



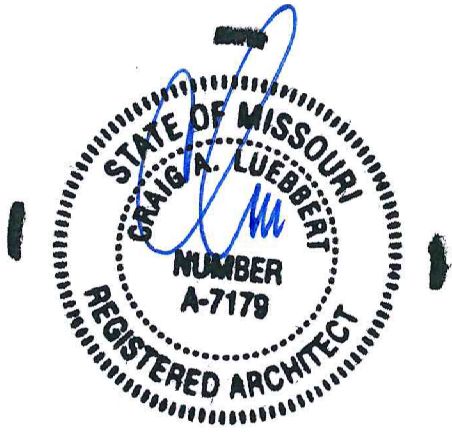
1201 Rice Road
Lee's Summit, MO.

COVER

ARCHITECTURAL

A0.1 - ADA Guidelines

A1.0 - Floor Plan / Toilet Plan



10.20.21



Craig Luebbert
Architecture

24 NW CHIPMAN "A"
LEE'S SUMMIT, MO. 64063
PHONE: (816) 536-3472

DL Kirby

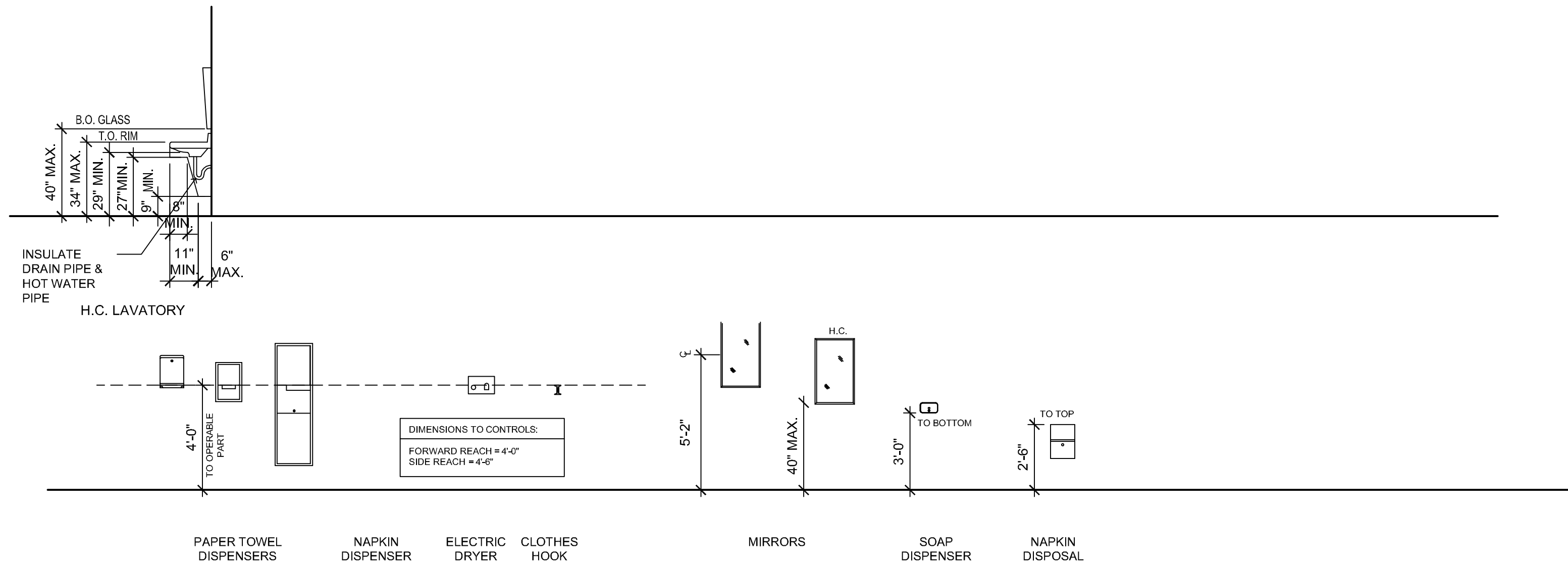
24 NW CHIPMAN "A"
LEE'S SUMMIT, MO. 64063
PHONE: (816) 365-0605

GENERAL NOTES

1. ALL CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH THE INCLUDED DRAWINGS.
2. ALL CONSTRUCTION WORK SHALL COMPLY WITH GOVERNING BUILDING CODES IN EFFECT AT THE TIME CONSTRUCTION PERMITS ARE ISSUED FOR THIS PROJECT.
3. SUB-CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS SHOWN, AND SHALL REPORT ANY DISCREPANCY TO THE ENGINEER PRIOR TO COMMENCING WITH ANY RELATED CONSTRUCTION WORK. SUB-CONTRACTORS SHALL FURTHER REPORT TO THE ENGINEER ALL DISCREPANCIES BETWEEN ACTUAL AND SHOWN CONDITIONS, PRIOR TO BEGINNING WORK RELATED THEREOF.
4. DIMENSIONS ARE TO FACE OF FINISH WALL UNLESS NOTED OTHERWISE.
5. THE SUB-CONTRACTORS SHALL VERIFY LOCATION OF EXISTING UTILITIES, AND SHALL BE RESPONSIBLE FOR PROTECTING THESE UTILITIES DURING THE EXECUTION OF HIS WORK AND RELOCATION.
6. SUB-CONTRACTOR TO LAY OUT BUILDING PERIOD TO ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
7. SUB-CONTRACTOR TO ASSURE PROPER DRAINAGE AWAY FROM BUILDING.
8. THE SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ACQUISITION, AND SAFETY OF ERECTION BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. THE SUB-CONTRACTORS ARE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.
9. THE SUB-CONTRACTORS ARE RESPONSIBLE FOR CHECKING ALL CONSTRUCTION DOCUMENTS, FIELD CONDITIONS AND DIMENSION FOR THEIR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ENGINEER BEFORE PROCEEDING WITH THE WORK IN QUESTION OR ANY RELATED WORK.
10. THE SUB-CONTRACTORS SHALL MAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILTUPS AND FINISHES.
11. THE SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURES, UTILITIES, WALKS, STREETS, PAVED AREAS, CURBS, TREES, AND OTHER LANDSCAPING CAUSED THROUGH HIS OPERATIONS UNDER THIS CONTRACT.
12. THE SUB-CONTRACTORS SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK. JOIN MATERIALS TO UNIFORM, ACCURATE FITS. SO THEY MEET WITH MEET, STRAIGHT LINES, FEEL OF SHEARS OR OVERLAPS. INSTALL EXPOSED MATERIALS APPROPRIATELY. LEVEL, FLOOR AND PLUMB AND SQUARE RIGHT AND CORRELATE WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE. EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT.

