

# LOT 10 LAKEWOOD BUSINESS PARK

LOT 10 I-470 BUSINESS & TECHNOLOGY CENTER  
2601 NE MCBAIN DRIVE  
LEE'S SUMMIT, MO 64064

ISSUED FOR:  
PERMIT - 09/24/2021



GENERAL NOTES	CONSTRUCTION NOTES	SHEET INDEX	VICINITY MAP																																																																																																																																																											
<p>1. CONTRACTOR SHALL VISIT THE SITE, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND OWNER REVIEW AND UNDERSTAND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORRECTIONS AND REPAIRS REQUIRED DUE TO THEIR FAILURE TO DO SO. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL SUB-CONTRACTORS RECEIVE ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.</p> <p>2. SOLELY AS A CONVENIENCE TO THE OWNER AND CONTRACTOR, THE ARCHITECT MAY INCLUDE DOCUMENTS PREPARED BY CERTAIN CONSULTANTS (OR INCORPORATE THE RECOMMENDATIONS OF SAID CONSULTANTS INTO DOCUMENTS PREPARED BY THE ARCHITECT) WITHIN THE SET OF DOCUMENTS ISSUED BY THE ARCHITECT. IT IS EXPRESSLY UNDERSTOOD, THAT BY SUCH ISSUANCE, THE ARCHITECT ASSUMES NO LIABILITY FOR THE SERVICES OF SAID CONSULTANTS.</p> <p>3. ALL WORK AND MATERIALS SHALL CONFORM TO THE APPLICABLE CODES LISTED IN THE PROJECT CODE SUMMARY.</p> <p>4. UNLESS OTHERWISE INDICATED ON THESE DRAWINGS AND SPECIFICATIONS AS BEING N.I.C. OR EXISTING, ALL ITEMS, MATERIALS, ETC. AND INSTALLATIONS OF THE SAME ARE A PART OF THE CONTRACT DEFINED BY THESE DRAWINGS AND SPECIFICATIONS AND THEIR INTENT.</p> <p>5. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS AND COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKERS AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO JOB SITE. WHERE DAMAGE OCCURS, THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND MAY NOT BE LIMITED TO NORMAL WORKING HOURS. PROVIDE SECURITY FENCE AND GATES AS NECESSARY AROUND THE AREA WITHIN THE SCOPE OF WORK.</p> <p>6. IF THERE ARE TRENCHES OR EXCAVATION 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, CONTRACTOR SHALL OBTAIN NECESSARY PERMIT FROM THE APPROPRIATE LOCAL GOVERNING AGENCY.</p> <p>7. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY CONTRACT DOCUMENTS.</p> <p>8. ANY REVISION OR ADDITIONAL WORK REQUIRED BY FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.</p> <p>9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTING INDICATED ON THE PLANS AND BY SPECIFICATIONS OR REQUIRED BY THE SOILS REPORT AND/OR REQUIRED BY ANY GOVERNMENT AGENCY.</p> <p>10. CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING(S) AS MAY BE INDICATED ON THE PLANS.</p> <p>11. NO ADDITIONAL ROOF OPENING OR ROOF MOUNTED EQUIPMENT IS ALLOWED BEYOND THAT WHICH IS SHOWN ON THESE PLANS WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND STRUCTURAL ENGINEER.</p> <p>12. NO STRUCTURAL MEMBER SHALL BE CUT FOR PIPES, HVAC DUCTS, ETC., UNLESS SPECIFICALLY DETAILED AND/OR APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER.</p> <p>13. ALL SHOP WELDING TO BE DONE IN A CERTIFIED LICENSED SHOP. ALL FIELD WELDING SHALL BE DONE ONLY BY CERTIFIED WELDERS UNDER CONTINUOUS INSPECTION WITH CERTIFICATE ISSUED AS REQUIRED BY BUILDING OFFICIAL.</p> <p>14. WHERE LARGER STUDS OR FURRING IS REQUIRED TO COVER DUCTS, PIPING, CONDUIT, ETC., THE LARGER SIZE STUD OR FURRING SHALL EXTEND THE FULL LENGTH OF THE SURFACE WHERE THE FURRING OCCURS.</p> <p>15. NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USED WITHIN THE BUILDING WHICH EXCEED THE QUANTITIES ALLOWED BY CODE.</p> <p>16. INSTALLATION OF ANY BUILDING INSULATION WHICH CONTAINS OR UTILIZES AN OZONE DEPLETING COMPOUND IS PROHIBITED.</p> <p>17. NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.</p> <p>18. THE BUILDING AND FACILITIES MUST BE ACCESSIBLE TO AND FUNCTIONAL FOR THE PHYSICALLY DISABLED IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) AND ALL OTHER STATE/FEDERAL GOVERNING AGENCIES.</p>	<p>1. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF THE AUTHORITY HAVING JURISDICTION AND THE RULES AND REGULATIONS OF ALL AGENCIES, DEPARTMENTS AND COMMISSIONS HAVING JURISDICTION. WHERE DISCREPANCIES OCCUR AND/OR WHERE THERE ARE CONFLICTS OR OMISSIONS IN THE DRAWINGS AND APPLICATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND REFRAIN FROM STARTING AND COMPLETING SUCH WORK, OR DEPENDENT WORK, UNTIL TOLD BY THE ARCHITECT TO PROCEED.</p> <p>2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT TO THE ARCHITECT ANY CONDITION OR DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS REQUIRING MODIFICATIONS BEFORE PROCEEDING WITH THE WORK.</p> <p>3. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.</p> <p>4. REFERENCING OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWING.</p> <p>5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREAS. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.</p> <p>6. NOTES APPEAR ON VARIOUS SHEETS FOR VARIOUS SYSTEMS AND MATERIALS. SHEETS ARE TO BE OWNER REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO RELATED SYSTEMS AND MATERIALS DEPICTED ON OTHER DRAWINGS.</p> <p>7. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE THAT ARE. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.</p> <p>8. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES.</p> <p>9. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.</p> <p>10. GUTTER AND DOWNSPOUT SIZING PER OWNER'S CONTRACTOR.</p>	<p style="writing-mode: vertical-rl; transform: rotate(180deg);">ISSUE FOR PERMIT - 09/24/2021</p> <table border="1"> <thead> <tr> <th>#</th> <th>SHEET NAME</th> <th></th> </tr> </thead> <tbody> <tr> <td colspan="3"><b>GENERAL</b></td> </tr> <tr> <td>G-100</td> <td>COVER SHEET</td> <td>X</td> </tr> <tr> <td colspan="3"><b>CIVIL</b></td> </tr> <tr> <td>C-001</td> <td>COVER SHEET</td> <td>X</td> </tr> <tr> <td>C-101</td> <td>DEMOLITION PLAN</td> <td>X</td> </tr> <tr> <td>C-121</td> <td>EROSION CONTROL PLAN PHASE 1</td> <td>X</td> </tr> <tr> <td>C-122</td> <td>EROSION CONTROL PLAN PHASE 2</td> <td>X</td> </tr> <tr> <td>C-123</td> <td>EROSION CONTROL PLAN PHASE 3</td> <td>X</td> </tr> <tr> <td>C-131</td> <td>EROSION CONTROL DETAILS</td> <td>X</td> </tr> <tr> <td>C-132</td> <td>EROSION CONTROL DETAILS</td> <td>X</td> </tr> <tr> <td>C-201</td> <td>DIMENSION PLAN</td> <td>X</td> </tr> <tr> <td>C-301</td> <td>GRADING PLAN</td> <td>X</td> </tr> <tr> <td>C-401</td> <td>UTILITY PLAN</td> <td>X</td> </tr> <tr> <td>C-411</td> <td>STORM PROFILES</td> <td>X</td> </tr> <tr> <td>C-421</td> <td>DRAINAGE AREA MAP</td> <td>X</td> </tr> <tr> <td>C-501</td> <td>DETAILS</td> <td>X</td> </tr> <tr> <td colspan="3"><b>LANDSCAPE</b></td> </tr> <tr> <td>L-100</td> <td>LANDSCAPE PLAN</td> <td>X</td> </tr> <tr> <td colspan="3"><b>ARCHITECTURAL</b></td> </tr> <tr> <td>A-001</td> <td>LIFE SAFETY AND CODE SHEET</td> <td>X</td> </tr> <tr> <td>A-002</td> <td>ROOF DRAINAGE PLAN</td> <td>X</td> </tr> <tr> <td>A-100</td> <td>OVERALL MAIN LEVEL FLOOR PLAN</td> <td>X</td> </tr> <tr> <td>A-110</td> <td>MAIN LEVEL FLOOR PLAN - AREA A</td> <td>X</td> </tr> <tr> <td>A-111</td> <td>MAIN LEVEL FLOOR PLAN - AREA B</td> <td>X</td> </tr> <tr> <td>A-130</td> <td>ENLARGED PLANS</td> <td>X</td> </tr> <tr> <td>A-200</td> <td>ROOF PLAN</td> <td>X</td> </tr> <tr> <td>A-301</td> <td>EXTERIOR ELEVATIONS</td> <td>X</td> </tr> <tr> <td>A-400</td> <td>WALL SECTIONS &amp; 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	<p style="text-align: center;"><b>INSTRUCTION TO CONTRACTOR</b></p> <p>1. THE INTENT OF THE SET OF CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR AS BINDING PERFORMANCE. THE CONTRACTOR SHALL BE REQUIRED ONLY TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS.</p> <p>2. ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS, SECTIONS AND ARTICLES, ARRANGEMENT OF DRAWINGS SHALL NOT CONTROL THE CONTRACTOR, IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.</p> <p>3. UNLESS OTHERWISE STATED IN THE CONTRACT DOCUMENTS, WORDS WHICH HAVE WELL-KNOWN TECHNICAL OR CONSTRUCTION INDUSTRY MEANINGS ARE USED IN THE CONTRACT DOCUMENTS IN ACCORDANCE WITH SUCH RECOGNIZED MEANINGS.</p> <p>4. GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR TO FULLY COORDINATE ALL ELECTRICAL DEVICE BODIES AND COVER PLATES PER THE SPECIFICATIONS. DEVICE BODIES AND COVER PLATES ARE COLOR COORDINATED WITH SPECIALTY FINISHES. PROVIDE DEVICE BODY AND COVER PLATES TO THE ARCHITECT FOR OWNER REVIEW AND APPROVAL.</p> <p>5. GENERAL CONTRACTOR TO FULLY COORDINATE WITH MECHANICAL/PLUMBING SUBCONTRACTORS. ALL FIXTURE/DEVICE COLORS WHERE FIXTURE/DEVICE UNITS ARE PLACED WITHIN WALLS AND CEILING ASSEMBLIES VS ADJACENT MATERIAL FINISH COLOR.</p>		<table border="1"> <thead> <tr> <th>REVISIONS</th> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>DRAWN BY: NC CHECKED BY: NC PROJECT #: 21-1902 ISSUE DATE: 2021.09.24 ISSUED FOR: ISSUE FOR PERMIT COVER SHEET</p> <p style="text-align: center; font-size: 24pt;"><b>G-100</b></p>	REVISIONS	NO.	DATE	DESCRIPTION																																																																																																																																																							
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Certificates of Authority  
Architecture: MO 310 / KS 73  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 36

CLIENT  
DAVID WARD  
WARD DEVELOPMENT  
1120 EAGLE RIDGE BLVD  
GRAIN VALLEY, MO 64029  
david@safetyministorage.com

LOT 10 LAKEWOOD BUSINESS PARK  
LOT 10 I-470 BUSINESS PARK  
LEE'S SUMMIT, MO 64064



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# Lot 10 I-470 BUSINESS AND TECHNOLOGY CENTER

## DEVELOPMENT PLAN

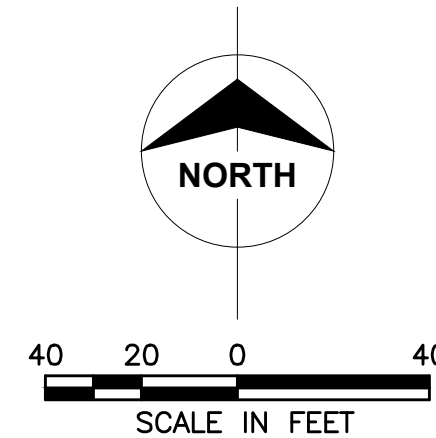
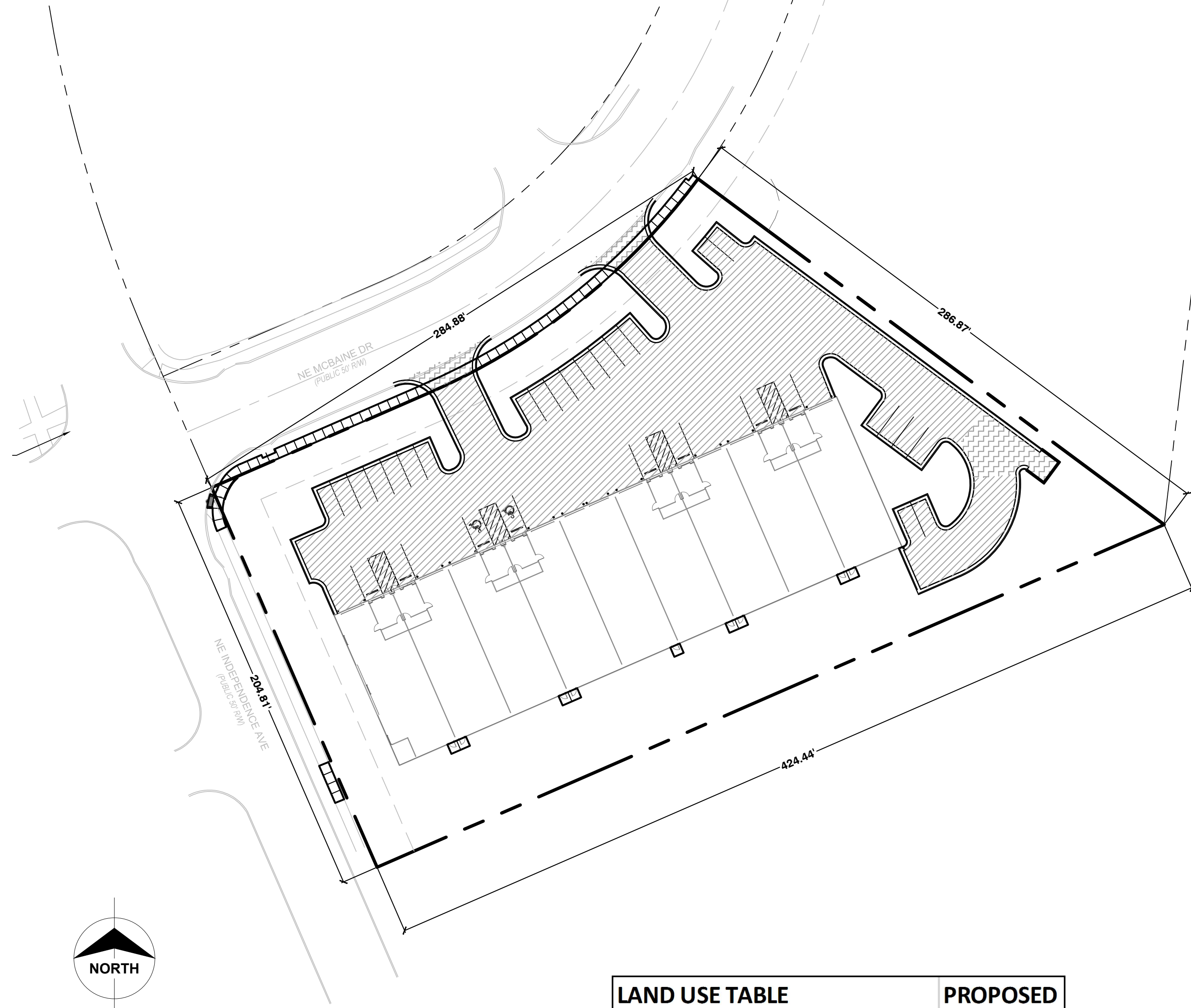
### LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

#### GENERAL NOTES

- THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF LEE'S SUMMIT, MISSOURI, IN CURRENT USAGE AND ALL SUPPLEMENTS THERE TO.
- REFER TO THE CURRENT VERSION OF THE KC METRO CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION, STANDARD SPECIFICATIONS & INSTALLATION FOR THE GUIDING REFERENCE AS WELL MDNR.
- DO NOT SCALE THESE DRAWINGS.
- NO GEOLOGICAL INVESTIGATION WAS PERFORMED ON THIS SITE.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, BONDS, AND INSURANCE REQUIRED BY THE CITY.
- THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE TAKEN FROM UTILITY COMPANY RECORDS AND ARE APPROXIMATE ONLY. THEY DO NOT CONSTITUTE ACTUAL FIELD LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL STATE AND LOCAL CODES.
- THE DEVELOPER / OWNER SHALL CONTROL EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION, AND SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS.
- ALL EXCESS MATERIAL SHALL BE REMOVED LEGALLY FROM SITE AND DISPOSED OF OFF SITE.
- TRAFFIC CONTROL AND MAINTENANCE OF TRAFFIC DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC WORKS DEPARTMENT.
- EROSION CONTROL MEASURES SHALL BE PROVIDED AT ALL LOCATIONS WHERE DRAINAGE IS LEAVING THE PROJECT SITE. THE EROSION CONTROL PLAN SHOWS MINIMUM EROSION CONTROL MEASURES TO BE PROVIDED. ADDITIONAL SITE SPECIFIC MEASURES MAY BE NECESSARY AND SHALL BE PROVIDED BY THE DEVELOPER / OWNER, AT THE CONTRACTOR'S EXPENSE.
- ANY EXISTING OR NEW STORM SEWER INLETS IN USE DURING DEMOLITION, GRADING OR CONSTRUCTION SHALL HAVE INLET PROTECTION.
- THE CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN ACTUAL AND PLAN SHOWN CONDITIONS TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND QUANTITIES SHOWN ON THESE PLANS AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING ANY RELATED WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND INSTALLATIONS, INCLUDING SERVICE CONNECTIONS, IN ADVANCE OF EXCAVATION OR TRENCHING, AND PROTECT THE SAME AS REQUIRED TO MAINTAIN GOOD OPERATING CONDITION.
- THE CONTRACTOR SHALL USE HIS OWN INFORMATION AND NOT RELY UPON ANY INFORMATION SHOWN ON THE DRAWINGS CONCERNING EXISTING UNDERGROUND INSTALLATIONS.
- ANY DELAY, ADDITIONAL WORK, OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO EXISTING UNDERGROUND INSTALLATIONS SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT, OR DAMAGES. ALL DAMAGE TO EXISTING UTILITIES INCLUDING SERVICE CONNECTIONS SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND OBTAIN ALL NECESSARY INSPECTIONS THROUGHOUT THE CONSTRUCTION ACTIVITIES.
- ALL EXCAVATION SHALL BE UNCLASSIFIED. NO SEPARATE PAYMENT WILL BE MADE FOR ROCK EXCAVATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, AND SIGNS AS REQUIRED, ALL WORK SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN THE CONTRACT WITH THE OWNER. ADDITIONALLY, ALL EXISTING UTILITY TOPS SHALL BE ADJUSTED TO FINISHED GRADE.
- REMOVAL OF EXISTING PAVING AND/OR BORING AT THE CONTRACTOR'S DISCRETION SHALL BE INCLUDED AS A PART OF ALL UTILITY INSTALLATIONS WHERE APPLICABLE AT THE CONTRACTOR'S EXPENSE AS WELL AS REPLACEMENT/REPAIR OF ALL DISTURBED MATERIALS IN ACCORDANCE WITH LOCAL SPECIFICATIONS AND CODES.
- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION SCHEDULES AND ACTIVITIES WITH THE APPROPRIATE UTILITY OWNER AND ADJACENT PROPERTY OWNERS TO MINIMIZE DISRUPTION TO ADJACENT PROPERTY OWNERS INCLUDING VEHICULAR ACCESS.
- THE CONTRACTOR SHALL COORDINATE ALL UTILITY WORK, INCLUDING DEMOLITION AND REMOVAL, WITH THE APPROPRIATE UTILITY COMPANIES AND SERVICE PROVIDERS PRIOR TO DISCONTINUATION OF SERVICE. UTILITIES NOT NOTED FOR DEMOLITION SHALL REMAIN IN SERVICE AT ALL TIMES.
- THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES UNTIL THE RELOCATED UTILITIES ARE INSPECTED AND APPROVED.
- ALL EXISTING UTILITIES SHALL BE REMOVED BACK TO THE CLOSEST STRUCTURE AND CAPPED AT THAT LOCATION UNLESS OTHERWISE INDICATED IN THESE PLANS.
- REMOVE ALL TREES, GRASS, WEEDS, ROOTS, AND OTHER DEBRIS FROM THE AREA TO BE EXCAVATED, FILLED OR GRADED.
- IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION, AS DETERMINED BY THE GEOTECHNICAL ENGINEER, THE CONTRACTOR SHALL FURNISH SUITABLE BORROW.
- ALL SLOPES, CUT OR FILL, SHALL BE GRADED TO MAXIMUM FINISH SLOPE OF THREE (3) FEET HORIZONTAL TO ONE (1) FOOT VERTICAL. NO GRADED SLOPE SHALL EXCEED 3:1 WITHOUT SPECIFIC SLOPE PLANTING OR REINFORCEMENT.
- SITE SHALL BE GRADED TO ENSURE DRAINAGE OF WATER FROM ALL SURFACES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURFACE AND GROUNDWATER CONTROL MEASURES.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED.
- STORM DRAINAGE SYSTEMS WITHIN THE PROJECT AREA ARE TO BE COMPLETELY CLEANED AT THE COMPLETION OF THE PROJECT.
- EXISTING TREES WHERE INDICATED SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND ALL GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES.
- ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING.
- ALL SOILS UNDERCUTTING, OVER EXCAVATION, UNDER DRAIN INSTALLATION, AND ROCK FILLS SHALL BE DETERMINED AND DIRECTED BY THE SOILS ENGINEER.
- FILL AREAS TO BE COMPACTED TO 95% STANDARD PROCTOR MINIMUM UNLESS OTHERWISE INDICATED BY GEOTECHNICAL ENGINEER.
- UNLESS OTHERWISE INDICATED, ALL DISTURBED SOIL AREAS TO RECEIVE 6 INCHES OF TOPSOIL AND TO BE SEED AND MULCHED.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING, PATCHING, AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

#### CONSTRUCTION NOTES

- ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF THE AUTHORITY HAVING JURISDICTION AND THE RULES AND REGULATIONS OF ALL AGENCIES, DEPARTMENTS AND COMMISSIONS HAVING JURISDICTION. WHERE DISCREPANCIES OCCUR AND/OR WHERE THERE ARE CONFLICTS OR OMISSIONS IN THE DRAWINGS AND APPLICATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND REFRAIN FROM STARTING AND COMPLETING SUCH WORK, OR DEPENDENT WORK, UNTIL TOLD BY THE ARCHITECT TO PROCEED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT TO THE ARCHITECT ANY CONDITION OR DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS REQUIRING MODIFICATIONS BEFORE PROCEEDING WITH THE WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- REFERENCING OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREAS. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- NOTES APPEAR ON VARIOUS SHEETS FOR VARIOUS SYSTEMS AND MATERIALS. SHEETS ARE TO BE OWNER REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO RELATED SYSTEMS AND MATERIALS DEPICTED ON OTHER DRAWINGS.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE THAT ARE. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.



#### LEGAL DESCRIPTION

LOT 10, WOODBURY ESTATES, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

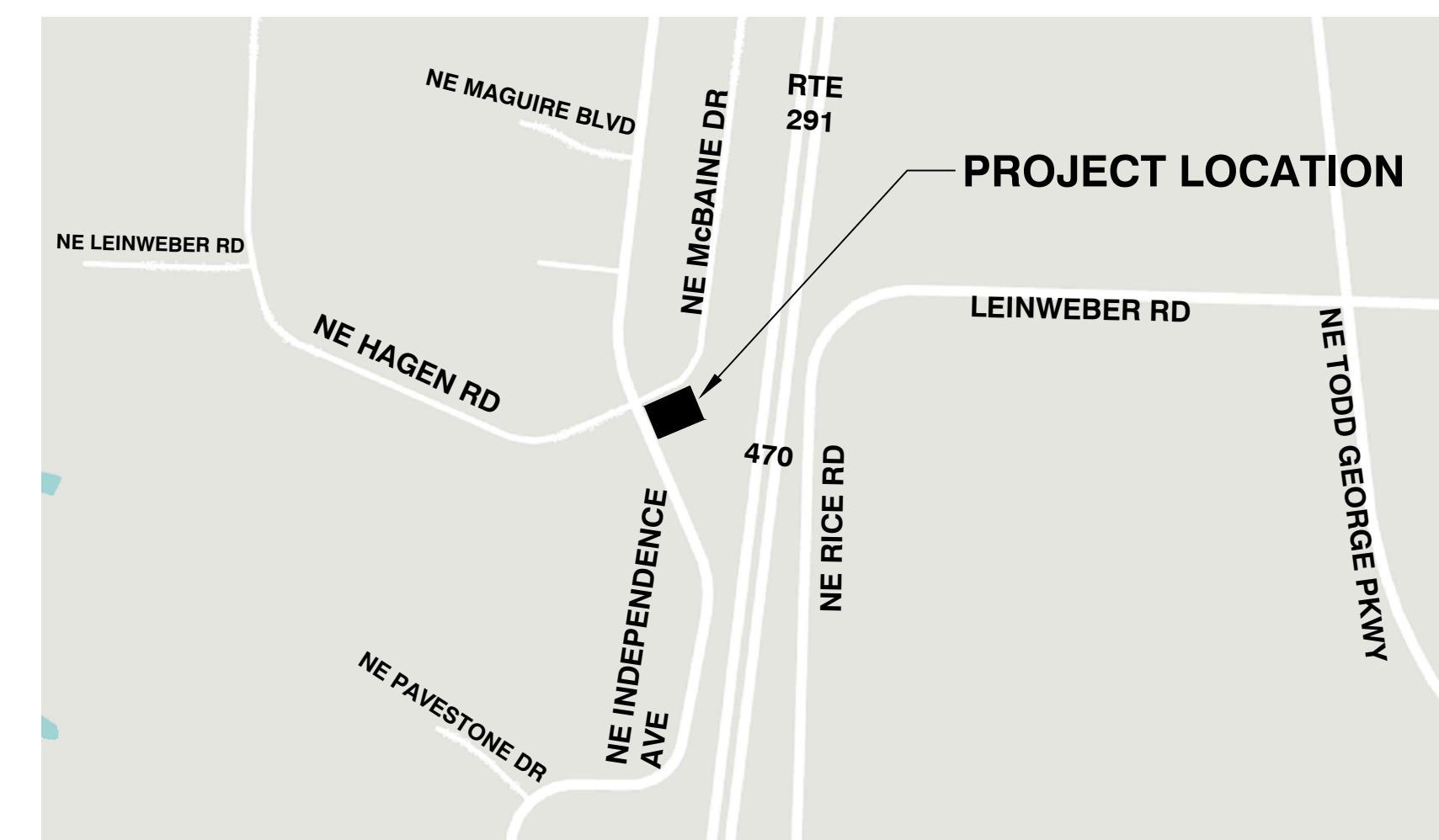
#### DEVELOPER:

David Ward  
Ward Development  
1120 NW Eagle Ridge Blvd.  
Grain Valley, MO  
816-229-8115

#### NOTES:

- Site is located within an area of minimal flood hazard (Flood Zone X) in FEMA FIRM Panel number 29095C0430G (effective 1/20/2017).
- No oil or gas wells are present on site per Missouri DNR record.
- Requirements of the City of Lee's Summit Design and Construction Manual shall govern.

LAND USE TABLE	PROPOSED
TOTAL FLOOR AREA (SF)	21,897
NUMBER OF DWELLING UNITS	0
LAND AREA (AC)	1.79
REQUIRED PARKING SPACES	28
PROVIDED PARKING SPACES	31
IMPERVIOUS COVERAGE (AC)	1.26
FLOOR AREA RATIO (FAR)	0.281



#### INDEX

- C-001 Cover Sheet
- C-101 Demolition Plan
- C-121 Erosion Control Plan Phase 1
- C-122 Erosion Control Plan Phase 2
- C-123 Erosion Control Plan Phase 3
- C-131 Erosion Control Details
- C-132 Erosion Control Details
- C-201 Dimension Plan
- C-301 Grading Plan
- C-401 Utility Plan
- C-411 Storm Profiles
- C-421 Drainage Area Map
- C-501 Details
- L-100 Landscape Plan

#### UTILITIES

**EVERGY**  
1200 Main St.  
PO Box 418679  
Kansas City, MO 64141  
888.471.5275

**SPIRE**  
3025 SE Clover Dr.  
Lee's Summit, MO 64082  
800.582.1234

**CITY OF LEE'S SUMMIT**  
220 SE Green St.  
Lee's Summit, MO 64063  
816.969.1800

**AT&T**  
215 N Spring St.  
Independence, MO 64050  
816.325.5610

**SPECTRUM**  
6550 Winchester Ave.  
Kansas City, MO 64133  
816.358.5360

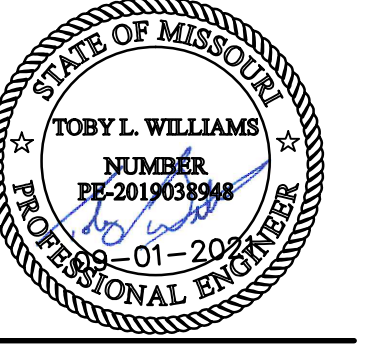
**MISSOURI ONE CALL**  
1.800.344.7483



Certificates of Authority  
Architecture: MO 310 / KS 13  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 34

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Toby L. Williams, PE  
PE-2019038948 (MISSOURI #)



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DAVID WARD  
1120 NW EAGLE RIDGE BLVD.  
GRAIN VALLEY, MO 64029  
(816) 229-8115

LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER  
2601 NE MCBAIN DRIVE  
LEE'S SUMMIT, MO 64064

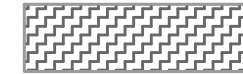

REVISIONS	NO.	DATE/DESCRIPTION

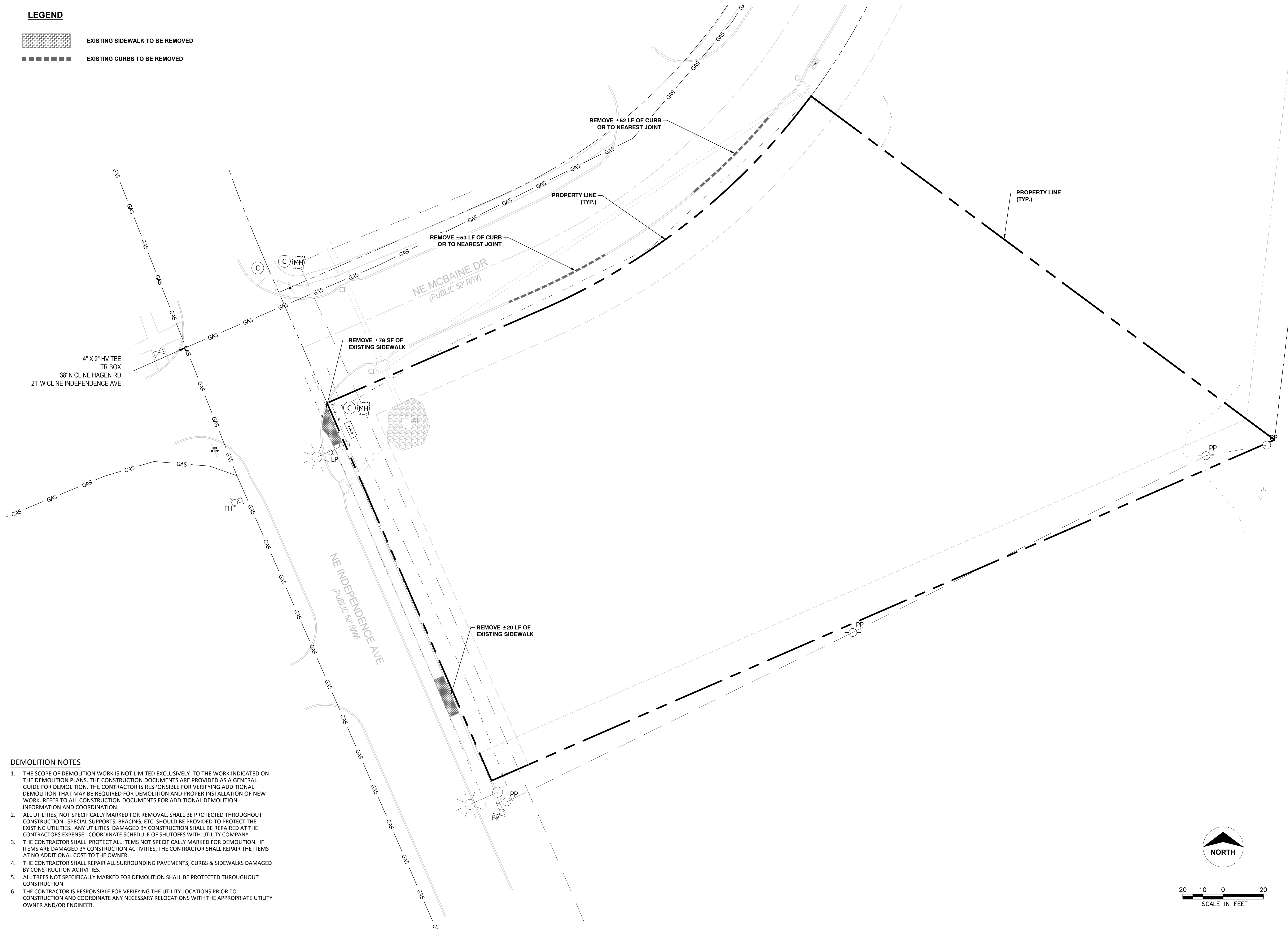
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ISSUE DATE: 09/01/2021  
ISSUED FOR:

COVER SHEET

C-001

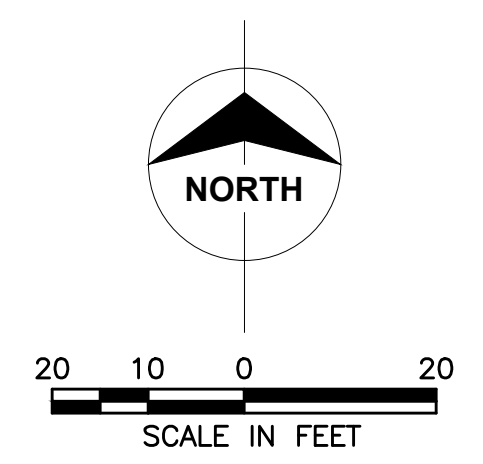
**LEGEND**

-  EXISTING SIDEWALK TO BE REMOVED
-  EXISTING CURBS TO BE REMOVED



**DEMOLITION NOTES**

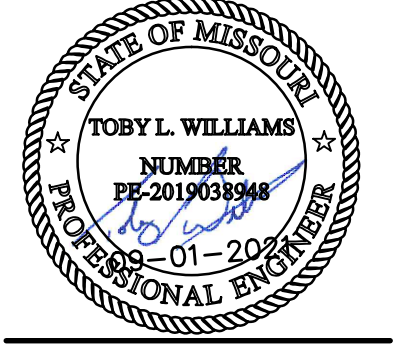
1. THE SCOPE OF DEMOLITION WORK IS NOT LIMITED EXCLUSIVELY TO THE WORK INDICATED ON THE DEMOLITION PLANS. THE CONSTRUCTION DOCUMENTS ARE PROVIDED AS A GENERAL GUIDE FOR DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ADDITIONAL DEMOLITION THAT MAY BE REQUIRED FOR DEMOLITION AND PROPER INSTALLATION OF NEW WORK. REFER TO ALL CONSTRUCTION DOCUMENTS FOR ADDITIONAL DEMOLITION INFORMATION AND COORDINATION.
2. ALL UTILITIES, NOT SPECIFICALLY MARKED FOR REMOVAL, SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. SPECIAL SUPPORTS, BRACING, ETC. SHOULD BE PROVIDED TO PROTECT THE EXISTING UTILITIES. ANY UTILITIES DAMAGED BY CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE. COORDINATE SCHEDULE OF SHUTOFFS WITH UTILITY COMPANY.
3. THE CONTRACTOR SHALL PROTECT ALL ITEMS NOT SPECIFICALLY MARKED FOR DEMOLITION. IF ITEMS ARE DAMAGED BY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL REPAIR THE ITEMS AT NO ADDITIONAL COST TO THE OWNER.
4. THE CONTRACTOR SHALL REPAIR ALL SURROUNDING PAVEMENTS, CURBS & SIDEWALKS DAMAGED BY CONSTRUCTION ACTIVITIES.
5. ALL TREES NOT SPECIFICALLY MARKED FOR DEMOLITION SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND COORDINATE ANY NECESSARY RELOCATIONS WITH THE APPROPRIATE UTILITY OWNER AND/OR ENGINEER.



Certificates of Authority  
 Architecture: MO 318 / KS 13  
 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 34

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 PE-2019038948 (MISSOURI #)



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 DAVID WARD  
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 GRAIN VALLEY, MO 64029  
 (816) 229-8115



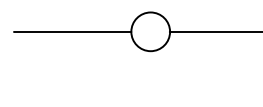

**LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER**  
 2601 NE MCBAIN DRIVE  
 LEE'S SUMMIT, MO 64064

REVISIONS NO.	DATE / DESCRIPTION

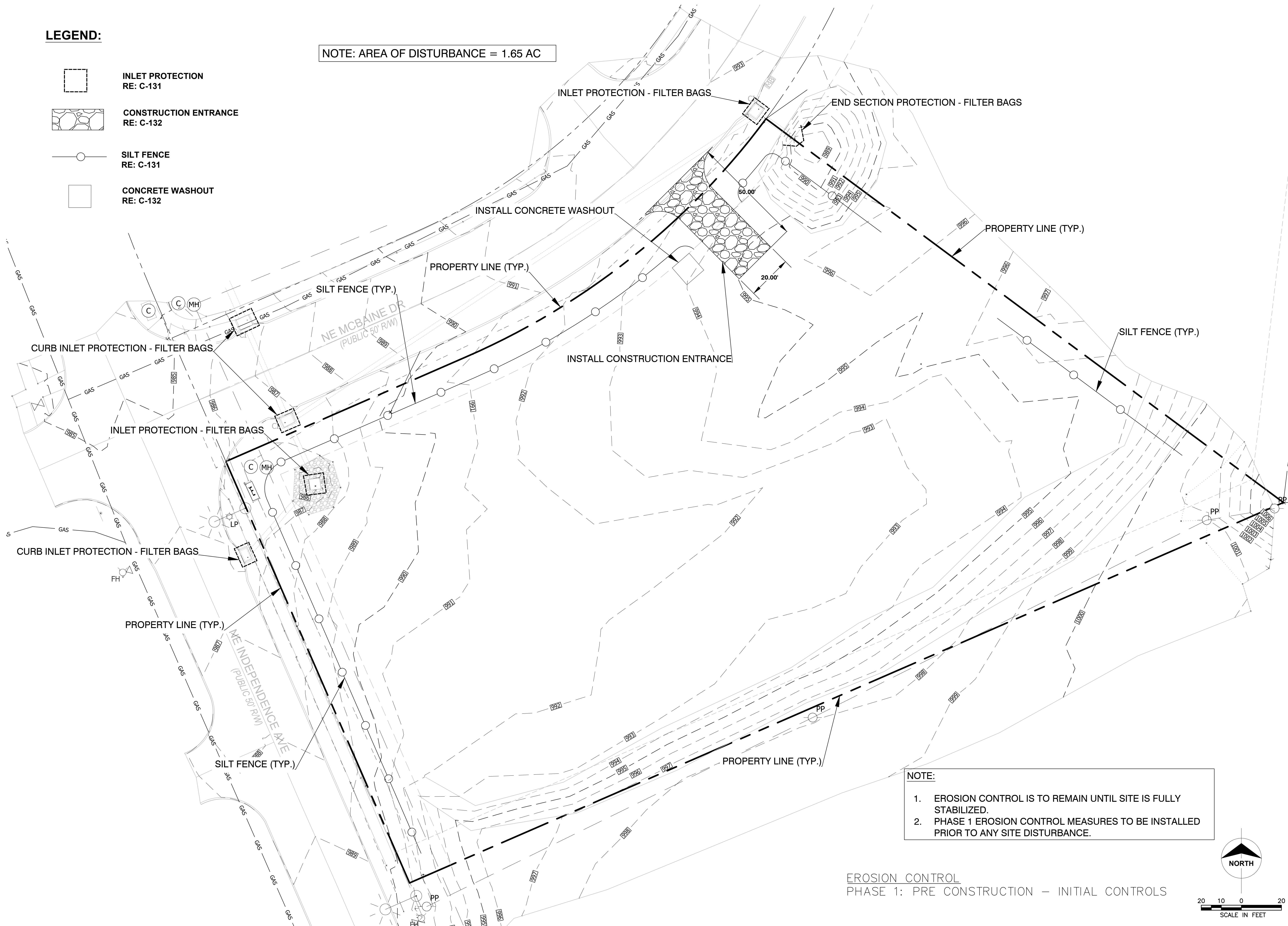
PROJECT #: 21-1902  
 ISSUE DATE: 09/01/2021  
 ISSUED FOR:

DEMOLITION PLAN

**LEGEND:**

-  **INLET PROTECTION**  
RE: C-131
-  **CONSTRUCTION ENTRANCE**  
RE: C-132
-  **SILT FENCE**  
RE: C-131
-  **CONCRETE WASHOUT**  
RE: C-132

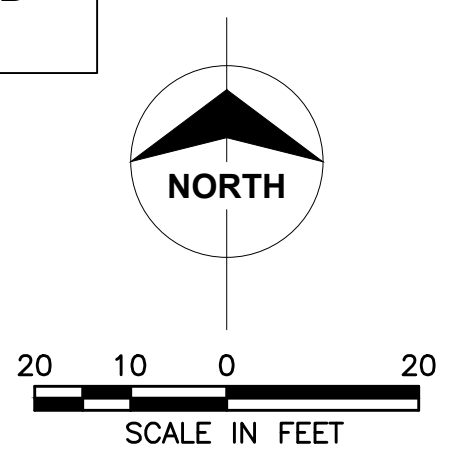
NOTE: AREA OF DISTURBANCE = 1.65 AC



**NOTE:**

1. EROSION CONTROL IS TO REMAIN UNTIL SITE IS FULLY STABILIZED.
2. PHASE 1 EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO ANY SITE DISTURBANCE.

