Tenant Improvement



1201 Rice Road Lee's Summit, MO.

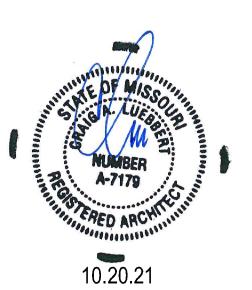
DRAWING SCHEDULE

COVER

ARCHITECTURAL

A0.1 - ADA Guidelines A0.2 - Code Plan

A1.0 - Floor Plan / Toilet Plan



ARCHITECT

DESIGN / BUILD CONTRACTOR

Craig Luebbert Architecture

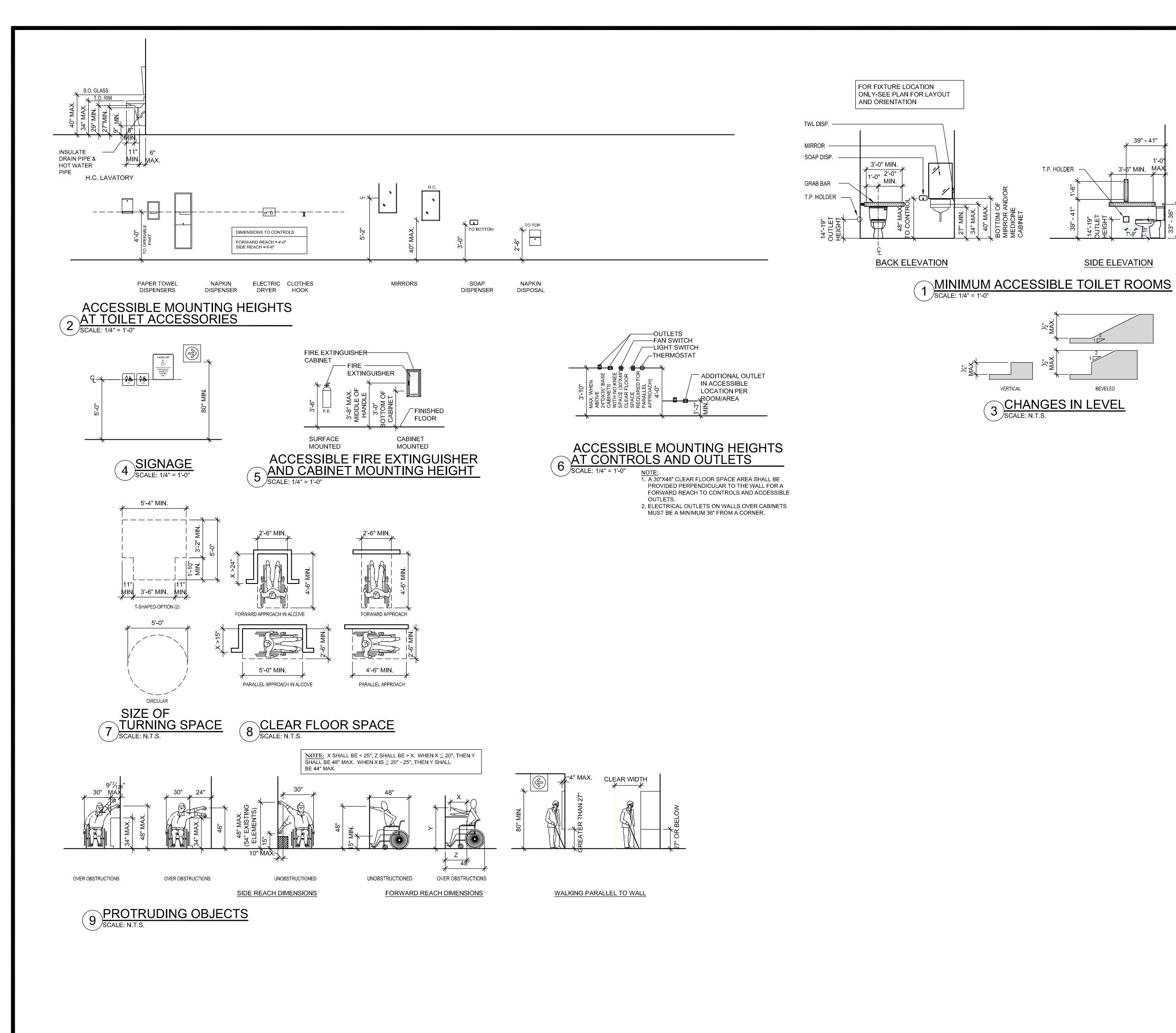
24 NW CHIPMAN "A" LEE'S SUMMIT, MO. 64063 PHONE: (816) 536-3472