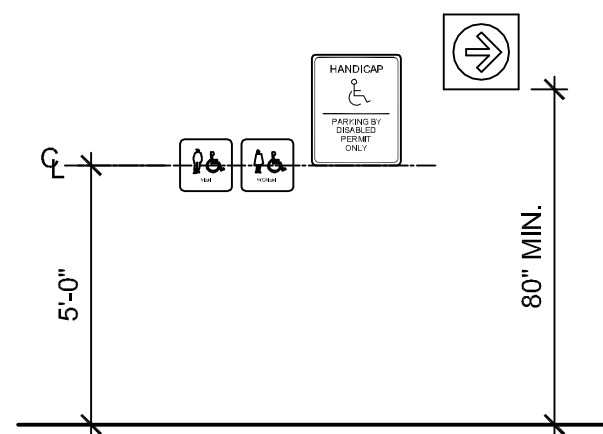
ABBREVIATIONS

AC	AIR CONDITIONING	EA	EACH	JB	JUNCTION BOX	RM	ROOM
AB	ANCHOR BOLT	EJ	EXPANSION JOINT	JST	JOIST	RO	ROUGH OPENING
ACC	ACCORDING	ELEC	ELECTRIC/ELECTRICAL	JT	JOINT	RON	RIGHT OF WAY
ACT	ACUSTICAL TILE	EM	EMERGENCY	L	LENGTH	RTU	ROOF TOP UNIT
AF	ABOVE FINISHED FLOOR	ENCL	ENCLOSURE	LAV	LAVATORY	RV	ROOF VENT
AGG	AGGREGATE	ENTR	ENTRANCE	LGT	LIGHT	SCHED	SCHEDULE
ALT	ALTERNATE	EP	ELECTRICAL PANEL	LVL	LEVEL	SECT	SECTION
ALUM	ALUMINUM	EQ	EQUAL	MAS	MASONRY	SFT	SQUARE FEET
ANG	ANGLED	EQUIP	EQUIPMENT	MAX	MAXIMUM	SHT	SHUT
APPROX	APPROXIMATELY	EW	EACH WAY	MECH	MECHANICAL	SIM	SIMILAR
ARCH	ARCHITECTURAL	EXH	EXHAUST	MECH	MECHANICAL	SPEC	SPECIFICATION
ASPH	ASPHALT	EXP	EXPANSION	MEMBR	MEMBRANE	SPK	SPEAKER
AVG	AVERAGE	EXT	EXTERIOR	MTL	METAL	SQ	SQUARE
				MFG	MANUFACTURER	STD	STANDARD
BD	BOARD	FD	FLOOR DRAIN	MINIM	MINIMUM	STAIN	STAINLESS STEEL
B.F.F.	BOARD FINISHED FLOOR	FDN	FOUNDATION	MISC	MISCELLANEOUS	STRC	STEEL
BIT	BITUMINOUS	FFE	FINISHED FLOOR ELEVATION	MSC	MASONRY OPENING	STRUC	STRUCTURAL
BKR	BREAKER	FLR	FLOOR	NIC	NOT IN CONTRACT	SUP	SUPPLY
BLDG	BUILDING	FLASH	FLASHING	NOM	NOMINAL	SUSP	SUSPEND
BLDG	BEAM	FLR	FLOOR	NOM	NOT TO SCALE		
BRS	BEARING	FOS	FACE OF STUD	OA	OVERALL	TEMP	TEMPERAT
BTU	BRITISH THERMAL UNIT	FRM	FRAME	OC	ON CENTER	THK	THICK
		FRP	FIBERGLASS	OD	OUTSIDE DIAMETER	THRS	THRESHOLD
		FRM	REINFORCED PLASTIC	OFF	OFFICE	TYP	TYPICAL
		FT	FOOT	OFF	OFFICE	UC	UNDERCUT
CCT	CIRCUIT	FUR	FURRING	OPNG	OPENING	UL	UNDERWRITER
CEM	CEMENT						
CEM	CUBIC FEET/MINUTE	G	GAUGE	P	PILE	UNO	UNLESS NOTED OTHERWISE
CJ	CONTROL JOINT	GAL	GALLON	PL	PLATE	UR	URINAL
CLG	CEILING	GALV	GALVANIZED	PLG	PLUMBING	UTIL	UTILITIES
CLR	CLEAR	GEN	GENERAL	PLY	PANEL		
CMU	CONCRETE MASONRY UNIT	GRD	GRADE	PR	PAIR	VB	VOLT
CNDT	CONDUIT	GYP	GYPSONUM	PRF	PREFABRICATED	VERT	VAPOR BARRIER
CO	CLEAN OUT	H	HOSE BIBB	PSF	POUNDS/SQUARE FOOT	VERT	VERTICLE
		HDR	HEADER	PSI	POUNDS/SQUARE INCH	VEST	VESTIBULE
COL	COLUMN	HDR	HARDWARE	PT	PAINT	VF	VAPOR
CONC	CONDENSATE	HGT	HEIGHT	PVC	POLYVINYL CHLORIDE	VTR	VENT THROUGH ROOF
CONC	CONCRETE	HORIZ	HORIZONTAL	QT	QT	QUARRY TILE	
CONC	CONCRETE	HR	HOUR	R	RADIUS		
CONC	CONCRETE	HTR	HEATER	RGR	RISER	W	WITH
CONST	CONSTRUCTION	HW	HOT WATER	R/A	RETURN AIR	WC	WATER CLOSET
CON	CONTINUOUS	ID	INSIDE DIAMETER	RCT	RECEP TACLE	WDW	WINDOW
CH	CERAMIC TILE	IN	INCHES	RCP	ROOF DRAIN	WH	WATER HEATER
		INT	INTERIOR	REF	REFRIGERATOR	WPR	WATER PROOFING
				REF	REFERENCE	WST	WAINSCOT
				REIN	REINFORCING	WT	WEIGHT
				REIN	REINFORCING	WNF	WELDED WIRE FABRIC
				REQD	REQUIRED		
				RFG	ROOFING	YD	YARD



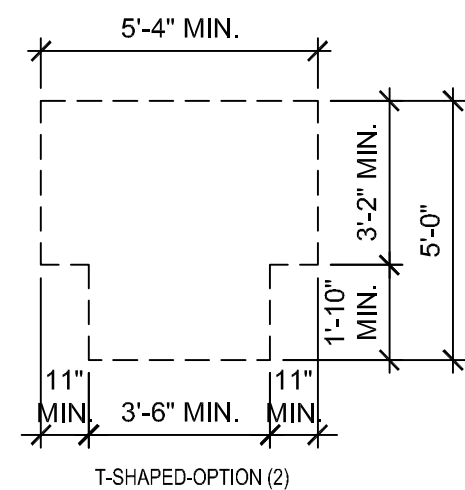
2 ACCESSIBLE MOUNTING HEIGHTS AT TOILET ACCESSORIES

SCALE: 1/4" = 1'-0"