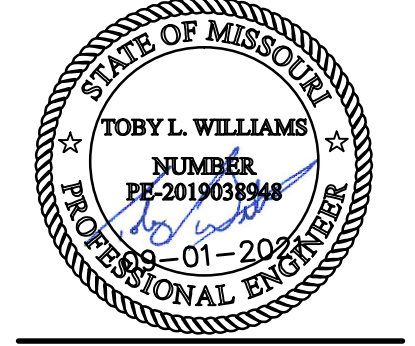
**EROSION CONTROL  
PHASE 1: PRE CONSTRUCTION – INITIAL CONTROLS**



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Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 34

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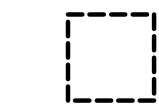

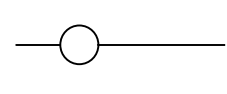
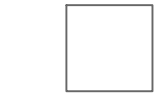
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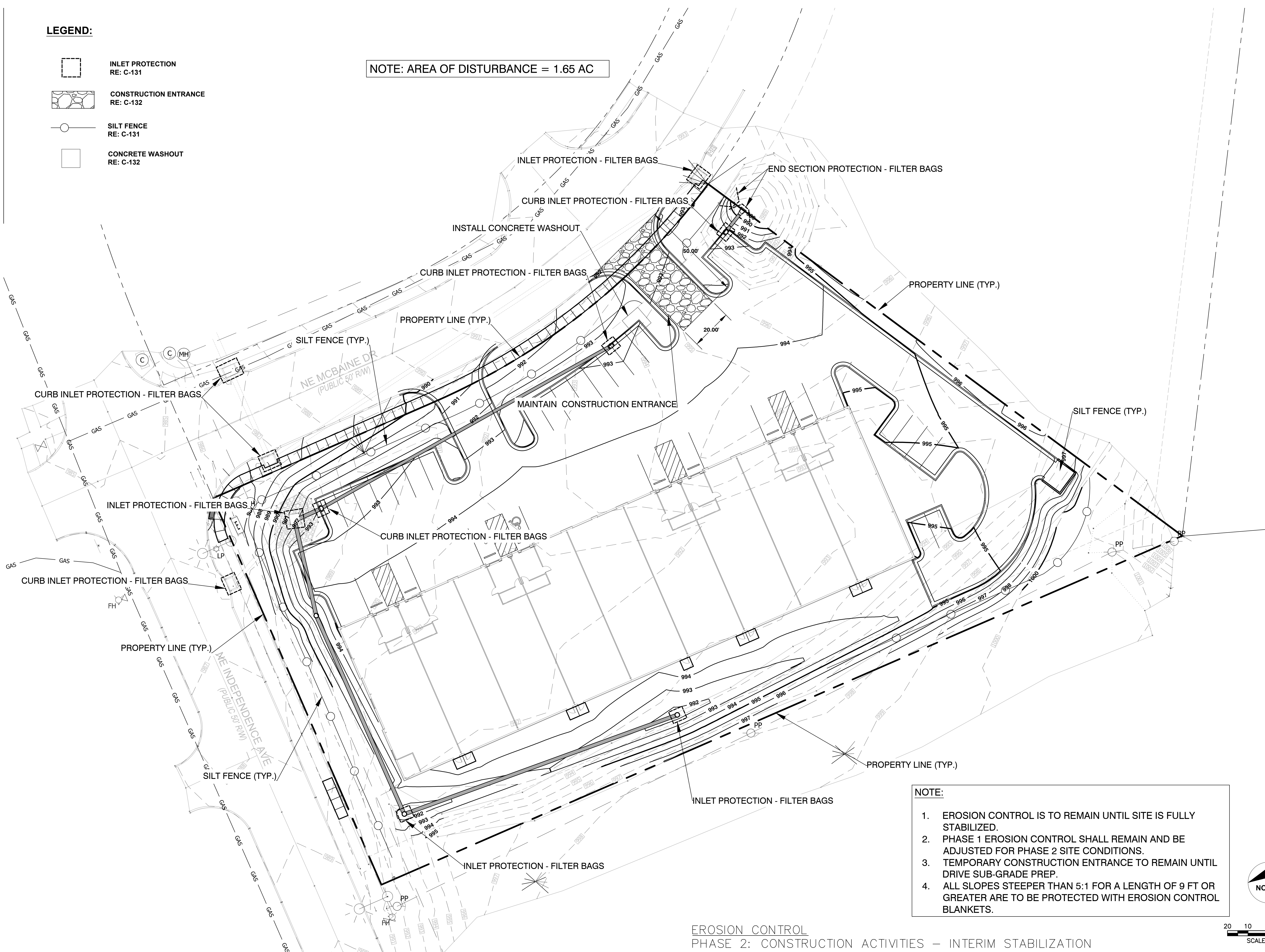
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ISSUE DATE: 09/01/2021  
ISSUED FOR:

**FOR PERMIT**  
EROSION CONTROL PLAN  
PHASE 1

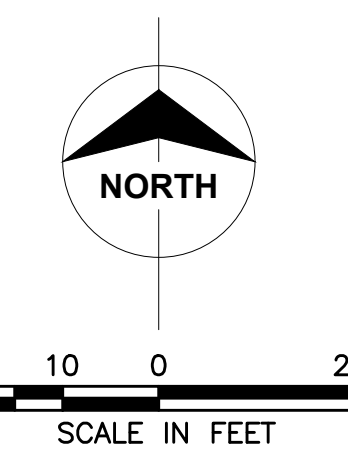
**LEGEND:**

-  INLET PROTECTION  
RE: C-131
-  CONSTRUCTION ENTRANCE  
RE: C-132
-  SILT FENCE  
RE: C-131
-  CONCRETE WASHOUT  
RE: C-132

NOTE: AREA OF DISTURBANCE = 1.65 AC



- NOTE:**
1. EROSION CONTROL IS TO REMAIN UNTIL SITE IS FULLY STABILIZED.
  2. PHASE 1 EROSION CONTROL SHALL REMAIN AND BE ADJUSTED FOR PHASE 2 SITE CONDITIONS.
  3. TEMPORARY CONSTRUCTION ENTRANCE TO REMAIN UNTIL DRIVE SUB-GRADE PREP.
  4. ALL SLOPES STEEPER THAN 5:1 FOR A LENGTH OF 9 FT OR GREATER ARE TO BE PROTECTED WITH EROSION CONTROL BLANKETS.

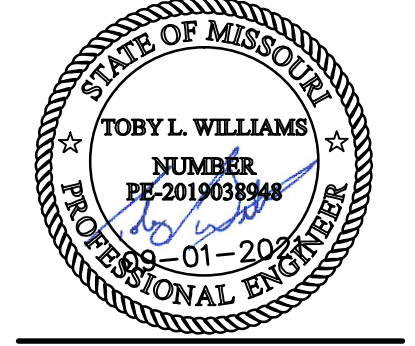


EROSION CONTROL  
PHASE 2: CONSTRUCTION ACTIVITIES – INTERIM STABILIZATION

Certificates of Authority  
Architecture: MO 318 / KS 73  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 34

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Toby L. Williams, PE  
PE-2019038948 (MISSOURI #)



PREPARED FOR:  
WARD DEVELOPMENT  
DAVID WARD  
1120 NW EAGLE RIDGE BLVD.  
GRAIN VALLEY, MO 64029  
(816) 229-8115

LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER  
2601 NE MCBAIN DRIVE  
LEE'S SUMMIT, MO 64064

REVISIONS NO.	DATE / DESCRIPTION

PROJECT #: 21-1902  
ISSUE DATE: 09/01/2021  
ISSUED FOR:

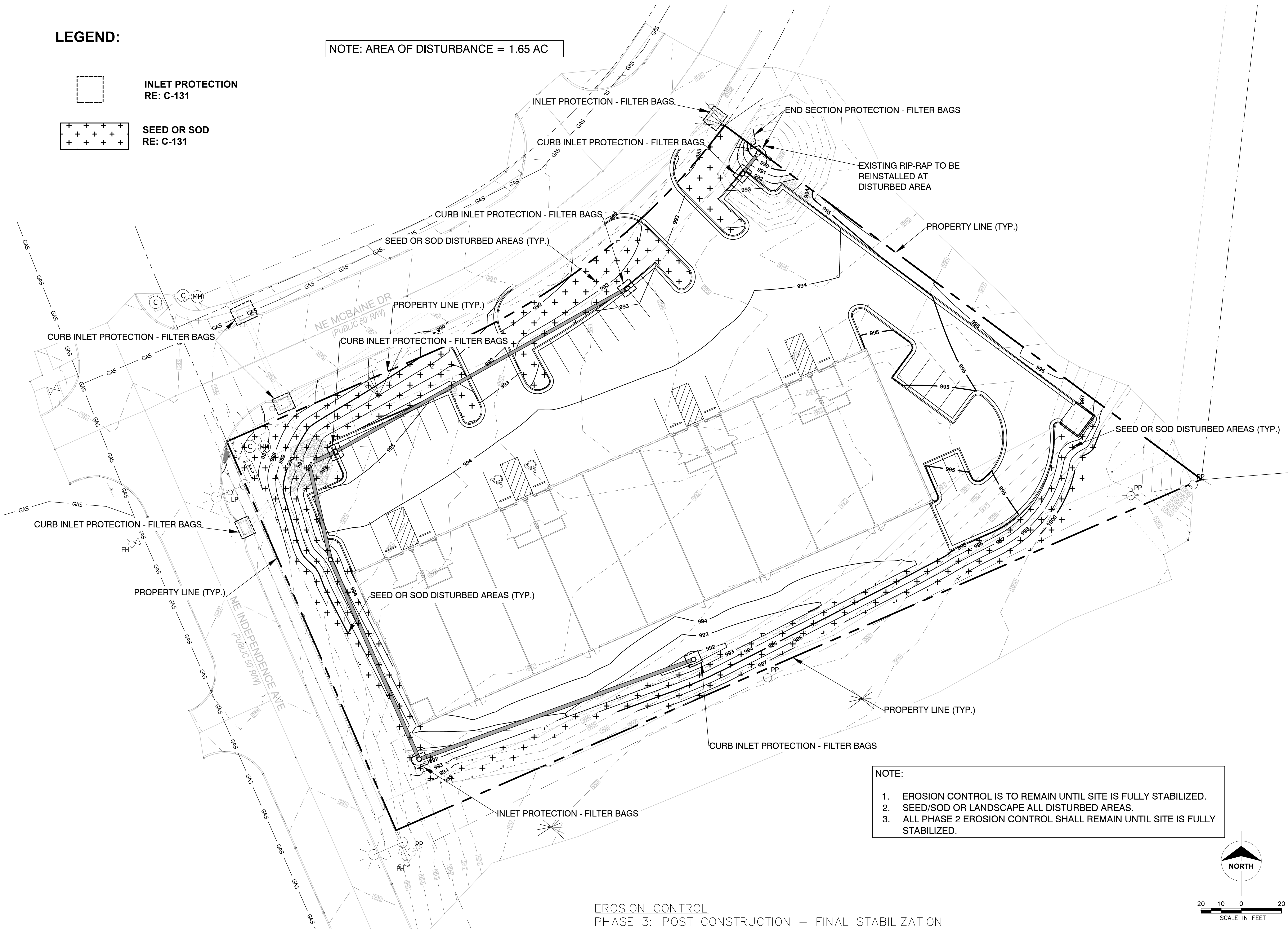
**FOR PERMIT**  
EROSION CONTROL PLAN  
PHASE 2

**LEGEND:**

□ INLET PROTECTION  
RE: C-131

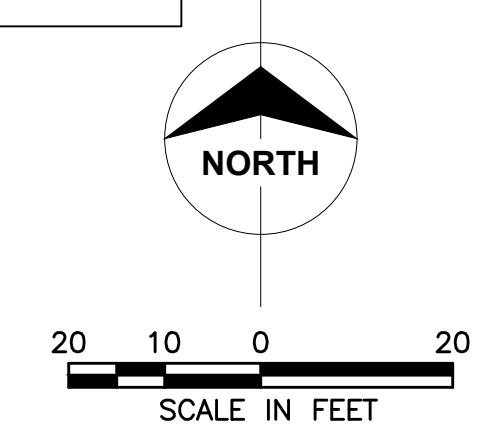
⊕⊕⊕⊕⊕ SEED OR SOD  
RE: C-131

NOTE: AREA OF DISTURBANCE = 1.65 AC



- NOTE:**
1. EROSION CONTROL IS TO REMAIN UNTIL SITE IS FULLY STABILIZED.
  2. SEED/SOD OR LANDSCAPE ALL DISTURBED AREAS.
  3. ALL PHASE 2 EROSION CONTROL SHALL REMAIN UNTIL SITE IS FULLY STABILIZED.

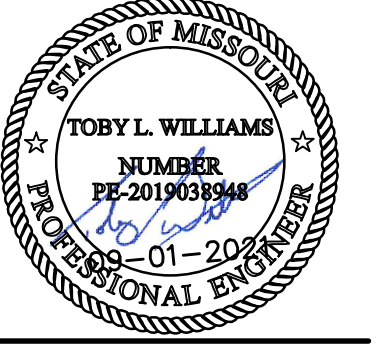
EROSION CONTROL  
PHASE 3: POST CONSTRUCTION – FINAL STABILIZATION



Certificates of Authority  
Architecture: MO 318 / KS 33  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 34

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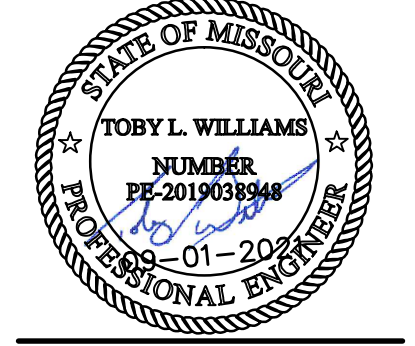
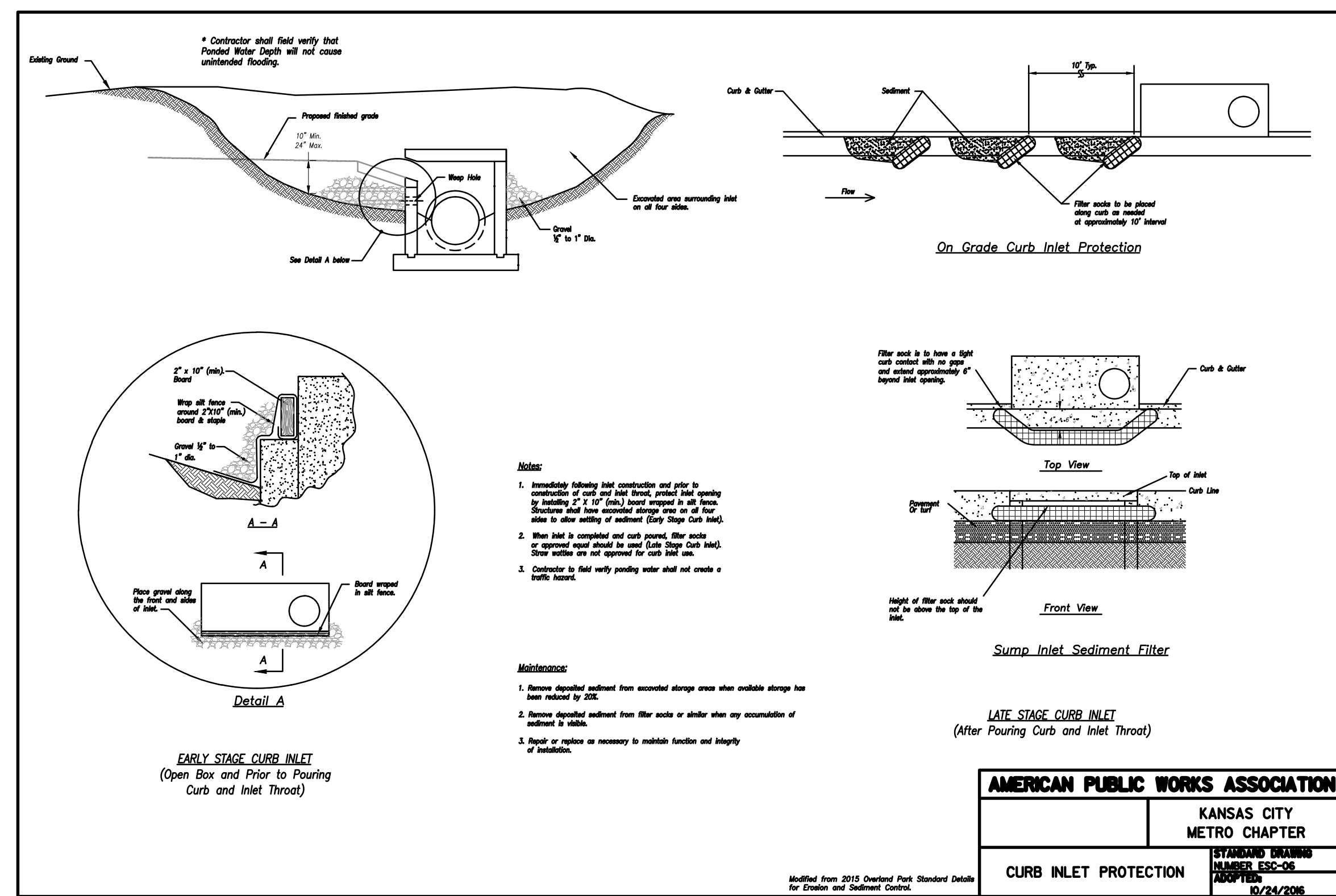
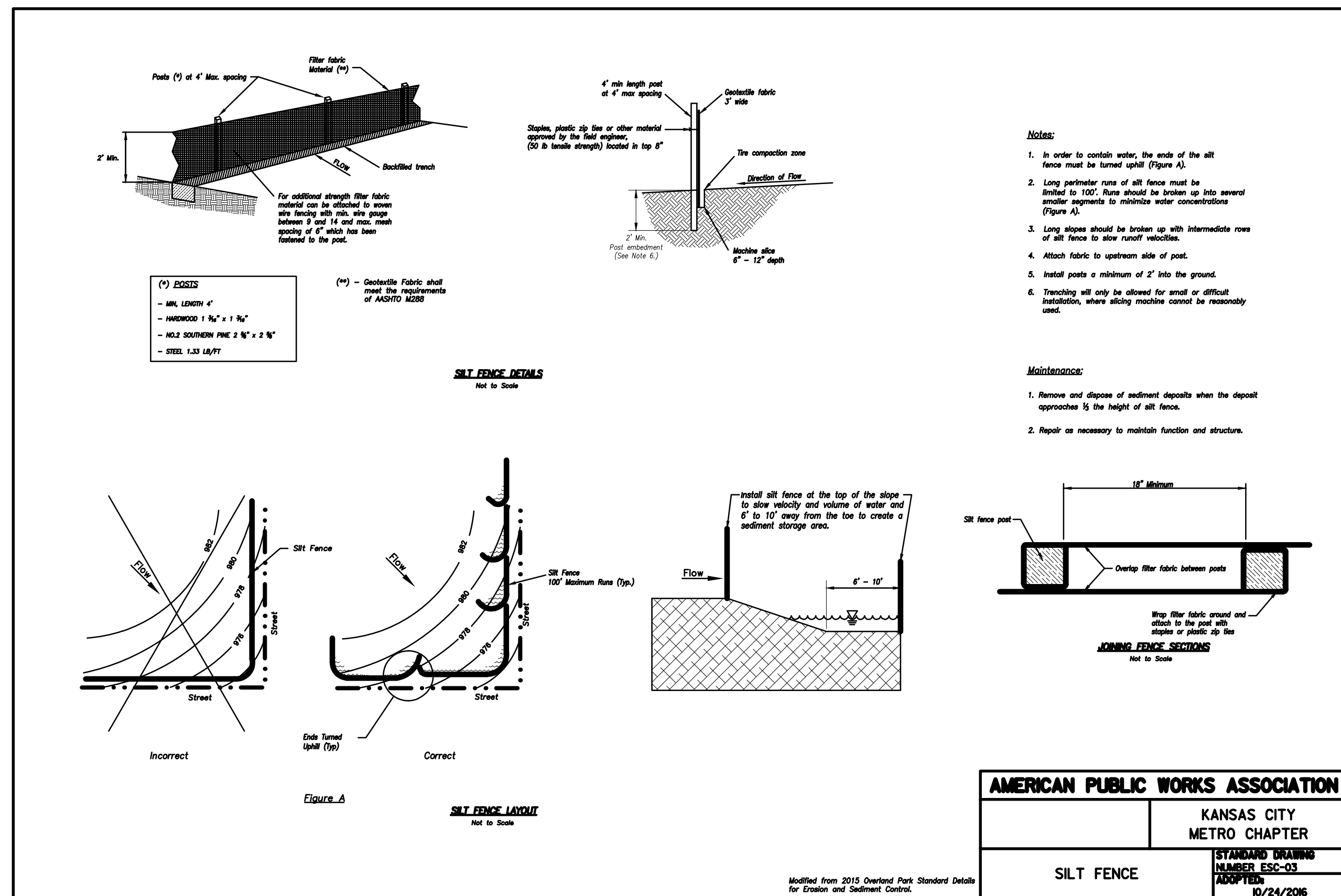
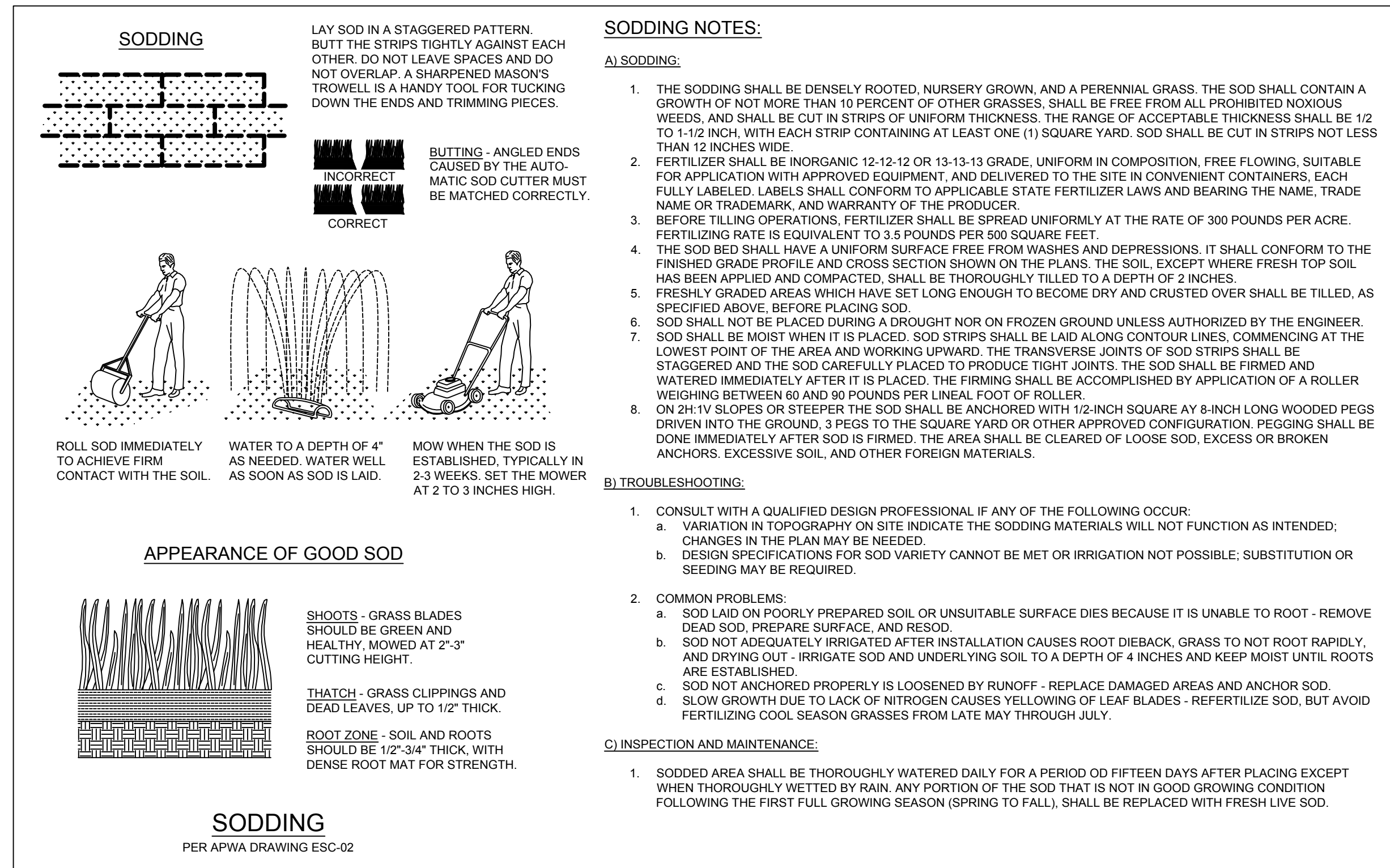
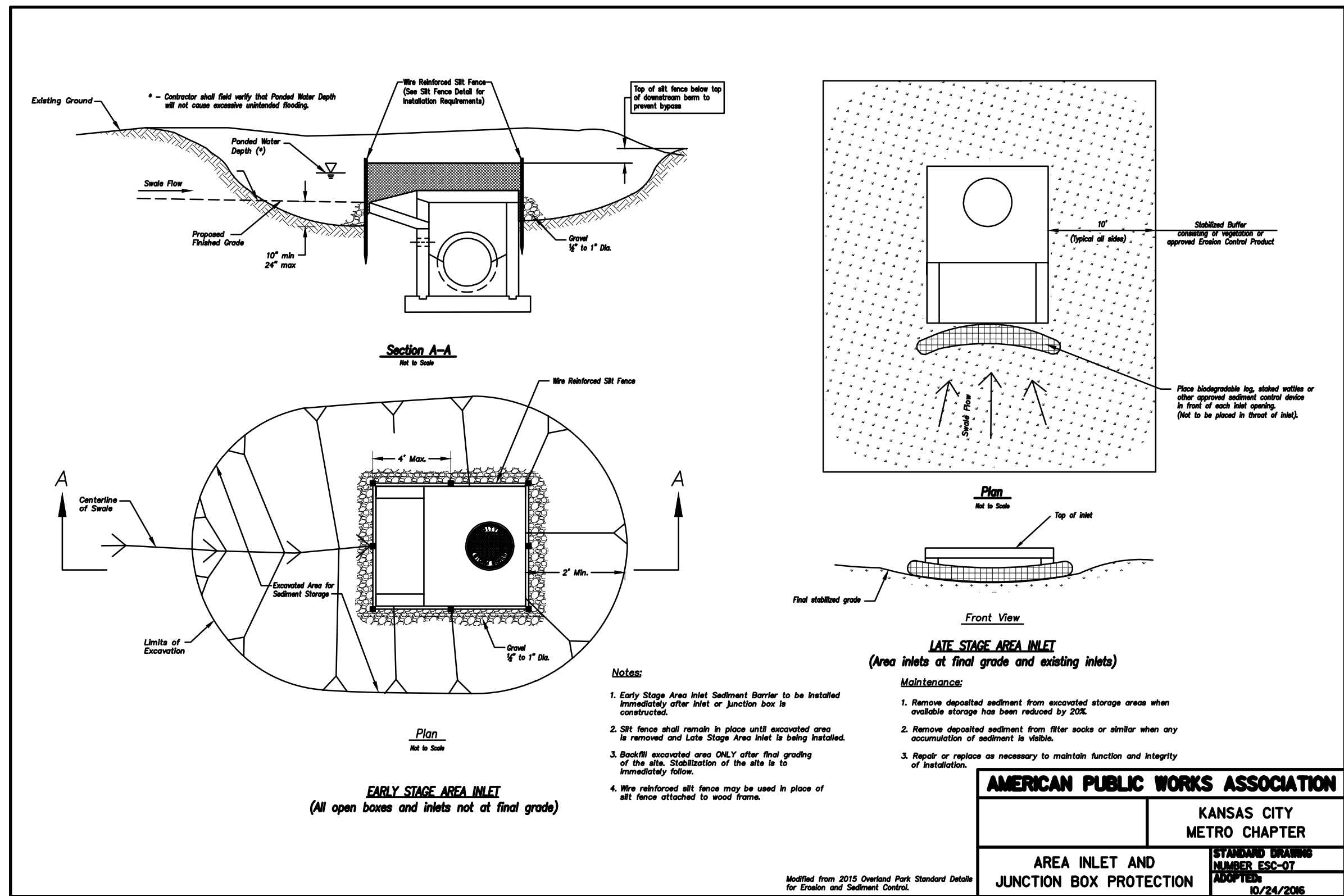
PREPARED FOR:  
WARD DEVELOPMENT  
DAVID WARD  
1120 NW EAGLE RIDGE BLVD.  
GRAIN VALLEY, MO 64029  
(816) 229-8115

LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER  
2601 NE MCBAIN DRIVE  
LEE'S SUMMIT, MO 64064

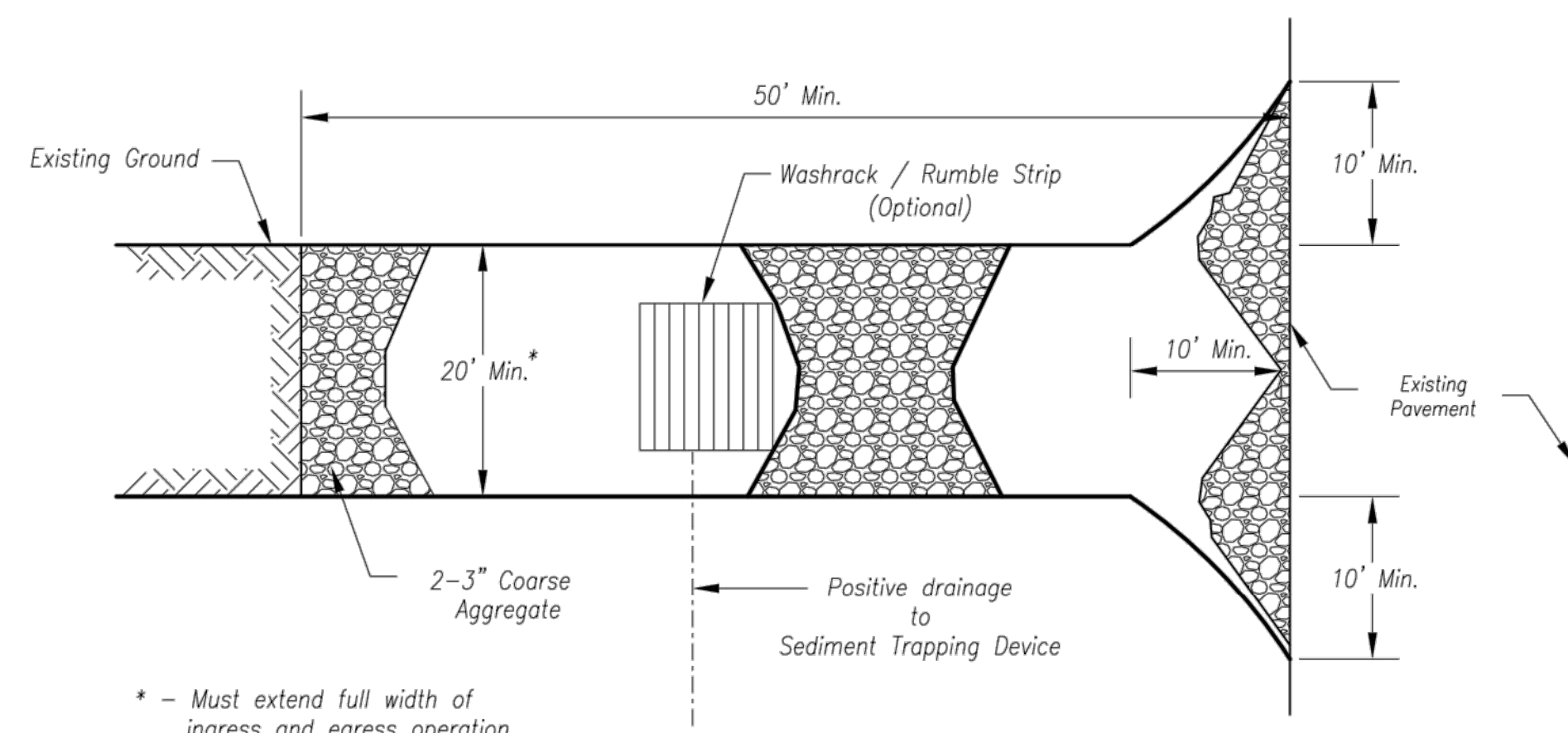
REVISIONS NO.	DATE / DESCRIPTION

PROJECT #: 21-1902  
ISSUE DATE: 09/01/2021  
ISSUED FOR:

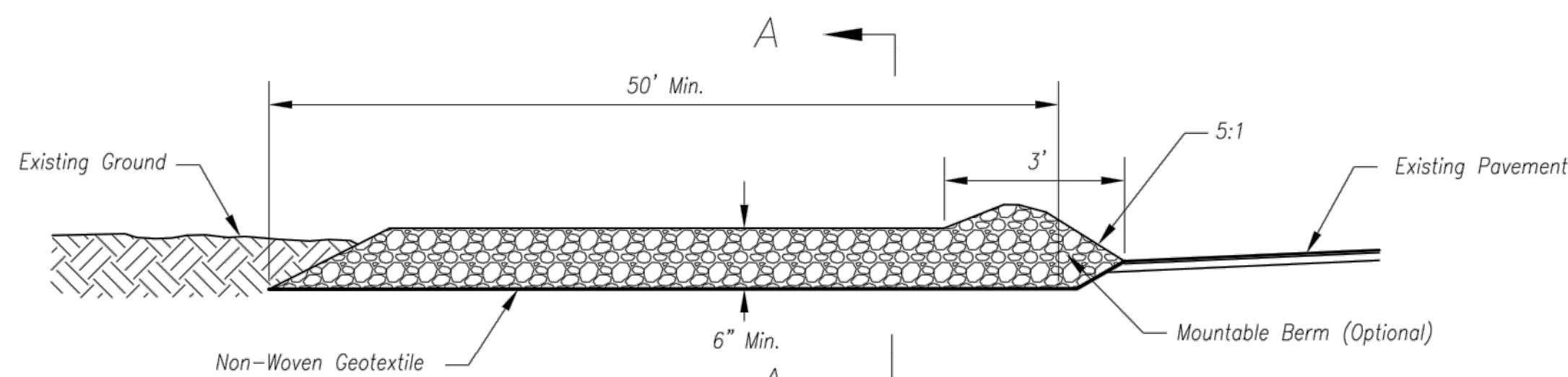
**FOR PERMIT**  
EROSION CONTROL PLAN  
PHASE 3



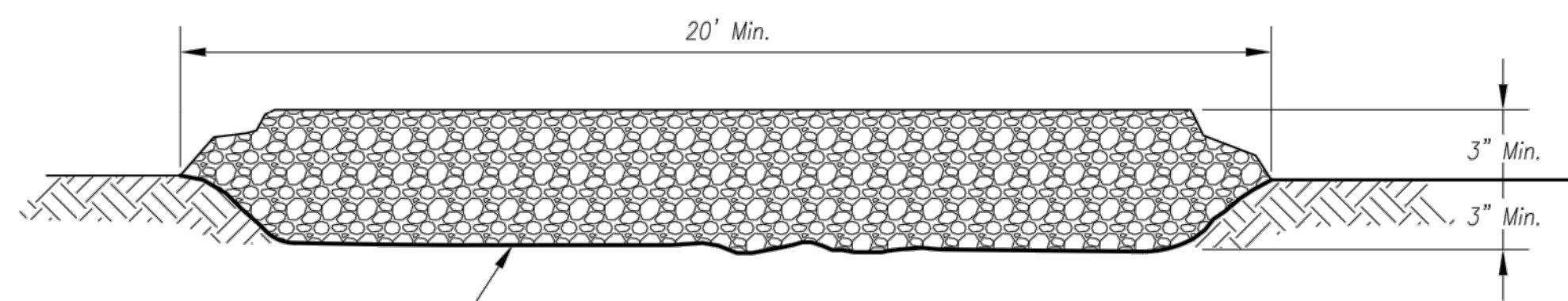
REVISIONS	NO.	DATE / DESCRIPTION



**Plan View**  
Not to Scale



**Side Elevation**  
Not to Scale



**Section A-A**  
Not to Scale

**Notes for Construction Entrance:**

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3H:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

**Maintenance for Construction Entrance:**

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

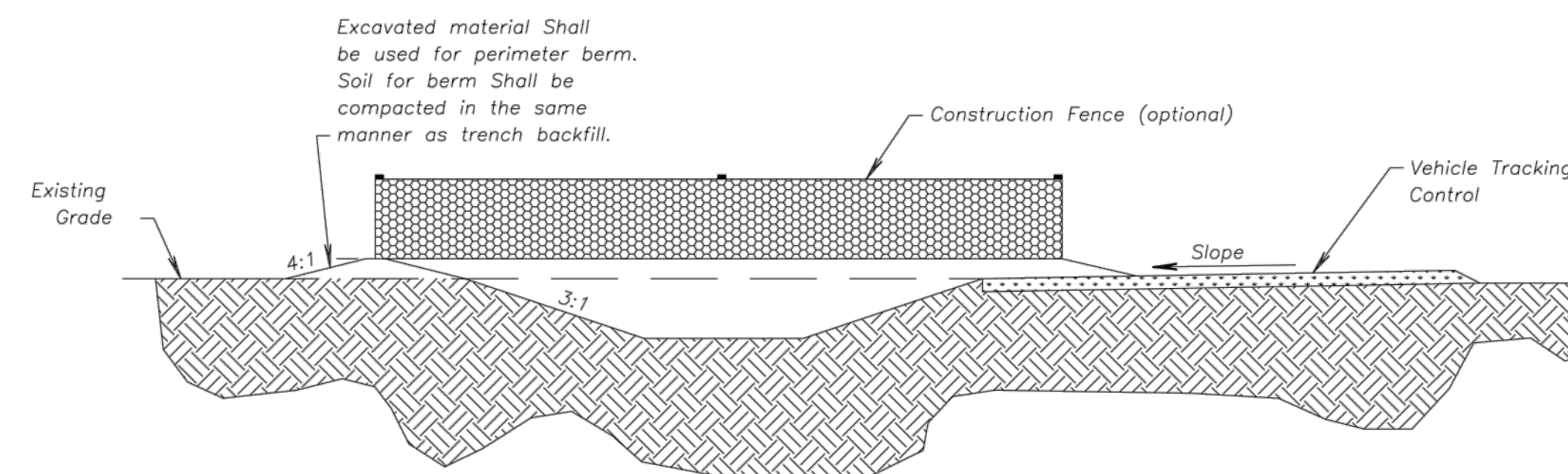
**CONSTRUCTION ENTRANCE**

**Notes for Concrete Washout:**


1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

**Maintenance for Concrete Washout:**

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



**CONCRETE WASHOUT**

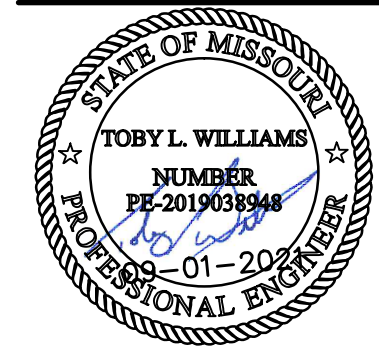
<b>AMERICAN PUBLIC WORKS ASSOCIATION</b>	
	
KANSAS CITY METRO CHAPTER	
<b>CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT</b>	<b>STANDARD DRAWING NUMBER ESC-01</b> <b>ADOPTED:</b> 10/24/2016

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

Certificates of Authority  
Architecture: MO 318 / KS 33  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 36

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PE-2019038948 (MISSOURI #)



PREPARED FOR:  
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DAVID WARD  
1120 NW EAGLE RIDGE BLVD.  
GRAIN VALLEY, MO 64029  
(816) 229-8115

LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER  
 2601 NE MCBAIN DRIVE  
 LEE'S SUMMIT, MO 64064



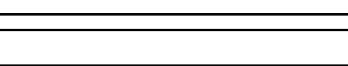


REVISIONS NO.	DATE / DESCRIPTION

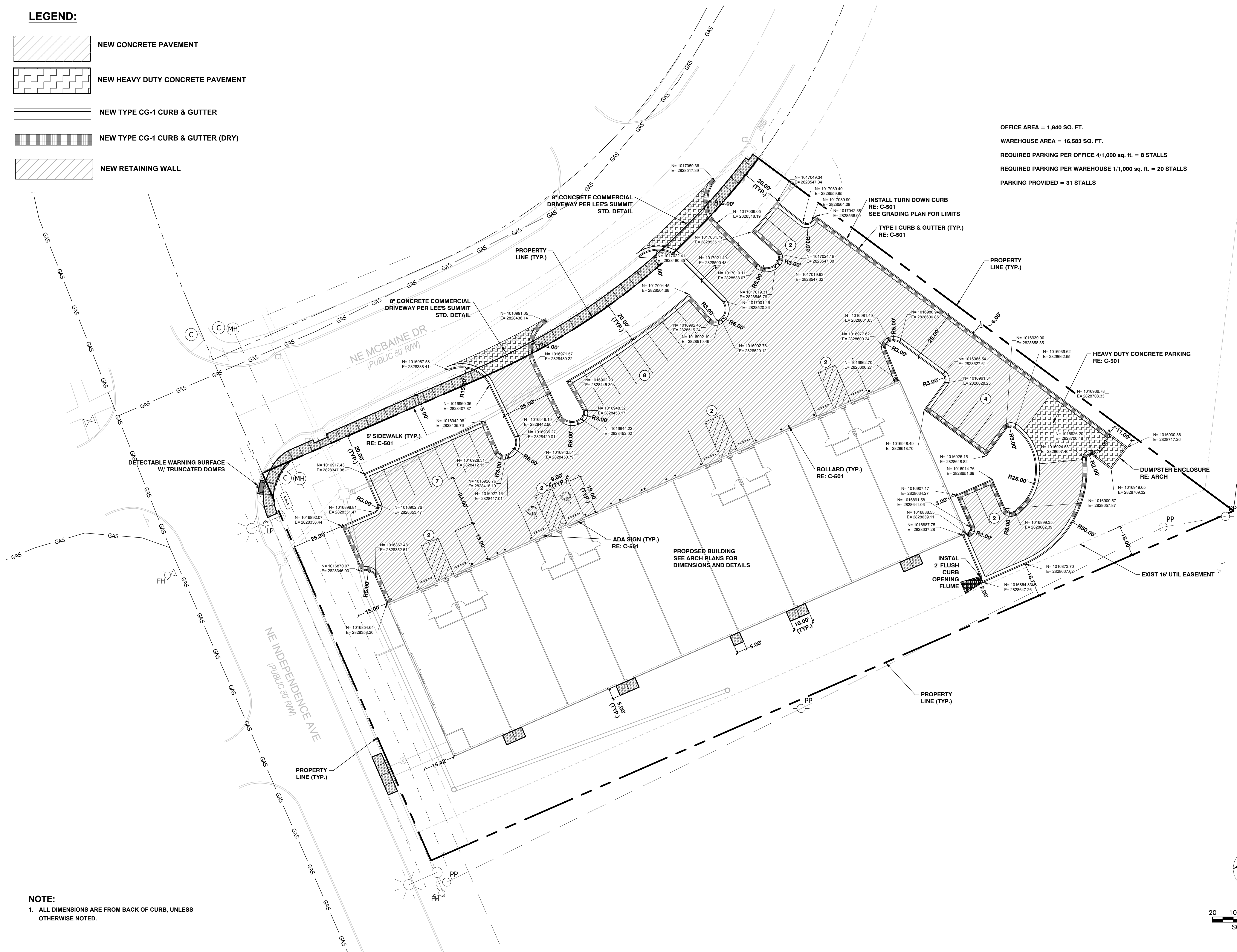
PROJECT #: 21-1902  
ISSUE DATE: 09/01/2021  
ISSUED FOR:

**FOR PERMIT**  
EROSION CONTROL DETAILS  
C-132



**LEGEND:**

-  NEW CONCRETE PAVEMENT
-  NEW HEAVY DUTY CONCRETE PAVEMENT
-  NEW TYPE CG-1 CURB & GUTTER
-  NEW TYPE CG-1 CURB & GUTTER (DRY)
-  NEW RETAINING WALL



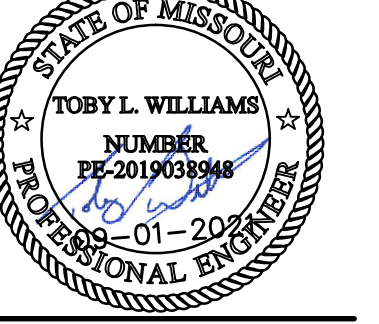
OFFICE AREA = 1,840 SQ. FT.  
 WAREHOUSE AREA = 16,583 SQ. FT.  
 REQUIRED PARKING PER OFFICE 4/1,000 sq. ft. = 8 STALLS  
 REQUIRED PARKING PER WAREHOUSE 1/1,000 sq. ft. = 20 STALLS  
 PARKING PROVIDED = 31 STALLS

**NOTE:**  
 1. ALL DIMENSIONS ARE FROM BACK OF CURB, UNLESS OTHERWISE NOTED.

Certificates of Authority  
 Architecture: MO 118 / KS 13  
 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 34

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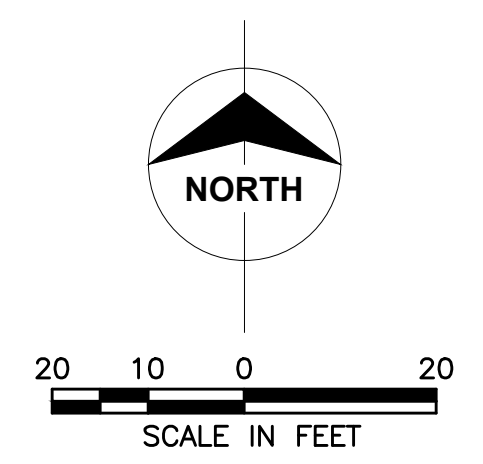


PREPARED FOR:  
 WARD DEVELOPMENT  
 DAVID WARD  
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 GRAIN VALLEY, MO 64029  
 (816) 229-8115

**LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER**  
 2601 NE MCBAIN DRIVE  
 LEE'S SUMMIT, MO 64064

REVISIONS NO.	DATE / DESCRIPTION

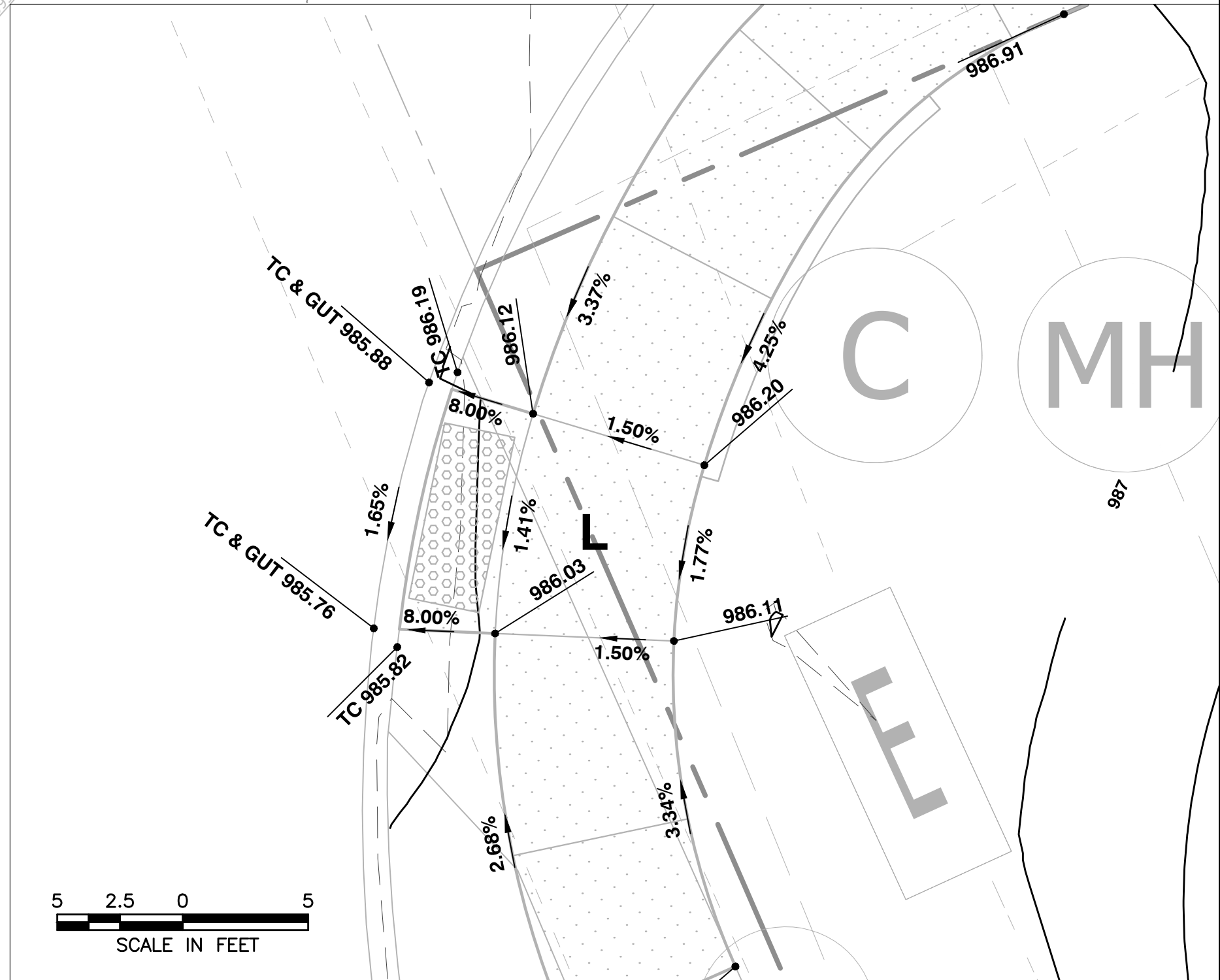
PROJECT #: 21-1902  
 ISSUE DATE: 09/01/2021  
 ISSUED FOR:



**NOTE:**  
 TC = TOP OF CURB  
 GUT = GUTTER  
 M.E. = MATCH EXISTING

- GRADING NOTES :**
1. ALL ELEVATIONS SHOWN ARE TO FINISHED GRADE SURFACE.
  2. ALL EXISTING UTILITY PULL BOXES, HAND HOLES, MANHOLES, VALVE BOXES, METERS, AND OTHER APPURTENANCES TO REMAIN, SHALL BE ADJUSTED TO NEW GRADES.

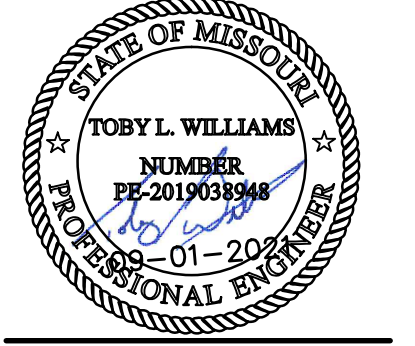
Total Disturbed Area: 1.65 acres



Certificate of Authority  
 Architecture: MO 110 / E 13  
 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 34

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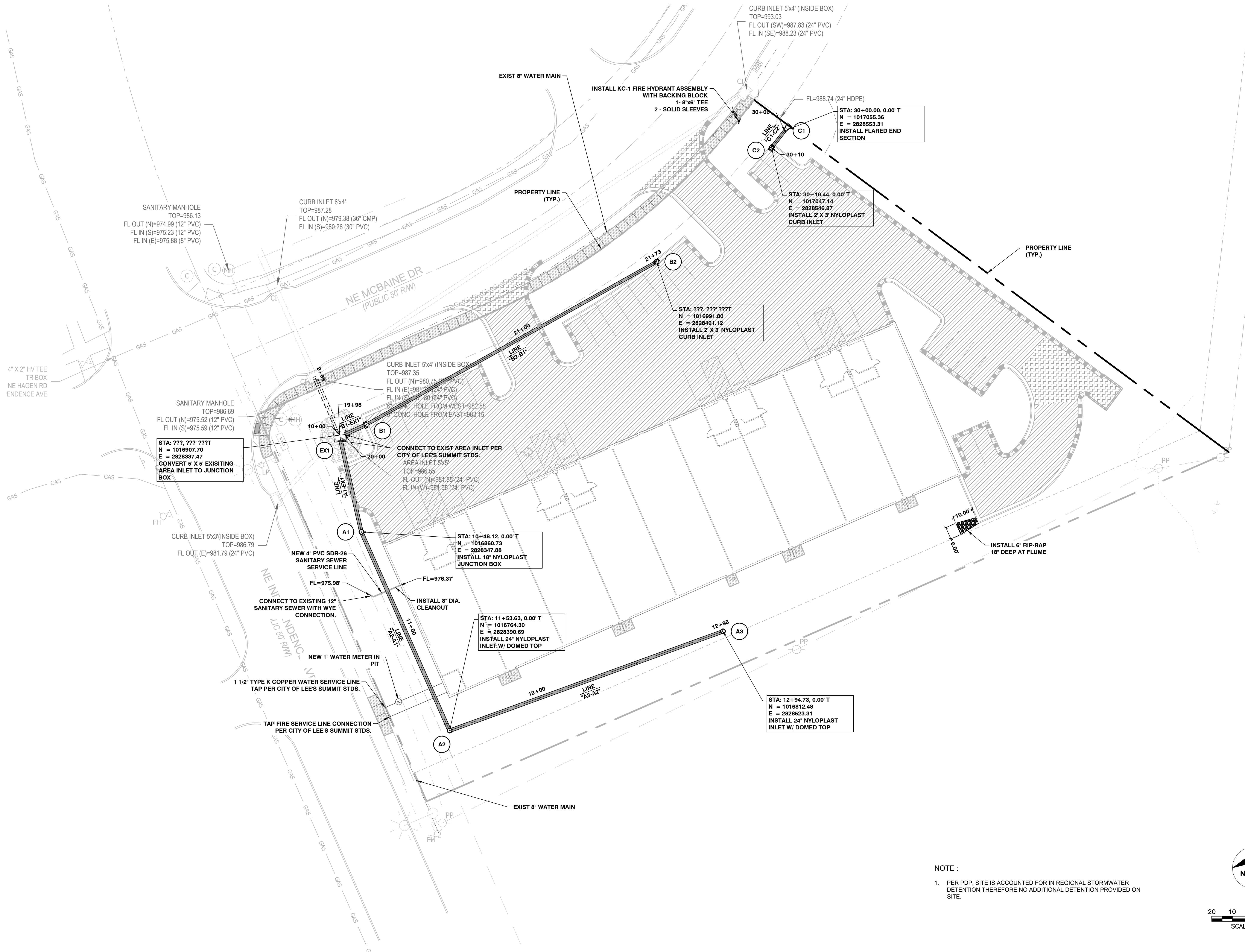


PREPARED FOR:  
 WARD DEVELOPMENT  
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**LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER**  
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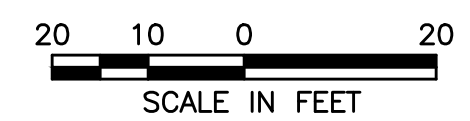
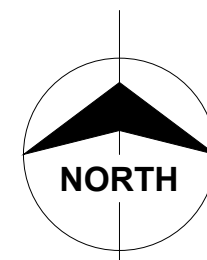
REVISIONS NO.	DATE / DESCRIPTION

PROJECT #: 21-1902  
 ISSUE DATE: 09/01/2021  
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**NOTE :**

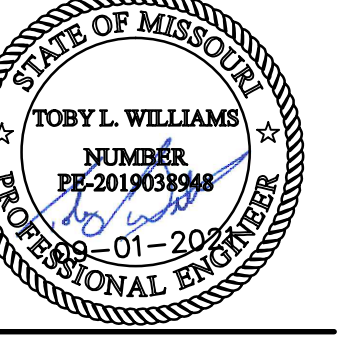
- PER PDP, SITE IS ACCOUNTED FOR IN REGIONAL STORMWATER DETENTION THEREFORE NO ADDITIONAL DETENTION PROVIDED ON SITE.



Certificates of Authority  
 Architecture: MO 110 / KS 13  
 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 34

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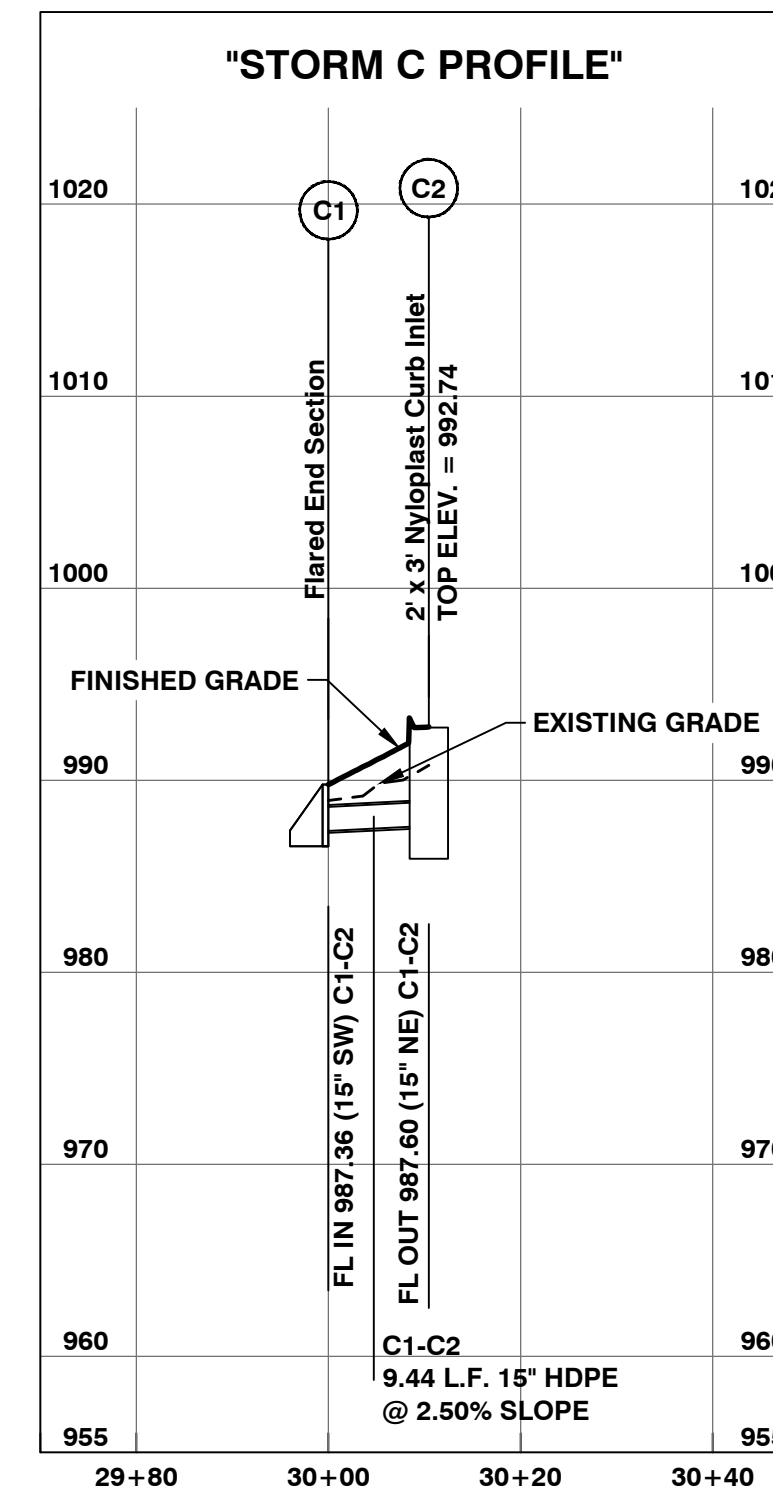
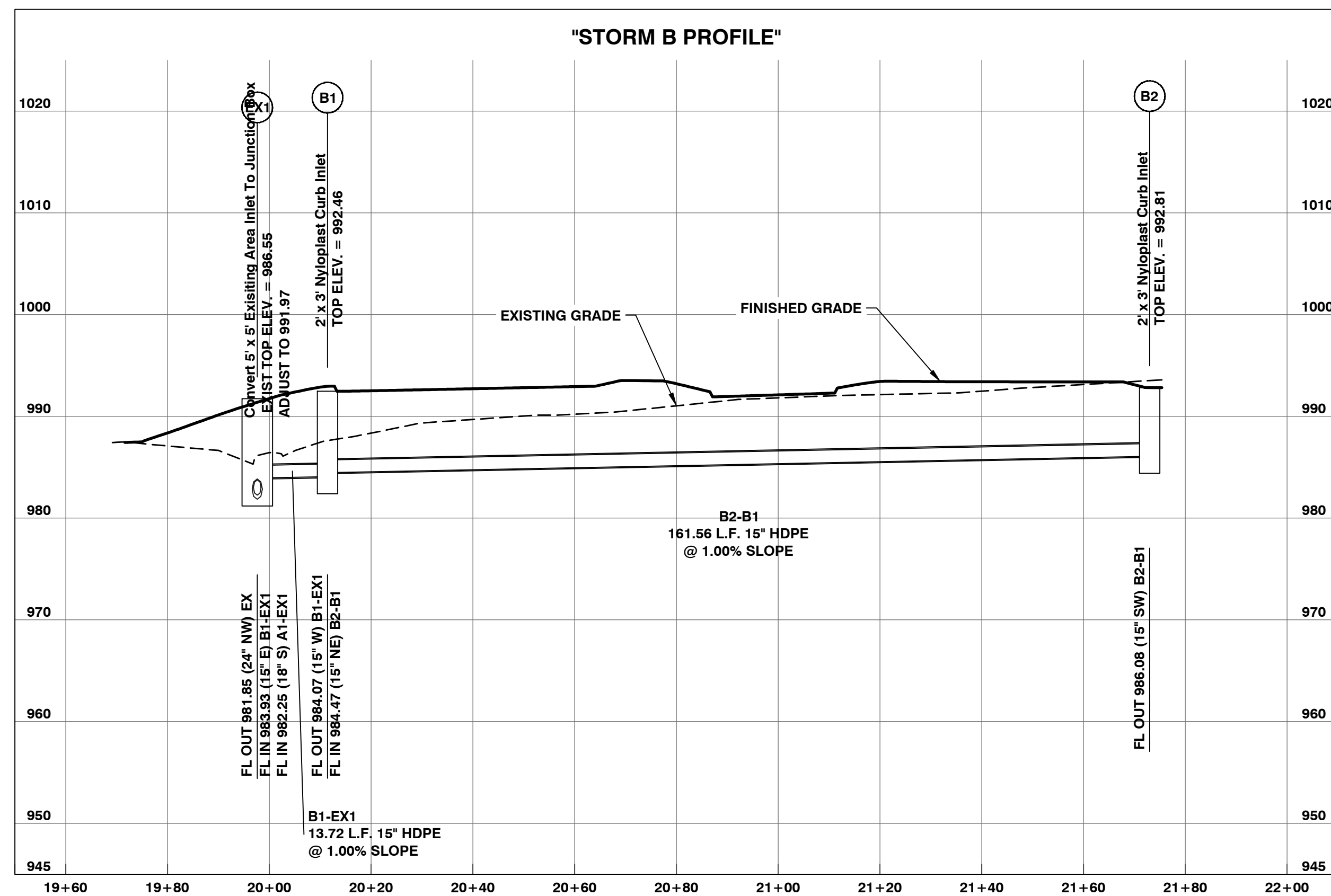
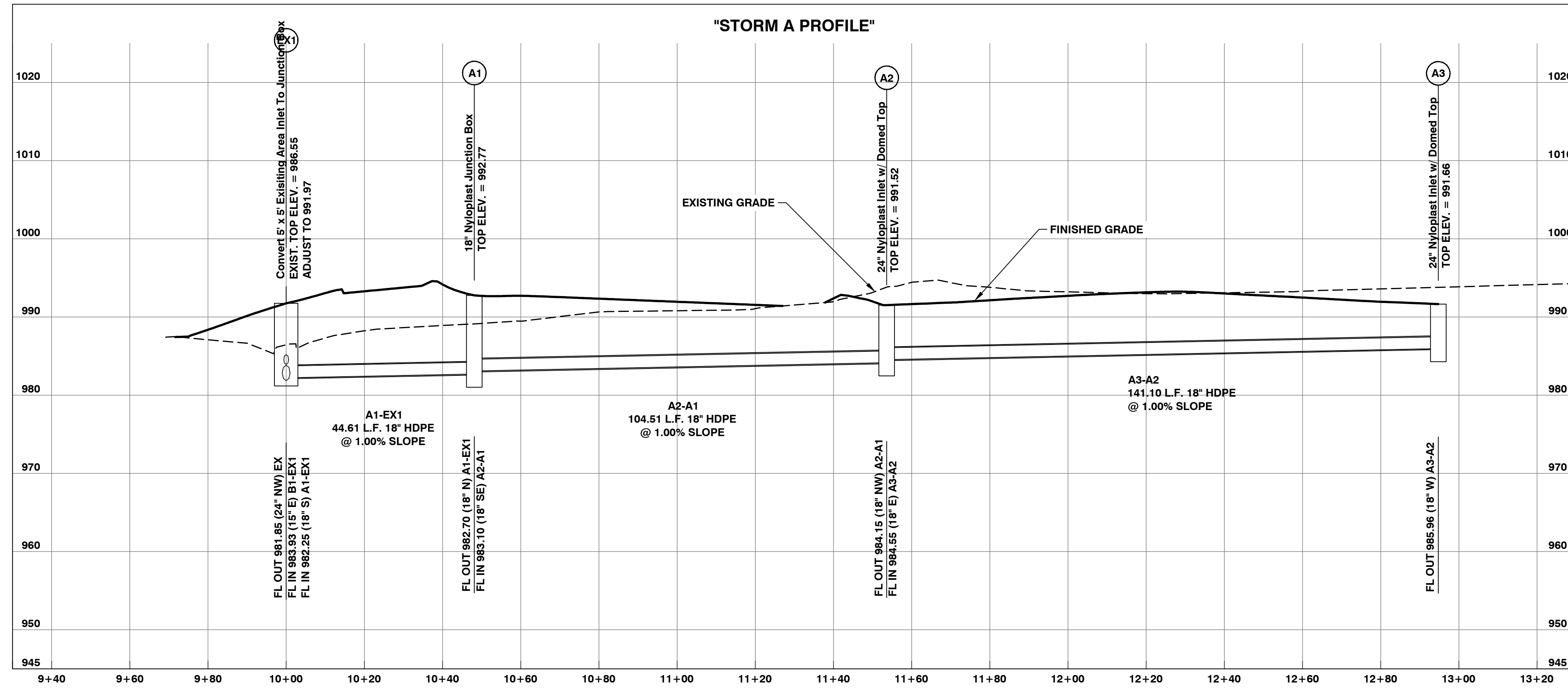


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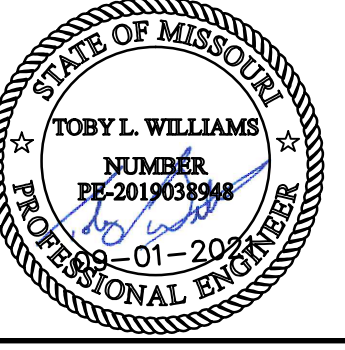
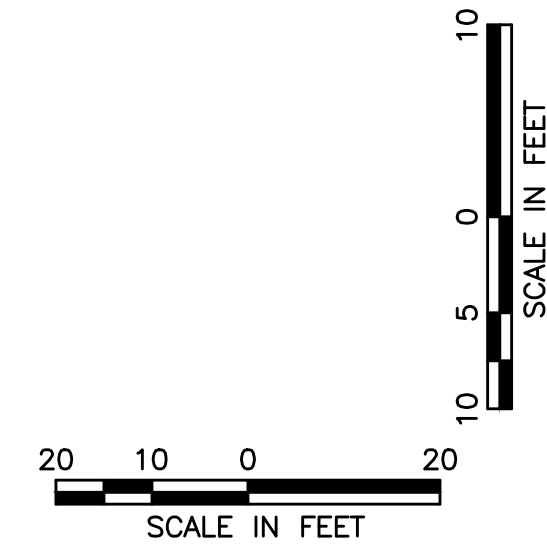
**LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER**  
 2601 NE MCBAIN DRIVE  
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REVISIONS  
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PROJECT #: 21-1902  
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**NOTE:  
ALL TOPS FOR NYLOPLAST 2'x3'  
CURB INLET ARE AT GUTTER**

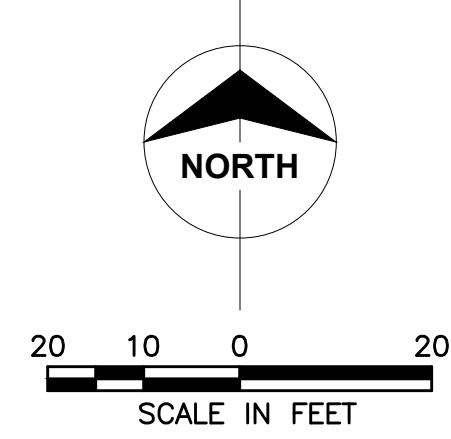
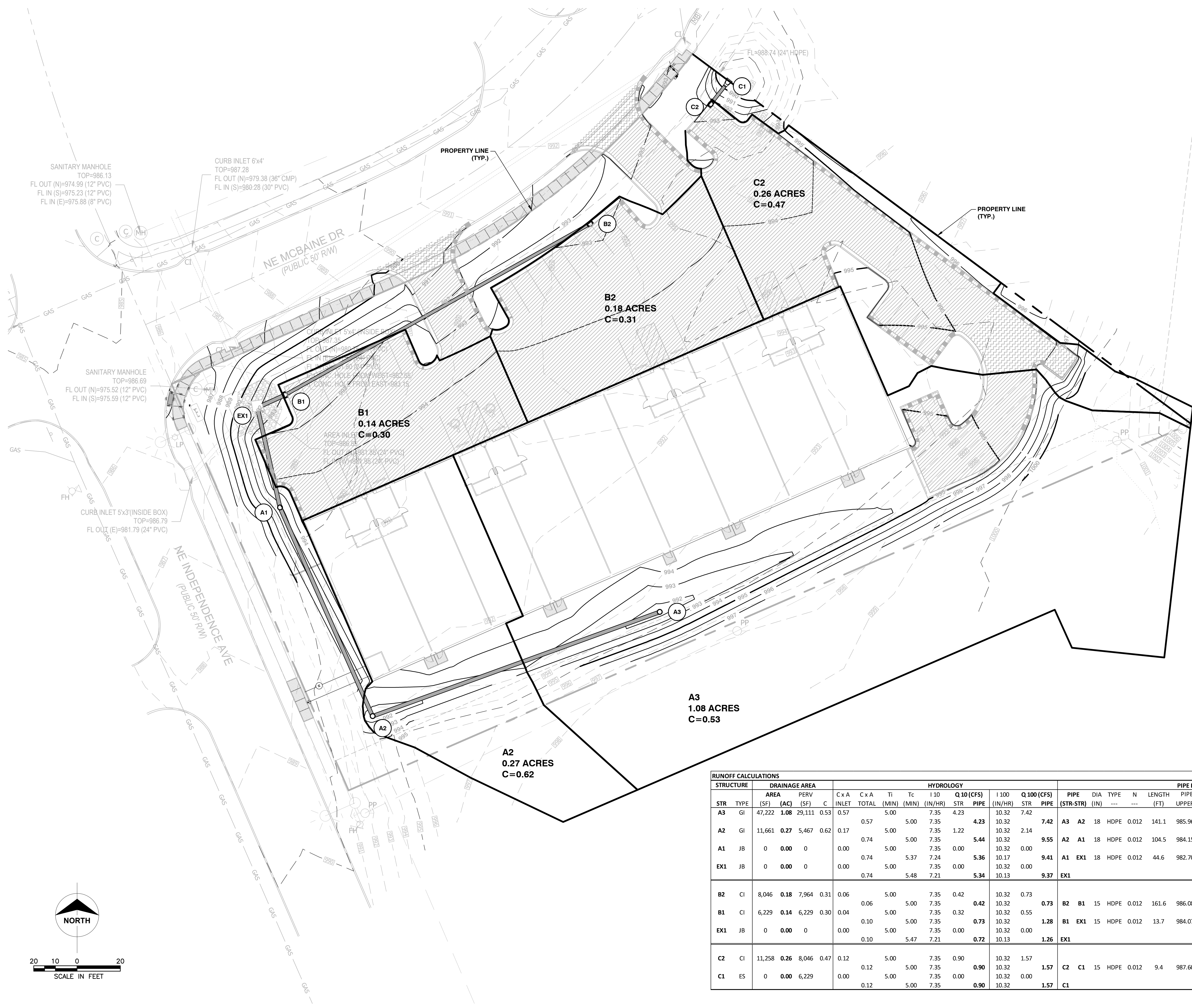


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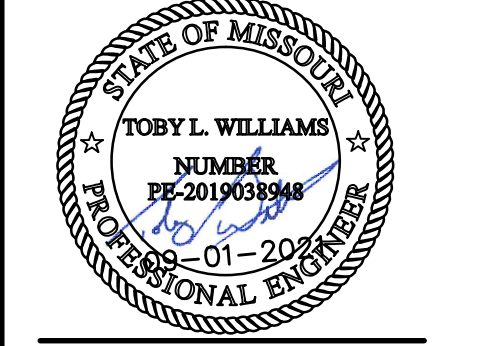


STRUCTURE		DRAINAGE AREA				HYDROLOGY								PIPE DATA								% CONVEYANCE				
STR	TYPE	AREA (SF)	PERV (AC)	PERV (SF)	C	C x A	Ti (MIN)	Tc (MIN)	I 10 (IN/HR)	Q 10 (CFS) STR	Q 10 (CFS) PIPE	PIPE (STR-STR)	DIA (IN)	TYPE	N	LENGTH (FT)	PIPE INVERT UPPER	PIPE INVERT LOWER	SLOPE (%)	AREA (SF)	Qf (CFS)	Vf (FPS)	Tt (MIN)	Q 10 (%)	Q 100 (%)	
A3	GI	47,222	1.08	29,111	0.53	0.57	5.00	5.00	7.35	4.23	10.32	7.42	A3 A2	18	HDPE	0.012	141.1	985.96	984.55	1.00	1.77	11.38	6.44	0.37	100.0%	100.0%
A2	GI	11,661	0.27	5,467	0.62	0.17	5.00	5.00	7.35	1.22	10.32	2.14	A2 A1	18	HDPE	0.012	104.5	984.15	983.10	1.00	1.77	11.41	6.45	0.27	100.0%	100.0%
A1	JB	0	0.00	0	0.00	0.00	5.00	5.37	7.35	0.00	10.32	0.00	A1 EX1	18	HDPE	0.012	44.6	982.70	982.25	1.01	1.77	11.43	6.47	0.11	100.0%	100.0%
EX1	JB	0	0.00	0	0.00	0.00	5.00	5.48	7.35	0.00	10.32	0.00	EX1													
B2	CI	8,046	0.18	7,964	0.31	0.06	5.00	5.00	7.35	0.42	10.32	0.73	B2 B1	15	HDPE	0.012	161.6	986.08	984.47	1.00	1.23	6.99	5.69	0.47	100.0%	100.0%
B1	CI	6,229	0.14	6,229	0.30	0.04	5.00	5.00	7.35	0.32	10.32	0.55	B1 EX1	15	HDPE	0.012	13.7	984.07	983.93	1.02	1.23	7.07	5.76	0.04	100.0%	100.0%
EX1	JB	0	0.00	0	0.00	0.00	5.00	5.47	7.35	0.00	10.32	0.00	EX1													
C2	CI	11,258	0.26	8,046	0.47	0.12	5.00	5.00	7.35	0.90	10.32	1.57	C2 C1	15	HDPE	0.012	9.4	987.60	987.36	2.54	1.23	11.16	9.09	0.02	100.0%	100.0%
C1	ES	0	0.00	6,229	0.00	0.00	5.00	5.00	7.35	0.00	10.32	0.00	C1													

Certificates of Authority  
 Architecture: MO 110 / KE 13  
 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 36

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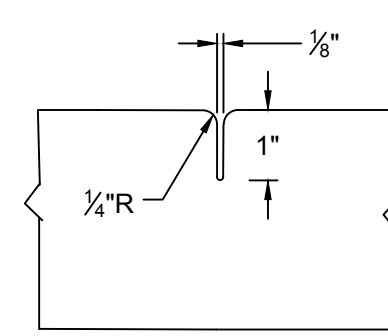
PREPARED FOR:  
 WARD DEVELOPMENT  
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 1120 NW EAGLE RIDGE BLVD.  
 GRAIN VALLEY, MO 64029  
 (816) 229-8115

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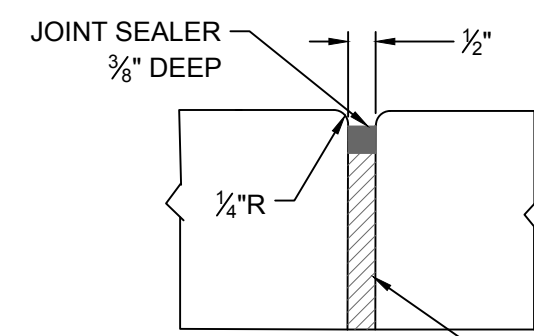
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PROJECT #: 21-1902  
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DRAINAGE AREA MAP



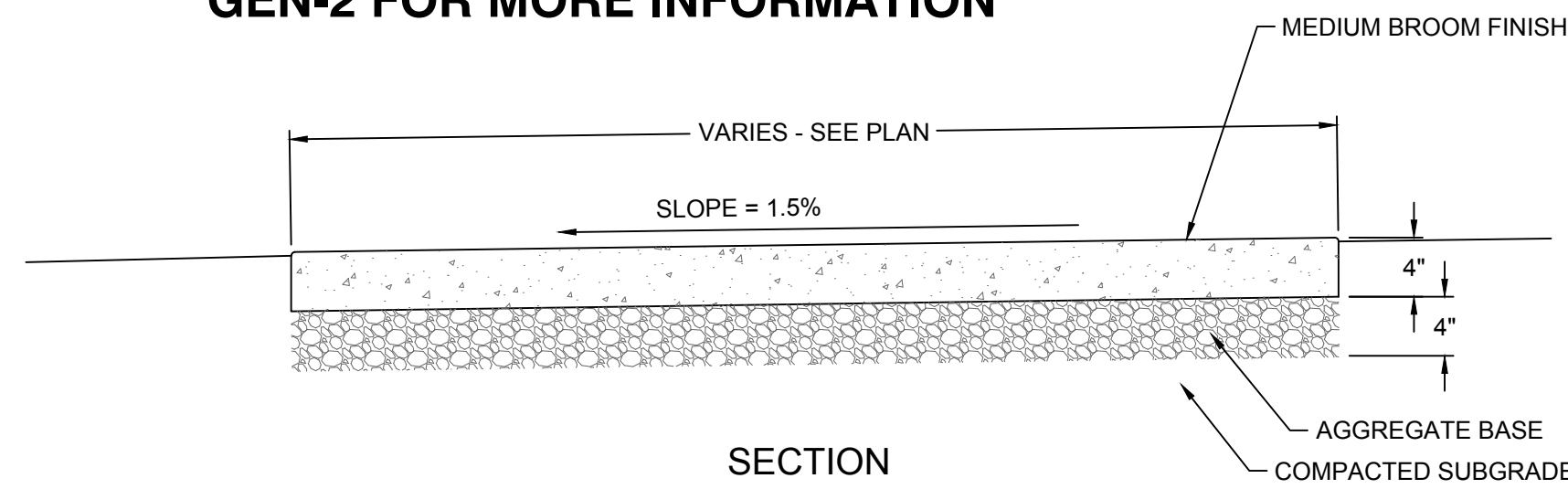
TYPE 'B' JOINT  
(EVERY 4' TYP.)



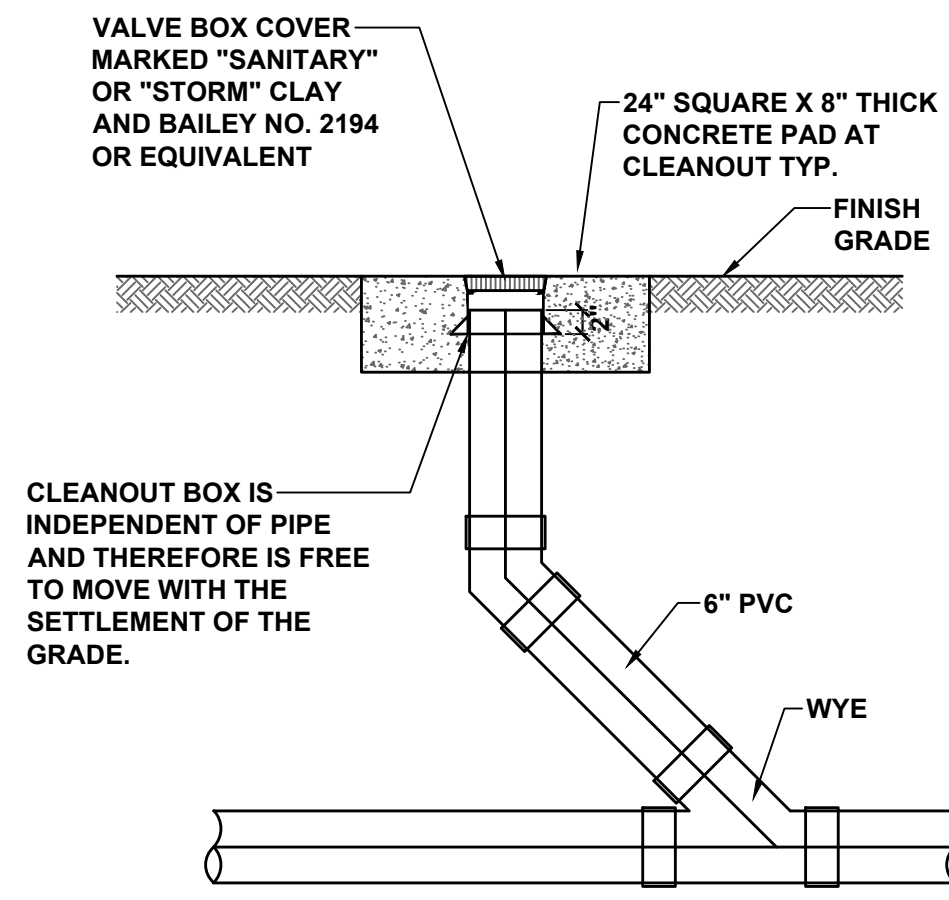
TYPE 'C' JOINT  
(EVERY 30' MAX.)