DL Kirby24 NW CHIPMAN "A"
LEE'S SUMMIT, MO. 64063 PHONE: (816) 365-0605

GENERAL NOTES

- 1. ALL CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH THE INCLUDED DRAWINGS.
- 2. ALL CONSTRUCTION WORK SHALL COMPLY WITH GOVERNING BUILDING CODES IN EFFECT AT THE TIME CONSTRUCTION PERMITS ARE ISSUED FOR THIS PROJECT.
- SUB-CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS SHOWN, AND SHALL REPORT ANY DISCREPENCY TO THE ENGINEER PRIOR TO COMMENCING WITH ANY RELATED CONSTRUCTION WORK. SUB-CONTRACTORS SHALL FURTHER REPORT TO THE ENGINEER ALL DISCREPENCIES BETWEEN ACTUAL AND SHOWN CONDITIONS, PRIOR TO BEGINNING WORK RELATED THERETO.
- DIMENSIONS ARE TO FACE OF FINISH WALL UNLESS NOTED OTHERWISE.
- THE SUB-CONTRACTORS SHALL VERIFY LOCATION OF EXISTING UTILITIES, AND SHALL BE RESPONSIBLE FOR PROTECTING THESE UTILITIES DURING THE EXECUTION OF HIS WORK
- SUB-CONTRACTOR TO LAY OUT BUILDING PRIOR TO ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
- SUB-CONTRACTOR TO ASSURE PROPER DRAINAGE AWAY FROM BUILDING.
- THE SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. THE SUB-CONTRACTORS ARE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND
- THE SUB-CONTRACTORS ARE RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSION FOR THEIR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ENGINEER BEFORE PROCEEDING WITH THE WORK IN QUESTION OR ANY RELATED WORK.
- THE SUB-CONTRACTORS SHALL TAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILT-INS AND FINISHES.
- THE SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURES, UTILITIES, WALKS, STREETS, PAVED AREAS, CURBS, TREES AND OTHER LANDSCAPING CAUSED THROUGH HIS OPERATIONS UNDER THIS CONTRACT.
- THE SUB-CONTRACTORS SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK. JOIN MATERIALS TO UNIFORM, ACCURATE FITS SO THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS OR OVERLAPS. INSTALL EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES, OR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT.