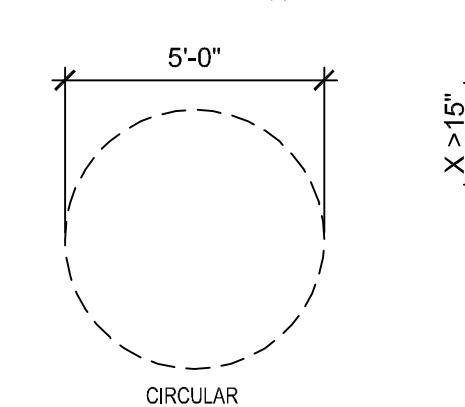
4 SIGNAGE

SCALE: 1/4" = 1'-0"



5 ACCESSIBLE FIRE EXTINGUISHER AND CABINET MOUNTING HEIGHT

SCALE: 1/4" = 1'-0"



6 ACCESSIBLE MOUNTING HEIGHTS AT CONTROLS AND OUTLETS

SCALE: 1/4" = 1'-0"

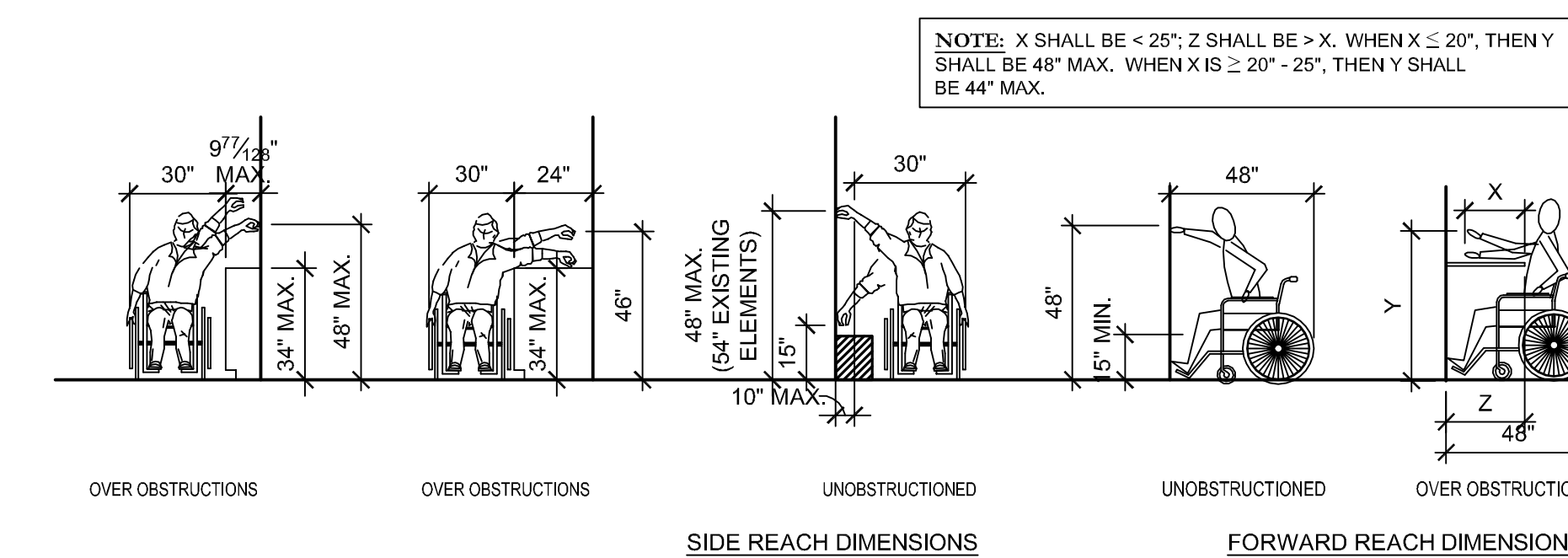
- NOTE:
- A 30"x48" CLEAR FLOOR SPACE AREA SHALL BE PROVIDED PERPENDICULAR TO THE WALL FOR A FORWARD REACH TO CONTROLS AND ACCESSIBLE OUTLETS.
 - ELECTRICAL OUTLETS ON WALLS OVER CABINETS MUST BE A MINIMUM 36" FROM A CORNER.

7 SIZE OF TURNING SPACE

SCALE: N.T.S.

8 CLEAR FLOOR SPACE

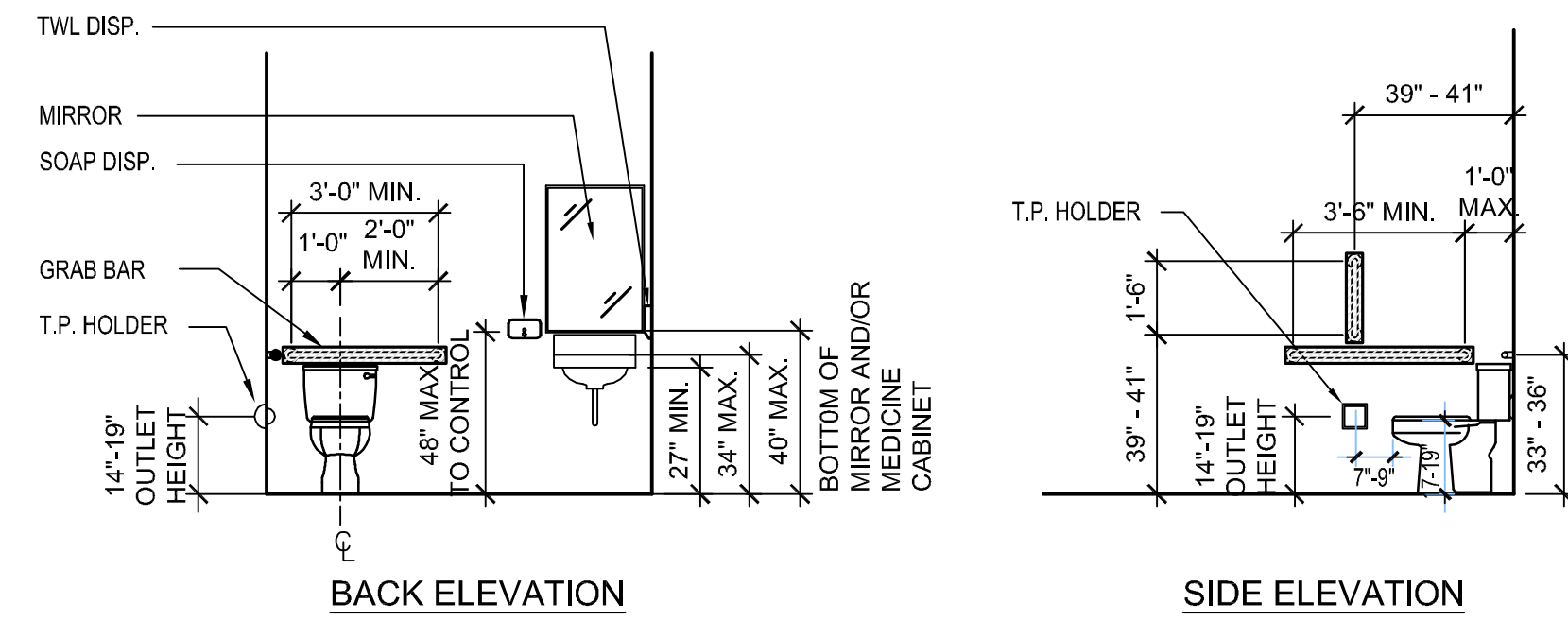
SCALE: N.T.S.



