	20	1	1	20	22	1800	PANINI
MICROWAVE		1500		23	20	1	1	20	24	1800	PANINI
DED. OUTLET		1500		25	20	1	1	20	26	948	REFG. PREP UNIT
DED. OUTLET		1500		27	20	1	1	20	28	1800	2-SIDED PANINI
BAG-IN-BOX		1500		29	20	1	1	20	30	1200	FOOD WARMER
SPARE		***		31	20	1	1	20	32	***	SPARE
SPARE		***		33	20	1	1	20	34	***	SPARE
SPARE		***		35	20	1	1	20	36	***	SPARE
KITCHEN OUTLETS		1500		37	20	1	3	200	38	18250	SUB-PANEL 'SP'
FD FROC/REFG BASE		1185		39	20	1	3	200	40	19,150	SUB-PANEL 'SP'
ICE MACHINE		1584		41	20	1	3	200	42	18,082	SUB-PANEL 'SP'
TOTALS	11,244	12,213	11,028							26,590 28,594 26,182	

EXISTING 400 AMP MAIN PANEL, SURFACE-MOUNTED, 120/240, 3 PHASE, 4 WIRE, 42 CIRCUITS 115.911 KVA

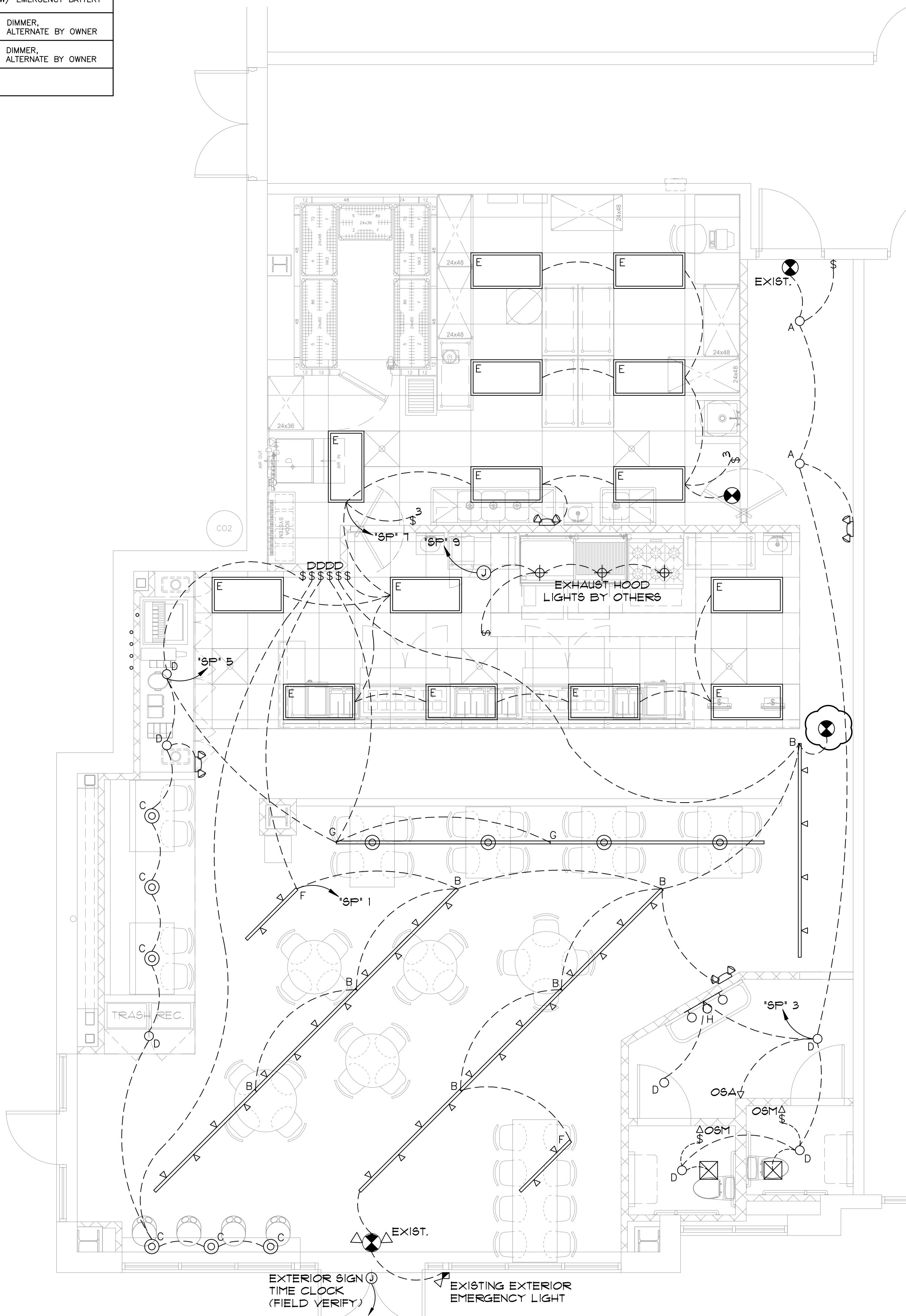
CONTRACTOR TO FIELD VERIFY EXISTING AMPERAGE PROVIDED TO TENANT SPACE PRIOR TO WORK.
CONTRACTOR TO FIELD VERIFY EXISTING BREAKERS OF EXISTING CIRCUITS TO REMAIN - COORD. W/ TENANT.