ABBREVIATIONS									
A/C AB AC ACT AFF AGG ALT ALUM ANOD	AIR CONDITIONING ANCHOR BOLT ACCOUSTICAL ACCOUSTICAL TILE ABOVE FINISHED FLOOR AGGREGATE ALTERNATE ALUMINUM ANODIZED	EA EJ ELEC EL EMERG ENCL ENT EP EQ EQUIP	EACH EXPANSION JOINT ELECTRIC/ELECTRICAL ELEVATION EMERGENCY ENCLOSURE ENTRANCE ELECTRICAL PANEL EQUAL EQUIPMENT	JB JST JT L LAV LT LVL	JUNCTION BOX JOIST JOINT LENGTH LAVATORY LIGHT LEVEL MASONRY	RM RO ROW RTU RV SCHED SECT SF SHT	ROOM ROUGH OPENING RIGHT OF WAY ROOF TOP UNIT ROOF VENT SCHEDULE SECTION SQUARE FEET SHEET		
APPROX ARCH ASPH AVG	APPROXIMATELY ARCHITECTURAL ASPHALT AVERAGE	EW EXH EXP EXT	EACH WAY EXHAUST EXPANSION EXTERIOR	MAX MECH MEMB MTL MFG	MAXIMUM MECHANICAL MEMBRANE METAL MANUFACTURER	SIM SPEC SPK SQ SST	SIMILAR SPECIFICATION SPEAKER SQUARE STAINLESS STEEL		
BD B.F.F. BIT BKR BLDG	BOARD BELOW FINISHED FLOOR BITUMINIOUS BREAKER BUILDING	FD FDN FFE FLR FLASH	FLOOR DRAIN FOUNDATION FINISHED FLOOR ELEVATION FLOOR FLASHING	MIN MISC MO NIC NOM	MINIMUM MISCELLANIOUS MASONRY OPENING NOT IN CONTRACT NOMINAL	STD STL STRUC SUP SUSP	STANDARD STEEL STRUCTURAL SUPPLY SUSPEND		
BM BRG BTU	BEAM BEARING BRITISH THERMAL UNIT CIRCUIT	FLOUR FOS FRM FRP	FLOURESCENT FACE OF STUD FRAME FIBERGLASS REINFORCED PLASTIC	NTS OA OC OD	NOT TO SCALE OVERALL ON CENTER OUTSIDE DIAMETER	TEMP THK THRES TYP	THERMOSTAT TEMPORARY THICK THRESHOLD TYPICAL		
CEM CFM CJ CLG CLR CMU	CEMENT CUBIC FEET/MINUTE CONTROL JOINT CEILING CLEAR CONCRETE MASONRY	FT FTG FUR GA GAL	FOOT FOOTING FURRING GAUGE GALLON	OFF OH OPNG P PL	OFFICE OVERHEAD OPENING POLE PLATE	UC UL UNO	UNDERCUT UNDERWRITER LABORATORIES UNLESS NOTED OTHERWISE		
CNDT CO COL CONC	UNIT CONDUIT CLEAN OUT COLUMN CONCRETE	GALV GEN GND GRD GYP	GALVANIZED GENERAL GROUND GRADE GYPSUM	PLG PLYWD PNL PR PREFAB PSF	PLUMBING PLYWOOD PANEL PAIR PREFABRICATED POUNDS/SQUARE FOOT	UR UTIL VB VERT	URINAL UTILITIES VOLT VAPOR BARRIER VERTICLE		
COND CONN CONST CONT CT	CONDENSATE CONNECTION CONSTRUCTION CONTINUOS CERAMIC TILE	HB HDR HDWR HGT HORZ	HOSE BIBB HEADER HARDWARE HEIGHT HORIZONTAL	PSI PT PVC QT	POUNDS/SQUARE INCH PAINT POLYVINYL CHLORIDE QT QUARRY TILE	VEST VOL VTR	VESTIBULE VOLUME VENT THROUGH ROOF		
DBL DEPT DIA DIM DISC DN DR DS DTL DM	COLD WATER DOUBLE DEPARTMENT DIAMETER DIMENSION DISCONNECT DOWN DOOR DOWNSPOUT DETAIL DRAWING	HP HR HTG HTR HA ID IN INSUL INT	HORSE POWER HOUR HEATING HEATER HOT WATER INSIDE DIAMETER INCHES INSULATION INTERIOR	R RSA RSA RSD REC REF REIND RESSER	RADIUS RISER RETURN AIR RECEPTACLE ROOF DRAIN RECESSED REFERENCE REGISTER REINFORCING REQUIRED ROOFING	W/ WC WD WDW WH WP WSCT WT WT WWF	WITH WATER CLOSET WOOD WINDOW WATER HEATER WATER PROOFING WAINSCOT WEIGHT WELDED WIRE FABRIC YARD		



GENERAL ACCESSIBILITY NOTES

DRAWINGS ON THIS SHEET ARE INTERPRETATIONS

- BASED UPON: 1.1. AMERICAN NATIONAL STANDARD ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC/ANSI A117.1-2009) AS PUBLISHED BY INTERNATIONAL CODE COUNCIL IN MAY, 2004.
- INTERNATIONAL BUILDING CODE 2003 AS PUBLISHED BY INTERNATIONAL CODE COUNCIL **IN JANUARY 2004**

39" - 41"