9 PROTRUDING OBJECTS

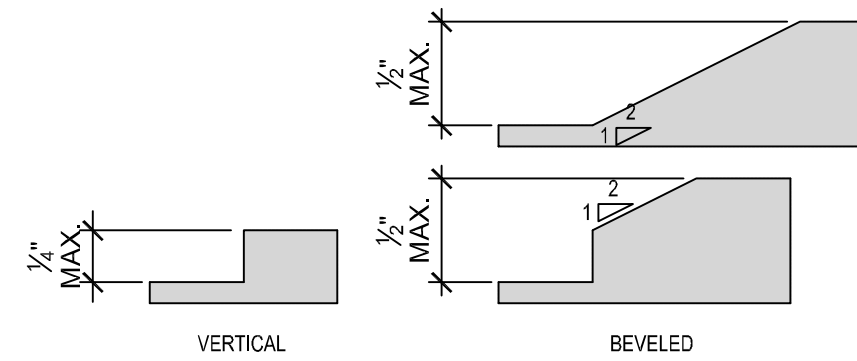
SCALE: N.T.S.

FOR FIXTURE LOCATION ONLY-SEE PLAN FOR LAYOUT AND ORIENTATION



1 MINIMUM ACCESSIBLE TOILET ROOMS

SCALE: 1/4" = 1'-0"

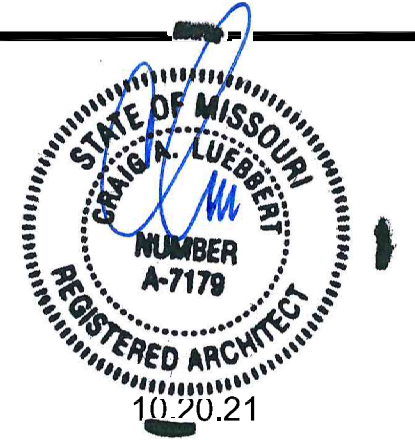


3 CHANGES IN LEVEL

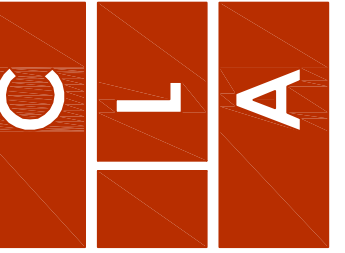
SCALE: N.T.S.

GENERAL ACCESSIBILITY NOTES

- DRAWINGS ON THIS SHEET ARE INTERPRETATIONS BASED UPON:
 - AMERICAN NATIONAL STANDARD ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC/ANSI A117.1-2009) AS PUBLISHED BY INTERNATIONAL CODE COUNCIL IN MAY, 2004.
 - INTERNATIONAL BUILDING CODE 2003 AS PUBLISHED BY INTERNATIONAL CODE COUNCIL IN JANUARY 2004
 - AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AS PUBLISHED BY U.S. ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD (ACCESS BOARD)
- THIS SHEET IS NOT INCLUSIVE OF ALL ACCESSIBILITY REQUIREMENTS BY ANY JURISDICTION AND IS NOT INTENDED TO REPLACE OR ALTER ANY CODIFIED REQUIREMENTS BY ANY JURISDICTION.
- ACCESSIBILITY REQUIREMENTS SHALL BE MET IN ACCORDANCE WITH ANY AND ALL FEDERAL AND STATE, LOCAL AND OTHER MUNICIPAL JURISDICTIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY CONFLICTS AND DISCREPANCIES TO ARCHITECT.
- WALKWAYS WILL HAVE A SLOPE NO STEEPER THAN 1 : 20.
- FLAT SURFACES SHALL HAVE A SLOPE NO STEEPER THAN 1 : 48 AT WET LOCATIONS.
- PROVIDE NON-SLIP FLOOR SURFACES AT ALL WET LOCATIONS.
- OPERABLE AND DISPENSING HEIGHTS SHALL BE 15" MINIMUM AND 44" MAXIMUM ABOVE FINISHED FLOOR UNLESS OTHERWISE REQUIRED AS DEFINED BY LOCAL AUTHORITY.
- ALL FIXTURES AND ACCESSORIES SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS TO MEET ACCESSIBILITY REQUIREMENTS.
- GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
- HANGING FIXTURES AND ACCESSORIES SHALL HAVE WALL BLOCKING TO MEET MINIMUM FORCE REQUIREMENTS.
- EXPOSED PIPING AT LAVATORIES SHALL BE INSULATED. NO SHARP OR ABRASIVE SURFACES SHALL BE ALLOWED.
- PROVIDE SOAP AND HAND TOWEL DISPENSERS AT ALL HAND WASHING LOCATIONS.
- SEE DRAWINGS FOR ACTUAL FIXTURE AND ACCESSORY LOCATIONS.



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Architecture



Tenant Improvements For:



Year-Round Garden
1201 Rice Road
Lee's Summit, MO.