PANEL BOARD SCHEDULE "SP"											
	A	B	C	CIRCUIT •	BREAKER	POLE	POLE	BREAKER	CIRCUIT •		
DINING TRAC	600			1	20	1	3	125	2	13,986	M.U.A. #1
RR/HALL OUTLETS		400		3	20	1	3	125	4	13,986	M.U.A. #1
DINING LIGHTS			100	5	20	1	3	125	6	13,986	M.U.A. #1
KITCHEN LIGHTS		400		7	20	1	3	20	8	936	K.E.F. #1
EXH. HOOD LIGHTS		1500		9	20	1	3	20	10	936	K.E.F. #1
TV OUTLETS		1500		11	20	1	3	20	12		K.E.F. #1
WALK-IN COND. UNIT		2268		13	20	1	1	20	14	***	SPARE
WALK-IN COND. UNIT		2268		15	20	1	1	20	16	***	SPARE
WALK-IN FAN COIL		1500		17	20	1	1	20	18	***	SPARE
SPARE		***		19	20	1	1	20	20	***	SPARE
SPARE		***		21	20	1	1	20	22	***	SPARE
SPARE		***		23	20	1	1	20	24	***	SPARE
SPARE		***		25	20	1	1	20	26	***	SPARE
SPARE		***		27	20	1	1	20	28	***	SPARE
SPARE		***		29	20	1	1	20	30	***	SPARE
SPARE		***		31	20	1	1	20	32	***	SPARE
SPARE		***		33	20	1	1	20	34	***	SPARE
SPARE		***		35	20	1	1	20	36	***	SPARE
SPARE		***		37	20	1	1	20	38	***	SPARE
SPARE		***		39	20	1	1	20	40	***	SPARE
SPARE		***		41	20	1	1	20	42	***	SPARE
TOTALS	3268	4168	3100							14,982 14,982 14,982	