3'-6" MIN MA

SIDE ELEVATION

T.P. HOLDER

VERTICAL

3 CHANGES IN LEVEL SCALE: N.T.S.

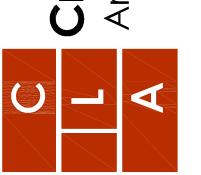
- AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES FOR BUIDLINGS AND FACILITIES (ADAAG) AS PUBLISHED BY U.S. ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD (ACCESS BOARD)
- THIS SHEET IS NOT INCLUSIVE OF ALL ACCESSIBILITY REQUIREMENTS BY ANY JURISICTION AND IS NOT INTENDED TO REPLACE OR ALTER ANY CODIFIED REQUIREMENTS BY ANY JURISDICTION. ACCESSIBLITY REQUIREMENTS SHALL BE MET IN
- STATE, LOCAL AND OTHER MUNICAPAL JURISDICTIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY CONFLICTS AND DISCREPANCIES TO
- ARCHITECT. WALKWAYS WILL HAVE A SLOPE NO STEEPER THAN

ACCORDANCE WITH ANY AND ALL FEDERAL AND

- 1:20. FLAT SURFACES SHALL HAVE A SLOPE NO STEEPER THAN 1:48 AT WET LOCATIONS.
- PROVIDE NON-SLIP FLOOR SURFACES AT ALL WET LOCATIONS. OPERABLE AND DISPENSING HEIGHTS SHALL BE 15"
- MINIMUM AND 44" MAXIMUM ABOVE FINISHED FLOOR UNLESS OTHERWISE REQUIRED AS DEFINED BY LOCAL AUTHORITY.
- ALL FIXTURES AND ACCESSORIES SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS TO MEET ACCCESSIBILITY REQUIREMENTS.
- 10. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
- . HANGING FIXURES AND ACCESSORIES SHALL HAVE WALL BLOCKING TO MEET MINIMUM FORCE REQUIREMENTS.
- 12. EXPOSED PIPING AT LAVOTORIES SHALL BE INSULATED. NO SHARP OR ABRASICE SURFACES SHALL BE ALLOWED.
- 13. PROVIDE SOAP AND HAND TOWEL DISPENSERS AT ALL HAND WASHING LOCATIONS. 14. SEE DRAWINGS FOR ACTUAL FIXTURE AND
- ACCESSORY LOCATIONS.