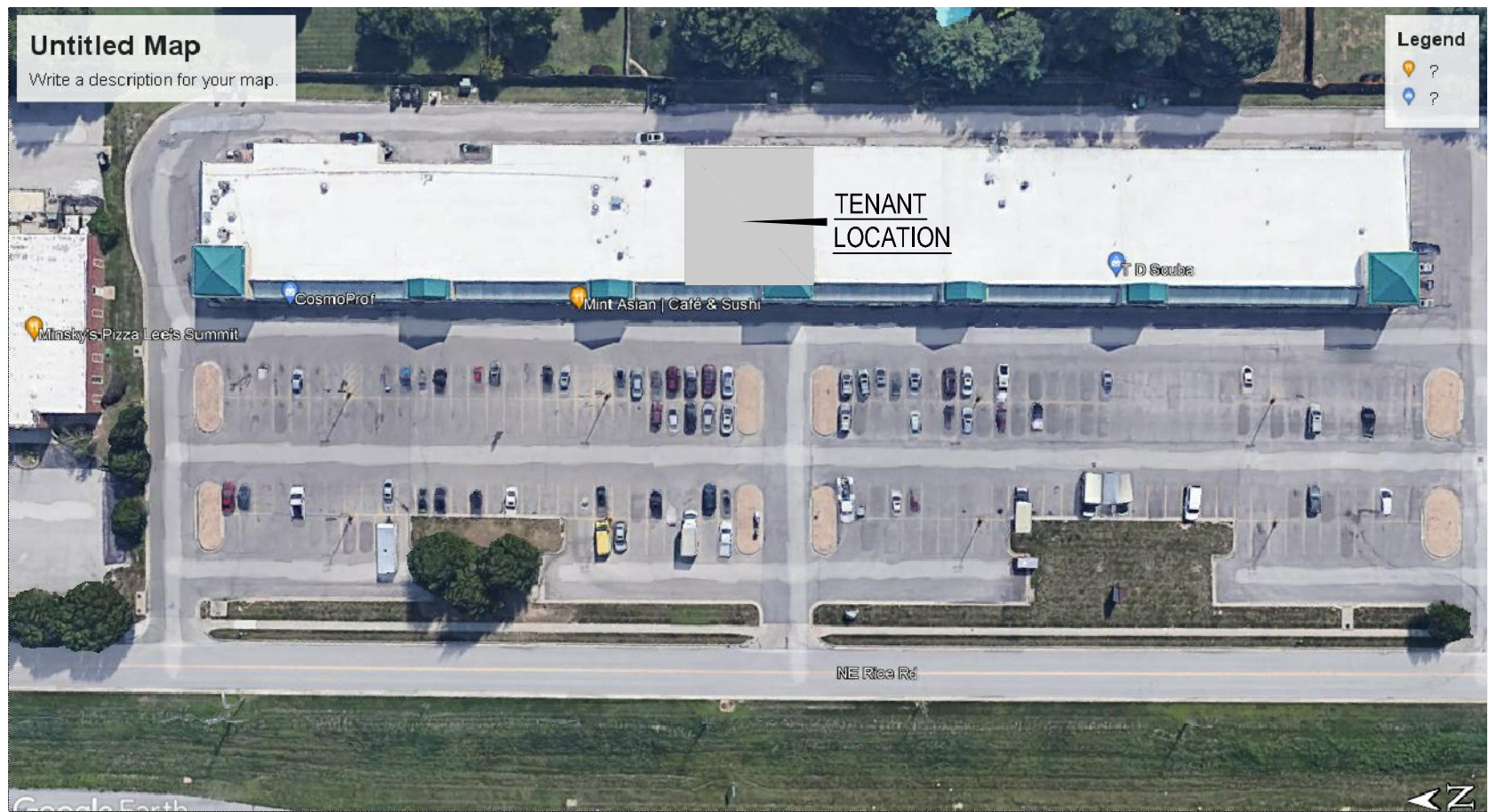
DATE ISSUED:
10.20.21

REVISIONS:

ARCHITECTURAL PROJECT NUMBER

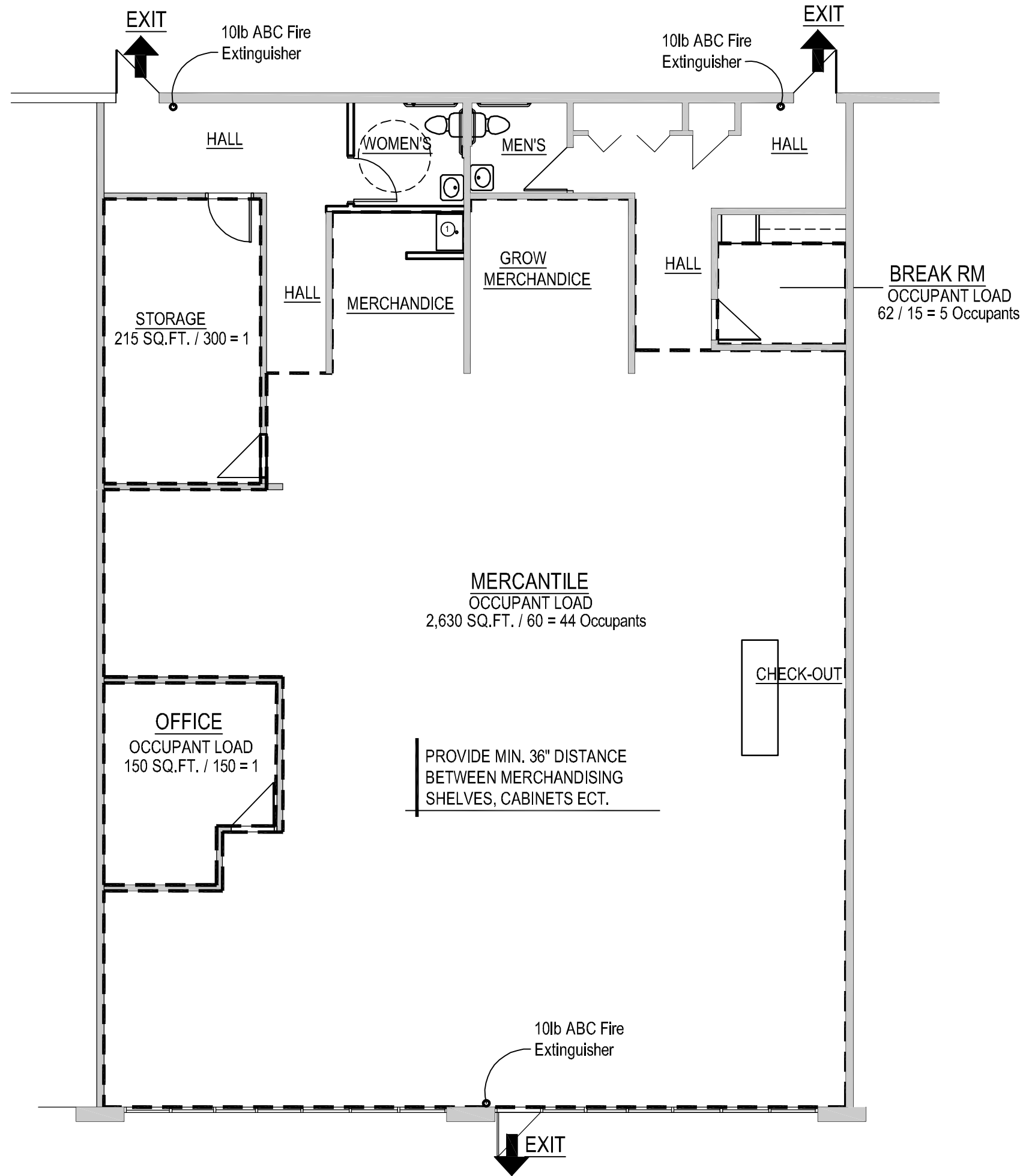
SHEET NUMBER

A0.1



2 Tenant Location

SCALE: 1/8"=1'