NON-EXTRUDING FILLER  
(PREMOLDED JOINT MATERIAL)

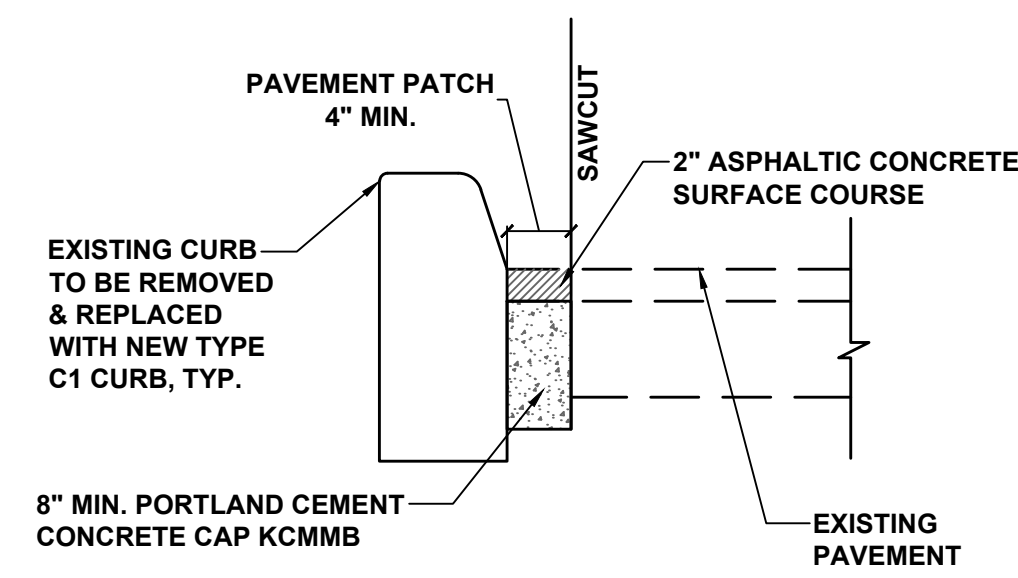
NOTE: SEE LEE'S SUMMIT STD. DETAIL  
GEN-2 FOR MORE INFORMATION



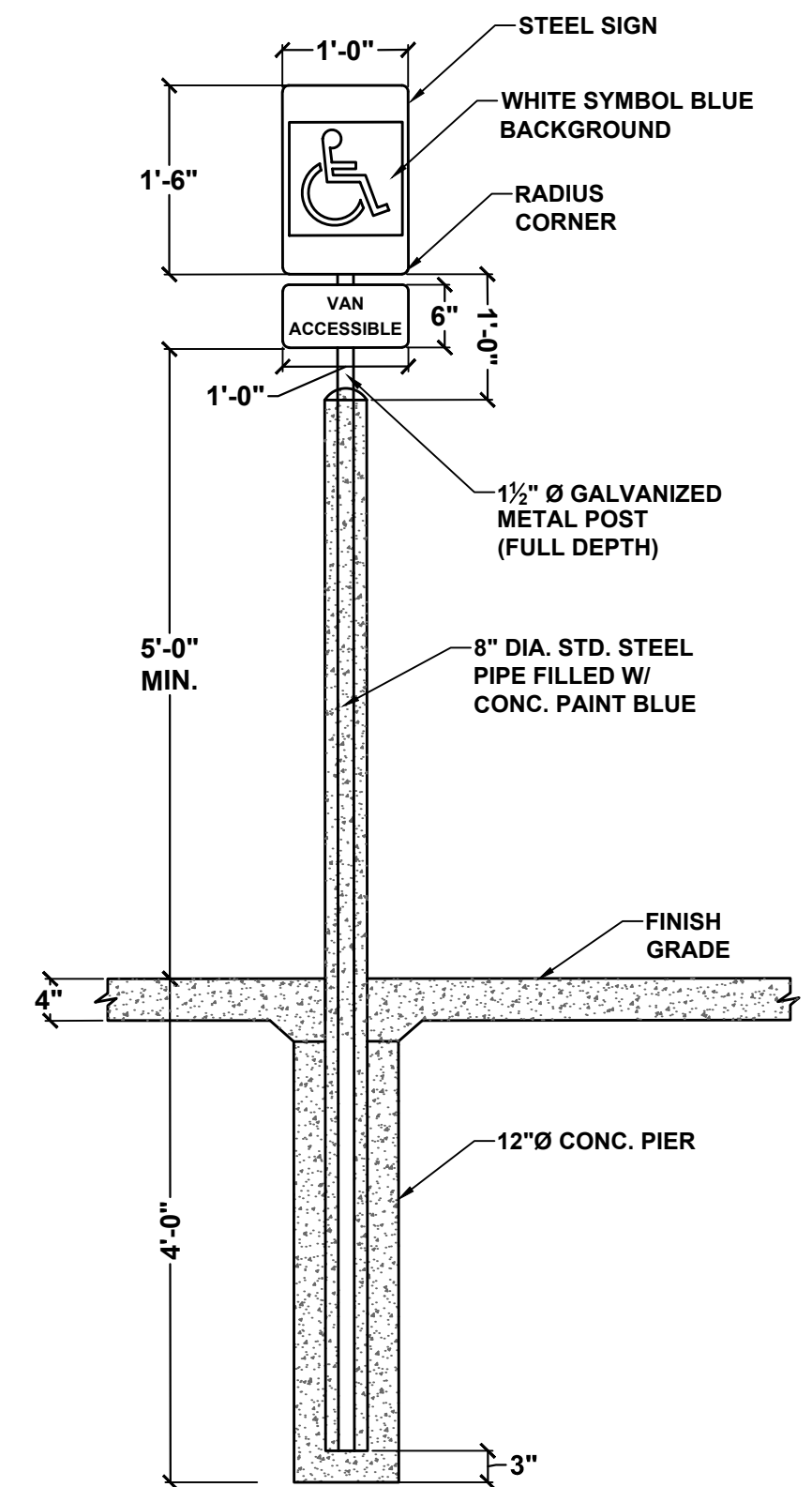
CONCRETE SIDEWALK  
N.T.S.



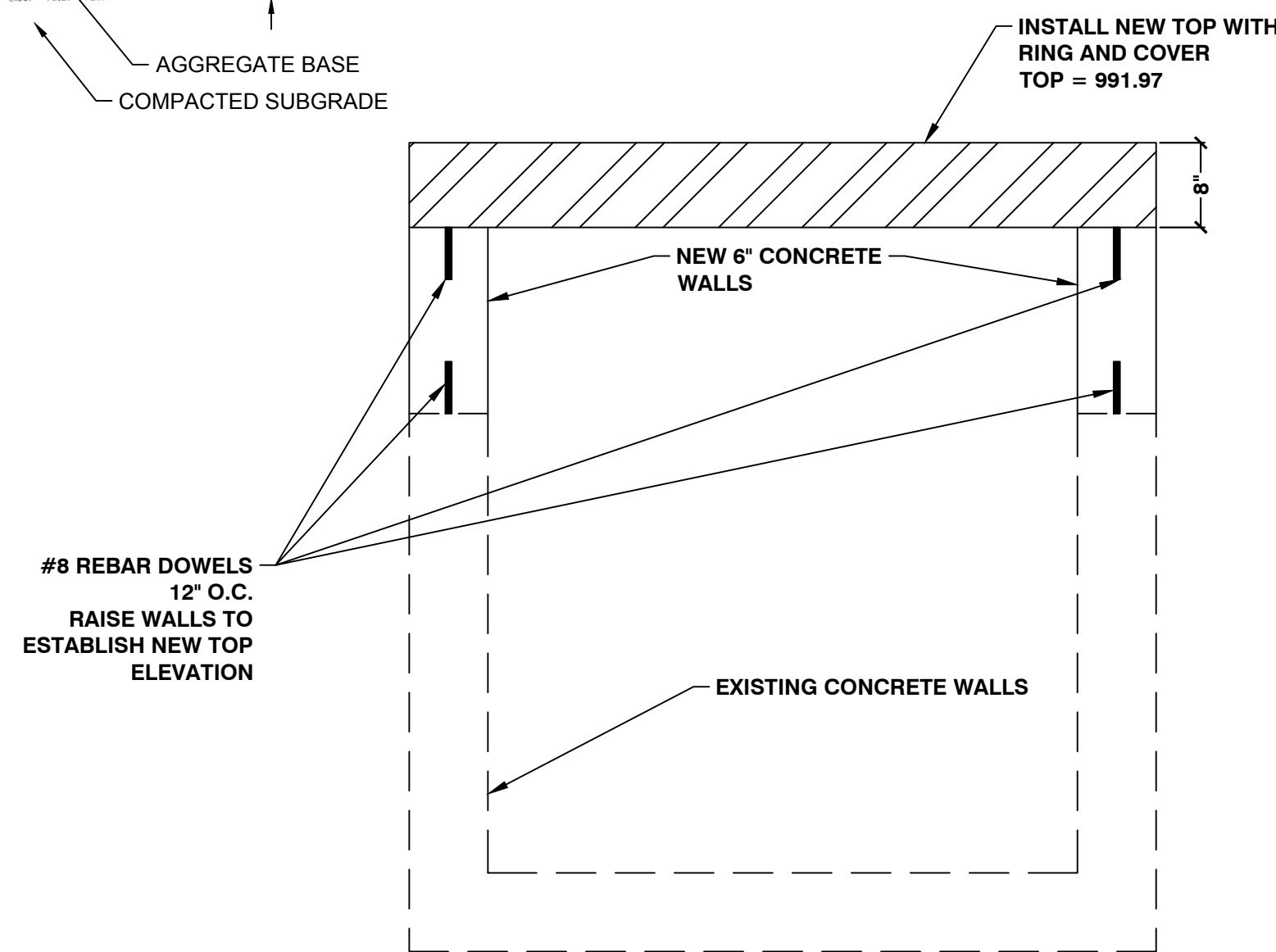
IN-LINE CLEANOUT DETAIL  
Not To Scale



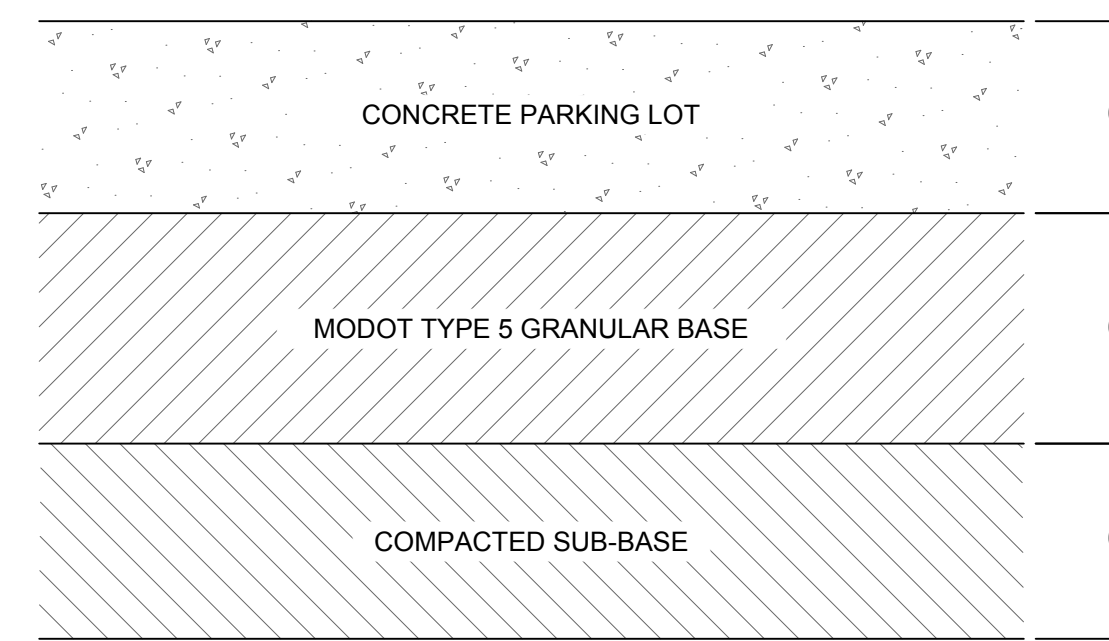
ASPHALT PATCH AT CURB  
Not to Scale



ACCESSIBLE SIGN DETAIL  
Not to Scale



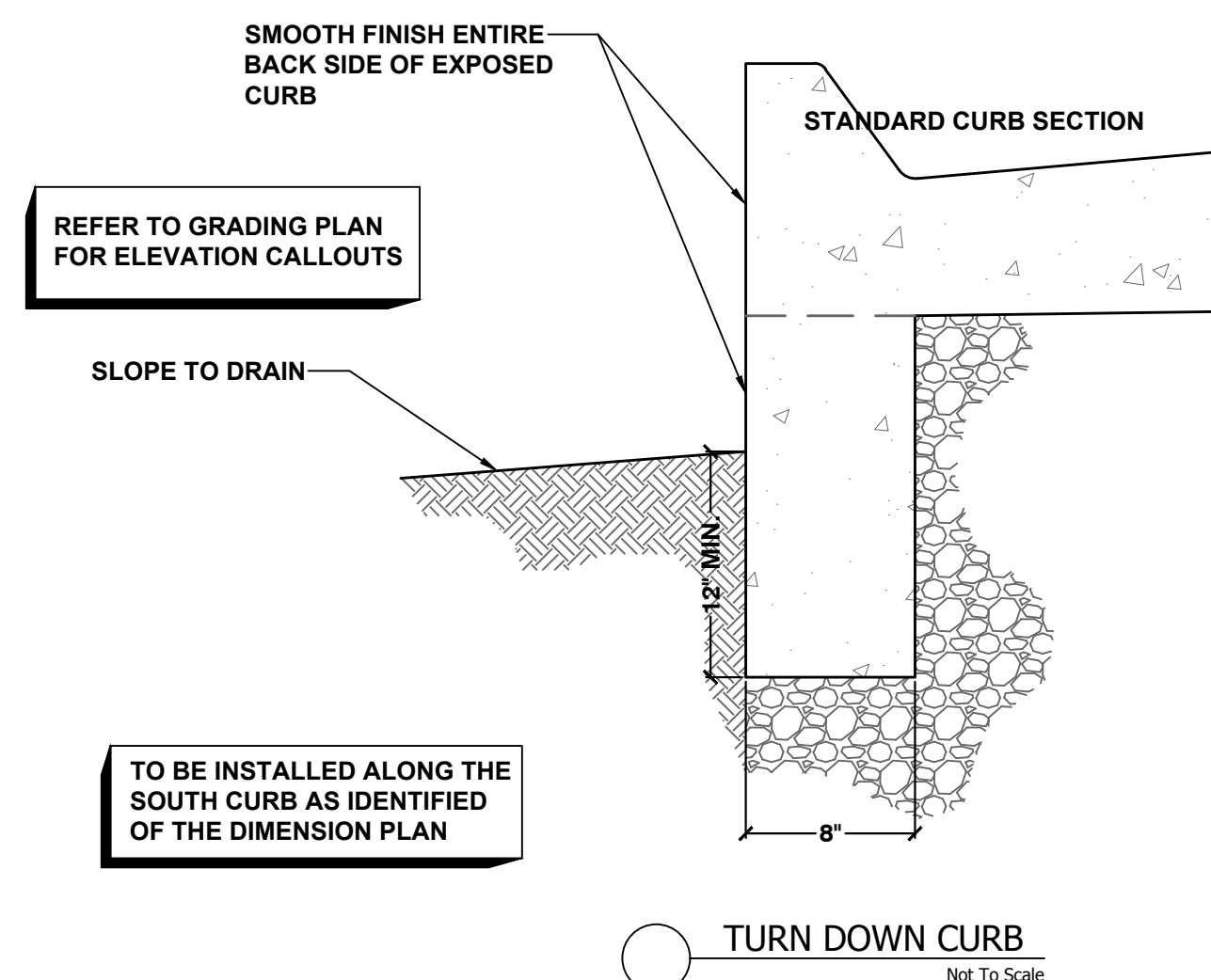
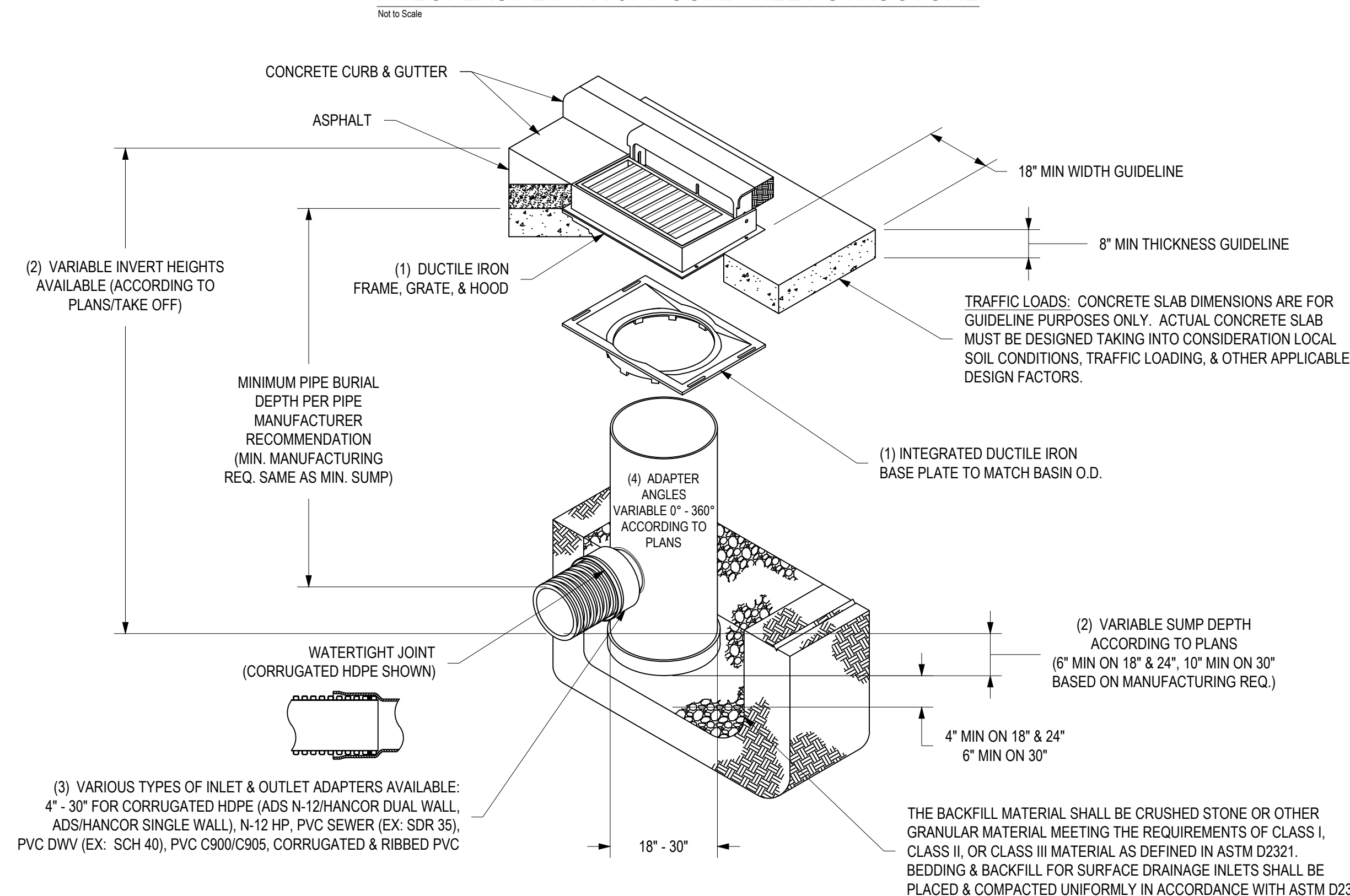
AREA INLET TO JUNCTION BOX  
Not to Scale



CONCRETE SECTION  
Not to Scale

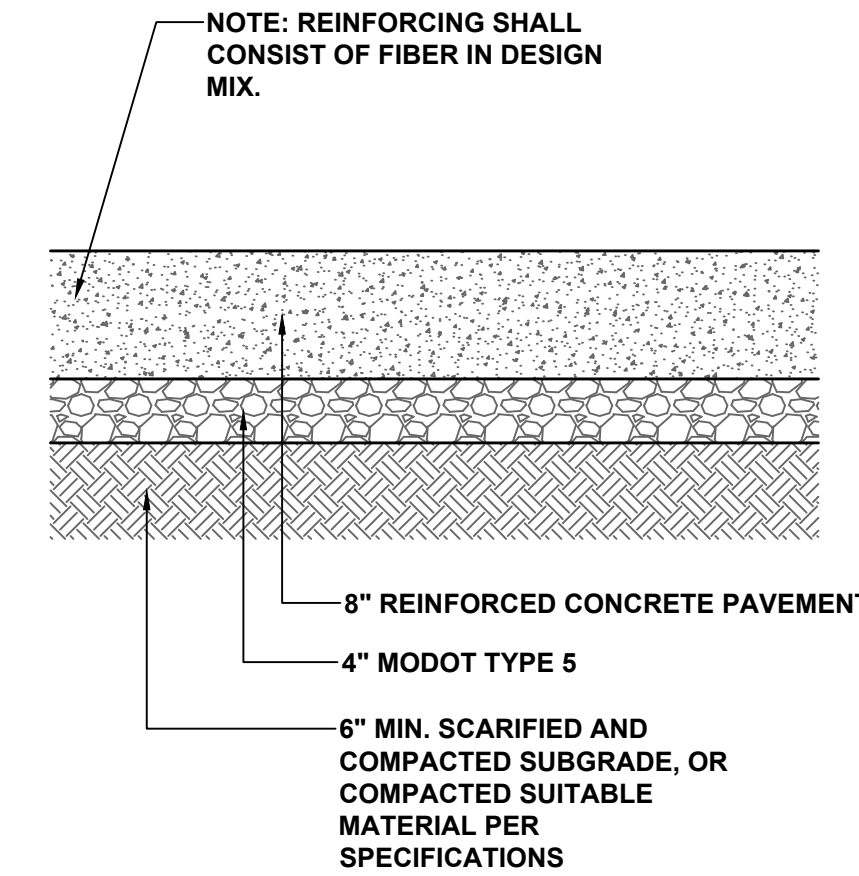
- SITE PAVING NOTES:
- PAVING BASE MATERIAL AND COMPACTION REQUIREMENTS ARE TO MEET GEOTECHNICAL REPORT RECOMMENDATIONS.
  - DO NOT INSTALL PAVEMENT UNTIL ALL UTILITY STRUCTURES ARE ADJUSTED TO BE FLUSH WITH FINAL PAVEMENT ELEVATION (I.E. CLEAN OUT COVERS/MANHOLE LIDS ETC.)

NYLOPLAST 2 FT X 3FT CURB INLET STRUCTURE



TURN DOWN CURB  
Not To Scale

NOTE:  
ALL CONCRETE SHALL BE  
KCMMB 4K MIX



PRIVATE HEAVY DUTY CONCRETE  
Not to Scale

Certificates of Authority  
Architecture: MO 310 / KS 13  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 34

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Toby L. Williams, PE  
PE-2019038948 (MISSOURI #)



PREPARED FOR:  
WARD DEVELOPMENT  
DAVID WARD  
1120 NW EAGLE RIDGE BLVD.  
GRAIN VALLEY, MO 64029  
(816) 229-8115

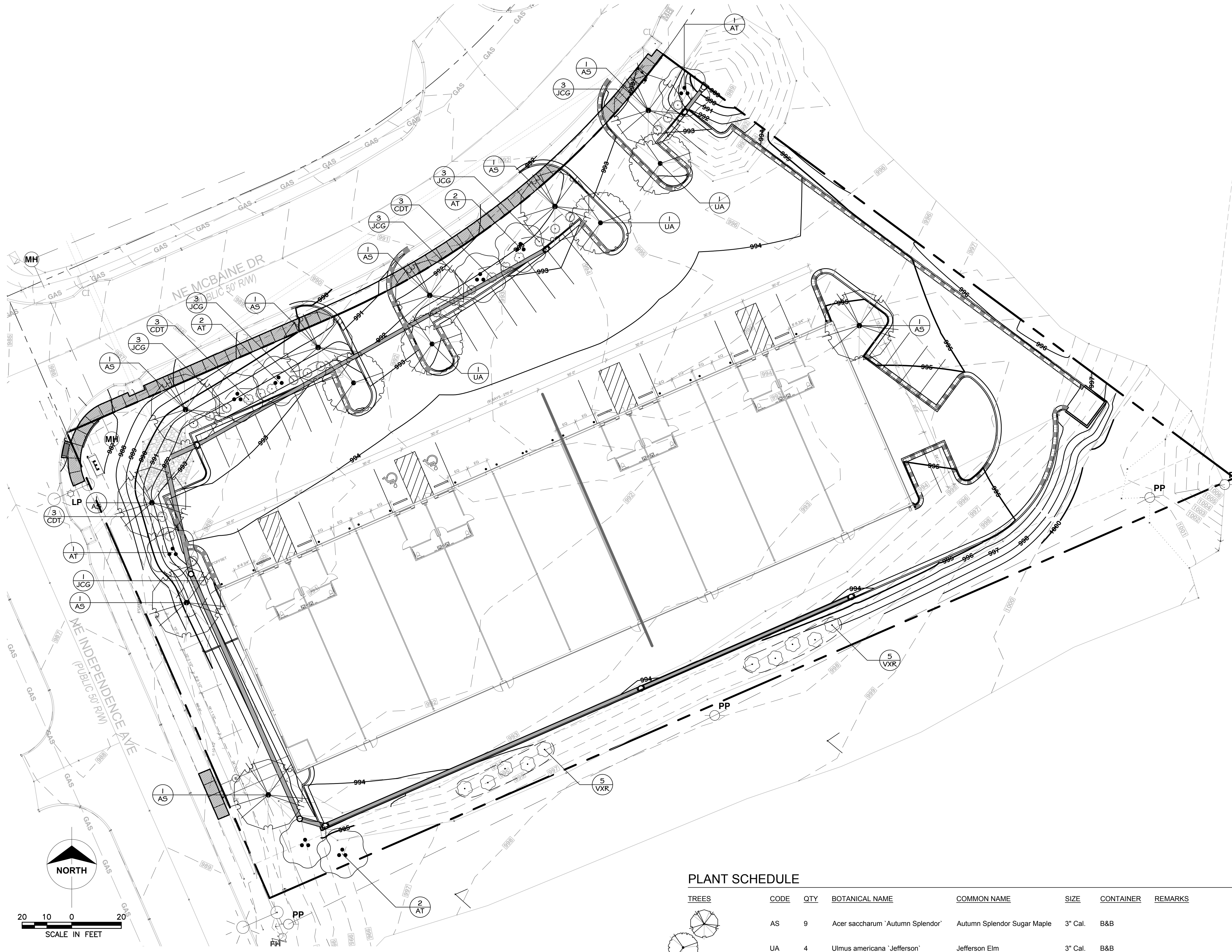
LOT 10, I-470 BUSINESS AND TECHNOLOGY CENTER  
2601 NE MCBAIN DRIVE  
LEE'S SUMMIT, MO 64064

REVISIONS	NO.	DATE	DESCRIPTION

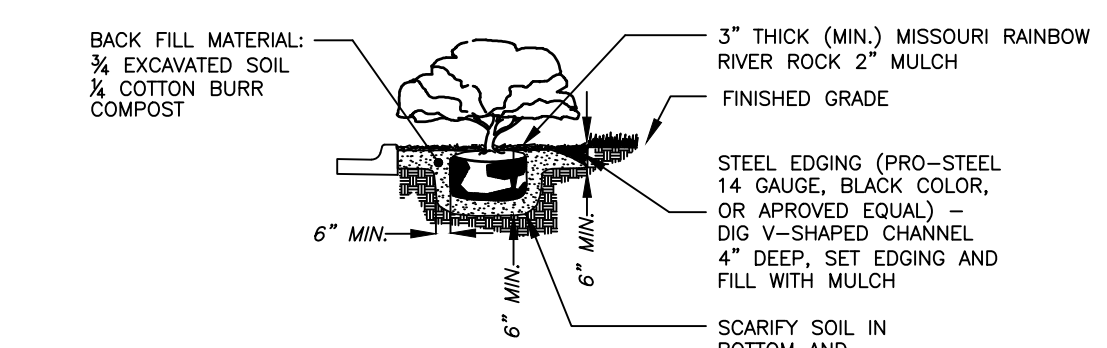
PROJECT #: 21-1902  
ISSUE DATE: 09/01/2021  
ISSUED FOR:

DETAILS

C-501



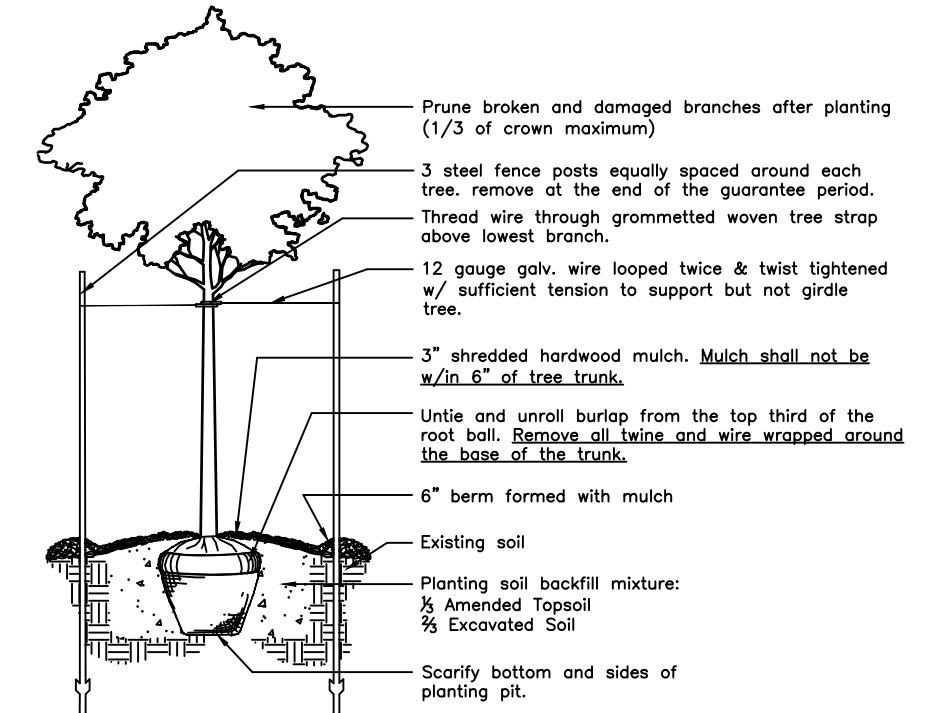
**1 PLANTING PLAN**  
SCALE: 1"=20'



**2 SHRUB BED & EDGING DETAIL**  
NTS

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	AS	9	Acer saccharum 'Autumn Splendor'	Autumn Splendor Sugar Maple	3" Cal.	B&B	
	UA	4	Ulmus americana 'Jefferson'	Jefferson Elm	3" Cal.	B&B	
ORNAMENTAL TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	AT	8	Acer tataricum 'Hot Wings'	Hot Wings Maple Clump	6" Ht.	B&B / Cont.	3-5 Cane - 3" Cal. Cumulative
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	CDT	9	Chaenomeles x 'Double Take' TM	Double Take Quince	18" Ht.	Pot	
	JCG	16	Juniperus chinensis 'Gold Lace'	Gold Lace Juniper	18" Ht.	Pot	
	VXR	10	Viburnum x rhytidophylloides	Alleghany Viburnum	24" Ht.	Pot	



**NOTES:**  
1. On evergreen trees, attach guying collar at approx. 2/3 height of tree on trees that are 6 ft. height and over.  
2. Top of rootball shall match original ground level as grown in the nursery. Overlap from nursery shall be removed to expose root collar.  
3. Do not fertilize the first growing season.  
4. Use tree stakes only in open areas, do not use in parking lot islands where space is limited.

**3 DECIDUOUS TREE PLANTING**  
NTS

**LANDSCAPE PLAN NOTES:**

- Existing underground (u/g), overhead (o.h.) utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the individual contractors to verify existence and location of all utilities before starting any work.
- Prior to commencement of work, the contractor shall give 48 hours advance notice to all those companies/utilities which have facilities in the near vicinity of the construction to be performed.
- Contractor shall verify all landscape material quantities and shall report any discrepancies immediately to the Landscape Architect.
- No substitutions for variety or cultivar shall be accepted without first obtaining written approval from Landscape Architect.
- All plant material shall be of excellent quality, free of disease and infestation, and true to type, variety, size specified, and form per the American Standard for Nursery Stock (ANSI Z60.1 current version), published by the American Nurserymen's Association.
- All shrub beds in lawn areas shall be edged as shown in the planting details.
- All planting areas, as well as a minimum width of 18" from building foundation, shall receive 3" minimum depth of 2" Kansas River Rock as detailed, unless otherwise noted. In landscape beds, rock mulch shall be a consistent 3" depth throughout. Rock mulch shall be placed on top of woven weed fabric (DeWitt Pro-5, or equal), which shall be secured in place with sod pins.
- Trees planted in turf areas shall have a 3" ring of shredded hardwood mulch formed into a saucer in a minimum ring twice the diameter of the rootball from the trunk.
- Contractor shall thoroughly water in each plant immediately following installation.
- No plantings shall be placed closer than 4' from the back of curb to allow for vehicle bumper overhang.
- Contractor shall be responsible for calculating all areas of sod and seed and the amounts of each needed for optimum coverage.
- Contractor shall install sod in all turf areas. Sod shall be turf-type tall Fescue consisting of 90% fescue blend and 10% bluegrass in all areas disturbed during construction not otherwise designated as another material. Sod placed in areas greater than 4:1 slope shall fastened to the slope with sod staples.
- Proposed trees shall not be placed over existing or proposed utility service lines. It is the contractor's responsibility to understand utility locations and have them marked during tree planting operations. If utility is damaged during planting, contractor is responsible for notifying the general contractor and owner of utility and paying for repair of the damaged utility.
- A fully automated irrigation system will be supplied for this project by the Contractor. Design shall be provided and approved by the landscape architect prior to ordering materials or installing any aspect of the irrigation system. General contractor shall supply tap location and water pressure to irrigation designer. Tap for irrigation shall be after the main building tap and shall be thru a deduct meter configuration. Irrigation system shall consist of tap, backflow, smart controller, heads, pipe, valves, wire, flow sensing, weather station, and any other feature to give the most efficient and comprehensive system as deemed necessary by the irrigation designer and landscape architect. System shall cover all areas designated as turf or landscape beds. Turf, trees and shrubs shall all be on separate zones so that they can be watered at different rates. Submit all irrigation plans to the landscape architect for approval. Controller shall be mounted inside a stainless steel, lockable cabinet on exterior of building nearest the mechanical room access door or other utility panels, as agreed by the GC and Landscape Architect.

Certificates of Authority  
Architecture: MO 310 / KS 73  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 36

**CLIENT**  
**WARD DEVELOPMENT**  
DAVID WARD  
1120 NW EAGLE RIDGE BLVD.  
GRAIN VALLEY, MO 64029  
(816) 229-8115

**LOT 10, 1-470**  
**BUSINESS PARK**  
2601 NE MCBAIN DRIVE  
LEE'S SUMMIT, MO 64064



CHAD D. WEINAND, PL A  
LA-2013000705 (MISSOURI #)

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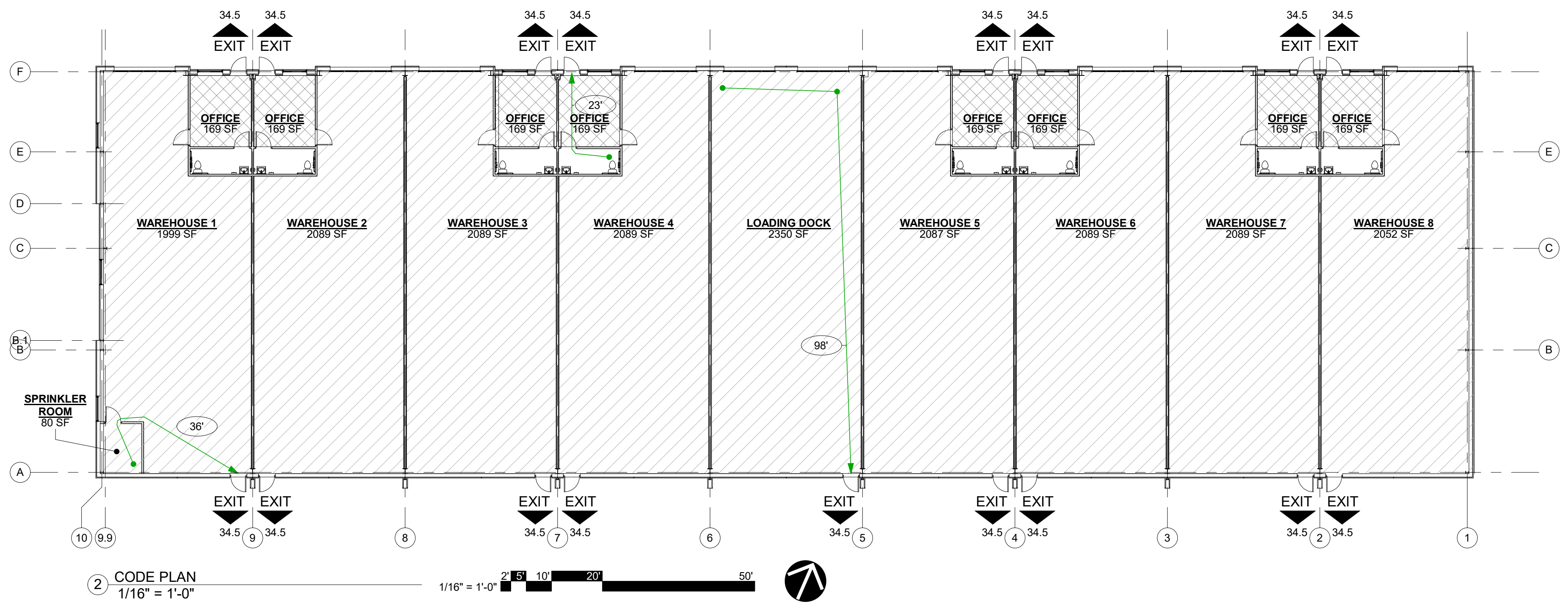
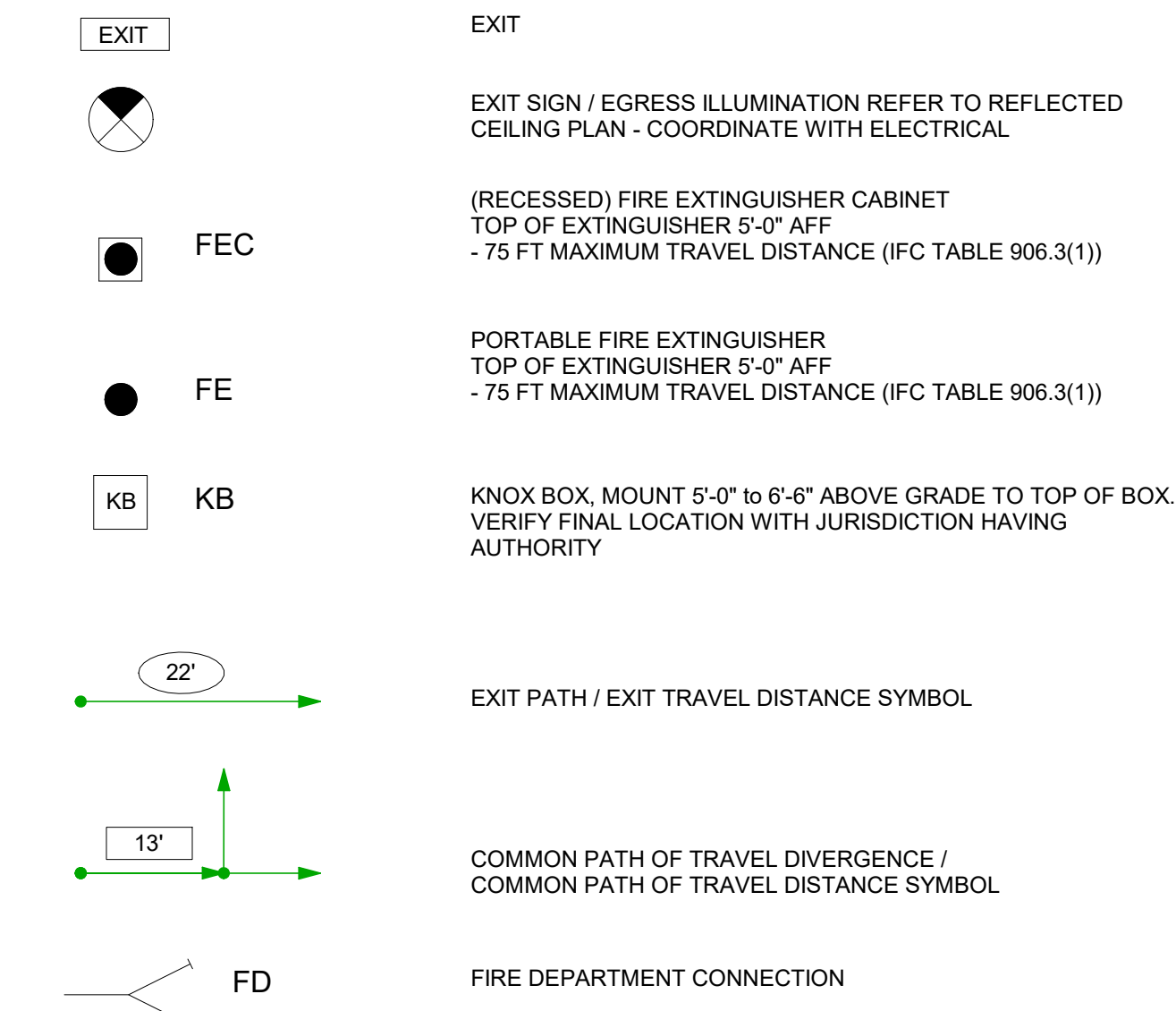
DRAWN BY: CDW  
CHECKED BY: CDW  
PROJECT #: 21-1902  
ISSUE DATE: 8/23/2021  
ISSUED FOR: CONSTRUCTION

**Chad D. Weinand, PL A, ASLA**  
Landscape Architecture  
15173 W. 157th Terrace, Olathe, Kansas 66062  
913.484.3738 - cweinand74@gmail.com  
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LIFE-SAFETY GENERAL NOTES

- ALL EXIT DOORS SHALL BE OPERABLE / OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- BUILDING ADDRESS NUMBER (BUILDING IDENTIFIER) SHALL BE A MINIMUM 6 INCHES HIGH AND PLAINLY VISIBLE FROM ROADWAY FRONTING THE PROPERTY.
- FIRE EXTINGUISHERS SHALL BE DISTRIBUTED THROUGHOUT THE FACILITY (PER NFPA 101) SO THAT NO GREATER THAN 75 FEET TRAVEL DISTANCE IS REQUIRED TO REACH A UNIT (IFC TABLE 906.3). NO MORE THAN 50 FEET IN GARAGE AREA. MINIMUM SIZE (5 LB)# 5A40BC EXTINGUISHERS SHALL BE SECURELY MOUNTED WITH THE TOP OF THE CANISTER NO HIGHER THAN 42" ABOVE FINISHED FLOOR, WITH STATE FIRE MARSHAL INSPECTION TAG ATTACHED AND SIGNAGE TO INDICATE LOCATION.
- PROVIDE FIRE EXTINGUISHERS IN LOCATIONS AND QUANTITIES AS SHOWN AND AS DIRECTED BY THE FIRE MARSHAL OF THE JURISDICTION HAVING AUTHORITY. PROVIDE EXTINGUISHERS THAT ARE COMPATIBLE WITH THE CHEMICALS IN THE ROOMS.
- FIRE SPRINKLER AND FIRE ALARM SYSTEMS ARE TO BE DESIGN/BUILD BY THE SUBCONTRACTOR. THE SHOP DRAWINGS WILL BE MADE AVAILABLE TO THE CITY FOR REVIEW PRIOR TO INSTALL.
- PROVIDE HAZARDOUS MATERIALS SIGNAGE AS SPECIFIED BY NFPA STANDARD 704.
- SMOKING SHALL BE PROHIBITED AND "NO SMOKING" SIGNS PROVIDED AT:  
 A. ROOMS WHERE HAZARDOUS MATERIALS ARE STORED OR DISPENSED OR USED IN OPEN SYSTEMS IN AMOUNTS REQUIRING A PERMIT IN ACCORDANCE WITH SECTION 5001.5  
 B. WITHIN 25 FT OF OUTDOOR STORAGE, DISPENSING OR OPEN USE AREAS.  
 C. FACILITIES OR AREAS WITHIN FACILITIES THAT HAVE BEEN DESIGNATED AS TOTALLY "NO SMOKING" SHALL HAVE "NO SMOKING" SIGNAGE PLACED AT ALL ENTRANCES TO THE FACILITY OR AREA. DESIGNATED AREAS WITHIN SUCH FACILITIES WHERE SMOKING IS PERMITTED EITHER PERMANENTLY OR TEMPORARILY, SHALL BE INDENTED WITH SIGNS DESIGNATING THAT SMOKING IS PERMITTED IN THESE AREAS ONLY.  
 D. IN ROOMS OR AREAS WHERE FLAMMABLE OR COMBUSTIBLE HAZARDOUS MATERIALS ARE STORED, DISPENSED OR USED.