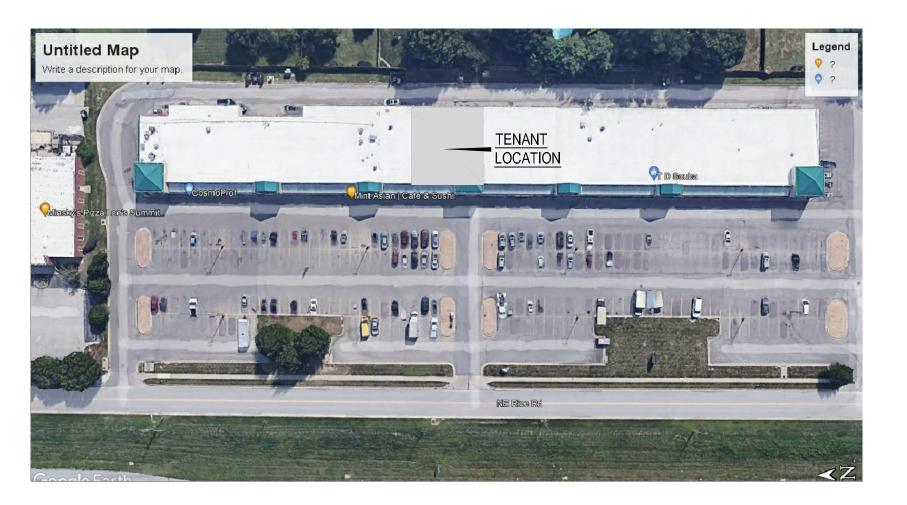
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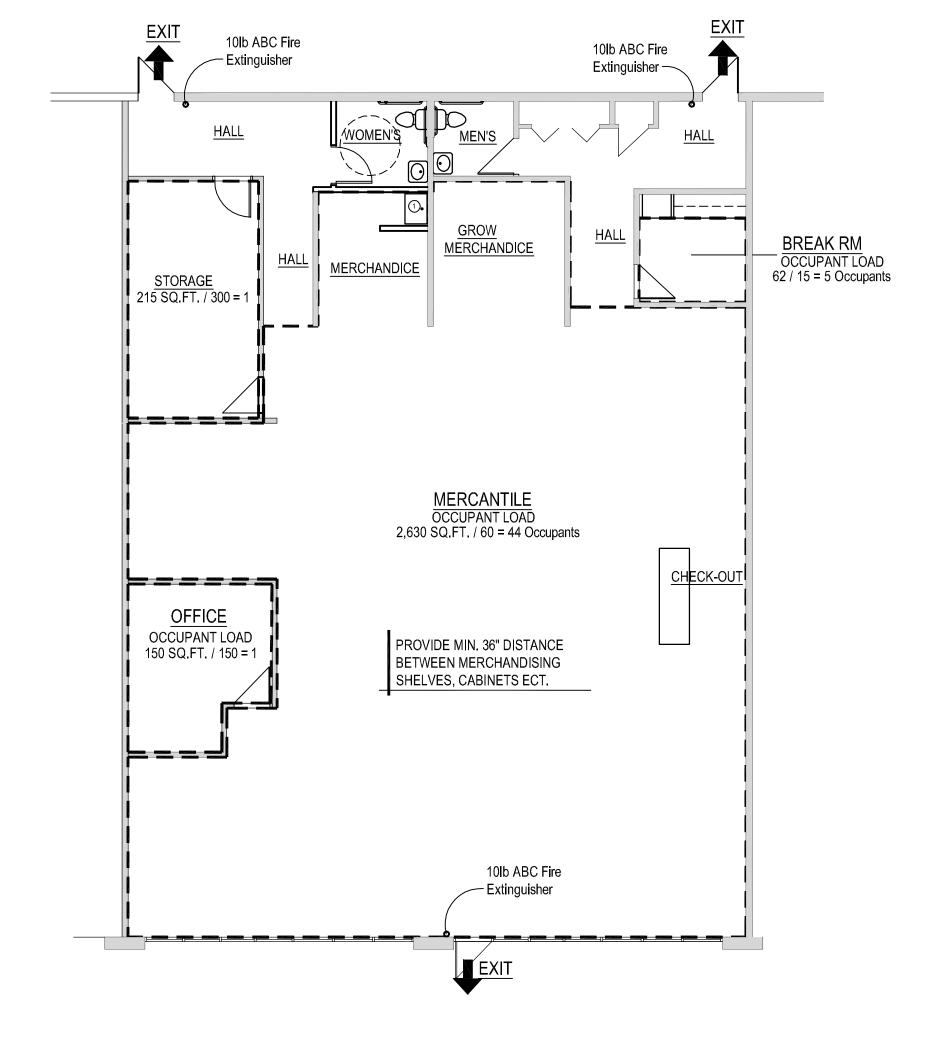
ARCHITECTURAL PROJECT NUMBER

SHEET NUMBER



2 Tenant Location

SCALE: 1/8"=1'



Code Review Plan SCALE: 1/8"=1'



PROJECT CODE DATA

- A) TYPE OF OCCUPANCY: M OCCUPANCY (MERCANTILE) CHANGE IN USE FROM B OCCUPANCY BUILDING USE: GARDENING CENTER
- B) TYPE OF CONSTRUCTION: BUILDING TYPE II B, UNPROTECTED, BUILDING IS FULLY SPRINKLED

C) CODE REFERENCES:

- 1. INTERNATIONAL BUILDING CODE 2018 EDITION 2. INTERNATIONAL PLUMBING CODE - 2018 EDITION
- 3. INTERNATIONAL MECHANICAL CODE 2018 EDITION 4. INTERNATIONAL FUEL GAS CODE - 2018 EDITION
- 5. INTERNATIONAL FIRE PREVENTION CODE 2018 EDITION 6. NATIONAL ELECTRICAL CODE - 2017 EDITION
- 7. INTERNATIONAL FIRE CODE 2018 EDITION
- 8. AMERICAN NATIONAL STANDARD ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (/ANSI A117.1-2009)
- D) TENANT AREA: 3,670 SQ.FT
- E) OCCUPANT LOAD 51 (SEE PLAN)
- F) FIRE RESISTANT RATING FOR EXTERIOR WALLS ≥10' TO ADJACENT PROP. LINES