1 Code Review Plan

SCALE: 1/8"=1'



PROJECT CODE DATA

A) TYPE OF OCCUPANCY: M OCCUPANCY (MERCANTILE) CHANGE IN USE FROM B OCCUPANCY

BUILDING USE: GARDENING CENTER

B) TYPE OF CONSTRUCTION: BUILDING TYPE V-B, UNPROTECTED, BUILDING IS FULLY SPRINKLED

C) CODE REFERENCES:

1. INTERNATIONAL BUILDING CODE - 2018 EDITION
2. INTERNATIONAL PLUMBING CODE - 2018 EDITION
3. INTERNATIONAL MECHANICAL CODE - 2018 EDITION
4. INTERNATIONAL FUEL GAS CODE - 2018 EDITION
5. INTERNATIONAL FIRE PREVENTION CODE - 2018 EDITION
6. NATIONAL ELECTRICAL CODE - 2017 EDITION
7. INTERNATIONAL FIRE CODE - 2018 EDITION
8. AMERICAN NATIONAL STANDARD ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ANSI A117.1-2009)

D) TENANT AREA: 3,670 SQ.FT

E) OCCUPANT LOAD - 51 (SEE PLAN)

F) FIRE RESISTANT RATING FOR EXTERIOR WALLS
≥10' TO ADJACENT PROP. LINES

G) MINIMUM FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

FIRE RATINGS OF STRUCTURAL ELEMENTS PER IBC TABLE 601: TYPE II-B

ELEMENTS FIRE RATING REQUIRED

STRUCTURAL FRAME	0
BEARING WALLS	
EXTERIOR	0
INTERIOR	0
NONBEARING EXT. WALLS	0
NONBEARING INT. WALLS	0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0

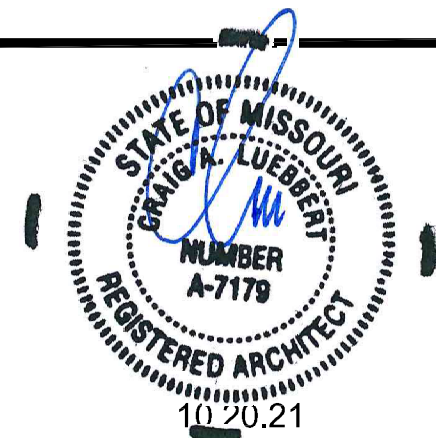
H) PLUMBING FIXTURE REQUIREMENTS: CHAPTER 29

OCCUPANT LOAD: 51

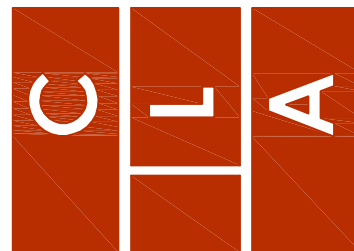
WATER CLOSETS		REQUIRED	PROVIDED
26 FEMALE:	SEE NOTE 1 BELOW	1	1
26 MALE:	SEE NOTE 1 BELOW	1	1
LAVATORIES		REQUIRED	PROVIDED
26 FEMALE:	SEE NOTE 2 BELOW	1	1
26 MALE:	SEE NOTE 2 BELOW	1	1

NOTE 1: 1 PER 500

NOTE 2: 1 PER 750



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Architecture



Tenant Improvements For:

YRG
Year-Round Garden
1201 Rice Road
Lee's Summit, MO.