LIFE SAFETY LEGEND

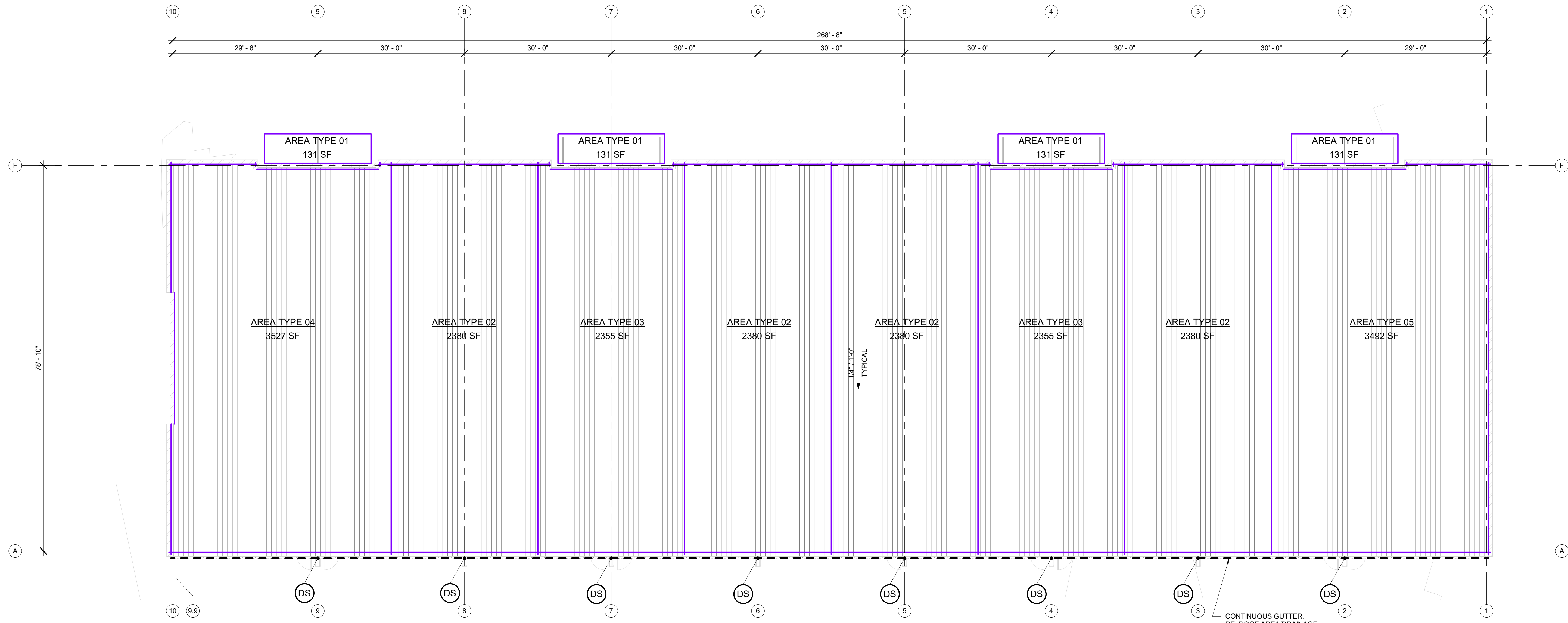


② CODE PLAN  
 1/16" = 1'-0"  
 1/16" = 1'-0" 2' 5' 10' 20' 50'

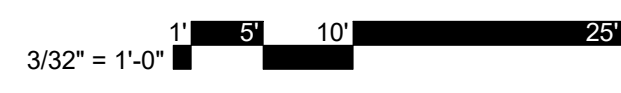
CODE ANALYSIS

APPLICABLE CODES	FIRE RESISTANCE																									
THE BUILDING SHALL BE IN COMPLIANCE WITH THE FOLLOWING: 2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL FUEL GAS CODE 2018 INTERNATIONAL FIRE CODE 2017 NATIONAL ELECTRICAL CODE ICC/ANSI A117.1-2009, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES LEE'S SUMMIT, MISSOURI	<b>FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS - TABLE 601</b> PRIMARY STRUCTURAL FRAME: 0 HOURS BEARING WALLS EXTERIOR: 0 HOURS BEARING WALLS INTERIOR: 0 HOURS NONBEARING WALLS EXTERIOR: - NONBEARING WALLS INTERIOR: 0 HOURS FLOOR CONSTRUCTION: 0 HOURS ROOF CONSTRUCTION: 0 HOURS <b>FIRE PROTECTION SYSTEMS, SECTION 903.2.10</b> REQUIRED: YES PROVIDED: YES																									
OCCUPANCY CLASSIFICATION	MEANS OF EGRESS																									
MAIN OCCUPANCY (S-2): S-2: STORAGE (LOW-HAZARD STORAGE) SECTION 311.3 ACCESSORY OCCUPANCY (B): B: BUSINESS SECTION 508.2.1 SECTION 304	<b>SUITE TYPE A (WAREHOUSE)</b> <b>SUITE TYPE B (LOADING DOCK)</b> <b>MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT - TABLE 1004.1.2</b> STORAGE WAREHOUSE 1 1999 SF / 300 GROSS = 7 OCCUPANTS SPRINKLER ROOM 80 SF / 300 GROSS = 1 OCCUPANTS WAREHOUSE 2 2089 SF / 300 GROSS = 7 OCCUPANTS WAREHOUSE 3 2089 SF / 300 GROSS = 7 OCCUPANTS WAREHOUSE 4 2089 SF / 300 GROSS = 7 OCCUPANTS WAREHOUSE 5 2089 SF / 300 GROSS = 7 OCCUPANTS WAREHOUSE 6 2089 SF / 300 GROSS = 7 OCCUPANTS WAREHOUSE 7 2089 SF / 300 GROSS = 7 OCCUPANTS WAREHOUSE 8 2052 SF / 300 GROSS = 7 OCCUPANTS TOTAL = 64 OCCUPANTS BUSINESS OFFICE 1 168 SF / 150 GROSS = 2 OCCUPANTS OFFICE 2 168 SF / 150 GROSS = 2 OCCUPANTS OFFICE 3 168 SF / 150 GROSS = 2 OCCUPANTS OFFICE 4 168 SF / 150 GROSS = 2 OCCUPANTS OFFICE 5 168 SF / 150 GROSS = 2 OCCUPANTS OFFICE 6 168 SF / 150 GROSS = 2 OCCUPANTS OFFICE 7 168 SF / 150 GROSS = 2 OCCUPANTS OFFICE 8 168 SF / 150 GROSS = 2 OCCUPANTS TOTAL = 16 OCCUPANTS <b>TOTAL OCCUPANTS = 80 OCCUPANTS</b> MINIMUM REQUIRED EGRESS WIDTH - 1005.1 MAIN OCCUPANCY (S-2): REQUIRED: 7 OCC. X 0.2" = 1.4" REQUIRED PROVIDED: 1 DOORS @ 34.5" CLEAR = 34.5" PROVIDED ACCESSORY OCCUPANCY (B): REQUIRED: 2 OCC. X 0.2" = 0.4" REQUIRED PROVIDED: 2 DOORS @ 34.5" CLEAR = 69" PROVIDED <b>TOTAL WIDTH PER SUITE (8) = 103.5" PROVIDED</b> COMMON PATH OF EGRESS TRAVEL - TABLE 1006.2.1: REQUIRED: 100 FT PROVIDED: 9 FT 0 IN <b>PER SUITE</b> NUMBER OF EXITS, TABLE 1006.2.1: REQUIRED: 1 PROVIDED: 3 <b>PER SUITE</b>																									
TYPE OF CONSTRUCTION	MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES																									
TYPE OF CONSTRUCTION V-B IBC SECTION 602.5 ALLOWABLE HEIGHTS MAIN OCCUPANCY (S-2): BUILDING HEIGHT - TABLE 504.3 ALLOWABLE HEIGHT = 60 FT ACTUAL HEIGHT = 22 FT 2 IN BUILDING # OF STORIES - TABLE 504.4 ALLOWABLE HEIGHT = 3 STORY ACTUAL HEIGHT = 1 STORY ACCESSORY OCCUPANCY (B): SHALL BE IN ACCORDANCE WITH THE MAIN OCCUPANCY OF THE BUILDING SECTION 508.2.2	<b>B: BUSINESS</b> 7 OCCUPANTS PER SUITE (8) <table border="1"> <thead> <tr> <th>WATER CLOSETS</th> <th>LAVATORIES</th> <th>DRINKING FOUNTAINS</th> <th>OTHER</th> </tr> </thead> <tbody> <tr> <td>1/25</td> <td>1/40</td> <td>1/100</td> <td>1 SERVICE SINK</td> </tr> <tr> <td>REQUIRED</td> <td>PROVIDED</td> <td>REQUIRED</td> <td>PROVIDED</td> </tr> <tr> <td>1</td> <td>1</td> <td>1</td> <td>1</td> </tr> <tr> <td>1</td> <td>1</td> <td>1</td> <td>X</td> </tr> <tr> <td>0</td> <td>0</td> <td>0</td> <td>0</td> </tr> </tbody> </table>		WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	OTHER	1/25	1/40	1/100	1 SERVICE SINK	REQUIRED	PROVIDED	REQUIRED	PROVIDED	1	1	1	1	1	1	1	X	0	0	0	0
WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	OTHER																							
1/25	1/40	1/100	1 SERVICE SINK																							
REQUIRED	PROVIDED	REQUIRED	PROVIDED																							
1	1	1	1																							
1	1	1	X																							
0	0	0	0																							
ALLOWABLE AREAS	ALLOWABLE FLOOR AREA - TABLE 506.2 MAIN OCCUPANCY (S-2): ALLOWABLE AREA = 54,000 SF PER STORY (WITHOUT INCREASES) ACTUAL AREA = 22,677 SF ACCESSORY OCCUPANCY (B): ALLOWABLE AREA = 36,000 SF PER STORY (WITHOUT INCREASES) SHALL NOT OCCUPY MORE THAN 10% OF MAIN OCCUPANCY AREA ACTUAL AREA = 1,344 SF 22,677 x .10 = 2,267 THEREFORE, COMPLIES.																									
ADA FLOOR CLEARANCES																										
RESTROOM FIXTURE MOUNTING HEIGHTS																										





1 ROOF AREA DRAINAGE PLAN  
3/32" = 1'-0"



### ROOF AREA SCHEDULE

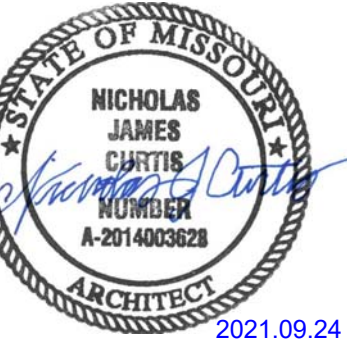
TYPE	Count	SMANCA Table 1-2 Rainfall Data and Drainage Factors	(A) AREA (SF)	SMANCA Table 1-1 Design Areas for Pitched Roofs	(B) Roof Slope Factor	(C) 100 Years - Calculated roof area drained per downspout area sq ft/sq in	(D) Total area of downspout req'd (sq. in.) (D = A*B/C)	E) Number of Downspouts	(F) Area per Downspout Required (sq in)	Downspout Size	Gutter Size	Comments
AREA TYPE 01	4	MISSOURI: Kansas City	131 SF	3 to level	1	110	1.2	1	1.19	Per Canopy Manufacturer	Per Canopy Manufacturer	
AREA TYPE 02	4	MISSOURI: Kansas City	2,380 SF	3 to level	1	110	21.6	2	10.82	Rectangular Corrugated, Nominal 5" Downspout (3.75x5" = 18.75") Net Area "A" = 16.63 sq in	5"W x 7.5"D	
AREA TYPE 03	2	MISSOURI: Kansas City	2,355 SF	3 to level	1	110	21.4	2	10.70	Rectangular Corrugated, Nominal 5" Downspout (3.75x5" = 18.75") Net Area "A" = 16.63 sq in	5"W x 7.5"D	
AREA TYPE 04	1	MISSOURI: Kansas City	3,527 SF	3 to level	1	110	32.1	2	16.03	Rectangular Corrugated, Nominal 5" Downspout (3.75x5" = 18.75") Net Area "A" = 16.63 sq in	5"W x 7.5"D	
AREA TYPE 05	1	MISSOURI: Kansas City	3,492 SF	3 to level	1	110	31.7	2	15.87	Rectangular Corrugated, Nominal 5" Downspout (3.75x5" = 18.75") Net Area "A" = 16.63 sq in	5"W x 7.5"D	

#### GENERAL NOTES - ROOF DRAINAGE PLAN

- REFER TO PREENGINEERED METAL BUILDING DRAWINGS FOR ROOF SUPPORT STEEL AND DECKING ELEVATIONS AND INFORMATION.
- ROOF DRAINAGE CALCULATIONS PER 2018 IPC.
- REFER TO BUILDING ELEVATIONS FOR ADDITIONAL DOWNSPOUT INFORMATION.

#### ROOF DRAINAGE LEGEND

- DOWNSPOUT, RE: ROOF AREA/DRAINAGE SCHEDULE FOR STYLE AND SIZE.
- GUTTER
- 1/4" / 1'-0" SURFACE SLOPE ARROW
- AREA BOUNDARY



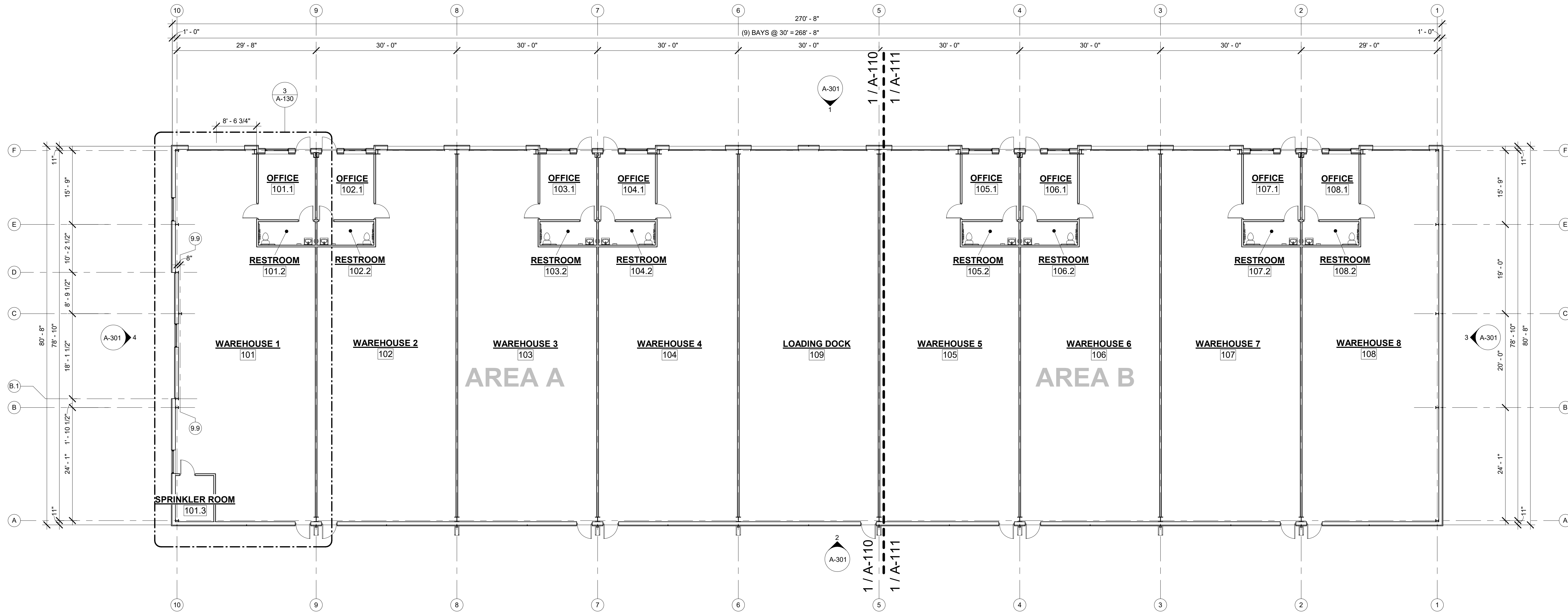
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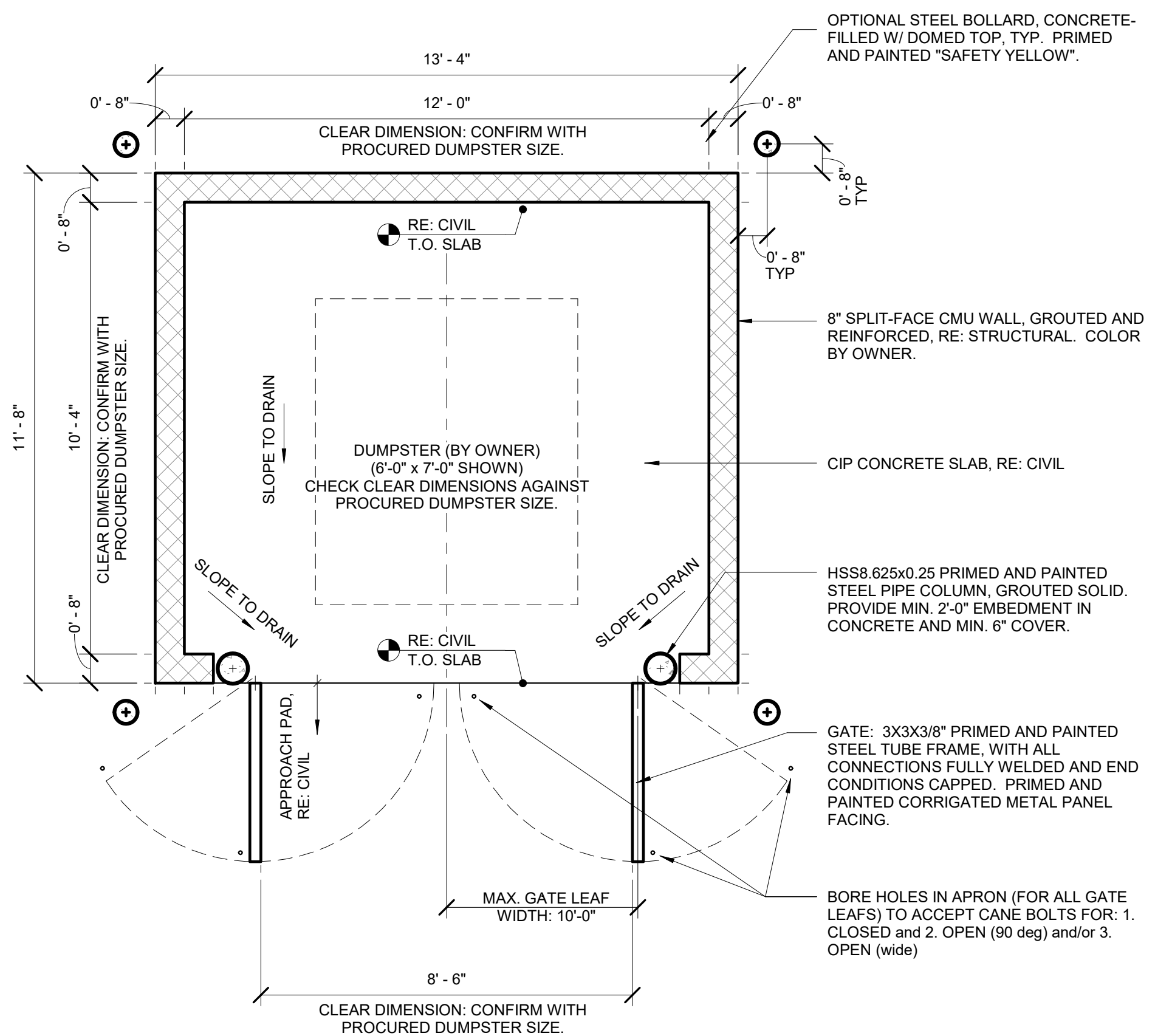
DRAWN BY: NC  
CHECKED BY: NC  
PROJECT #: 21-1902  
ISSUE DATE: 2021.09.24  
ISSUED FOR:  
ISSUE FOR PERMIT

ROOF DRAINAGE  
PLAN

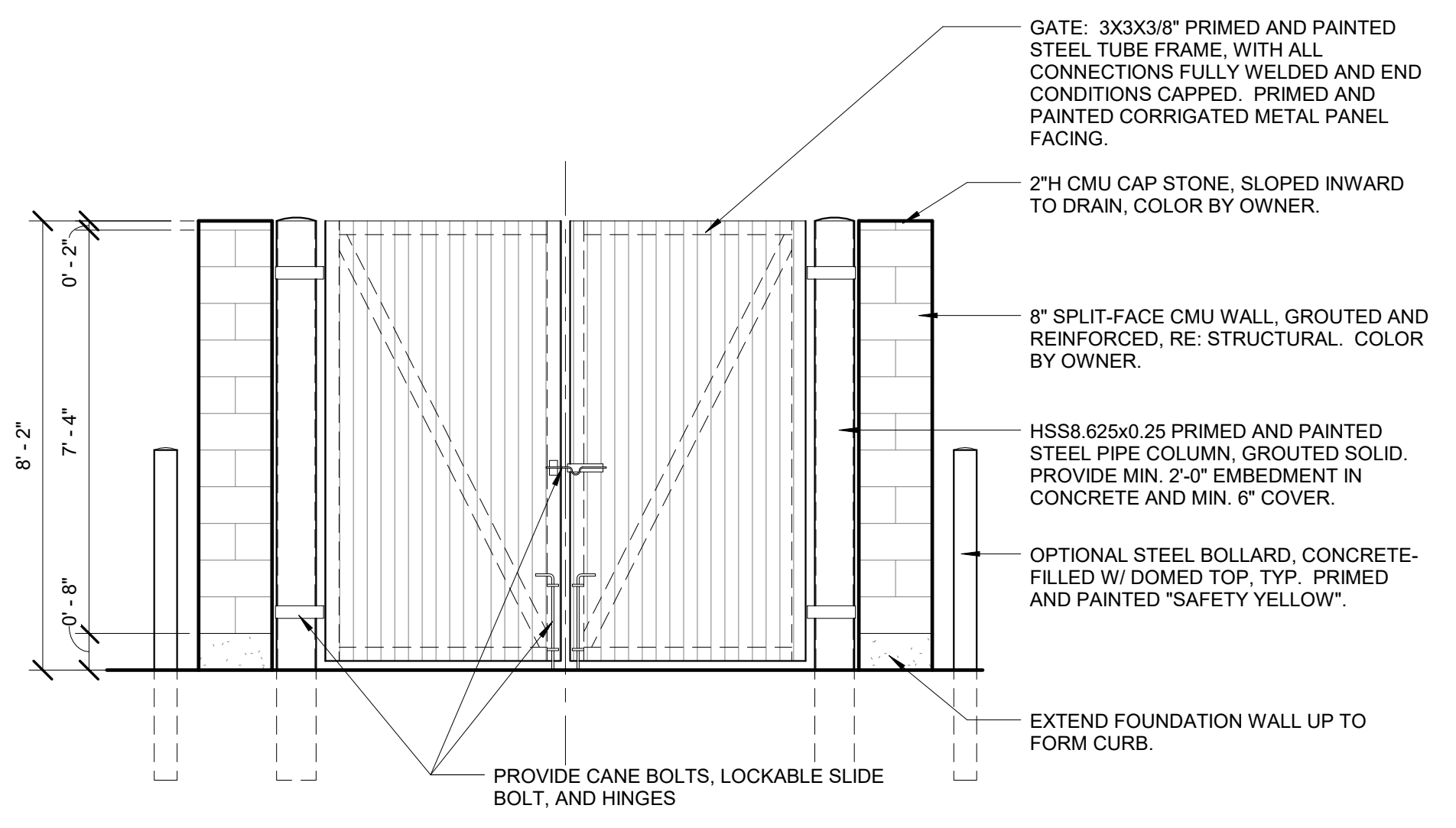
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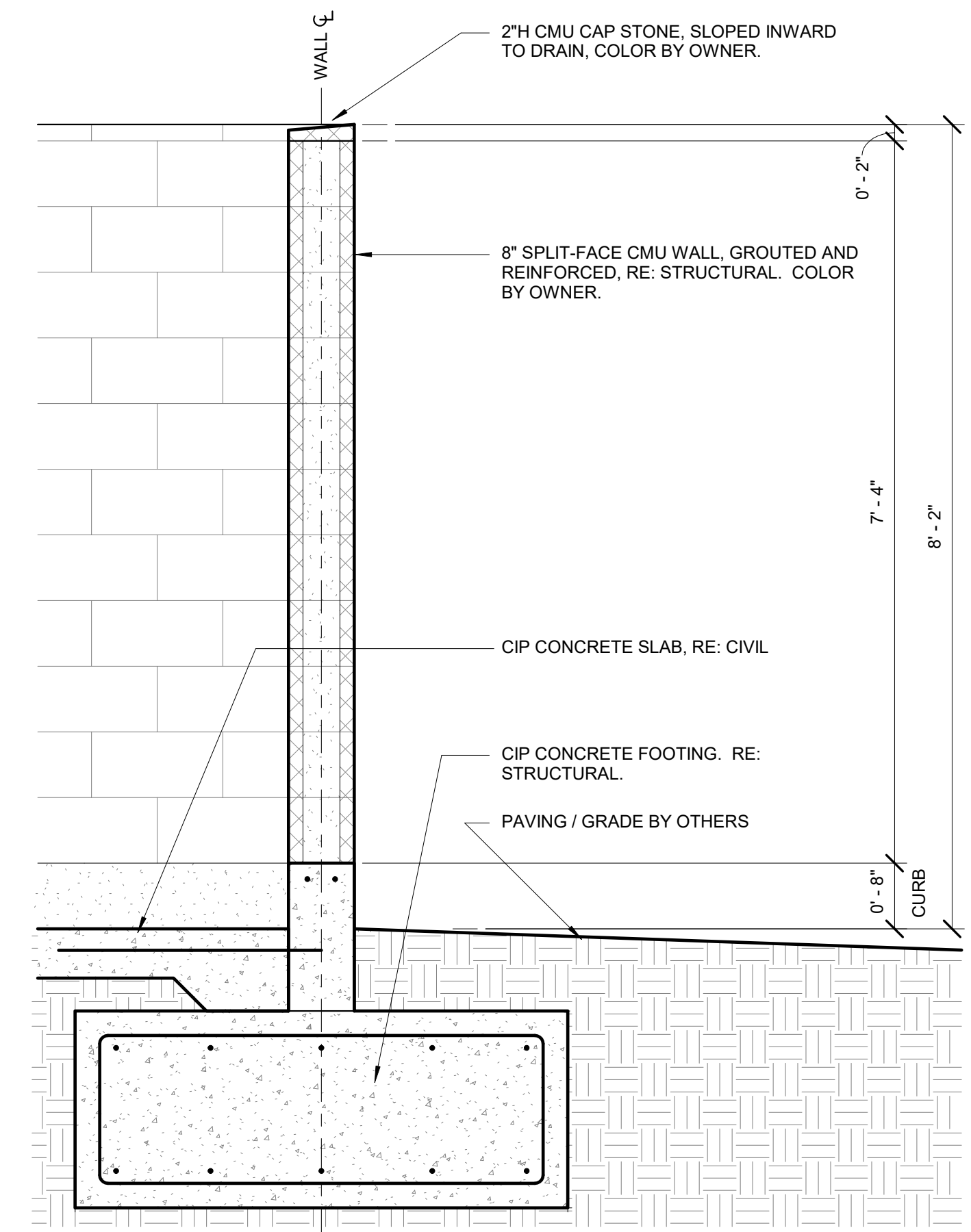
1 MAIN LEVEL FLOOR PLAN  
3/32" = 1'-0"



2 ENLARGED PLAN - DUMPSTER ENCLOSURE  
3/8" = 1'-0"



3 FRONT ELEVATION - DUMPSTER ENCLOSURE  
3/8" = 1'-0"



4 WALL SECTION - DUMPSTER ENCLOSURE  
3/4" = 1'-0"

Certificates of Authority  
Architecture: MO 310 / KS 73  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 36

CLIENT  
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1120 EAGLE RIDGE BLVD  
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**LOT 10 LAKEWOOD  
BUSINESS PARK  
LOT 10 I-470 BUSINESS PARK  
LEE'S SUMMIT, MO 64064**

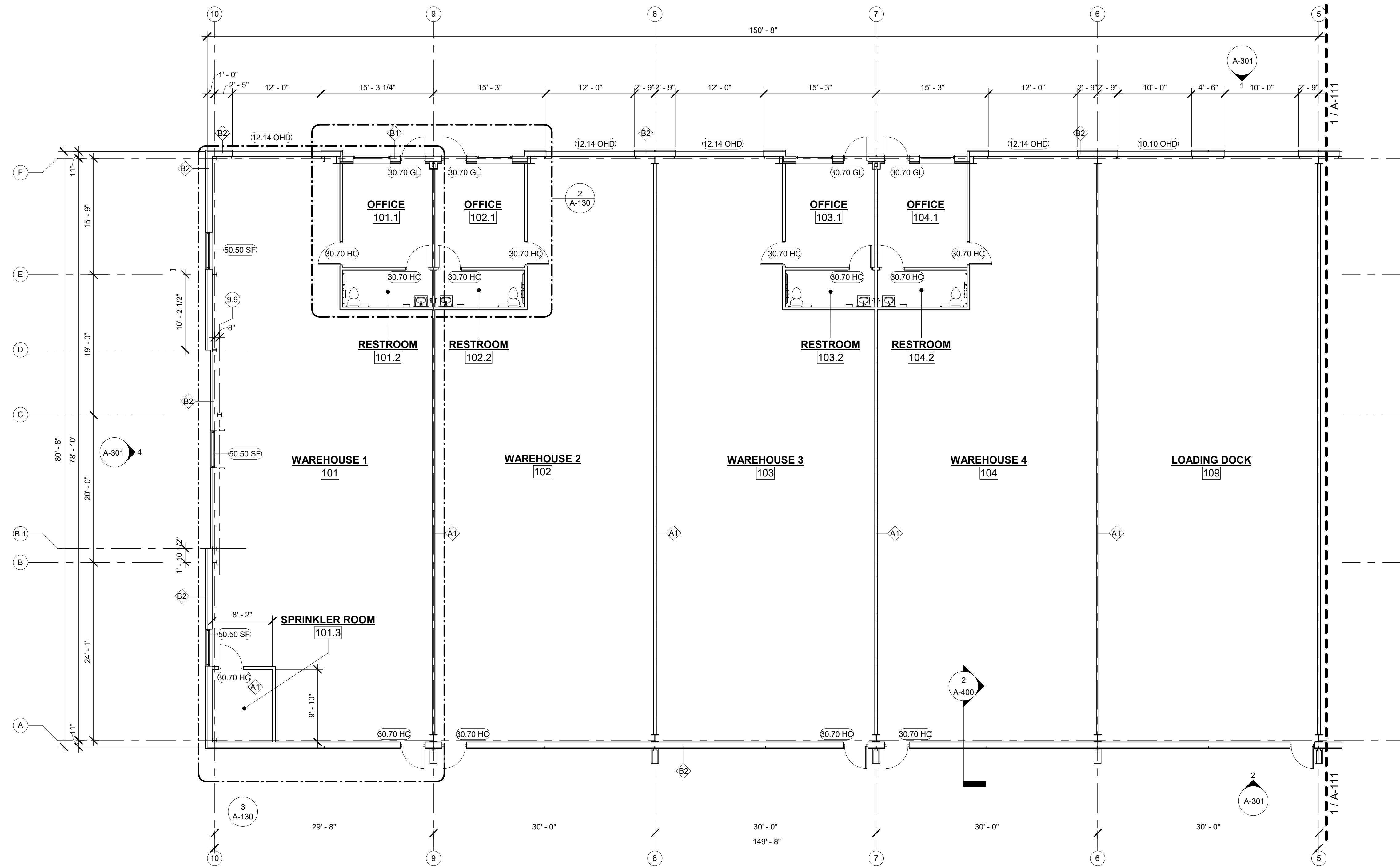


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ISSUE DATE: 2021.09.24  
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OVERALL MAIN  
LEVEL FLOOR PLAN



1 MAIN LEVEL FLOOR PLAN A  
1/8" = 1'-0"



- FLOOR PLAN NOTES**
- ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR OF STEELWOOD FRAMING. REFER TO ELEVATIONS AND SECTIONS FOR EXTERIOR FINISH.
  - ALL LUMBER TO BE #2 GRADE OR BETTER DOUGLAS FIR.
  - ALL WOOD IN CONTACT W/ CONCRETE TO BE WEATHER TREATED.
  - 8" - 0" LINER PANEL TO BE PLACED ON ALL WALLS WITHIN THE INTERIOR OF THE BUILDING. COORDINATE TYPE AND FINISH WITH OWNER.

- LEGEND**
- WALL TYPE
  - DOOR TAG
    - MID = METAL INSULATED DOOR
    - OHD = OVERHEAD DOOR
    - PD = POCKET DOOR
    - SC = SOLID CORE
    - HC = HOLLOW CORE
    - OP = FRAMED OPENING
    - WIDTH (7'-0")
    - HEIGHT (3'-0")
  - WINDOW TAG
    - SF = STOREFRONT
    - WIDTH (7'-0")
    - HEIGHT (3'-0")

- Room Name**
- ROOM TAG
  - SECTION
  - ELEVATION
  - CEILING ELEVATION

- WALL TYPES**
- 5/8" GYP. BD.  
2x4 WOOD FRAMING, RE: STRCT  
INSULATION
  - 5/8" GYP. BD.  
2x4 WOOD FRAMING, RE: STRCT  
INSULATION  
5/8" GYP. BD.
  - 2" EIFS  
SHEATHING  
METAL FRAMING PER PEMB PACKAGE  
INSULATION  
2x4 WOOD FRAMING, RE: STRCT  
5/8" GYP. BD.
  - 2" EIFS  
SHEATHING  
METAL FRAMING PER PEMB PACKAGE

CLIENT  
DAVID WARD  
WARD DEVELOPMENT  
1120 EAGLE RIDGE BLVD  
GRAIN VALLEY, MO 64029  
david@safetyminstorage.com

**LOT 10 LAKEWOOD  
BUSINESS PARK  
LOT 10 I-470 BUSINESS PARK  
LEE'S SUMMIT, MO 64064**

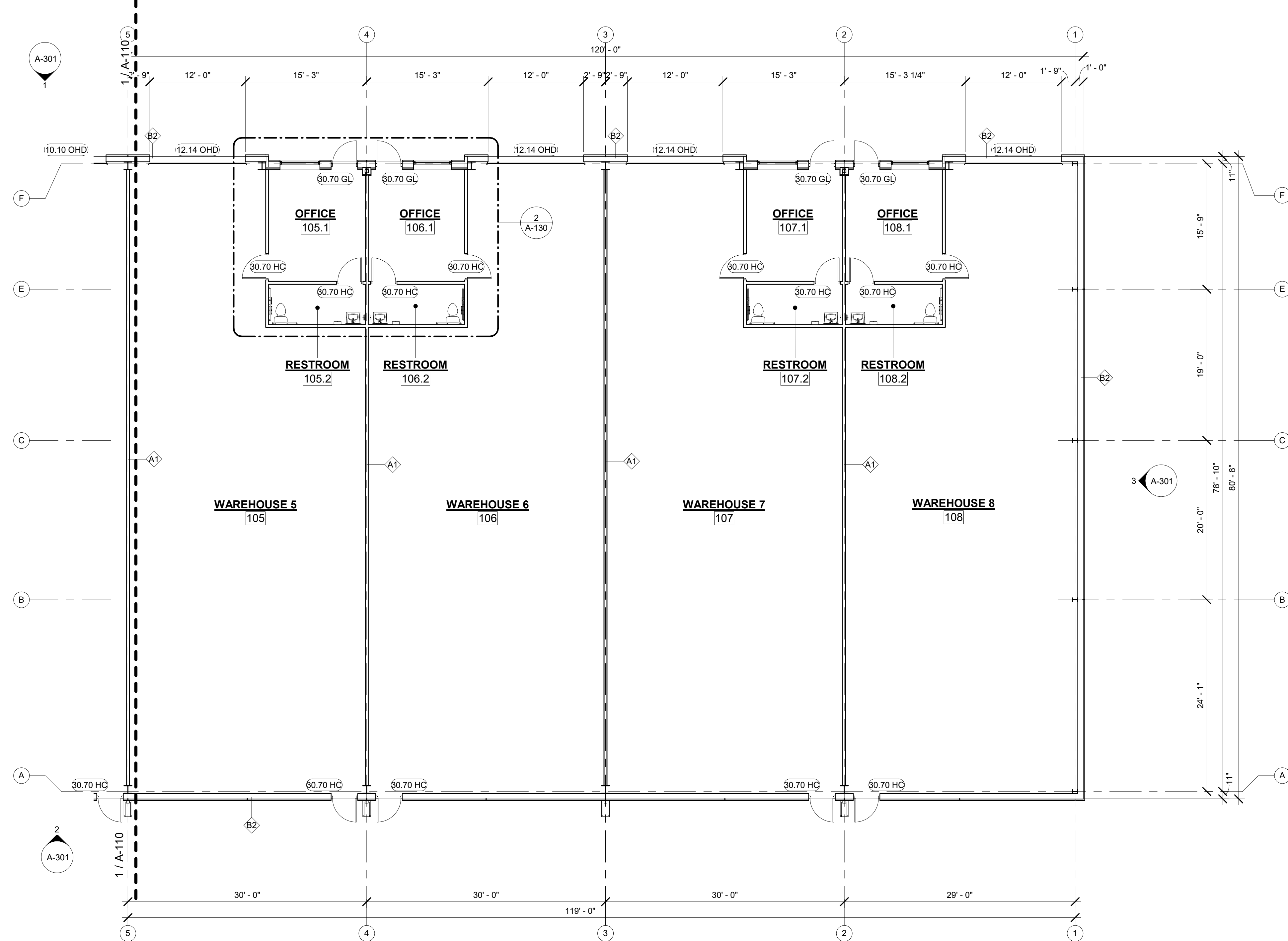


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PROJECT #: 21-1902  
ISSUE DATE: 2021.09.24  
ISSUED FOR:  
ISSUE FOR PERMIT

MAIN LEVEL FLOOR PLAN - AREA A  
A-110



1 MAIN LEVEL FLOOR PLAN B  
1/8" = 1'-0"



- FLOOR PLAN NOTES**
- ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR OF STEELWOOD FRAMING. REFER TO ELEVATIONS AND SECTIONS FOR EXTERIOR FINISH.
  - ALL LUMBER TO BE #2 GRADE OR BETTER DOUGLAS FIR.
  - ALL WOOD IN CONTACT W/ CONCRETE TO BE WEATHER TREATED.
  - 8" - 0" LINER PANEL TO BE PLACED ON ALL WALLS WITHIN THE INTERIOR OF THE BUILDING. COORDINATE TYPE AND FINISH WITH OWNER.