MINIMUM FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS FIRE RATINGS OF STRUCTURAL ELEMENTS PER IBC TABLE 601: TYPE II B <u>ELEMENTS</u> FIRE RATING REQUIRED

STRUCTURAL FRAME **BEARING WALLS EXTERIOR** INTERIOR NONBEARING EXT. WALLS

NONBEARING INT. WALLS FLOOR CONSTRUCTION ROOF CONSTRUCTION

H) PLUMBING FIXTURE REQUIRMENTS: CHAPTER 29

CCUPANT LOA	ND: 51				
		WATER CLOSETS	REQUIRED	PROVIDED	
26 FEN	MALE: SEE N	OTE 1 BELOW	1	1	
26 MAL	.E: SEE N	OTE 1 BELOW	1	1	
		LAVATORIES	REQUIRED	PROVIDED	
26 FEN	MALE: SEE N	OTE 2 BELOW	1	1	
26 MAL	.E: SEE N	OTE 2 BELOW	1	1	

NOTE 1: 1 PER 500 NOTE 2: 1 PER 750

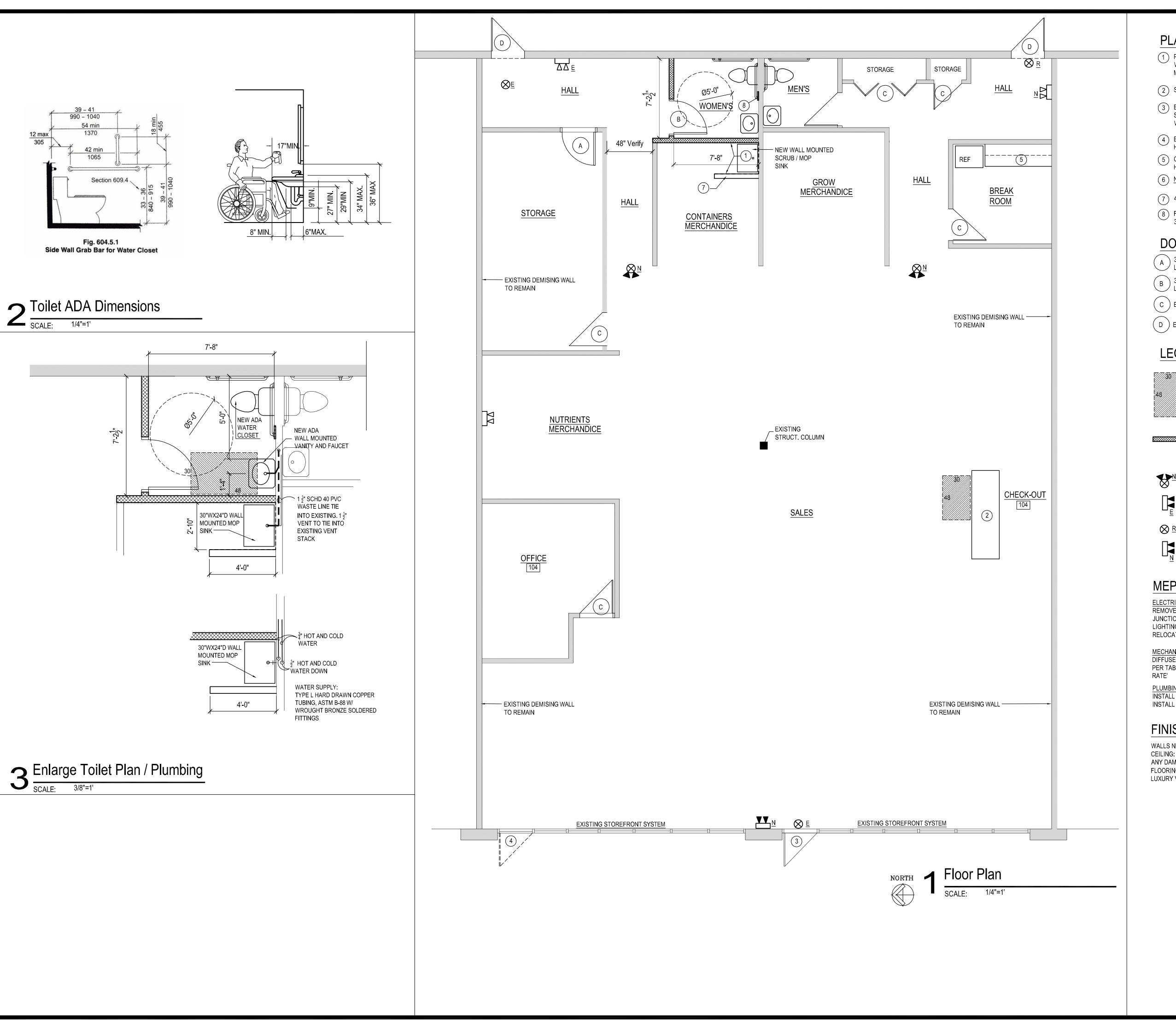
Luebbert **Craig**Archited



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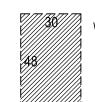


- 1) PROVIDE FRP PANEL OR EPOXY PAINT ON WALLS SURROUNDING SINK UP 48" MIN AND 24"
 MIN. IN FRONT OF SINK - TYP. (3) WALLS
- 2) SALES COUNTER MAX. HEIGHT 34" AFF
- (3) EXISTING STOREFRONT DOOR DOOR TO HAVE SIGNAGE: 'THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED'
- 4 EXISTING STOREFRONT DOOR: REMOVE HARDWARE DOOR TO BE CLOSED OFF
- 5 CASEWORK PROVIDED BY OWNER. MAXIMUM HEIGHT FROM COUNTER TO FLOOR 34" TYP.
- 6 NOTE NOT USED
- 7) 48" TALL WALL