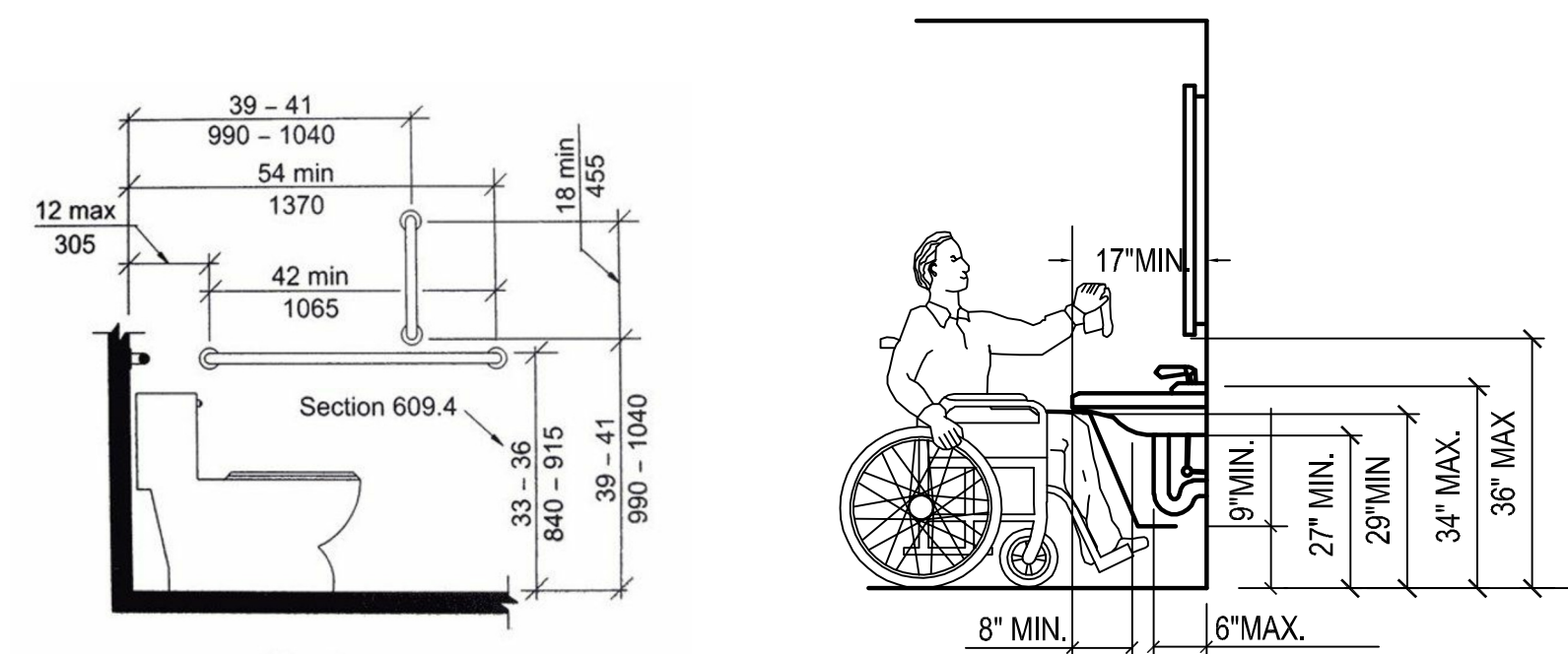
DATE ISSUED:
10.20.21

REVISIONS:
CITY COMMENTS 2.22.21

ARCHITECTURAL PROJECT NUMBER

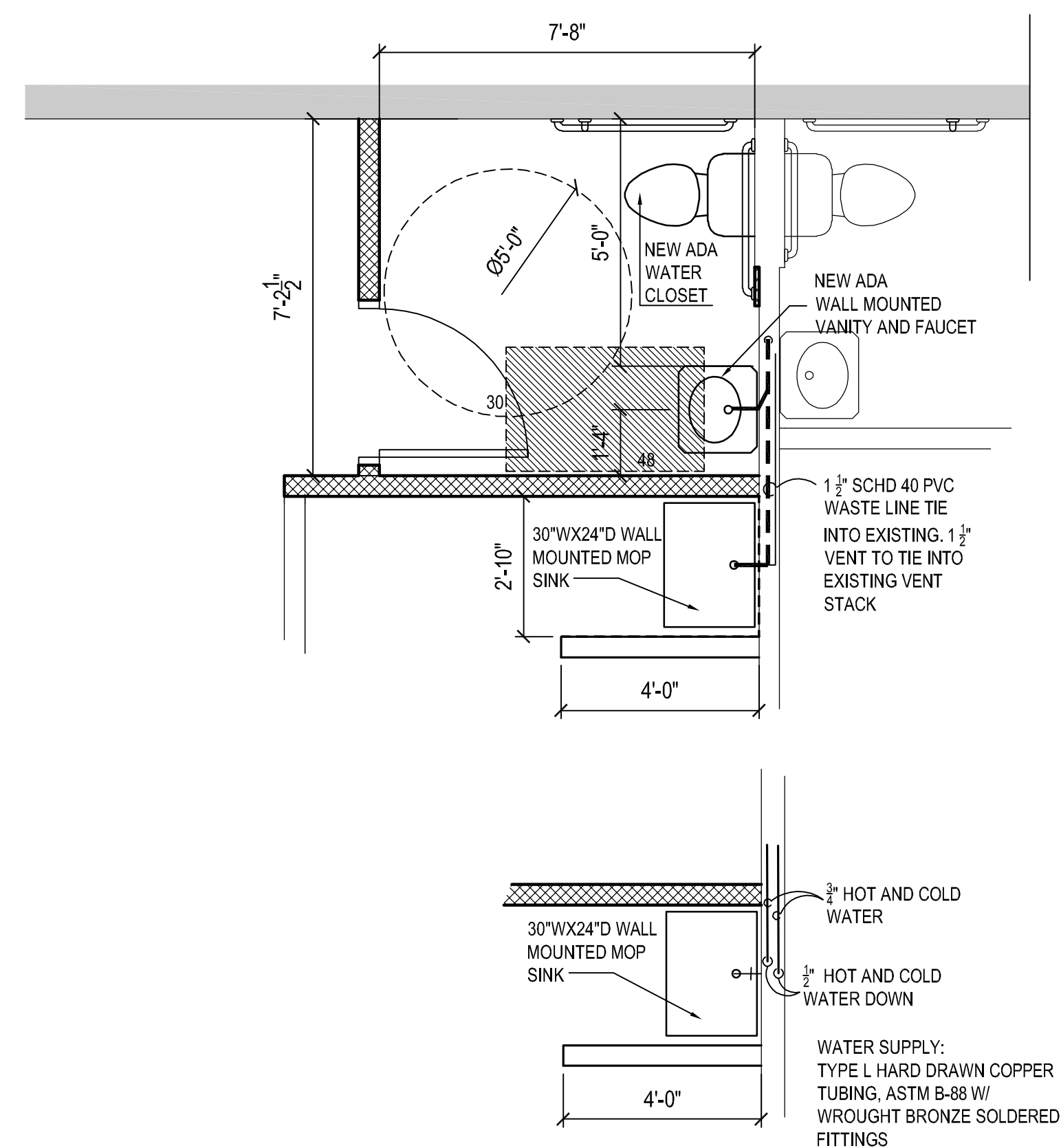
SHEET NUMBER

A0.2

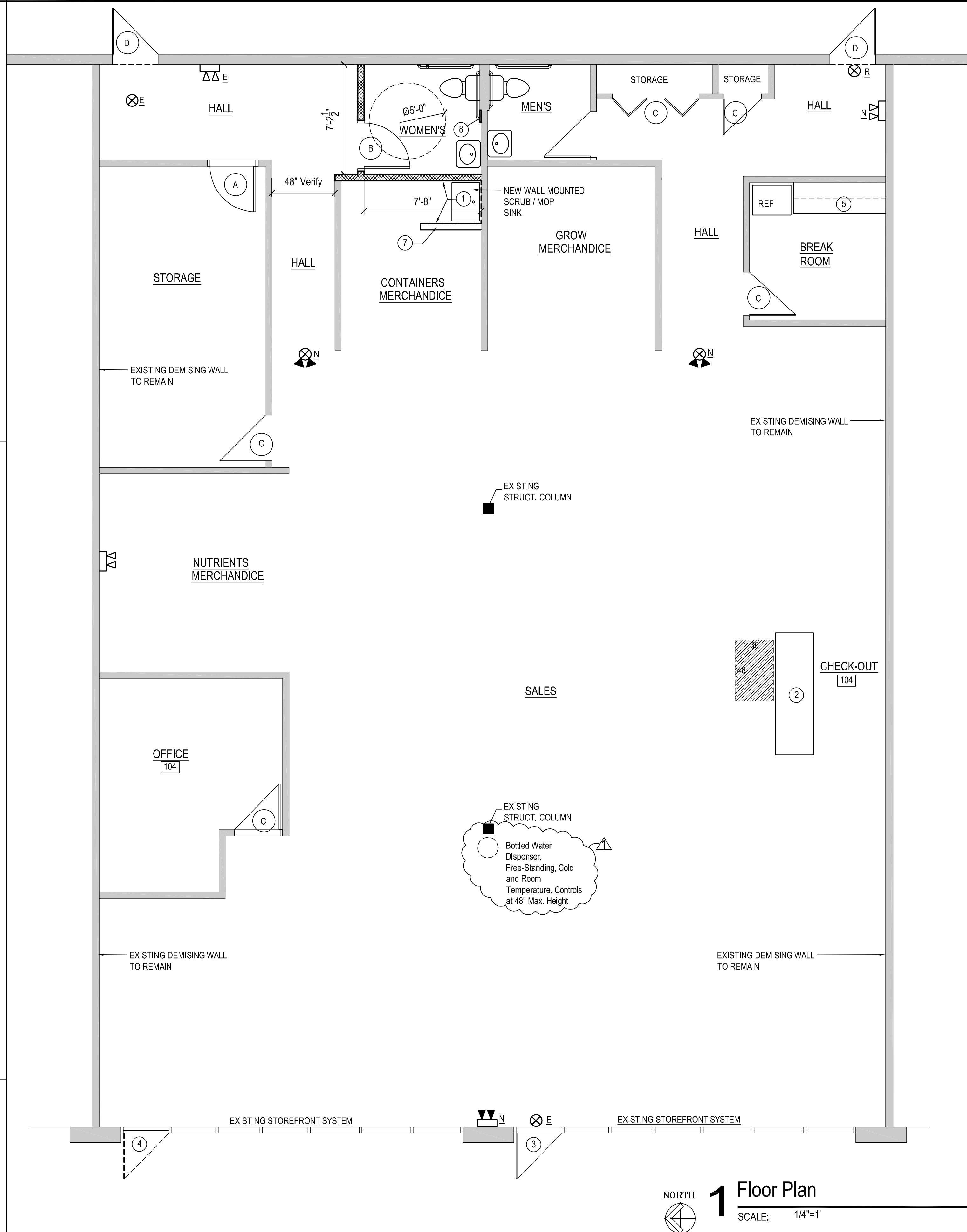


2 Toilet ADA Dimensions

SCALE: 1/4"=1'



SCALE: $3/8"=1'$



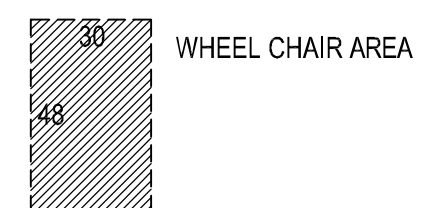
PLAN NOTES

- ① WALLS FRP PANEL OR EPOXY PAINT ON WALLS SURROUNDING SINK UP 48" MIN AND 24" MIN. IN FRONT OF SINK - TYP. (3) WALLS
- ② SALES COUNTER MAX. HEIGHT 34" AFF
- ③ EXISTING STOREFRONT DOOR - DOOR TO HAVE SIGNAGE: 'THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED'
- ④ EXISTING STOREFRONT DOOR: REMOVE HARDWARE DOOR TO BE CLOSED OFF
- ⑤ CASEWORK PROVIDED BY OWNER. MAXIMUM HEIGHT FROM COUNTER TO FLOOR 34" - TYP.
- ⑥ NOTE NOT USED
- ⑦ 48" TALL WALL
- ⑧ FUR WALL AS REQUIRED FOR NEW 36" GRAB BAR

DOORS

- ☐ A 3'-0"x6'-8" DOOR, ADA LEVERSTYLE LATCH
- ☐ B 3'-0"x6'-8" DOOR, ADA LEVERSTYLE LATCH, PRIVACY LOCK
- ☐ C EXISTING DOORS TO REMAIN
- ☐ D EXISTING DOOR WITH PANIC DEVICE

LEGEND



 NEW WALL - 3 $\frac{5}{8}$ " METAL STUDS @ 16" O.C. TO