- LEGEND**
- WALL TYPE
  - DOOR TAG
    - MID = METAL INSULATED DOOR
    - OHD = OVERHEAD DOOR
    - PD = POCKET DOOR
    - SC = SOLID CORE
    - HC = HOLLOW CORE
    - OP = FRAMED OPENING
    - WIDTH (7'-0")
    - HEIGHT (3'-0")
  - WINDOW TAG
    - SF = STOREFRONT
    - WIDTH (7'-0")
    - HEIGHT (3'-0")

- Room Name**
- ROOM TAG
  - SECTION
  - ELEVATION
  - CEILING ELEVATION

- WALL TYPES**
- 5/8" GYP. BD.
  - 2x4 WOOD FRAMING, RE: STRCT
  - INSULATION
  - 5/8" GYP. BD.
  - 2x4 WOOD FRAMING, RE: STRCT
  - INSULATION
  - 5/8" GYP. BD.
  - 2" EIFS
  - SHEATHING
  - METAL FRAMING PER PEMB PACKAGE
  - INSULATION
  - 2x4 WOOD FRAMING, RE: STRCT
  - 5/8" GYP. BD.
  - 2" EIFS
  - SHEATHING
  - METAL FRAMING PER PEMB PACKAGE



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 ISSUE DATE: 2021.09.24  
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ENLARGED PLANS

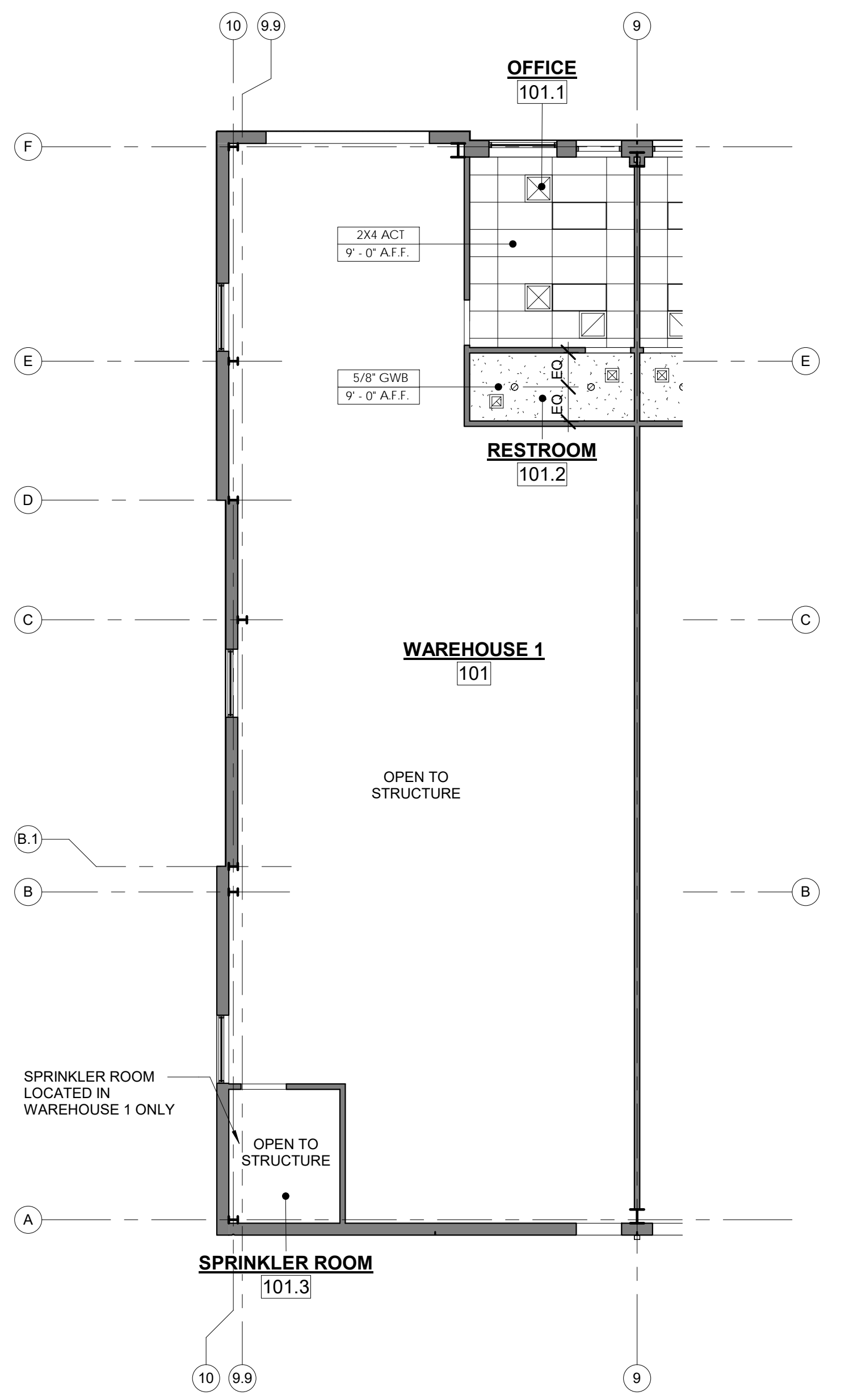
RESTROOM ACCESSORY SCHEDULE		
Type Mark	Description	Count
18" VERTICAL GRAB BAR		8
36" HORIZONTAL GRAB BAR		8
42" HORIZONTAL GRAB BAR		8
LAVATORY	'LUCERNE' Basin with Sealed Overflow, center hole only, 20-1/2" x 18-1/4" x 8-1/8" (521mm x 464mm x 206mm) deep, wall hung, vitreous china, integral back splash, self-draining deck area with contoured back and side splash shields, 'D' shaped bowl, contoured back and side splash shields for concealed arm carrier.	8
MIRROR	Bobrick B-290 2448 Welded Frame Mirror	8
NAPKIN DISPOSAL	Bobrick B-254 Surface Mounted Sanitary Napkin Disposal	8
PAPER TOWEL DISPENSER	Bobrick B-262 Classic Series Surface Mounted Paper Towel Dispenser	8
SEAT COVER DISPENSER	Bobrick B-221 Classic Series Surface Mounted Seat Cover Dispenser	8
SOAP DISPENSER	Bobrick B-2112 Classic Series Surface Mounted Soap Dispenser	8
TOILET PAPER DISPENSER	Bobrick B-2740 Surface Mounted Double Toilet Tissue Dispenser	8
WATER CLOSET	PER PLUMBING	8

**GENERAL NOTES - CEILING PLAN**

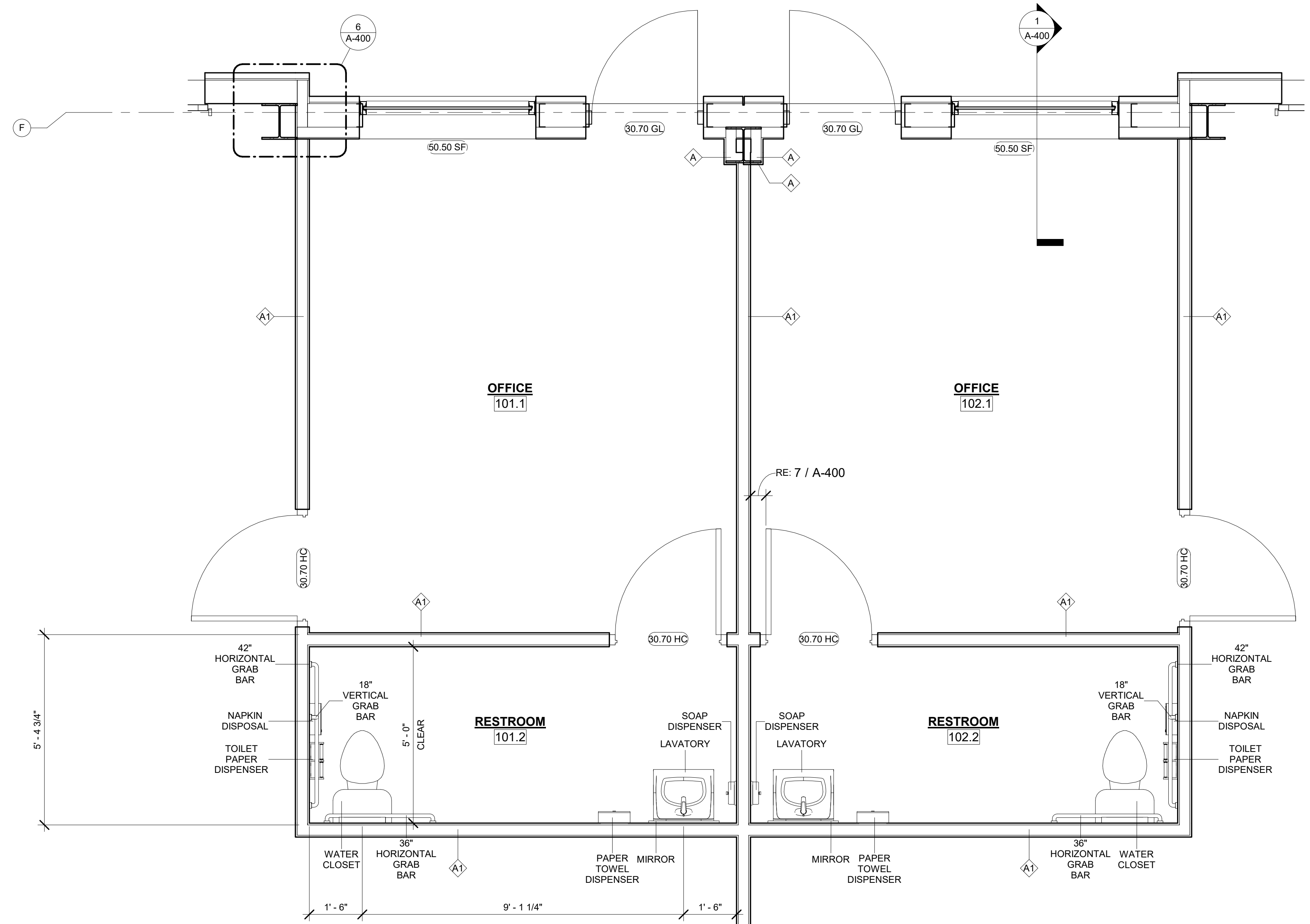
- REFER TO MEP DRAWINGS FOR ALL ADDITIONAL CEILING MOUNTED DEVICES NOT SHOWN ON THIS DRAWING INCLUDING, BUT NOT LIMITED TO LIGHTING, MECHANICAL REGISTERS, SMOKE DETECTORS, MOTION DETECTORS, EXIT SIGNAGE, HEAT DETECTORS, CAMERAS, COMMUNICATION EQUIPMENT, FIRE SPRINKLER HEADS, ETC.
- ALL EXPOSED STRUCTURAL STEEL SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR. THIS INCLUDES, BUT IS NOT LIMITED TO STEEL BEAMS, LADDERS, GUARD RAILS, MISC. BRACING, ETC. SEE PEMB PACKAGE.
- CEILING R-VALUES SHALL MAINTAIN R-38. EXTERIOR WALL INSULATION SHALL MAINTAIN R-13 OR BETTER. WALL R-VALUES SHALL BE OF CONSTRUCTION TO EQUAL R-19 TOTAL.

**LEGEND - CEILING PLAN**

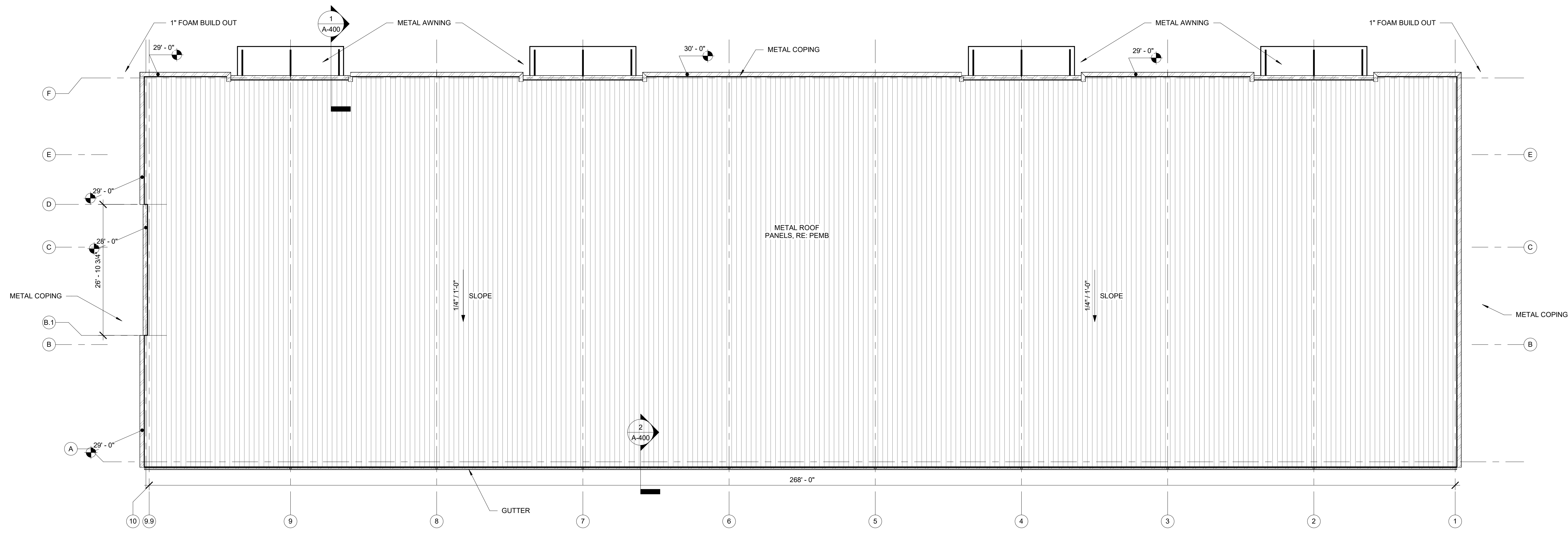
- SMOKE DETECTOR
- SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
- MECHANICAL RETURN DIFFUSER
- MECHANICAL SUPPLY DIFFUSER
- MECHANICAL EXHAUST DIFFUSER
- LIGHTING FIXTURE - BOX DOWNLIGHT
- LIGHTING FIXTURE - RECESSED CAN



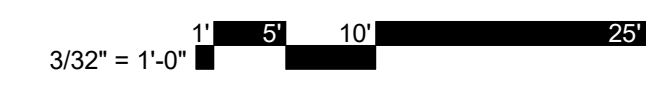
3 ENTRY LEVEL RCP  
 1/8" = 1'-0"



2 RESTROOM PLAN - TYPICAL  
 1/2" = 1'-0"



1 ROOF PLAN  
3/32" = 1'-0"



**ROOF GENERAL NOTES**

1. DIMENSIONS ARE FROM PEMB PACKAGE AND ARE SHOWN FOR REFERENCE ONLY. PEMB DRAWINGS WILL OVER-RIDE INFO SHOWN IN ARCH PLANS.

Certificates of Authority  
 Architecture: MO 310 / KS 73  
 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 36

CLIENT  
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 WARD DEVELOPMENT  
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 david@safetyministorage.com

**LOT 10 LAKEWOOD  
 BUSINESS PARK  
 LOT 10 I-470 BUSINESS PARK  
 LEE'S SUMMIT, MO 64064**



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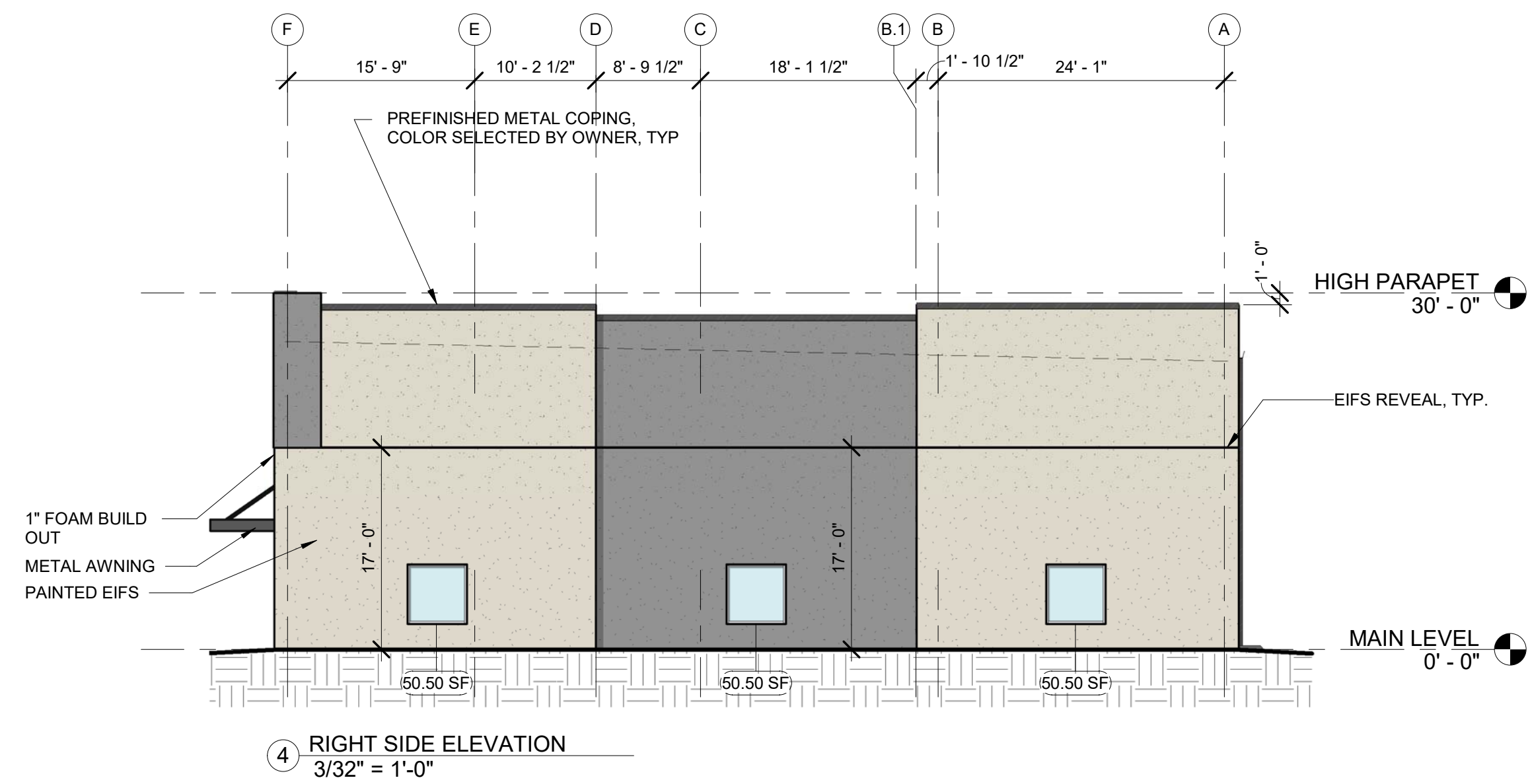
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**EXTERIOR ELEVATION GENERAL NOTES**

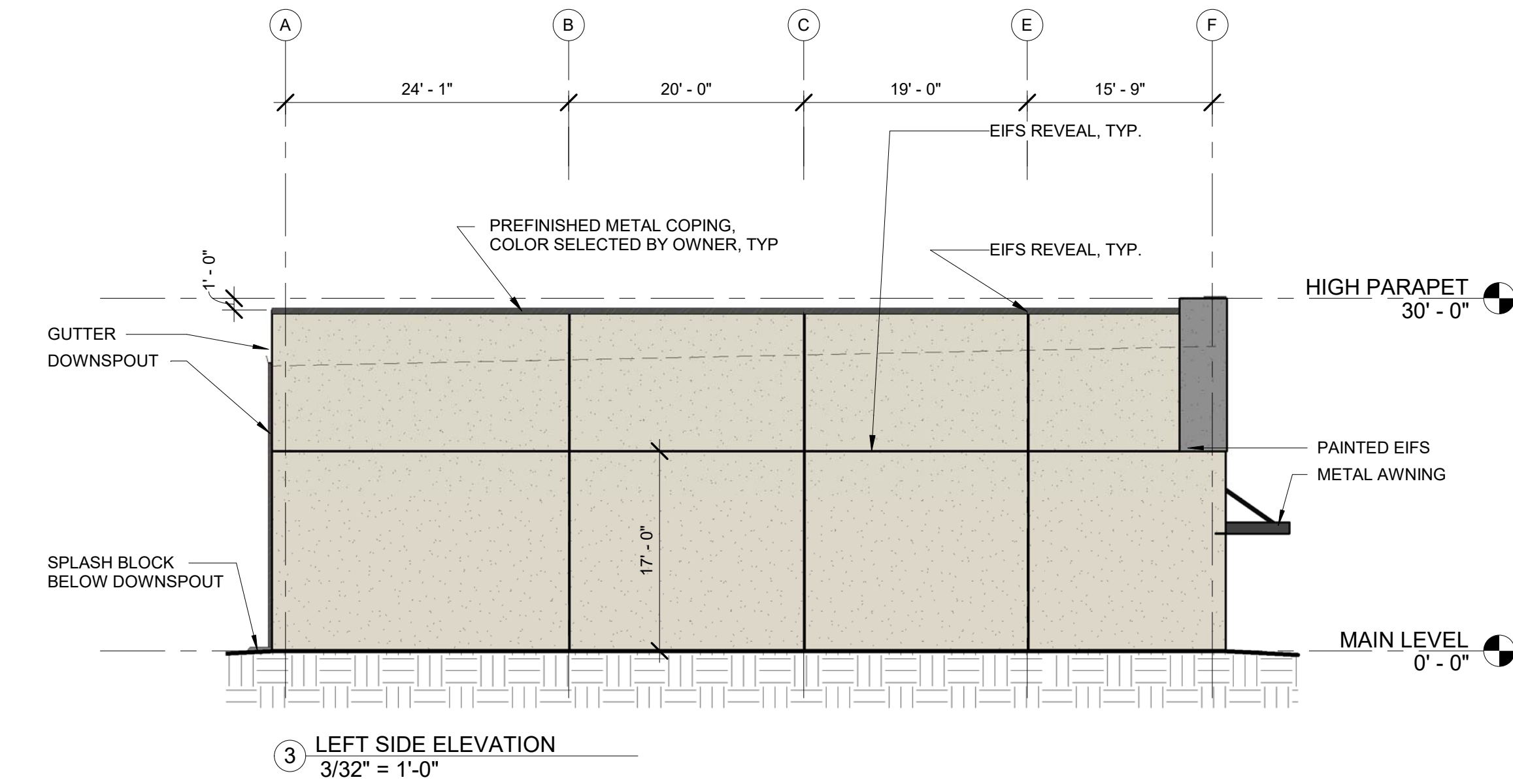
- DIMENSIONS ARE FROM PEMB PACKAGE AND ARE SHOWN FOR REFERENCE ONLY. PEMB DRAWINGS WILL OVER-RIDE INFO SHOWN IN ARCH PLANS.

**EXTERIOR MATERIALS LEGEND**

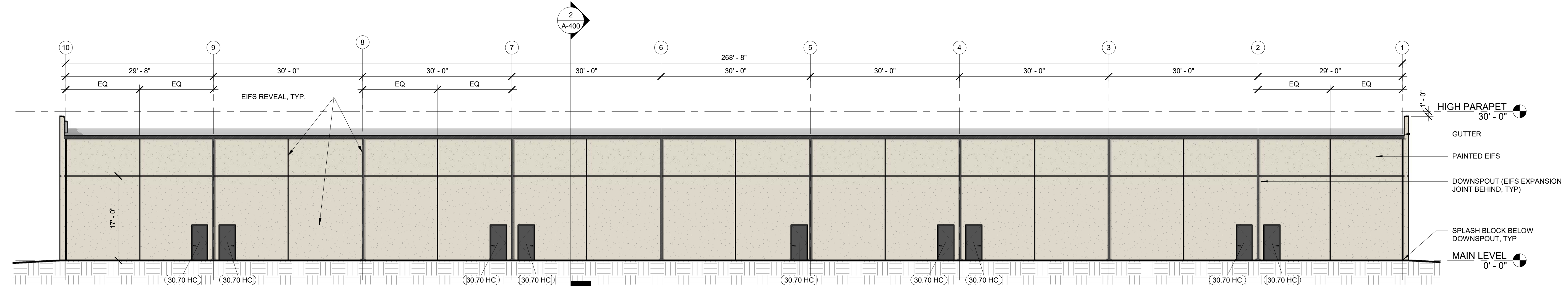
-  EIFS, PAINTED, COLOR BY OWNER
-  EIFS, PAINTED, COLOR BY OWNER
-  GLASS - STOREFRONT
-  GLASS - OH DOOR
-  SHEET METAL, PREFINISHED, COLOR SELECTED BY OWNER.



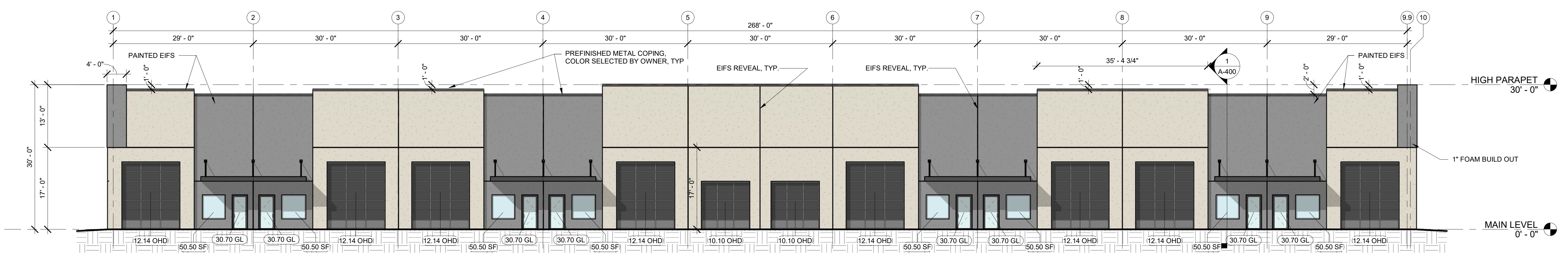
4 RIGHT SIDE ELEVATION  
3/32" = 1'-0"



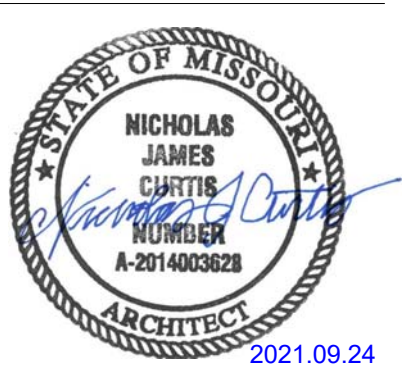
3 LEFT SIDE ELEVATION  
3/32" = 1'-0"



2 REAR ELEVATION  
3/32" = 1'-0"



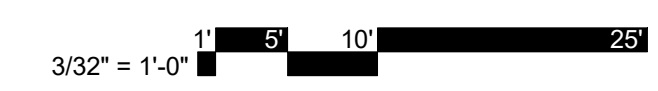
1 FRONT ELEVATION  
3/32" = 1'-0"



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**LOT 10 LAKEWOOD  
 BUSINESS PARK  
 LOT 10 I-470 BUSINESS PARK  
 LEE'S SUMMIT, MO 64064**

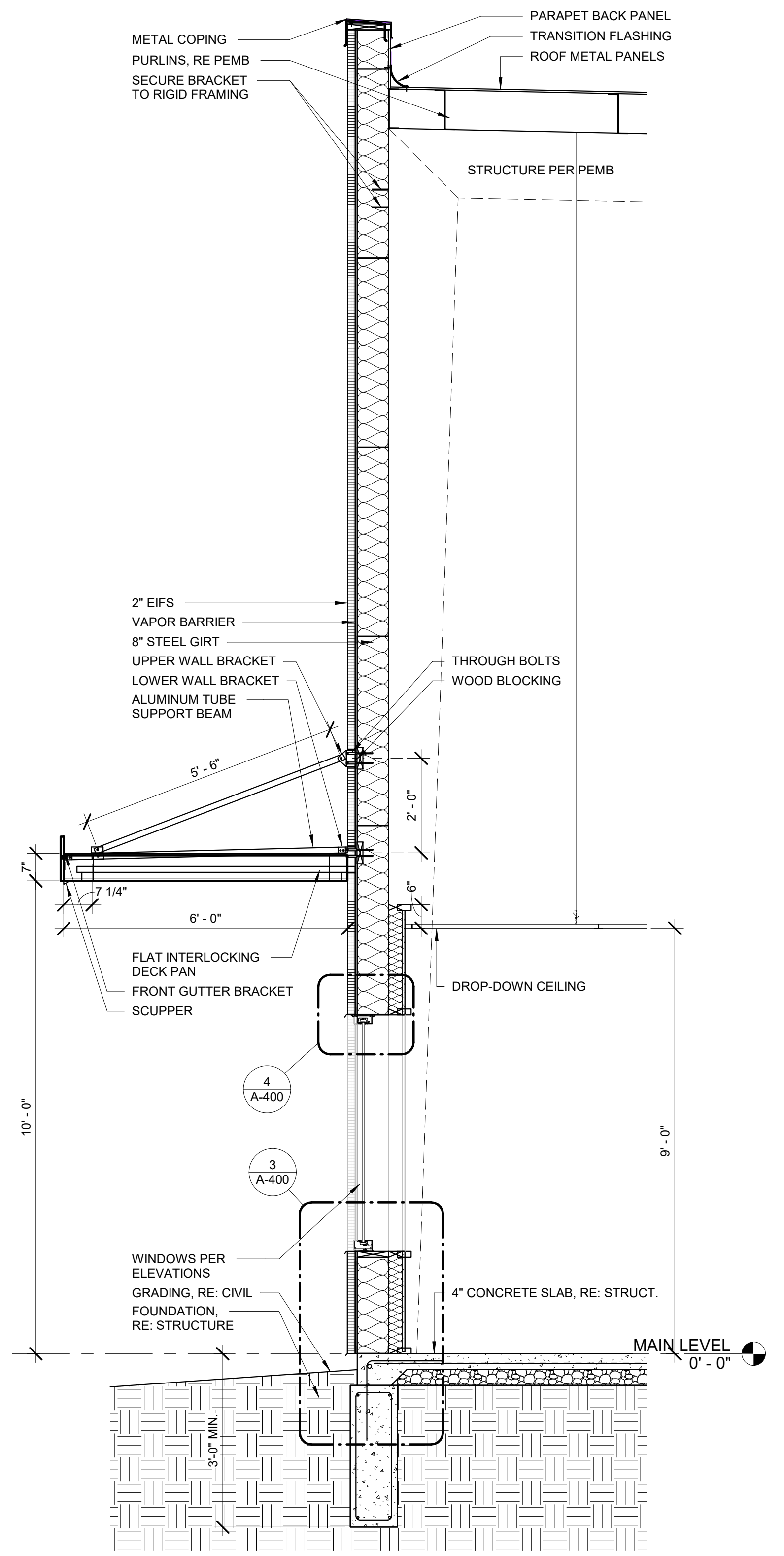
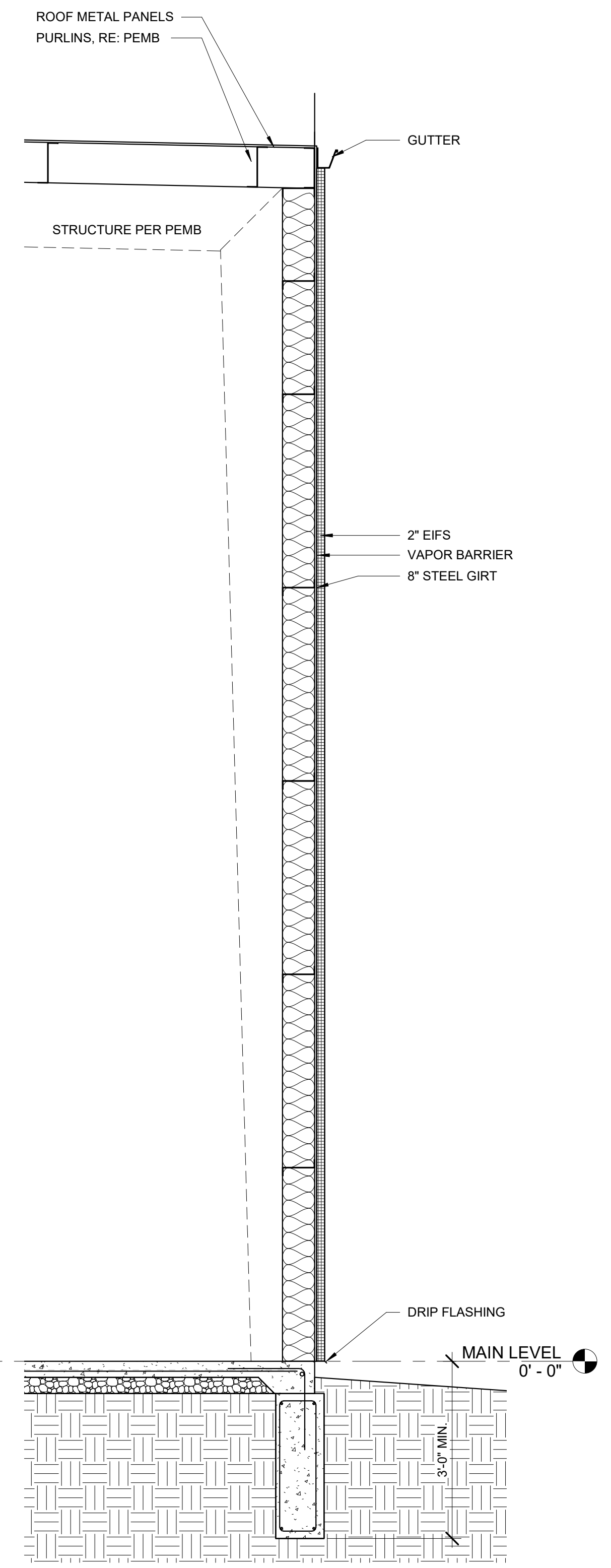
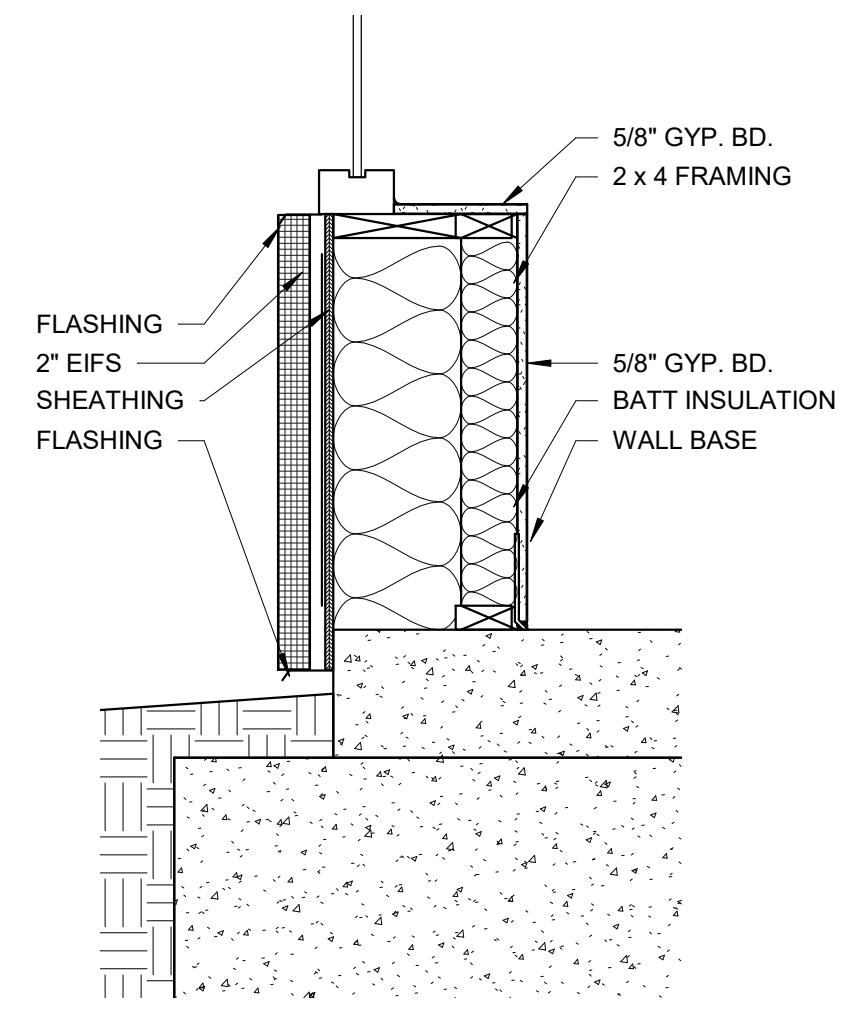
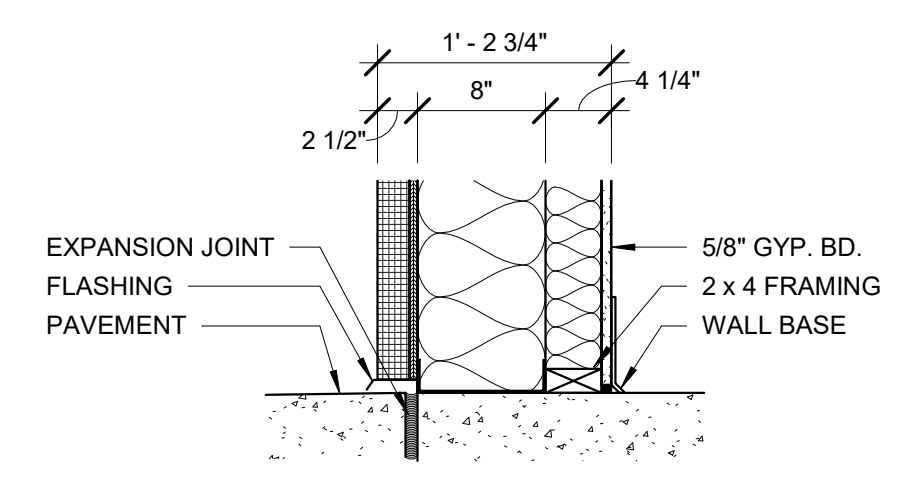
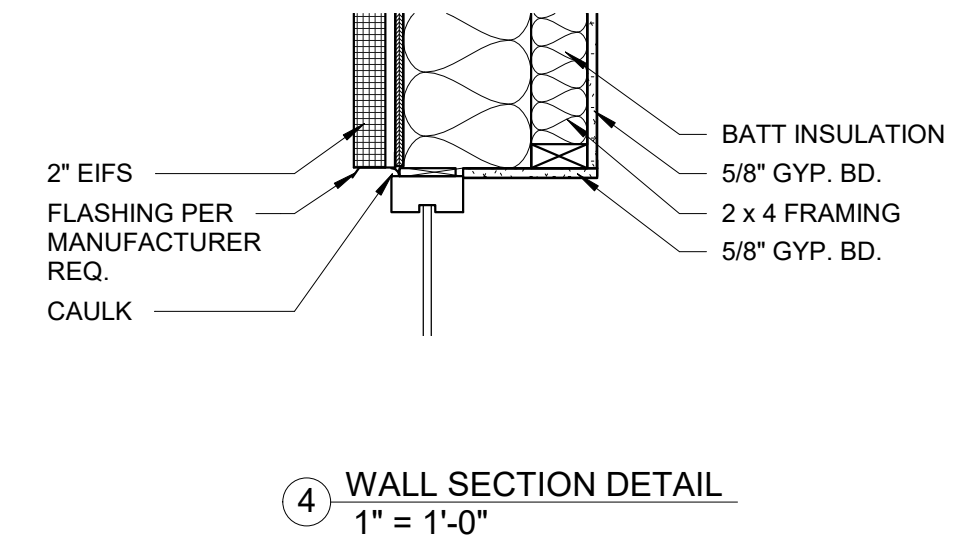
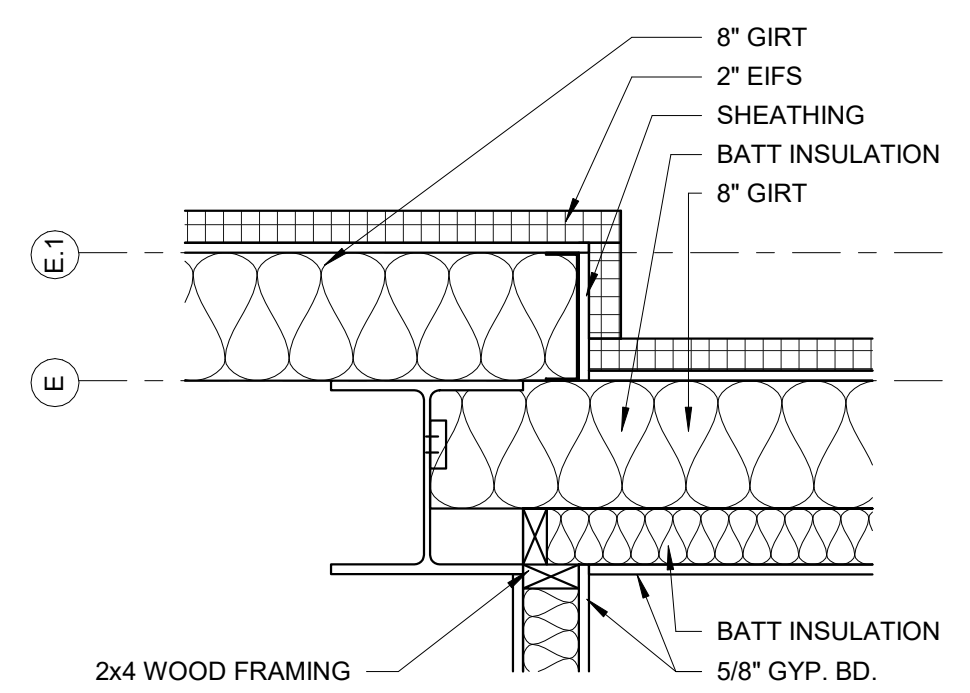
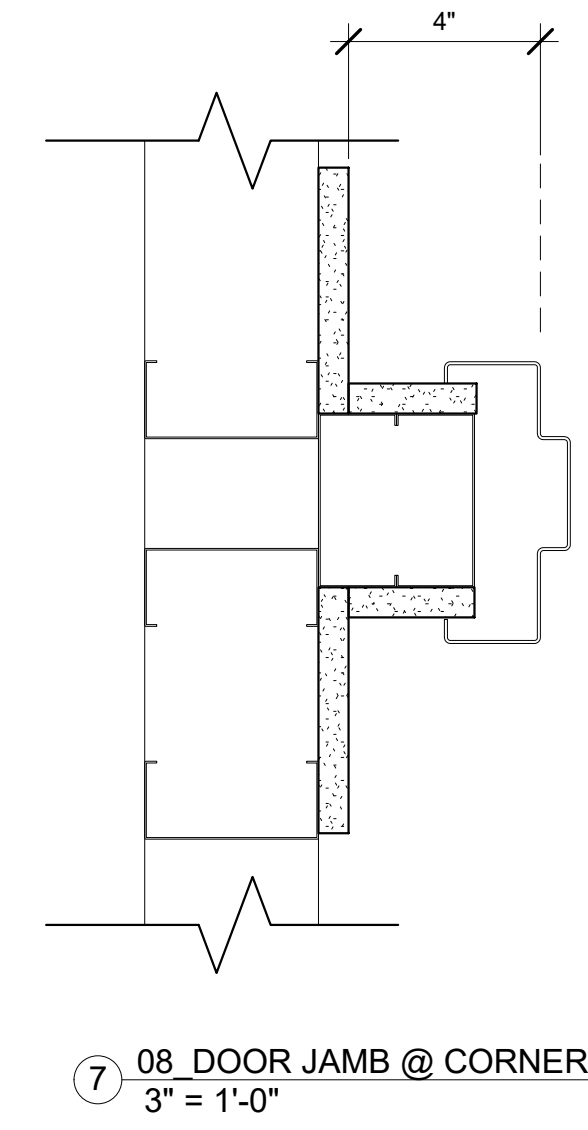


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MINIMUM AND STANDARD DIMENSION OF DOOR THRESHOLD TO WALL:  
 1. UNLESS NOTED OTHERWISE  
 2. UNLESS OTHERWISE COORDINATED BETWEEN GENERAL CONTRACTOR, METAL STUD CONTRACTOR AND DOOR CONTRACTOR.







REVISIONS

NO.	DATE	DESCRIPTION

DRAWN BY: TJS  
 CHECKED BY: JF  
 PROJECT #: 21094  
 ISSUE DATE: 08/09/2021  
 ISSUED FOR: PERMIT

FOUNDATION PLAN

**SHEET NOTES:**

- A. REFERENCE SHEET S00x FOR STRUCTURAL GENERAL NOTES, REVIEW NOTES & DETAILS FOR APPLICABILITY.
- B. SEE ARCHITECTURAL DRAWING FOR DETAILS & DIMENSIONS NOT SHOWN.
- C. REFER TO S0xx FOR TYPICAL DETAILS.
- D. TOP OF SLAB ELEVATION = 100'-0" UNO.
- E. TOP OF TRENCH FOOTING ELEVATION = 99'-4" UNO. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 3'-0" MIN BELOW GRADE. DEEPEN FOOTINGS AS REQUIRED. GRADE IS GENERALLY 6" BELOW FINISH FLOOR ELEVATION (COORDINATE WITH CIVIL).
- F. SPREAD FOOTINGS DENOTED ON PLAN BY "Fxx". REFER TO SCHEDULE ON THIS SHEET FOR SIZE AND REINFORCING.