- 8 FUR WALL AS REQUIRED FOR NEW 36" GRAB BAR

DOORS

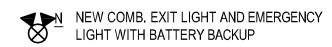
- A 3'-0"X6'-8" DOOR. ADA LEVERSTYLE LATCH
- B 3'-0"X6'-8" DOOR. ADA LEVERSTYLE LATCH. PRIVACY LOCK
- (C) EXISTING DOORS TO REMAIN
- (D) EXISTING DOOR WITH PANIC DEVICE

LEGEND



WHEEL CHAIR AREA

NEW WALL - $3\frac{5}{8}$ " METAL STUDS @ 16" O.C. TO BOTTOM OF GRID.



EXISTING EMERGENCY LIGHT W/ BATTERY BACKUP BACKUP

RELOCATE EXISTING EXIT LIGHT

NEW EMERGENCY LIGHT W/ BATTERY BACKUP

MEP WORK SCOPE:

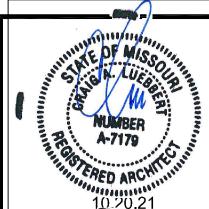
ELECTRICAL: NO WORK. ANY RECEPTACLES REMOVED OR CAPPED TERMINATE IN METAL JUNCTION BOXES. LIGHTING: EXISTING LIGHTING TO REMAIN RELOCATE EXISTING FIXTURES AS REQUIRED

MECHANICAL: RELOCATE EXISTING SUPPLY DIFFUSERS AS REQUIRED. PROVIDE FRESH AIR PER TABLE 403.3.1.1 'MINIMUM VENTILATION

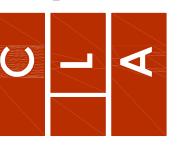
PLUMBING: INSTALL NEW ADA WATER CLOSET, INSTALL NEW ADA WALL HUNG LAVATORY. INSTALL NEW WALL HUNG MOP SINK.

FINISHES:

WALLS NEW AND EXISTING: - PAINT CEILING: EXISTING GRID TO REMAIN. REPLACE ANY DAMAGED TILES FLOORING: ALL AREAS TO RECEIVE NEW LUXURY VINYL TILE.



.uebbert



10.20.21

REVISIONS:

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