BOTTOM OF GRID.

-  NEW COMB. EXIT LIGHT AND EMERGENCY LIGHT WITH BATTERY BACKUP
-  EXISTING EMERGENCY LIGHT W/ BATTERY BACKUP
-  RELOCATE EXISTING EXIT LIGHT WITH BATTERY BACKUP
-  NEW EMERGENCY LIGHT W/ BATTERY BACKUP

MEP WORK SCOPE:

ELECTRICAL: NO WORK. ANY RECEPTACLES REMOVED OR CAPPED TERMINATE IN METAL JUNCTION BOXES.
LIGHTING: EXISTING LIGHTING TO REMAIN
RELOCATE EXISTING FIXTURES AS REQUIRED

MECHANICAL: RELOCATE EXISTING SUPPLY DIFFUSERS AS REQUIRED. PROVIDE FRESH AIR PER TABLE 403.3.1.1 'MINIMUM VENTILATION RATE'

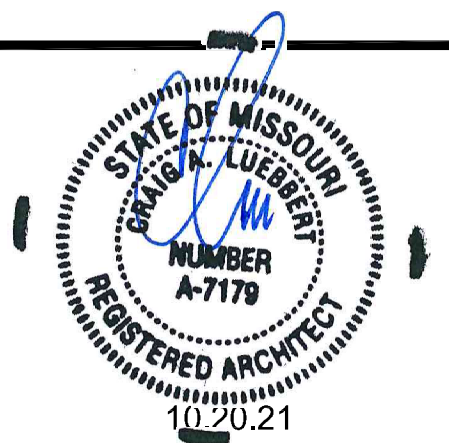
PLUMBING: INSTALL NEW ADA WATER CLOSET,
INSTALL NEW ADA WALL HUNG LAVATORY.
INSTALL NEW WALL HUNG MOP SINK.

FINISHES:

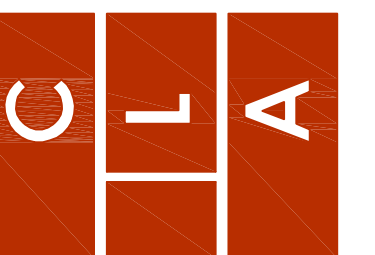
WALLS NEW AND EXISTING: - PAINT
CEILING: EXISTING GRID TO REMAIN. REPLACE
ANY DAMAGED TILES

FLOORING: ALL AREAS TO RECEIVE NEW LUXURY VINYL TILE.

MEN'S AND WOMEN'S TOILET ROOMS
WALLS NEW AND EXISTING: - EPOXY PAINT
FLOORS: LUXURY VINYL FLOORING



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A1.0