

Tenant Improvement



1201 Rice Road
Lee's Summit, MO.

DRAWING SCHEDULE

COVER
ARCHITECTURAL

A0.1 - ADA Guidelines
A0.2 - Code Plan
A1.0 - Floor Plan / Toilet Plan



ARCHITECT



Craig Luebbert
Architecture

24 NW CHIPMAN "A"
LEE'S SUMMIT, MO. 64063
PHONE: (816) 536-3472

DESIGN / BUILD CONTRACTOR

DL Kirby
24 NW CHIPMAN "A"
LEE'S SUMMIT, MO. 64063
PHONE: (816) 365-0605

GENERAL NOTES

1.

ALL CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH THE INCLUDED DRAWINGS.
2.

ALL CONSTRUCTION WORK SHALL COMPLY WITH GOVERNING BUILDING CODES IN EFFECT AT THE TIME CONSTRUCTION PERMITS ARE ISSUED FOR THIS PROJECT.
3.

SUB-CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS SHOWN, AND SHALL REPORT ANY DISCREPANCY TO THE ENGINEER PRIOR TO COMMENCING WITH ANY RELATED CONSTRUCTION WORK. SUB-CONTRACTORS SHALL FURTHER REPORT TO THE ENGINEER ALL DISCREPANCIES BETWEEN ACTUAL AND SHOWN CONDITIONS, PRIOR TO BEGINNING WORK RELATED THERETO.
4.

DIMENSIONS ARE TO FACE OF FINISH WALL UNLESS NOTED OTHERWISE.
5.

THE SUB-CONTRACTORS SHALL VERIFY LOCATION OF EXISTING UTILITIES, AND SHALL BE RESPONSIBLE FOR PROTECTING THESE UTILITIES DURING THE EXECUTION OF HIS WORK AND RELOCATION.
6.

SUB-CONTRACTOR TO LAY OUT BUILDING PRIOR TO ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
7.

SUB-CONTRACTOR TO ASSURE PROPER DRAINAGE AWAY FROM BUILDING.
8.

THE SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. THE SUB-CONTRACTORS ARE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.
9.

THE SUB-CONTRACTORS ARE RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSION FOR THEIR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ENGINEER BEFORE PROCEEDING WITH THE WORK IN QUESTION OR ANY RELATED WORK.
10.

THE SUB-CONTRACTORS SHALL TAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILTINS AND FINISHES.
11.

THE SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURES, UTILITIES, WALKS, STREETS, PAVED AREAS, CURBS, TREES AND OTHER LANDSCAPING CAUSED THROUGH HIS OPERATIONS UNDER THIS CONTRACT.
12.

THE SUB-CONTRACTORS SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK. JOIN MATERIALS TO UNIFORM, ACCURATE FITS SO THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS OR OVERLAPS. INSTALL EXPOSED MATERIALS APPROPRIATELY, LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES. DR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT.