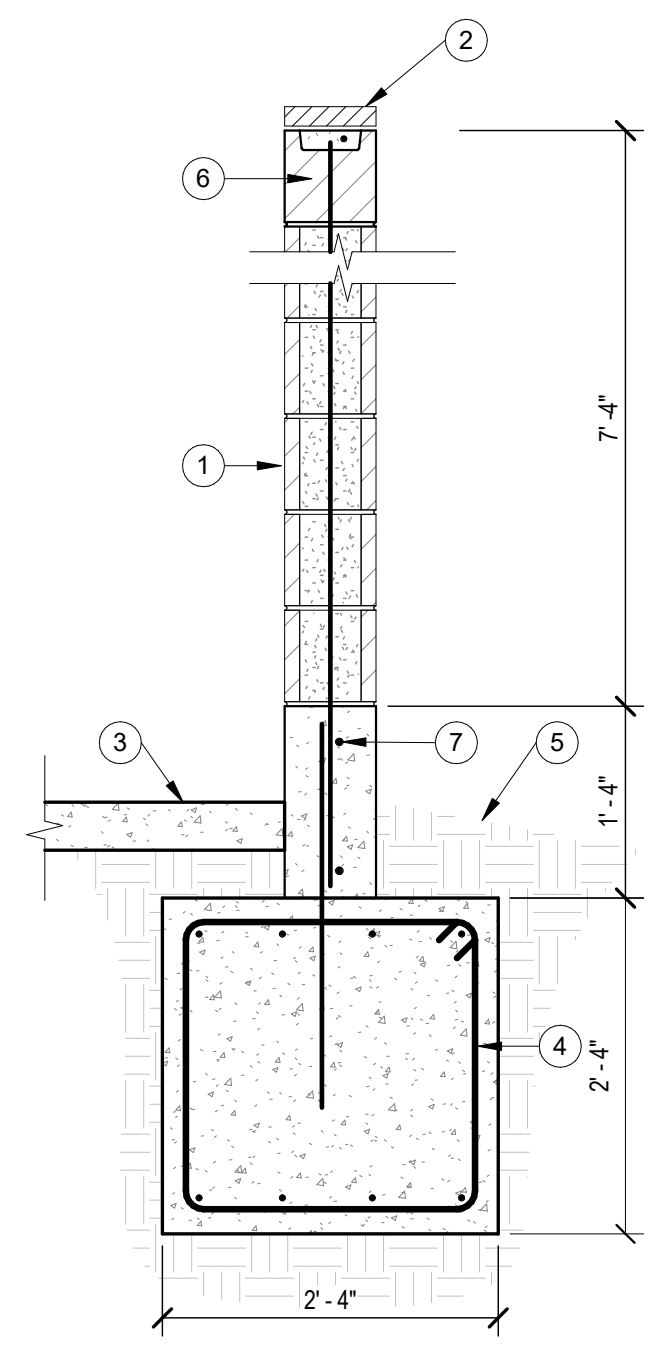
**PLAN NOTES:**

- ① 4" CONCRETE SLAB ON GRADE, RE: GENERAL NOTES FOR REINFORCING, GRANULAR FILL, VAPOR BARRIER AND JOINTING REQUIREMENTS
- ② PROVIDE #5 HAIR-PIN BARS @ ALL PEMB COLUMNS RE: 5/S001

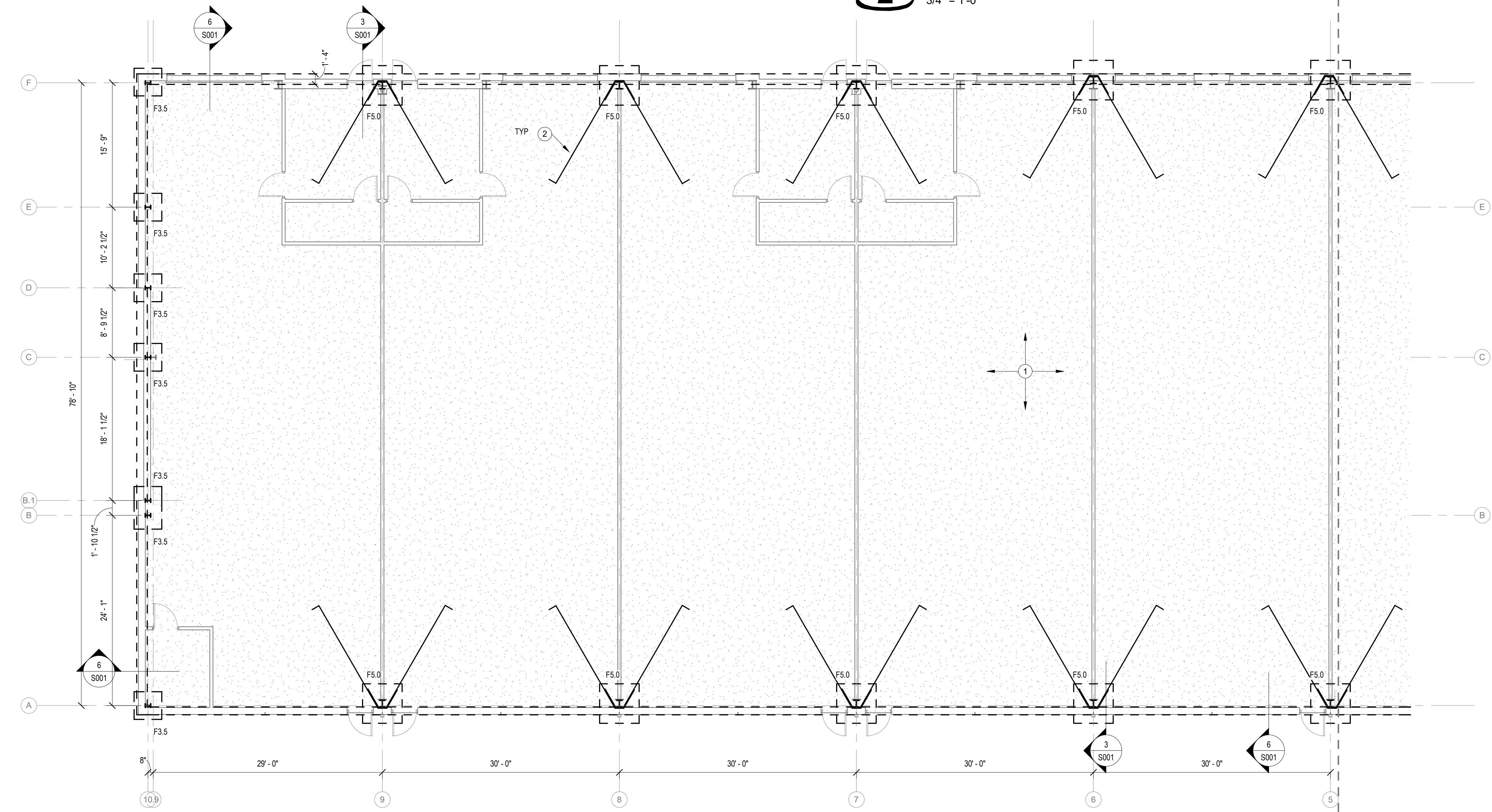
SCHEDULE - SPREAD FOOTING				
TYPE MARK	LENGTH	WIDTH	THICKNESS	REINF
F3.5	3'-6"	3'-6"	3'-0"	(5) #4 EW TOP & BOT
F5.0	5'-0"	5'-0"	3'-0"	(8) #4 EW TOP & BOT

**DETAIL NOTES:**

- ① 8" CMU WALL, FULLY GROUTED, REINF W/ #4 VERT @ 24" O.C.
- ② CAP STONE, RE: ARCH
- ③ CONC SLAB RE: CIVIL
- ④ CONC FTG W/ (4) #6 TOP & BOT & #3 TIES @ 24" OC
- ⑤ GRADE RE: CIVIL
- ⑥ 8" CMU BOND BM W/ (1) #4 CONT
- ⑦ (2) #4 CONT HOR & #4 @ 24" OC VERT



**2 TRASH ENCLOSURE SECTION**  
 3/4" = 1'-0"



**1 FOUNDATION PLAN**  
 1/8" = 1'-0"

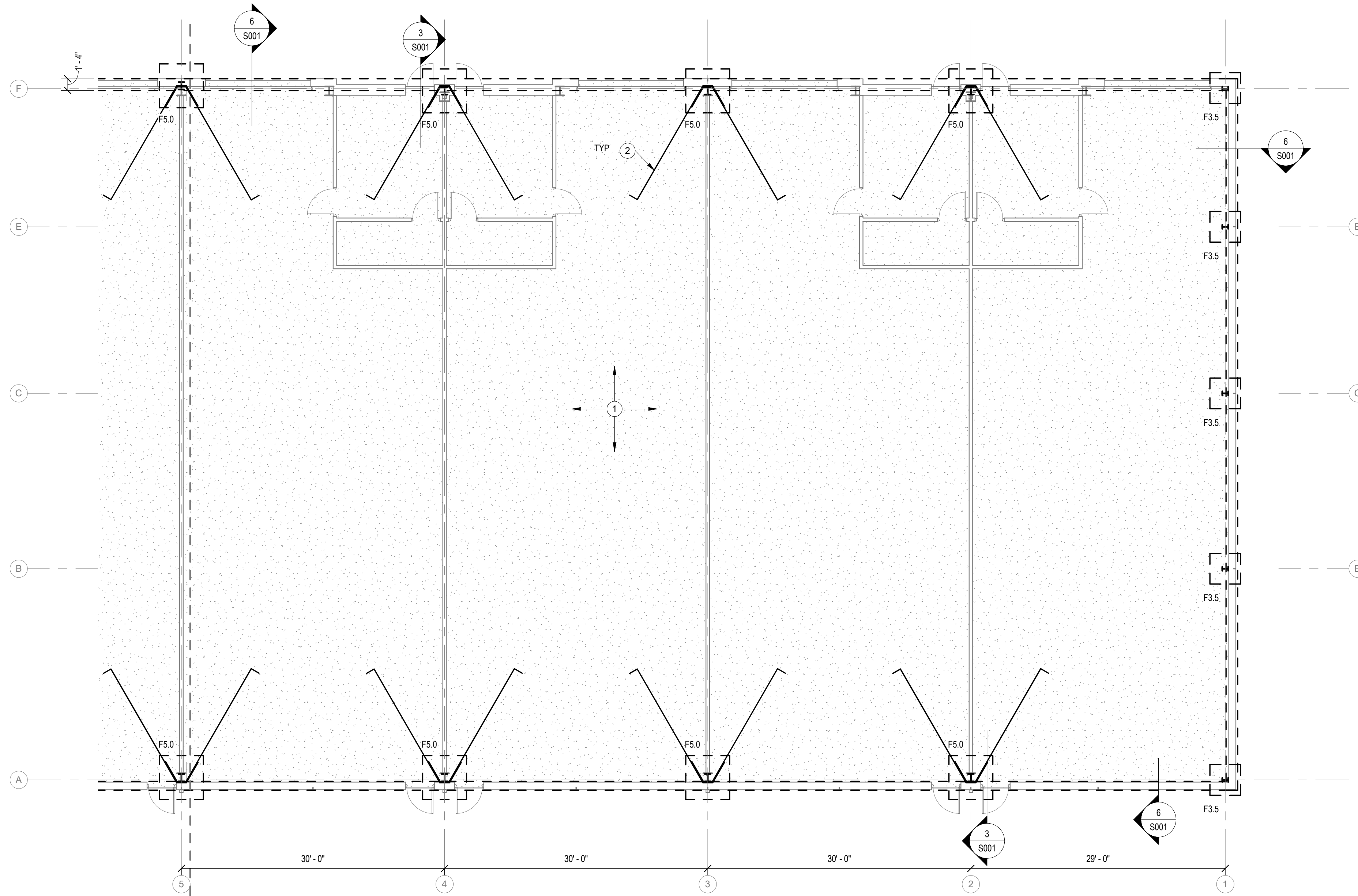
**SHEET NOTES:**

- A. REFERENCE SHEET S00x FOR STRUCTURAL GENERAL NOTES. REVIEW NOTES & DETAILS FOR APPLICABILITY.
- B. SEE ARCHITECTURAL DRAWING FOR DETAILS & DIMENSIONS NOT SHOWN.
- C. REFER TO S0xx FOR TYPICAL DETAILS.
- D. TOP OF SLAB ELEVATION = 100'-0" UNO.
- E. TOP OF TRENCH FOOTING ELEVATION = 99'-4" UNO. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 3'-0" MIN BELOW GRADE. DEEPEN FOOTINGS AS REQUIRED. GRADE IS GENERALLY 6" BELOW FINISH FLOOR ELEVATION (COORDINATE WITH CIVIL).
- F. SPREAD FOOTINGS DENOTED ON PLAN BY "Fxx". REFER TO SCHEDULE ON THIS SHEET FOR SIZE AND REINFORCING.

**PLAN NOTES:**

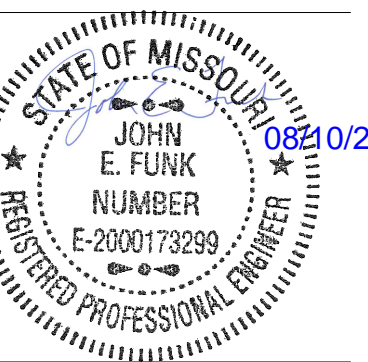
- ① 4" CONCRETE SLAB ON GRADE. RE-GENERAL NOTES FOR REINFORCING, GRANULAR FILL, VAPOR BARRIER AND JOINTING REQUIREMENTS
- ② PROVIDE #5 HAIR-PIN BARS @ ALL PEMB COLUMNS RE: S/S001

SCHEDULE - SPREAD FOOTING					
TYPE MARK	LENGTH	WIDTH	THICKNESS	REINF	
F3.5	3'-6"	3'-6"	3'-0"	(5) #4 EW TOP & BOT	
F5.0	5'-0"	5'-0"	3'-0"	(8) #4 EW TOP & BOT	



**1 FOUNDATION PLAN**  
 1/8" = 1'-0"

**LOT 10 LAKEWOOD  
 BUSINESS PARK**  
 LOT 10 I-470 BUSINESS PARK  
 LEE'S SUMMIT, MO 64064



REVISIONS NO.	DATE / DESCRIPTION

DRAWN BY: TJS  
 CHECKED BY: JF  
 PROJECT #: 21094  
 ISSUE DATE: 08/09/2021  
 ISSUED FOR: PERMIT

FOUNDATION PLAN

S101

MECHANICAL AND PLUMBING SPECIFICATIONS

1. GENERAL PROVISIONS:
A. PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY FOR THE COMPLETE INSTALLATION OF THE PLUMBING AND MECHANICAL SYSTEMS OUTLINED.
B. OBTAIN ALL PERMITS, FEES, LICENSES, INSPECTIONS, AND CERTIFICATIONS OF COMPLIANCE OR APPROVAL AS REQUIRED BY AUTHORITIES.

3. ROOF: PROSET OR EQUAL, MANUFACTURED PVC SCHEDULE 40 PIPE SLEEVE WITH WATERPROOF SEAL COORDINATE WITH ROOFING CONTRACTOR AND FLASH AS REQUIRED TO MAINTAIN ROOF WARRANTY.
4. PLUMBING VENTS: FLASH ROOF VENT INTO ROOFING SYSTEM AS REQUIRED BY THE ROOFING CONTRACTOR TO MAINTAIN THE EXISTING ROOF WARRANTY.

ROOF THIMBLE, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION. ROOF THIMBLES THROUGH THE BUILDING ROOF SHALL BE SUITABLE FOR USE WITH THE ROOF PROVIDED.
C. FLUES FOR HEATERS SHALL BE DOUBLE WALL TYPE B EQUAL TO METALBESTOS, PROVIDE MANUFACTURER'S STANDARD FITTING AND ACCESSORIES (ROOF THIMBLE, STORM COLLAR, COUNTER FLASHING, ETC.) AS REQUIRED FOR A COMPLETE INSTALLATION.

M&P SYMBOLS

THIS IS A MASTER LEGEND AND NOT ALL SYMBOLS, ETC, ARE NECESSARILY USED ON THE DRAWINGS.

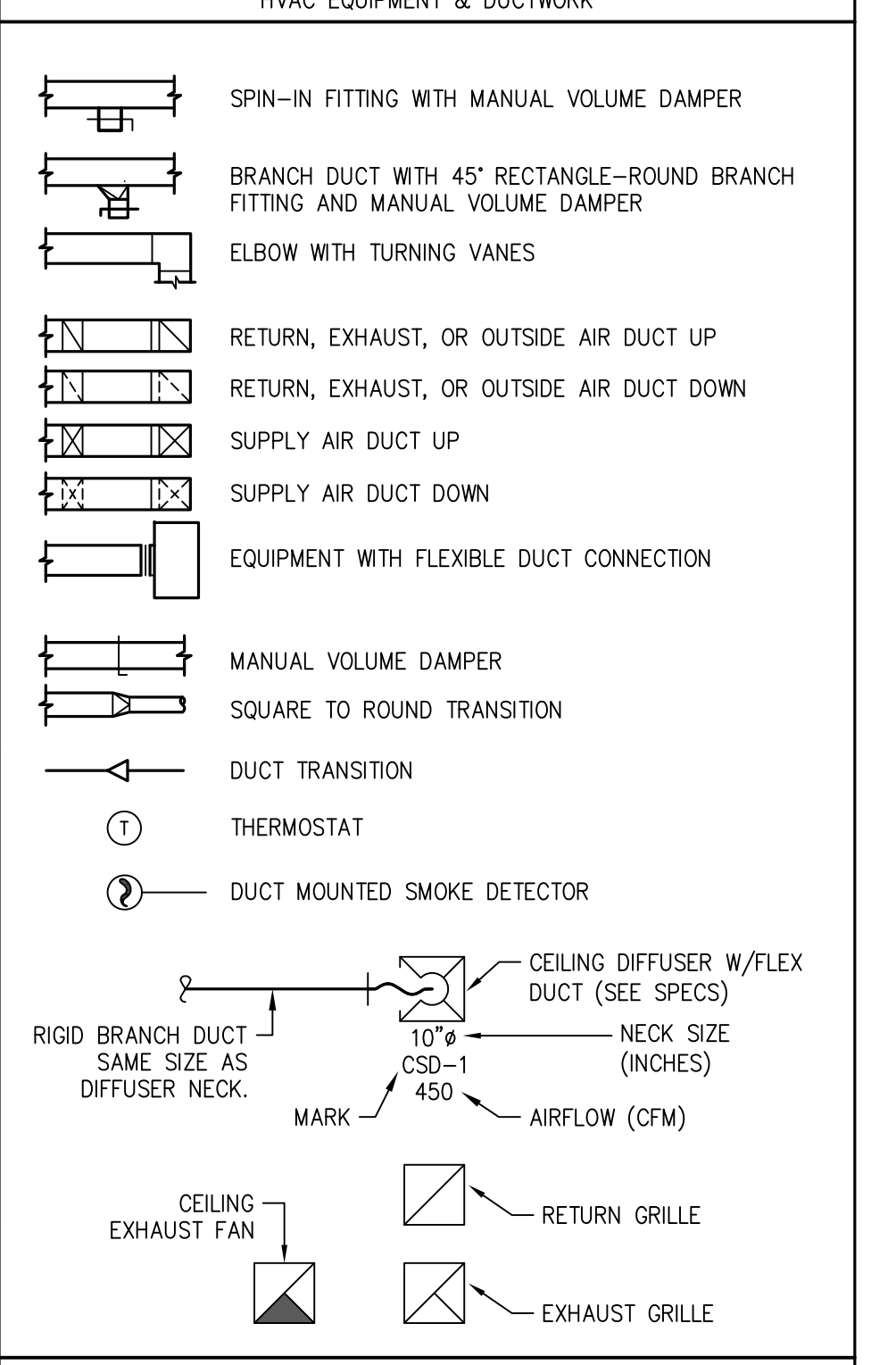


Table with 2 columns: SYMBOL and DESCRIPTION. Lists symbols for sanitary sewer (above/below grade), condensate drain, vent piping, gas piping (less than 2 PSI, 2 PSI), cold/hot water piping, recirculating hot water, compressed air, pipe elbows, gate/backflow preventer, ball/plug valves, floor/wall cleanouts, floor drains, and hose bibs.

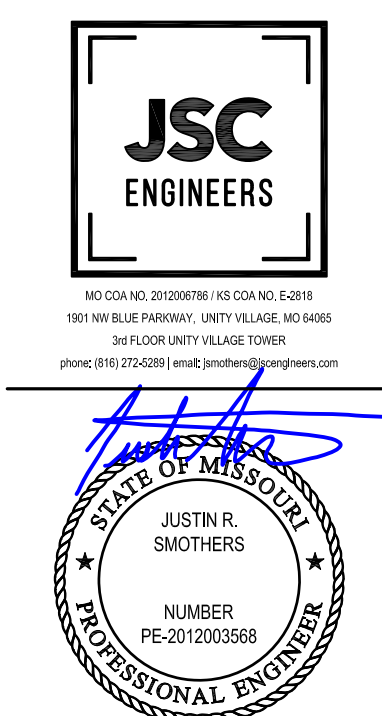
ABBREVIATIONS table with 3 columns: Abbreviation, Description, and Full Name. Includes terms like AFF, BAS, BD, CFM, DDC, DX, EA, (E), FTB, GPM, IN WC, MAX, MBH, MC, MIN, NC, OA, RA, SA, SD, TFA, TYP, U.G., WCO, and W/O.

ANNOTATION table with 2 columns: Symbol and Description. Includes symbols for plan work notes, mechanical equipment designation, plumbing fixture designation, connection points, and detail reference.



Certificates of Authority:
Architecture: MO 319 / JS 73
Engineering: MO 4 / JS 241
Land Surveying: MO 123 / JS 36

CLIENT: WARD DEVELOPMENT, 1120 EAGLE RIDGE BLVD, GRAIN VALLEY, MO 64029



LOT 10 LAKEWOOD BUSINESS PARK, LOT 10 1-470 BUSINESS PARK LEE'S SUMMIT, MO 64064

REVISIONS: NO., DATE, DESCRIPTION. PROJECT #: 21-049, ISSUE DATE: 06/11/2021.

ISSUED FOR: PERMIT. MECHANICAL AND PLUMBING SPECIFICATIONS AND SYMBOLS.

MP-001

PLUMBING FIXTURE SCHEDULE	
FD	FLOOR DRAIN: SQUIX CHIEF 842-4PNR, ROUND FLOOR DRAIN, PVC BODY AND CLAMPING COLLAR, ADJUSTABLE 6-1/2" ROUND NICKEL BRONZE STRAINER. PROVIDE WITH PROSET SYSTEMS "TRAP GUARD" INSERT FOR ACTUAL FLOOR DRAIN MODEL AND SIZE PROVIDED.
LAV	WALL-MOUNT LAVATORY: KOHLER K-1997-1-0, SINGLE-HOLE, 14.375"X12.3125" ELLIPTICAL BOWL, MOUNT AT ADA HEIGHT, VITREOUS CHINA, WITH SINGLE LEVER LAVATORY FAUCET (KOHLER K-10215-4). PROVIDE FLEXIBLE SS RISERS WITH CHROME PLATED STOP VALVES, P-TRAP WITH CLEANOUT AND ESCUTCHEONS. INSULATE WITH "HANDI-LAV-GUARD" MODEL 102, OR EQUAL.
WC	FLOOR-MOUNTED ADA WATER CLOSET: KOHLER K-3519-TR, HANDICAP ACCESSIBLE, VITREOUS CHINA, 1.28 GPF, ELONGATED BOWL, FLOOR MOUNTED W/ 17.125" SEAT HEIGHT, WHITE, VITREOUS CHINA TANK AND COVER CONTAINING FLUSHOMETER/TANK WITH BUILT-IN PRESSURE REGULATOR AND BACKFLOW PREVENTER, WHITE OPEN-FRONT SEAT, CHROME STOPS, C.P. FLEXIBLE RISER TUBE, BOLT CAPS, AND ESCUTCHEON.
WH	10 GAL WATER HEATER: AO SMITH EJC-10, 8 GPH RECOVERY AT 90 DEG F RISE, SINGLE ELEMENT, 120V, 1650W
RPZ	REDUCED PRESSURE ZONE BACKFLOW PREVENTER: WATTS LF009, 1-1/2", MEETING ASSE 1013, LEAD FREE CAST BRONZE BODY, QUARTER TURN TESTING COCKS, QUARTER TURN BALL VALVES, AND AIR GAP FITTING.

GAS FURNACE SCHEDULE																			
GENERAL DATA					HEATING				FAN DATA				ELECTRICAL						
TAG	BASIS OF DESIGN MFR/MODEL	FLOW DIRECTION	WEIGHT (LBS)	DIMENSIONS (WxDxH)	OUTSIDE AIR (CFM)	INPUT (BTUH)	OUTPUT (BTUH)	AFUE	VENT	TYPE	HP	CFM	ESP (IN WG)	VOLT	PHASE	HZ	MOC	MCA	NOTES
F-1	LENNOX / EL296UH070XV36B	HORIZONTAL	136	29.25x33x17.5	0	66,000	62,000	96	CONCENTRIC	VARIABLE	1/2	840	0.5	120	1	60	15	7.7	A,B,C,D,E

NOTES:  
A. EXTERNAL STATIC PRESSURE LISTED REPRESENTS STATIC PRESSURE REQUIRED FOR DUCTWORK AND DIFFUSERS OUTSIDE THE HVAC UNIT COMPLETELY INDEPENDENT OF ANY PRESSURE DROP THROUGH THE HVAC EQUIPMENT INCLUDING FILTER AND COIL.  
B. PROVIDE UNIT WITH 7-DAY PROGRAMMABLE HEAT/COOL/AUTO CHANGEOVER MULTISTAGE THERMOSTAT W/HUMIDITY SENSOR.  
C. PROVIDE MANUFACTURER'S CONCENTRIC VENT KIT. SIZE AND INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS WHILE ADHERING TO LENGTH AND FITTING LIMITATIONS.  
D. PROVIDE END RETURN FILTER KIT.  
E. ADJUST FACTORY DEFAULT SETTINGS TO LIMIT BLOWER SPEED TO 840 CFM.

EXHAUST FAN SCHEDULE													
MARK	AREA SERVED	MANUFACTURER	MODEL	MOUNTING / TYPE	CFM	ESP (IN)	DRIVE	POWER	ELECTRICAL			WEIGHT	NOTES
									VOLTS	PHASE	FLA		
EF-1	RESTROOM	PANASONIC	FV-0511VK2	CEILING / CABINET	110	0.375	DIRECT	9.9 W	120	1	0.1	12	A, B

NOTES:  
A. PROVIDE INTERNAL CABINET BACKDRAFT DAMPER, CEILING GRILLE, ALL THREAD RODS AND VIBRATION ISOLATORS.  
B. INTERLOCK WITH RESTROOM LIGHTSWITCH.

CONDENSING UNIT SCHEDULE													
GENERAL DATA					ELECTRICAL				COOLING COIL & MISC.				NOTES
TAG	BASIS OF DESIGN MFR/MODEL	LOCATION	WEIGHT (LBS)	DIMENSIONS (WxDxH) (IN.)	NOMINAL CAP. (MBH)	VOLT	PHASE	HZ	MOC	MCA	REFR.	EVAP COIL MODEL #	
CU-1	LENNOX / XC20-024-230	GROUND	243	35.5x39.5x39	24	208	1	60	30	19.1	R410A	CH35-30B-2F	A, B, C

NOTES:  
A. PROVIDE TIME DELAY ON COMPRESSOR RE-START KIT, CRANKCASE HEATER, AND COMPRESSOR LOCK-OUT WITH AMBIENT BELOW 35F.  
B. MECHANICAL CONTRACTOR SHALL COORDINATE ALL UNIT MOC'S OF ACTUAL INSTALLED EQUIPMENT WITH ELECTRICAL CONTRACTOR.  
C. PROVIDE MIN. 4" TALL PRE-MANUFACTURED POLYOLEFIN PAD.

GAS UNIT HEATER SCHEDULE												
MARK	LOCATION	MFR.	MODEL	INPUT (MBH)	OUTPUT (MBH)	EFF (%)	CFM	WEIGHT (LBS)	ELECTRICAL			NOTES
									VOLTS	PH	FLA	
UH-1	WAREHOUSE	LENNOX	LF25-125A	125	103.75	83.5	1950	167.00	115	1	5	A-E

NOTES:  
A. PROVIDE WALL MOUNTED THERMOSTAT.  
B. PROVIDE 4" TYPE 'B' VENT.  
C. DISCONNECT BY ELECTRICAL.  
E. PROVIDE NECESSARY MOUNTING BRACKET AND ACCESSORIES FOR VERTICAL MOUNTING.

DIFFUSER, REGISTER AND GRILLE SCHEDULE							
MARK	MANUFACTURER	MODEL	FACE TYPE	MOUNTING TYPE	FACE SIZE (IN.)	MAX NC	NOTES
SUPPLY							
CSD-1	TITUS	OMNI	PLAQUE FACE	LAY-IN	24x24	25	A,B,C
CSD-2	TITUS	TDC	LOUVERED	SURFACE	12.5x12.5	25	A,B,C
RETURN							
CRG-1	TITUS	50F	EGGCRATE	LAY-IN	24x24	25	A,B,C,D

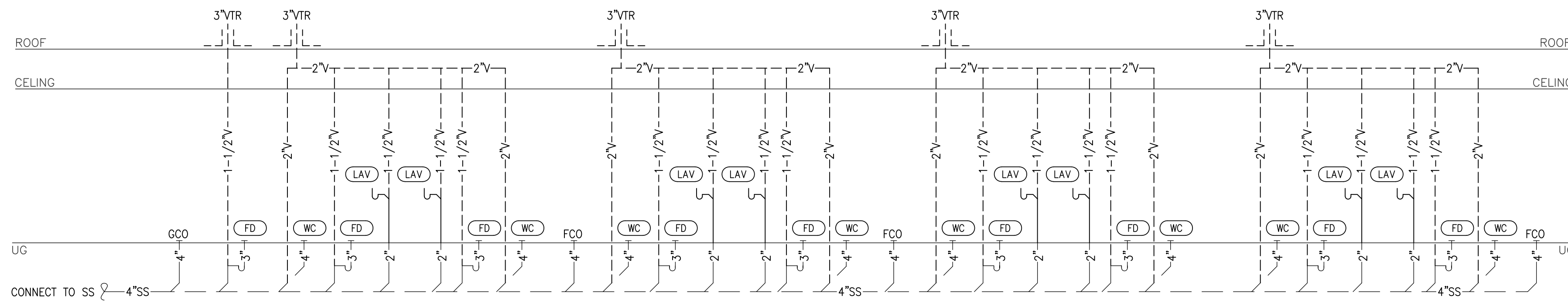
NOTES:  
A. NECK SIZE SHOWN ON DRAWINGS.  
B. BAKED ENAMEL FINISH, WHITE  
C. FRAME TYPE TO MATCH CEILING CONSTRUCTION, COORDINATE WITH ARCHITECTURAL REFLECTED CEILING PLAN.  
D. PAINT THE INSIDE OF CANS FLAT BLACK.

FIXTURE BRANCH CONNECTION SCHEDULE				
FIXTURE	COLD WATER	HOT WATER	WASTE	VENT
FLOOR DRAIN	-	-	3"	1 1/2"
LAVATORY / SINK	1/2"	1/2"	1 1/2"	1 1/2"
WATER CLOSET (FLUSH TANK)	1/2"	-	4"	2"

NOTE: PIPE SIZES SHOWN ARE MINIMUM. 2" MIN. UNDERGROUND.

ELECTRIC UNIT HEATER SCHEDULE						
MARK	MANUFACTURER	MODEL	WEIGHT (LBS)	KW	VOLTAGE/PH	REMARKS
EW-1	QMARK	LFK204F	22	3	208/1	1,2

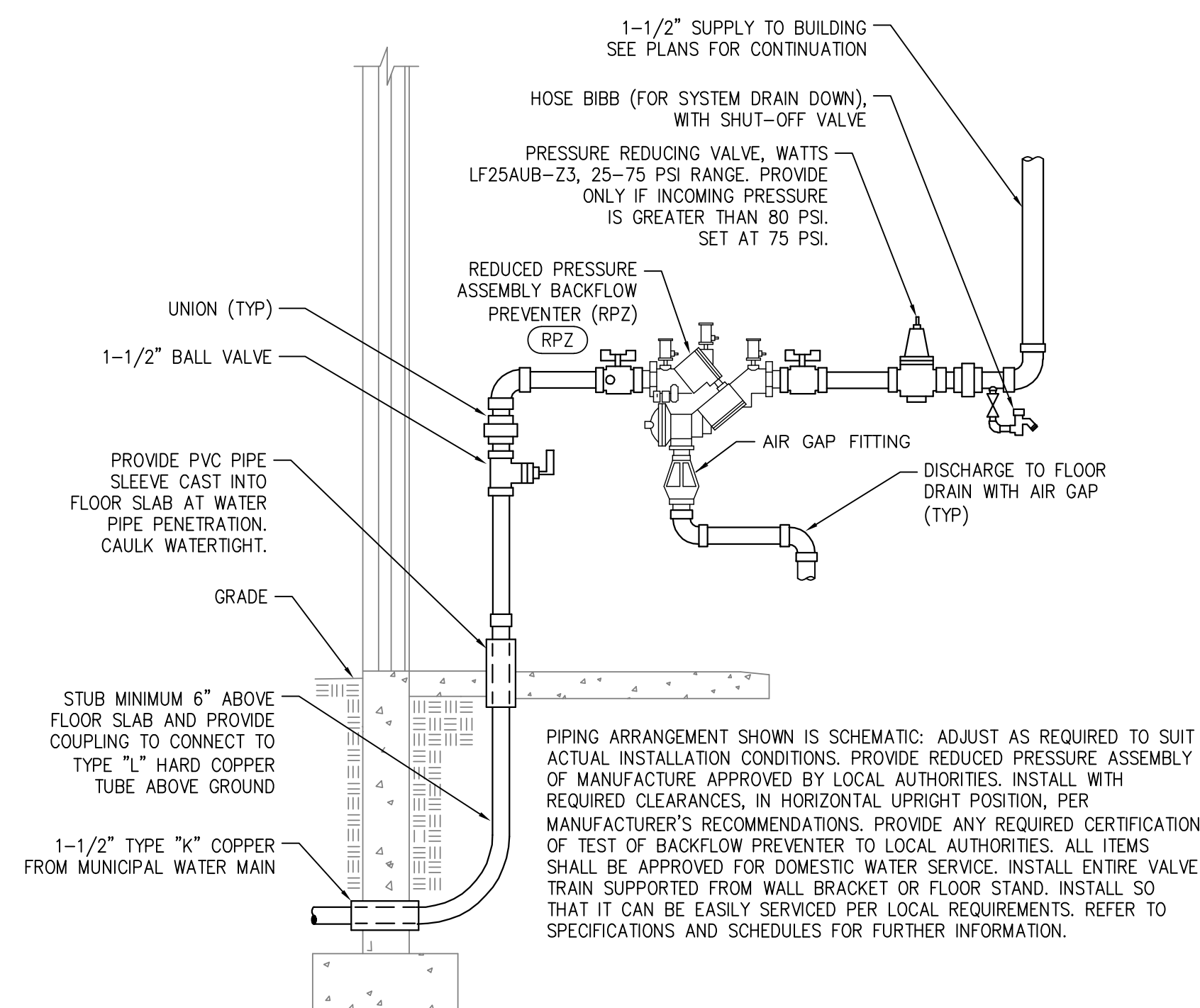
REMARKS:  
1. PROVIDE SURFACE MOUNT FRAME.  
2. PROVIDE WITH INTEGRAL THERMOSTAT AND DISCONNECT.



### WASTE & VENT RISER DIAGRAM

SCALE : NO SCALE

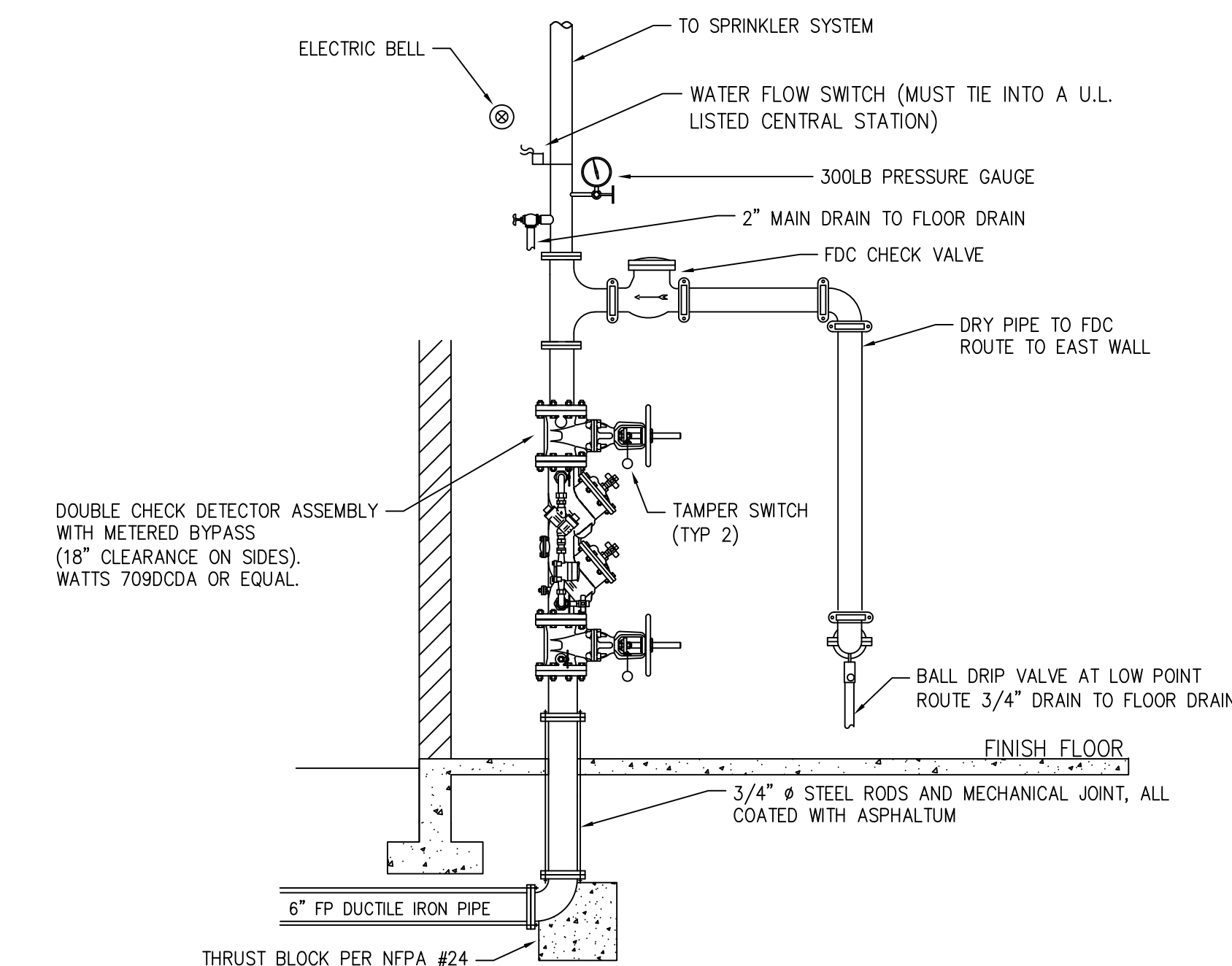
4



### DOMESTIC WATER SERVICE ENTRY

SCALE : NO SCALE

3

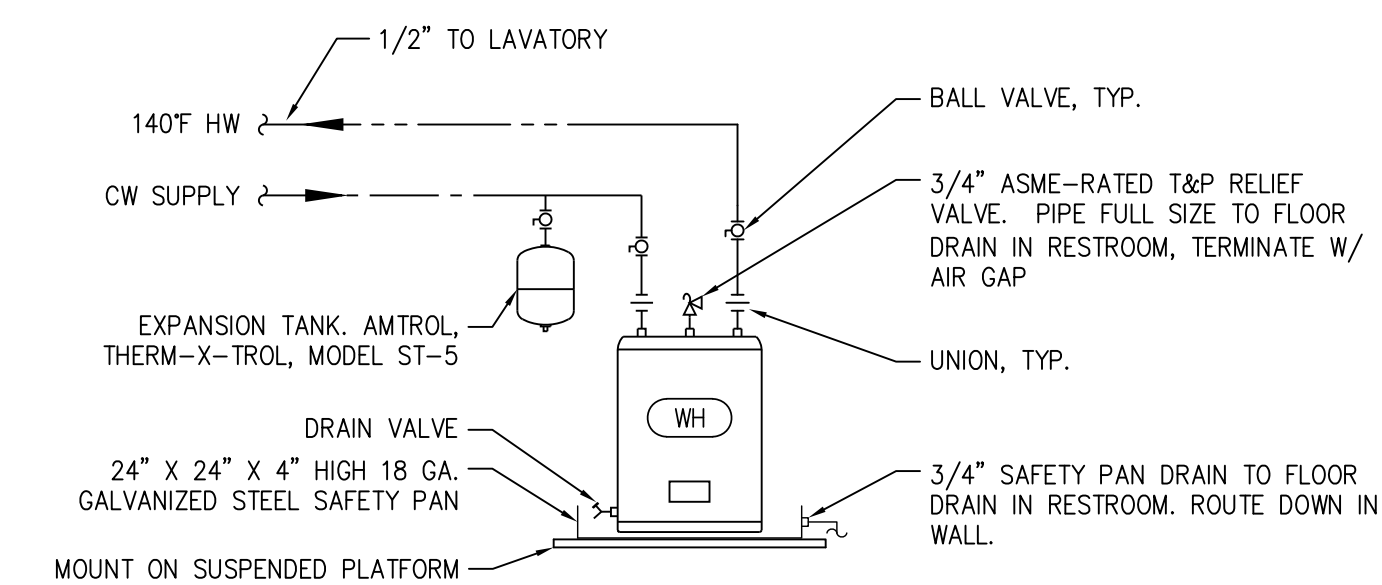


- NOTES:  
1) SEE NFPA 13 FOR CONNECTIONS PASSING THROUGH OR UNDER FOUNDATION WALLS.  
2) ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE-OF-PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK WALL, 18" ON EACH SIDE, AND 36" CLEAR IN FRONT. ALL VALVES NO MORE THAN 7'-0" AFF.  
3) TAMPER SWITCH OR CHAIN & LOCK REQUIRED FOR CONTROL VALVES.  
4) MONITORING SYSTEM: PROVIDE A SYSTEM FOR DETECTION OF FLOW AND SUPERVISION OF VALVES, CAPABLE WITH COMMUNICATING WITH OWNER'S MONITORING COMPANY. PROVIDE ALL WIRING. ROUTE COMMUNICATION CABLE TO TELEPHONE EQUIPMENT FOR CONNECTIONS BY OWNER.  
5) DRAWING IS SCHEMATIC. ORIENT VALVE SO THAT 36" CLEAR IS IN FRONT OF HANDWHEEL.  
6) HORIZONTAL INSTALLATION ALSO ALLOWED.