NEW 200 AMP SUB-PANEL, SURFACE-MOUNTED, 120/240, 3 PHASE, 4 WIRE, 42 CIRCUITS 55.428 KVA

SYMBOLS & LEGEND

EXIST. EXISTING DUPLEX OUTLET TO REMAIN	EXIST. EXISTING DUPLEX OUTLET TO BE REMOVED	NEW DUPLEX OUTLET	NEW PHONE WALL BOX, CONDUIT TO CEILING AND PULL WIRE - PHONE INSTALLATION BY TENANT	EXISTING TELEPHONE BOX TO REMAIN	EXISTING PHONE BOX TO BE REMOVED	NEW SINGLE POLE WALL SWITCH	EXISTING SINGLE POLE SWITCH TO REMAIN	EXISTING SWITCH TO BE REMOVED	NEW 2'x4' FLUORESCENT FIXTURE IN CEILING GRID	EXISTING 2'x4' FLUORESCENT FIXTURE TO REMAIN	EXISTING 2'x4' FLUORESCENT FIXTURE TO BE REMOVED	CEILING MOUNTED SUPPLY GRILL	CEILING MOUNTED RETURN AIR GRILL	EXIST. EXISTING TOILET FAN	NEW NEW REL. RELOCATED EXIT LIGHT W/ BATTERY BACK-UP	EMERGENCY LIGHT	EXISTING WALL PANELS TO BE REMOVED	EXISTING WALL TO REMAIN	NEW WALL CONSTRUCTION TO BE 3-5/8" MTL. STUDS @ 16" O.C. WITH 5/8" GYP. BD. ON BOTH SIDES, TAPE, SAND AND FINISH PER FINISH SCHEDULE	NEW DOORS AND FRAMES TO MATCH EXISTING. AT NEW GYP. BD. PARTITIONS, INSTALL NEW DOORS AND FRAMES, AND HARDWARE TO MATCH EXISTING. RE: FLOOR PLAN NOTES.
EXIST. EXISTING DUPLEX OUTLET TO REMAIN	EXIST. EXISTING DUPLEX OUTLET TO BE REMOVED	NEW DUPLEX OUTLET	NEW PHONE WALL BOX, CONDUIT TO CEILING AND PULL WIRE - PHONE INSTALLATION BY TENANT	EXISTING TELEPHONE BOX TO REMAIN	EXISTING PHONE BOX TO BE REMOVED	NEW SINGLE POLE WALL SWITCH	EXISTING SINGLE POLE SWITCH TO REMAIN	EXISTING SWITCH TO BE REMOVED	NEW 2'x4' FLUORESCENT FIXTURE IN CEILING GRID	EXISTING 2'x4' FLUORESCENT FIXTURE TO REMAIN	EXISTING 2'x4' FLUORESCENT FIXTURE TO BE REMOVED	CEILING MOUNTED SUPPLY GRILL	CEILING MOUNTED RETURN AIR GRILL	EXIST. EXISTING TOILET FAN	NEW NEW REL. RELOCATED EXIT LIGHT W/ BATTERY BACK-UP	EMERGENCY LIGHT	EXISTING WALL PANELS TO BE REMOVED	EXISTING WALL TO REMAIN	NEW WALL CONSTRUCTION TO BE 3-5/8" MTL. STUDS @ 16" O.C. WITH 5/8" GYP. BD. ON BOTH SIDES, TAPE, SAND AND FINISH PER FINISH SCHEDULE	NEW DOORS AND FRAMES TO MATCH EXISTING. AT NEW GYP. BD. PARTITIONS, INSTALL NEW DOORS AND FRAMES, AND HARDWARE TO MATCH EXISTING. RE: FLOOR PLAN NOTES.

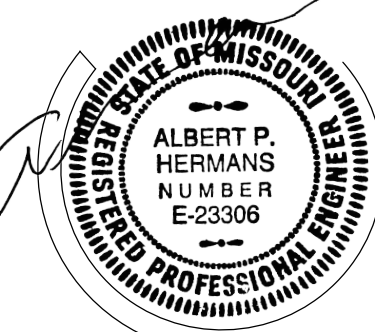


LIGHTING PLAN

1/4" = 1'



* ALL CIRCUITS SHALL BE ON ELECTRICAL PANEL "MP", UNLESS INDICATED OTHERWISE AS "SP".



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Date:
10-15-21
Revision:
10-21-21

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NCE
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