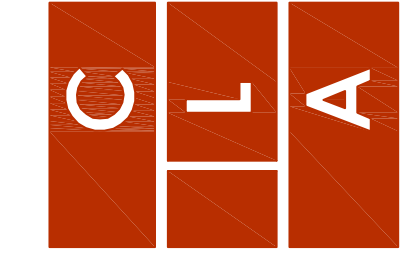
ABBREVIATIONS

A/C	AIR CONDITIONING	EA	EACH	JB	JUNCTION BOX	RM	ROOM
AB	ANCHOR BOLT	EJ	EXPANSION JOINT	JST	JOIST	RO	ROUGH OPENING
AC	ACOUSTICAL	ELEC	ELECTRIC/ELECTRICAL	JT	JOINT	ROW	RIGHT OF WAY
ACT	ACOUSTICAL TILE	EL	ELEVATION	L	LENGTH	RTU	ROOF TOP UNIT
AF	ABOVE FINISHED FLOOR	EMERG	EMERGENCY ENCLOSURE	LAV	LAVATORY	RV	ROOF VENT
AGG	AGGREGATE	ENT	ENTRANCE	LT	LIGHT	SCHED	SCHEDULE
ALT	ALTERNATE	EP	ELECTRICAL PANEL	LVL	LEVEL	SECT	SECTION
ALUM	ALUMINUM	EQ	EQUAL	MAS	MASONRY	SF	SQUARE FEET
ANOD	ANODIZED	EQUIP	EQUIPMENT	MAX	MAXIMUM	SHT	SHEET
APPROX	APPROXIMATELY	EX	EACH WAY	MECH	MECHANICAL	SIM	SIMILAR
ARCH	ARCHITECTURAL	EXH	EXHAUST	MEMB	MEMBRANE	SPEC	SPECIFICATION
ASPH	ASPHALT	EXP	EXPANSION	MTL	METAL	SPK	SPEAKER
AVG	AVERAGE	EXT	EXTERIOR	MFG	MANUFACTURER	SQ	SQUARE
BD	BOARD	FD	FLOOR DRAIN	MIN	MINIMUM	SST	STAINLESS STEEL
B.F.F.	BELOW FINISHED FLOOR	FDN	FOUNDATION	MISC	MISCELLANEOUS	STD	STANDARD
BIT	BITUMINIOUS	FFE	FINISHED FLOOR ELEVATION	MO	MASONRY OPENING	STL	STEEL
BKR	BREAKER	FLR	FLOOR	NIC	NOT IN CONTRACT	STRUC	STRUCTURAL
BLDG	BUILDING	FLR	FLOOR	NOM	NOMINAL	SUP	SUPPLY
BM	BEAM	FLASH	FLASHING	NTS	NOT TO SCALE	SUSP	SUSPEND
BRG	BEARING	FLOUR	FLUORESCENT	OA	OVERALL	TEMP	THERMOSTAT
BTU	BRITISH THERMAL UNIT	FOS	FACE OF STUD	OC	ON CENTER	THK	THICK
CCT	CIRCUIT	FRM	FRAME	OD	OUTSIDE DIAMETER	THRES	THRESHOLD
CEM	CEMENT	FRP	FIBERGLASS	OFF	OFFICE	TYP	TYPICAL
CFM	CUBIC FEET/MINUTE	FT	FOOT	OPNG	OPENING	UC	UNDERCUT
CJ	CONTROL JOINT	FTG	FOOTING			UL	UNDERWRITER
CLG	CEILING	FUR	FURRING	P	POLE	LABORATORIES	
CLR	CLEAR	GA	GAUGE	PL	PLATE	UNLESS NOTED OTHERWISE	
CMU	CONCRETE MASONRY UNIT	GAL	GALLON	PLG	PLUMBING	UR	URINAL
CNDT	CONDUIT	GALV	GALVANIZED	PLYND	PLYWOOD	UTIL	UTILITIES
CO	CLEAN OUT	GEN	GENERAL	PNL	PANEL		
COL	COLUMN	GRD	GRADE	PR	PAIR		
CONC	CONCRETE	GYP	GYPSON	PREFAB	PREFABRICATED	VB	VOLT VAPOR BARRIER
COND	CONDENSATE	HB	HOSE BIBB	PSF	POUNDS/SQUARE FOOT	VERT	VERTICLE
CONN	CONNECTION	HDR	HEADER	PSI	POUNDS/SQUARE INCH	VEST	VESTIBULE
CONST	CONSTRUCTION	HDR	HARDWARE	PT	PAINT	VOL	VOLUME
CONT	CONTINUOUS	HGT	HEIGHT	PVC	POLYVINYL CHLORIDE	VTR	VENT THROUGH ROOF
CT	CERAMIC TILE	HORZ	HORIZONTAL	QT	QUARRY TILE		
CH	COLD WATER	HP	HORSE POWER				
		HR	HOUR	R	RADIUS	HV	HVTH
DBL	DOUBLE	HTG	HEATING	RSR	RISER	KC	KITCHEN CLOSET
DEPT	DEPARTMENT	HTR	HEATER	R/A	RETURN AIR	KD	KITCHEN DRAIN
DIA	DIAMETER	HN	HOT WATER	RGPT	REGISTRATION	KH	KITCHEN HEATER
DIM	DIMENSION	ID	INSIDE DIAMETER	RD	ROOF DRAIN	KP	KITCHEN PROOFING
DISC	DISCONNECT	IN	INSIDE DIAMETER	REC	RECESSED	KSGT	KITCHEN SINK
DN	DOWN	INSUL	INSULATION	REF	REFERENCE	KT	KITCHEN TUB
DR	DOOR	INT	INTERIOR	REG	REGISTER	KWF	KITCHEN WELD WIRE FABRIC
DS	DOWNSPOUT			REINF	REINFORCING	YD	YARD
DTL	DETAIL			REQD	REQUIRED		
DWG	DRAWING			RFG	ROOFING		
DNL	DOWNHILL						



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Tenant Improvements For:



Year-Round Garden
1201 Rice Road
Lee's Summit, MO.

DATE ISSUED:
10.20.21

REVISIONS:

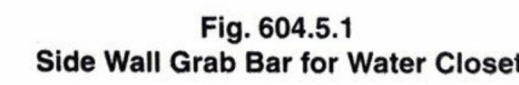
ARCHITECTURAL PROJECT NUMBER

SHEET NUMBER

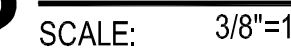
A0.1



A0.2



SCALE: 1/4"=1'



WALLS NEW AND EXISTING: - PAINT
CEILING: EXISTING GRID TO REMAIN. REPLACE
ANY DAMAGED TILES
FLOORING: ALL AREAS TO RECEIVE NEW
LUXURY VINYL TILE.