### FIRE SPINKLER RISER - WET PIPE

SCALE : NO SCALE

2



### ELECTRIC WATER HEATER

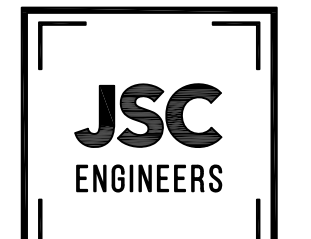
SCALE : NO SCALE

1

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06-11-2021

LOT 10 LAKEWOOD  
BUSINESS PARK  
LOT 10 I-470 BUSINESS PARK  
LEE'S SUMMIT, MO 64064

REVISIONS	NO.	DATE / DESCRIPTION

PROJECT #: 21-049  
ISSUE DATE: 06/11/2021  
ISSUED FOR:  
PERMIT

MECHANICAL AND  
PLUMBING SCHEDULES  
AND DETAILS

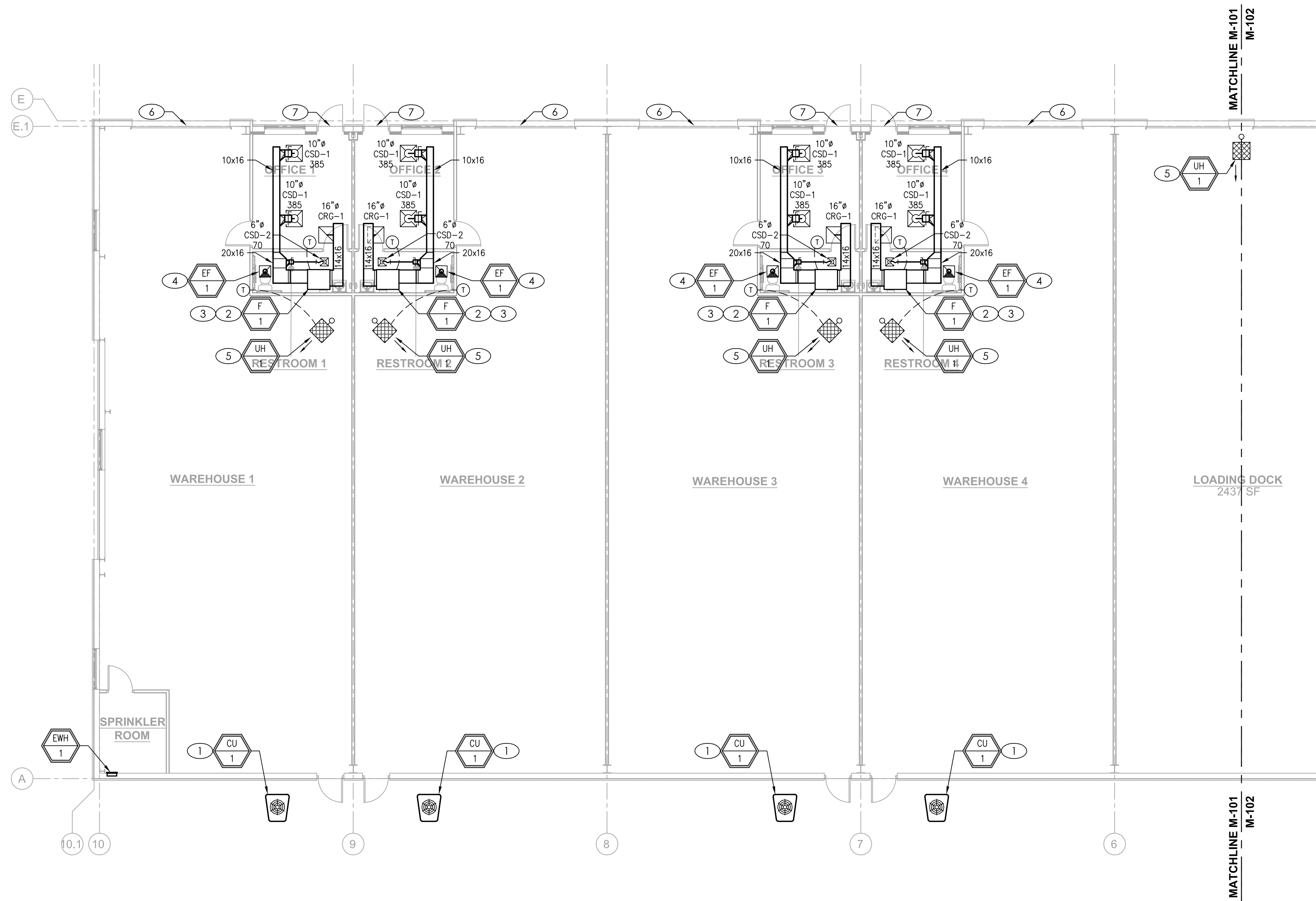
MP-002

**GENERAL NOTES**

- A. DRAWINGS ARE DIAGRAMMATIC ONLY AND REPRESENT THE GENERAL SCOPE OF WORK. REVIEW THE GENERAL NOTES, SPECIFICATIONS AND PLANS FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS. NOTIFY ARCHITECT, ENGINEER AND/OR OWNER OF CONFLICTS OR DISCREPANCIES PRIOR TO SUBMISSION OF BID.
- B. COORDINATE INSTALLATION OF MECHANICAL SYSTEMS WITH OTHER TRADES TO ENSURE A NEAT AND ORDERLY INSTALLATION AND AVOID CONFLICTS. INSTALL DUCTWORK AND PIPING AS TIGHT TO STRUCTURE AS POSSIBLE. COORDINATE INSTALLATION OF DUCTWORK AND PIPING TO AVOID CONFLICTS WITH ELECTRICAL PANELS, LIGHTING FIXTURES, ETC. VERIFY DUCT SPACE AVAILABLE ABOVE ALL CEILINGS PRIOR TO ANY FABRICATION OF INSTALLATION.
- C. NEW MECHANICAL EQUIPMENT, DUCTWORK AND PIPING ARE SHOWN AT APPROXIMATE LOCATIONS. FIELD MEASURE FINAL DUCTWORK AND PIPING LOCATIONS PRIOR TO FABRICATION AND MAKE ADJUSTMENTS AS REQUIRED TO FIT THE DUCTWORK AND PIPING WITHIN THE AVAILABLE SPACE. VERIFY THAT FINAL EQUIPMENT LOCATIONS MEET MANUFACTURER'S RECOMMENDATIONS REGARDING SERVICE CLEARANCE AROUND EQUIPMENT.
- D. INSTALL DUCTWORK AND PIPING PARALLEL TO BUILDING COLUMN LINES UNLESS OTHERWISE SHOWN OR NOTED.
- E. OVERHEAD HANGERS AND SUPPORTS FOR EQUIPMENT, DUCTWORK AND PIPING SHALL BE FASTENED TO BUILDING JOISTS OR BEAMS. DO NOT ATTACH HANGERS AND SUPPORTS TO THE ABOVE ROOF.
- F. ALL ROOF AND WALL PENETRATIONS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. PROVIDE ALL REQUIRED SLEEVES, FLASHINGS, CURBS, REINFORCED ANGLES, SUPPORTING FRAMES, ETC. UNLESS THEY ARE SPECIFICALLY CALLED OUT TO BE FURNISHED BY OTHERS.

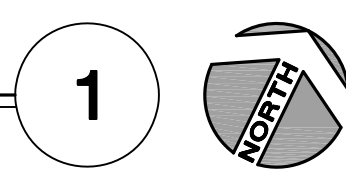
**KEYED PLAN NOTES**

- 1. CONDENSING UNIT LEVEL AT GRADE ON PREMANUFACTURED PAD. INSTALL PER MANUFACTURER'S INSTRUCTIONS MAINTAINING RECOMMENDED SERVICE CLEARANCES. ROUTE REFRIGERANT LINES THROUGH WALL 18" AFG. WEATHER SEAL REFRIGERANT LINE PENETRATIONS OF BUILDING. PROVIDE ALL RECOMMENDED VALVES, FILTERS, FITTINGS, ETC. AND MAKE ALL NECESSARY CONNECTIONS TO COOLING COIL.
- 2. MOUNT HORIZONTAL FURNACE AND COIL ABOVE RESTROOM CEILING. TRANSITION DUCTWORK TO UNIT AS REQUIRED. AT RETURN PROVIDE MANUFACTURER'S END RETURN FILTER KIT AND FILTER. ROUTE CONDENSATE DRAINS FROM FURNACE AND COIL TO FLOOR DRAIN BELOW.
- 3. PROVIDE CONCENTRIC VENT FOR FURNACE. INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS. ADHERE TO SIZE AND LENGTH LIMITATIONS. LOCATE VENT A MINIMUM OF 5'-0" FROM OUTSIDE AIR INTAKE. ROUTE TO ROOF OR WALL. COORDINATE LOCATION WITH GC PRIOR TO INSTALLATION.
- 4. CEILING MOUNT EXHAUST FAN. ROUTE 6" EXHAUST DUCT UP THROUGH ROOF TO ROOF CAP. LOCATE A MINIMUM OF 10'-0" FROM ANY OUTSIDE AIR INTAKE. SEAL ROOF PENETRATION WEATHER TIGHT.
- 5. HANG UNIT HEATER 14' AFF FROM OVERHEAD STRUCTURAL STEEL. PROVIDE TYPE 'B' VENT THROUGH ROOF. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 6. VENTILATION AIR FOR WAREHOUSE IS BY OPERABLE WAREHOUSE DOOR. 12'X14' DOOR PROVIDES 168 SQFT OF OPEN AREA. BY THE 4% RULE PER IMC SECTION 402, MIN REQUIRED VENTILATION AREA IS 0.04\*2431 SQFT =97.24 SQFT.
- 7. VENTILATION AIR FOR OFFICE IS BY OPERABLE DOOR. 3'X7' DOOR PROVIDES 21 SQFT OF OPEN AREA. BY THE 4% RULE PER IMC SECTION 402, MIN REQUIRED VENTILATION AREA IS 0.04\*171 SQFT=6.8 SQFT.



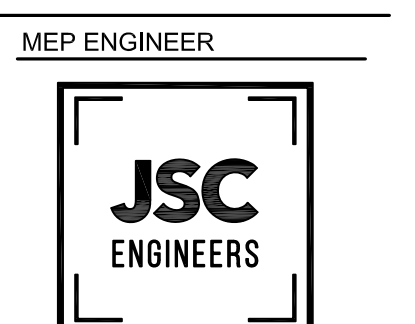
**MECHANICAL PLAN - WEST**

SCALE : 1/8" = 1'-0"



Certificates of Authority  
 Architecture: MO 119 / KS 73  
 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 36

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 816.220.0285 email: info@jsc-engineers.com  
 JUSTIN R. SMOTHERS  
 NUMBER PE-2012003568  
 PROFESSIONAL ENGINEER  
 06-11-2021

**LOT 10 LAKEWOOD  
 BUSINESS PARK**  
 LOT 10 I-470 BUSINESS PARK  
 LEE'S SUMMIT, MO 64064

REVISIONS NO.	DATE	DESCRIPTION

PROJECT #: 21-049  
 ISSUE DATE: 06/11/2021  
 ISSUED FOR: PERMIT

MECHANICAL PLAN WEST

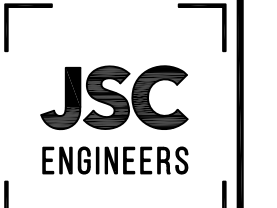
M-101

Certificates of Authority  
 Architecture: MO 119 / KS 73  
 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 36

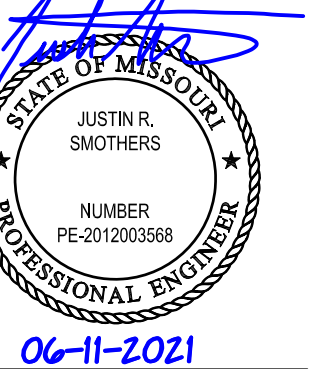
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06-11-2021

**LOT 10 LAKEWOOD  
 BUSINESS PARK  
 LOT 10 I-470 BUSINESS PARK  
 LEE'S SUMMIT, MO 64064**

REVISIONS  
 NO. DATE DESCRIPTION

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PERMIT

MECHANICAL PLAN  
 EAST

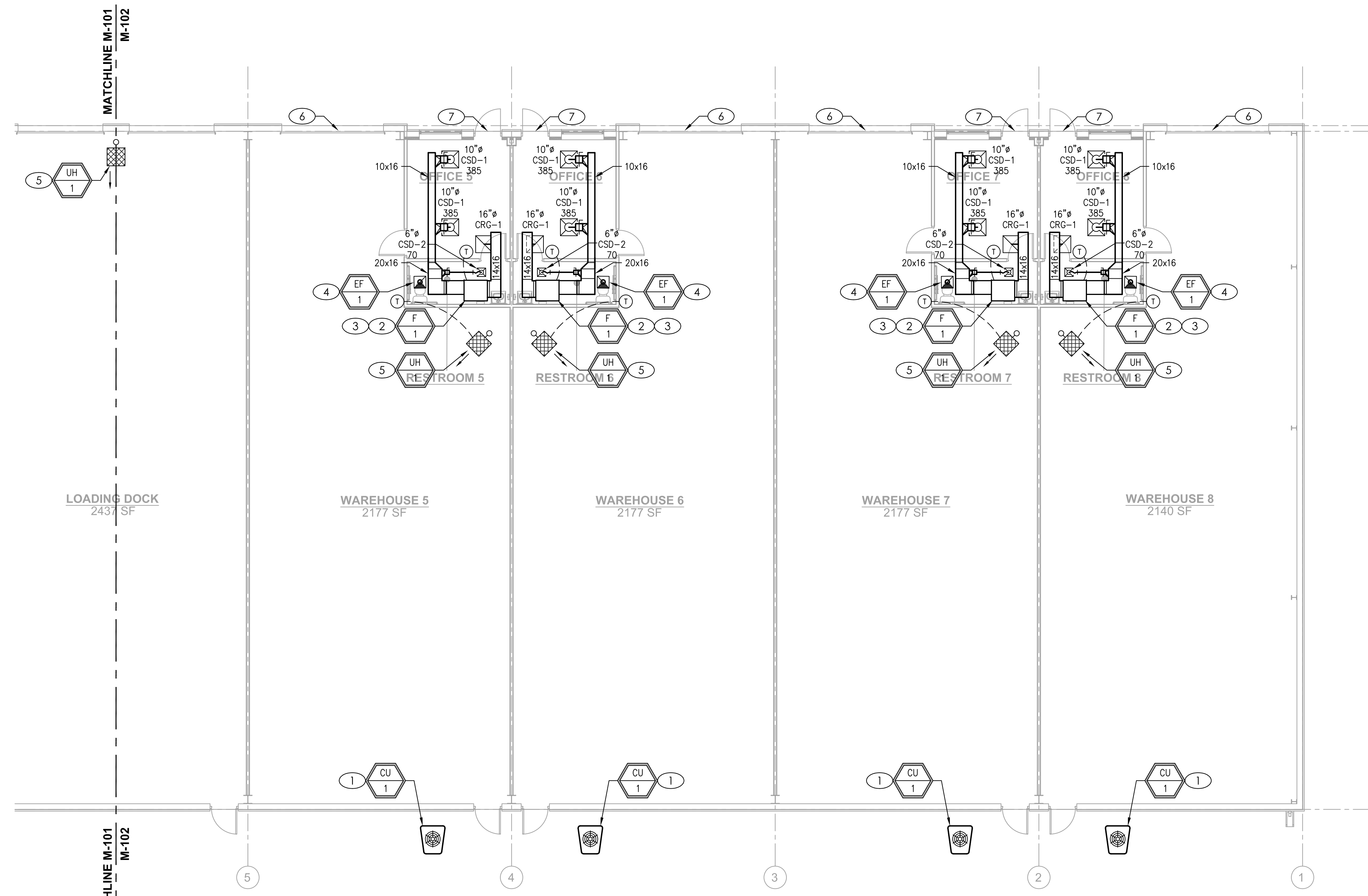
M-102

**GENERAL NOTES**

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**# KEYED PLAN NOTES**

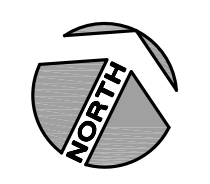
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- HANG UNIT HEATER 14' AFF FROM OVERHEAD STRUCTURAL STEEL. PROVIDE TYPE 'B' VENT THROUGH ROOF. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
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**MECHANICAL PLAN - EAST**

SCALE : 1/8" = 1'-0"

1



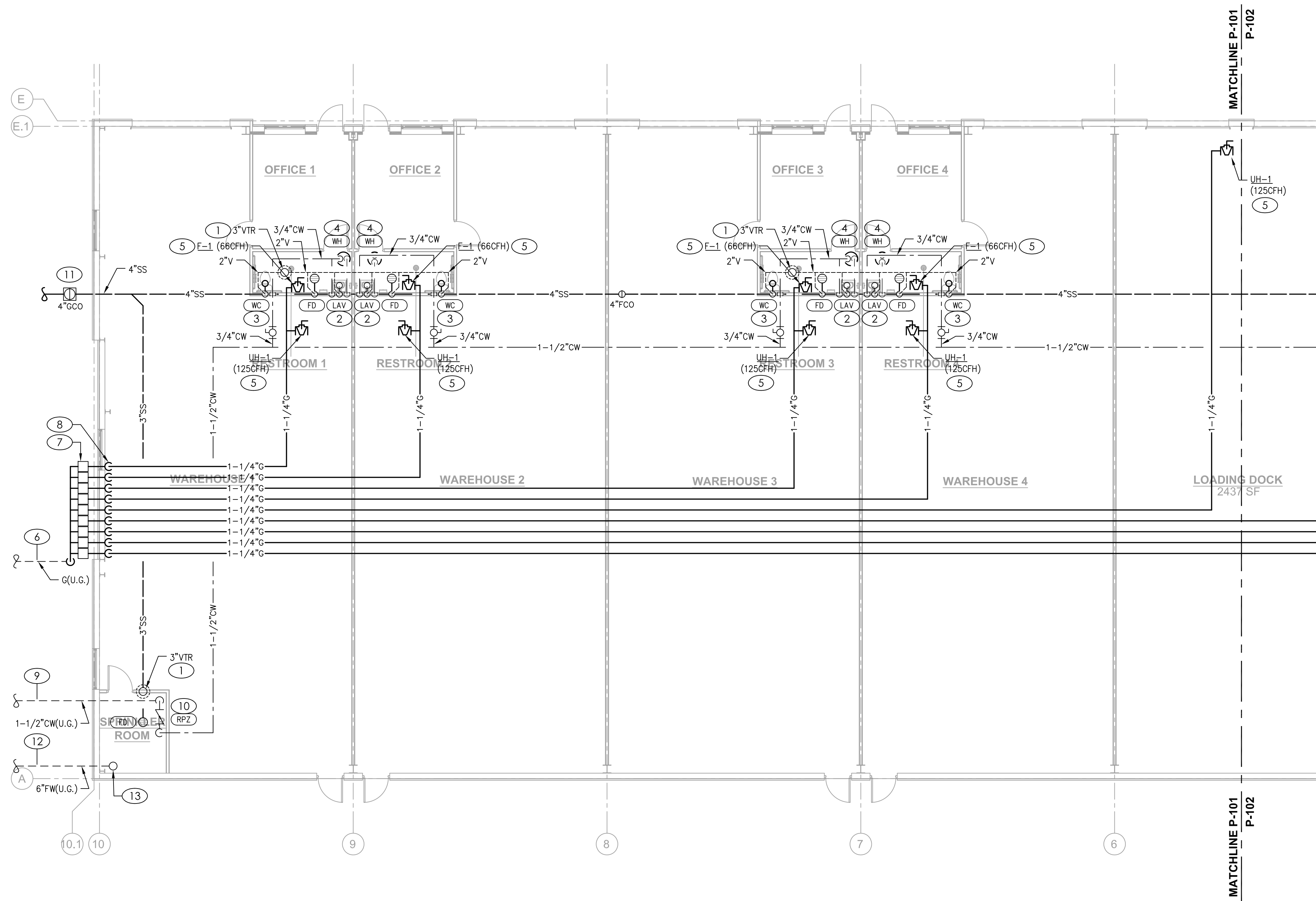
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- B. PROVIDE THE ARCHITECT AND OWNER WITH A COPY OF THE INSPECTION REPORTS AND APPROVAL CERTIFICATES FROM LOCAL AND STATE INSPECTIONS.
- C. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND MOUNTING HEIGHTS OF PLUMBING FIXTURES.
- D. EXACT LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE VERIFIED PRIOR TO ANY INSTALLATION OR CONNECTIONS THEREOF.
- E. COORDINATE PIPE ROUTING AWAY FROM ELECTRICAL PANELS. DO NOT INSTALL PIPING OVER ELECTRICAL PANELS.
- F. COORDINATE THE ROOF PENETRATIONS WITH OTHER TRADES. MAINTAIN 10' MINIMUM CLEARANCE FROM ALL AIR INTAKES. MAINTAIN 3' FROM ALL OTHER EQUIPMENT.
- G. PROVIDE SHIELDED ADAPTOR COUPLINGS FOR CONNECTIONS OF PVC DWV TO CAST IRON SANITARY, WASTE AND VENT PIPE.
- H. REFER TO PLUMBING FIXTURE SCHEDULE FOR MINIMUM BRANCH WASTE AND VENT PIPE SIZING.

**# KEYED PLAN NOTES**

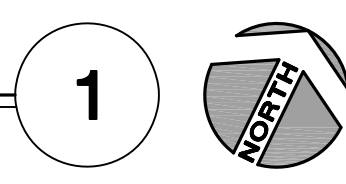
(NOT ALL NOTES NECESSARILY USED ON THIS SHEET)

- 1. NEW VENT THROUGH ROOF (VTR). LOCATE VTR A MINIMUM OF 3'-0" FROM EDGE OF ROOF AND MINIMUM 10'-0" FROM ANY OUTSIDE AIR INTAKE. SEAL PENETRATION WEATHER TIGHT. COORDINATE WITH MECHANICAL CONTRACTOR.
- 2. PROVIDE 1-1/2" V, 2" SS, 1/2" CW AND 1" HW IN WALL TO LAV. PROVIDE THERMOSTATIC MIXING VALVE FOR FIXTURE EQUAL TO LEONARD MODEL 170. SET HW SUPPLY WATER TEMPERATURE TO 110°F.
- 3. PROVIDE 2" V, 4" SS, AND 1/2" CW IN WALL TO WATER CLOSET.
- 4. INSTALL WATER HEATER ABOVE CEILING. ROUTE 1/2" CW TO WATER HEATER THEN 1/2" HW FROM WH TO LAVATORY. ROUTE 3/4" T&P RELIEF FROM WATER HEATER TO FLOOR DRAIN WITH AIR GAP. COORDINATE LOCATION WITH MECHANICAL CONTRACTOR PRIOR TO INSTALLATION.
- 5. PROVIDE SHUT-OFF VALVE AND DIRT LEG PRIOR TO EQUIPMENT CONNECTION. COORDINATE EXACT EQUIPMENT LOCATION WITH MECHANICAL CONTRACTOR.
- 6. GAS PIPING TO UTILITY MAIN. TOTAL ESTIMATED GAS LOAD FOR BUILDING IS 1,653 CFH. REFER TO CIVIL PLANS FOR CONTINUATION. CONTRACTOR TO COORDINATE WITH GAS UTILITY FOR INSTALLATION.
- 7. COORDINATE WITH GAS COMPANY FOR INSTALLATION OF METER BANK WITH 9 TENANT METERS. DEMAND FOR EACH METER IS 191 CFH @ 12" W.C.
- 8. ROUTE GAS PIPING THROUGH EXTERIOR WALL THEN UP ON INTERIOR OF WALL. ROUTE TIGHT TO WALL. CONTINUE ROUTING AS SHOWN AT BOTTOM OF JOIST ELEVATION. SEAL WALL PENETRATION WEATHERTIGHT.
- 9. 1-1/2" DOMESTIC COLD WATER TO UTILITY SERVICE. CONTRACTOR SHALL WORK WITH THE WATER COMPANY AND FOR THE INSTALLATION OF A NEW WATER MAIN ENTRANCE, INCLUDING TAP, METER, METER PIT, PIPING, ETC. FOR A COMPLETE INSTALLATION. SEE CIVIL PLANS FOR CONTINUATION. MAINTAIN MINIMUM 48" BURY FOR FREEZE PROTECTION.
- 10. 1-1/2" SHUT-OFF VALVE AND 1-1/2" RPZ BACKFLOW PREVENTER APPROVED FOR DOMESTIC WATER SERVICE. PROVIDE PRESSURE REDUCING VALVE IF SERVICE PRESSURE AT DOMESTIC WATER ENTRY EXCEEDS 75 P.S.I. DOWNSTREAM OF REDUCED PRESSURE BACKFLOW PREVENTER. SEE INSTALLATION DETAIL.
- 11. 4" SANITARY TO UTILITY SERVICE. REFER TO CIVIL PLANS FOR CONTINUATION. PROVIDE 4" GCO AT EXTERIOR OF BUILDING.
- 12. 6" FIRE SERVICE TO MAIN. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
- 13. FIRE RISER. SEE DETAIL ON MP001 FOR GENERAL REQUIREMENTS. COORDINATE WITH FIRE SPRINKLER CONTRACTOR FOR INSTALLATION, SIZING, AND ROUTING OF FIRE DEPARTMENT CONNECTION.



**PLUMBING PLAN - WEST**

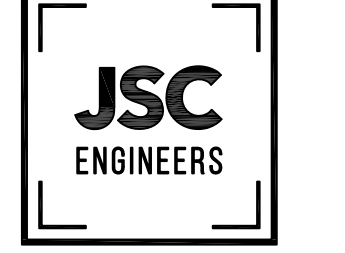
SCALE : 1/8" = 1'-0"



Certificates of Authority  
Architecture: MO 119 / IS 73  
Engineering: MO 4 / IS 241  
Land Surveying: MO 123 / IS 34

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MEP ENGINEER



06-11-2021

**LOT 10 LAKEWOOD  
BUSINESS PARK  
LOT 10 1-470 BUSINESS PARK  
LEE'S SUMMIT, MO 64064**

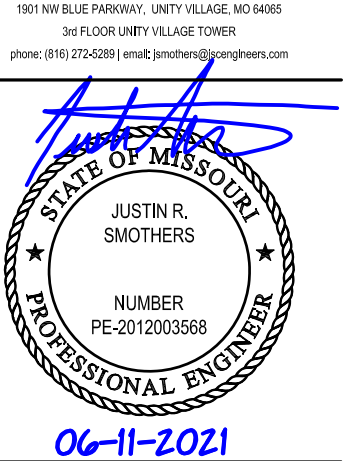
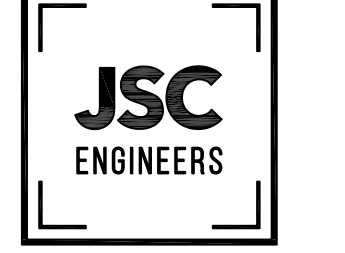
REVISIONS NO.	DATE	DESCRIPTION

PROJECT #: 21-049  
ISSUE DATE: 06/11/2021  
ISSUED FOR:  
PERMIT

PLUMBING PLAN  
WEST

P-101



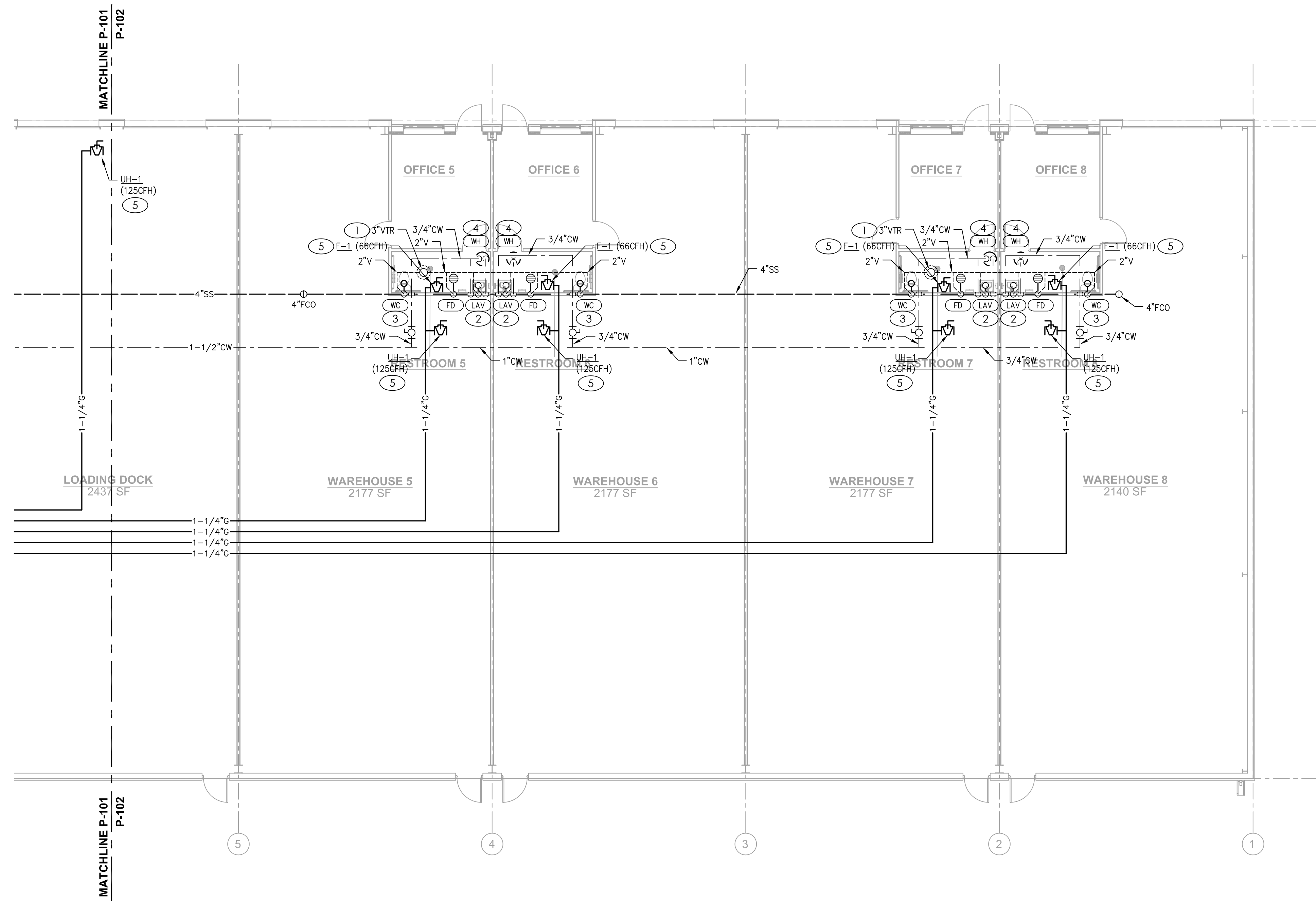


**GENERAL NOTES**

- A. DRAWINGS ARE DIAGRAMMATIC ONLY AND REPRESENT THE GENERAL SCOPE OF WORK. REVIEW THE GENERAL NOTES, SPECIFICATIONS AND PLANS FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS. NOTIFY ARCHITECT, ENGINEER AND/OR OWNER OF CONFLICTS OR DISCREPANCIES PRIOR TO SUBMISSION OF BID.
- B. PROVIDE THE ARCHITECT AND OWNER WITH A COPY OF THE INSPECTION REPORTS AND APPROVAL CERTIFICATES FROM LOCAL AND STATE INSPECTIONS.
- C. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND MOUNTING HEIGHTS OF PLUMBING FIXTURES.
- D. EXACT LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE VERIFIED PRIOR TO ANY INSTALLATION OR CONNECTIONS THEREOF.
- E. COORDINATE PIPE ROUTING AWAY FROM ELECTRICAL PANELS. DO NOT INSTALL PIPING OVER ELECTRICAL PANELS.
- F. COORDINATE THE ROOF PENETRATIONS WITH OTHER TRADES. MAINTAIN 10' MINIMUM CLEARANCE FROM ALL AIR INTAKES. MAINTAIN 3' FROM ALL OTHER EQUIPMENT.
- G. PROVIDE SHIELDED ADAPTOR COUPLINGS FOR CONNECTIONS OF PVC DWV TO CAST IRON SANITARY, WASTE AND VENT PIPE.
- H. REFER TO PLUMBING FIXTURE SCHEDULE FOR MINIMUM BRANCH WASTE AND VENT PIPE SIZING.

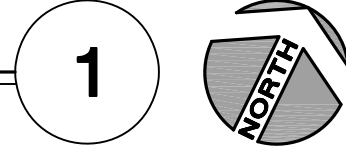
# **KEYED PLAN NOTES**

- (NOT ALL NOTES NECESSARILY USED ON THIS SHEET)
1. NEW VENT THROUGH ROOF (VTR). LOCATE VTR A MINIMUM OF 3'-0" FROM EDGE OF ROOF AND MINIMUM 10'-0" FROM ANY OUTSIDE AIR INTAKE. SEAL PENETRATION WEATHER TIGHT. COORDINATE WITH MECHANICAL CONTRACTOR.
  2. PROVIDE 1-1/2" V, 2" SS, 1/2" CW AND 1" HW IN WALL TO LAV. PROVIDE THERMOSTATIC MIXING VALVE FOR FIXTURE EQUAL TO LEONARD MODEL 170. SET HW SUPPLY WATER TEMPERATURE TO 110°F.
  3. PROVIDE 2" V, 4" SS, AND 1/2" CW IN WALL TO WATER CLOSET.
  4. INSTALL WATER HEATER ABOVE CEILING. ROUTE 1/2" CW TO WATER HEATER THEN 1/2" HW FROM WH TO LAVATORY. ROUTE 3/4" T&P RELIEF FROM WATER HEATER TO FLOOR DRAIN WITH AIR GAP. COORDINATE LOCATION WITH MECHANICAL CONTRACTOR PRIOR TO INSTALLATION.
  5. PROVIDE SHUT-OFF VALVE AND DIRT LEG PRIOR TO EQUIPMENT CONNECTION. COORDINATE EXACT EQUIPMENT LOCATION WITH MECHANICAL CONTRACTOR.
  6. GAS PIPING TO UTILITY MAIN. TOTAL ESTIMATED GAS LOAD FOR BUILDING IS 1,653 CFH. REFER TO CIVIL PLANS FOR CONTINUATION. CONTRACTOR TO COORDINATE WITH GAS UTILITY FOR INSTALLATION.
  7. COORDINATE WITH GAS COMPANY FOR INSTALLATION OF METER BANK WITH 9 TENANT METERS. DEMAND FOR EACH METER IS 191 CFH @ 12" W.C.
  8. ROUTE GAS PIPING THROUGH EXTERIOR WALL THEN UP ON INTERIOR OF WALL. ROUTE TIGHT TO WALL. CONTINUE ROUTING AS SHOWN AT BOTTOM OF JOIST ELEVATION. SEAL WALL PENETRATION WEATHERTIGHT.
  9. 1-1/2" DOMESTIC COLD WATER TO UTILITY SERVICE. CONTRACTOR SHALL WORK WITH THE WATER COMPANY AND FOR THE INSTALLATION OF A NEW WATER MAIN ENTRANCE, INCLUDING TAP, METER, METER PIT, PIPING, ETC. FOR A COMPLETE INSTALLATION. SEE CIVIL PLANS FOR CONTINUATION. MAINTAIN MINIMUM 48" BURY FOR FREEZE PROTECTION.
  10. 1-1/2" SHUT-OFF VALVE AND 1-1/2" RPZ BACKFLOW PREVENTER APPROVED FOR DOMESTIC WATER SERVICE. PROVIDE PRESSURE REDUCING VALVE IF SERVICE PRESSURE AT DOMESTIC WATER ENTRY EXCEEDS 75 P.S.I. DOWNSTREAM OF REDUCED PRESSURE BACKFLOW PREVENTER. SEE INSTALLATION DETAIL.
  11. 4" SANITARY TO UTILITY SERVICE. REFER TO CIVIL PLANS FOR CONTINUATION. PROVIDE 4" GCO AT EXTERIOR OF BUILDING.
  12. 6" FIRE SERVICE TO MAIN. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
  13. FIRE RISER. SEE DETAIL ON MP001 FOR GENERAL REQUIREMENTS. COORDINATE WITH FIRE SPRINKLER CONTRACTOR FOR INSTALLATION, SIZING, AND ROUTING OF FIRE DEPARTMENT CONNECTION.



**PLUMBING PLAN - EAST**

SCALE : 1/8" = 1'-0"



**LOT 10 LAKEWOOD  
 BUSINESS PARK  
 LOT 10 1-470 BUSINESS PARK  
 LEE'S SUMMIT, MO 64064**

REVISIONS NO.	DATE	DESCRIPTION

PROJECT #: 21-049  
 ISSUE DATE: 06/11/2021  
 ISSUED FOR:  
 PERMIT

PLUMBING PLAN  
 EAST

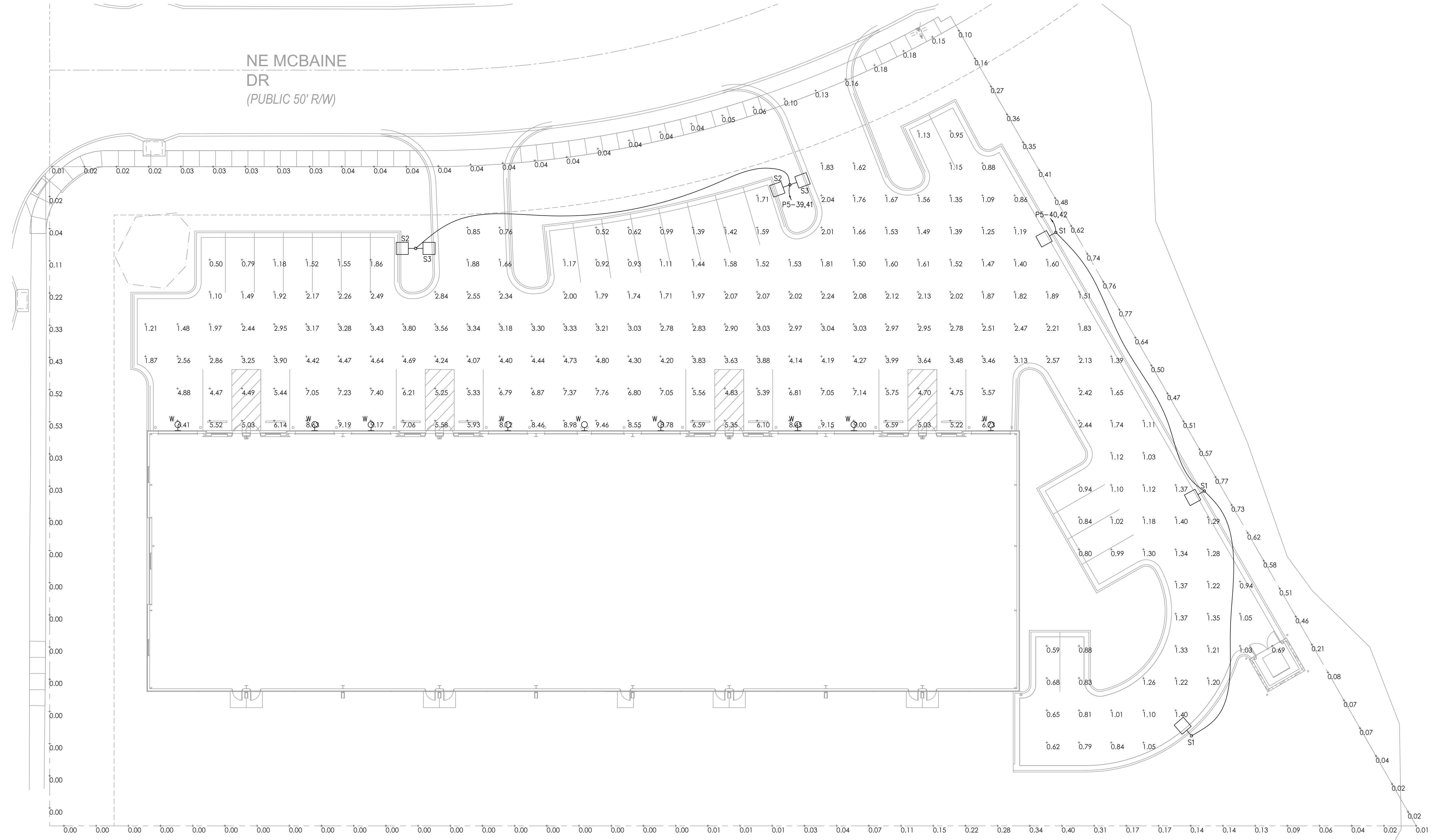


### GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE SECTION 2800 OF THE STREET LIGHTING OF KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION, CONSTRUCTION & MATERIAL SPECIFICATION, THE SECTION 5800 - STREET LIGHTING OF THE CITY OF LEE'S SUMMIT, MO DESIGN CRITERIA, AND ALL APPLICABLE LEE'S SUMMIT, MO SUPPLEMENTS.
- ALL ELECTRICAL/CONDUIT STREET CROSSINGS NEED TO BE BACKFILLED WITH AB-3 OR FLOWABLE FILL IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.

Tag	Description	LLF	Luminaire Lumens	Luminaire Watts
S1	DSX1 LED P2 40K T3M MVOLT HS (MH: 30'-0") - PROVIDE WITH PHOTOCELL	0.800	7002	70
S2	DSX1 LED P2 40K RCCO MVOLT (MH: 30'-0") - PROVIDE WITH PHOTOCELL	0.800	5429	70
S3	DSX1 LED P2 40K LCCO MVOLT (MH: 30'-0") - PROVIDE WITH PHOTOCELL	0.800	5429	70
W	WDGE3 LED P2 70CRI R4 40K (MH: 16'-0")	0.800	8779	59.2761

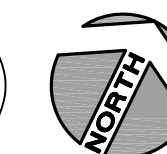
Label	Units	Avg	Max	Min	Max/Min
Parking_Lot	Fc	3.04	9.46	0.50	18.92
Property_Line	Fc	0.16	0.77	0.00	N.A.



### PHOTOMETRIC PLAN

SCALE: 1/16" = 1'-0"

1



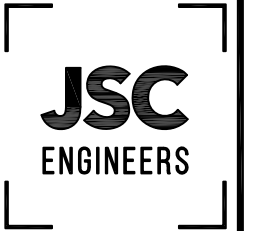
ENTIRE SHEET ADDED

Licenses of Authority  
Architecture: MO 319 / KS 73  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 36

CLIENT

DAVID WARD  
WARD DEVELOPMENT  
1120 EAGLE RIDGE BLVD  
GRAIN VALLEY, MO 64029  
david@safelyministorage.com

MEP ENGINEER



MO CO. NO. 0000000100 / KS CO. NO. 0000000100  
1001 W. BLUE PAVEMENT, SUITE 100, GRAIN VALLEY, MO 64029  
JSC ENGINEERS, INC. (A DIVISION OF JSC ENGINEERS, LLC)  
PHONE: (816) 225-0208 | EMAIL: jsc@jscengineers.com



09-24-2021

**LOT 10 LAKEWOOD  
BUSINESS PARK  
LOT 10 I-470 BUSINESS PARK  
LEE'S SUMMIT, MO 64064**

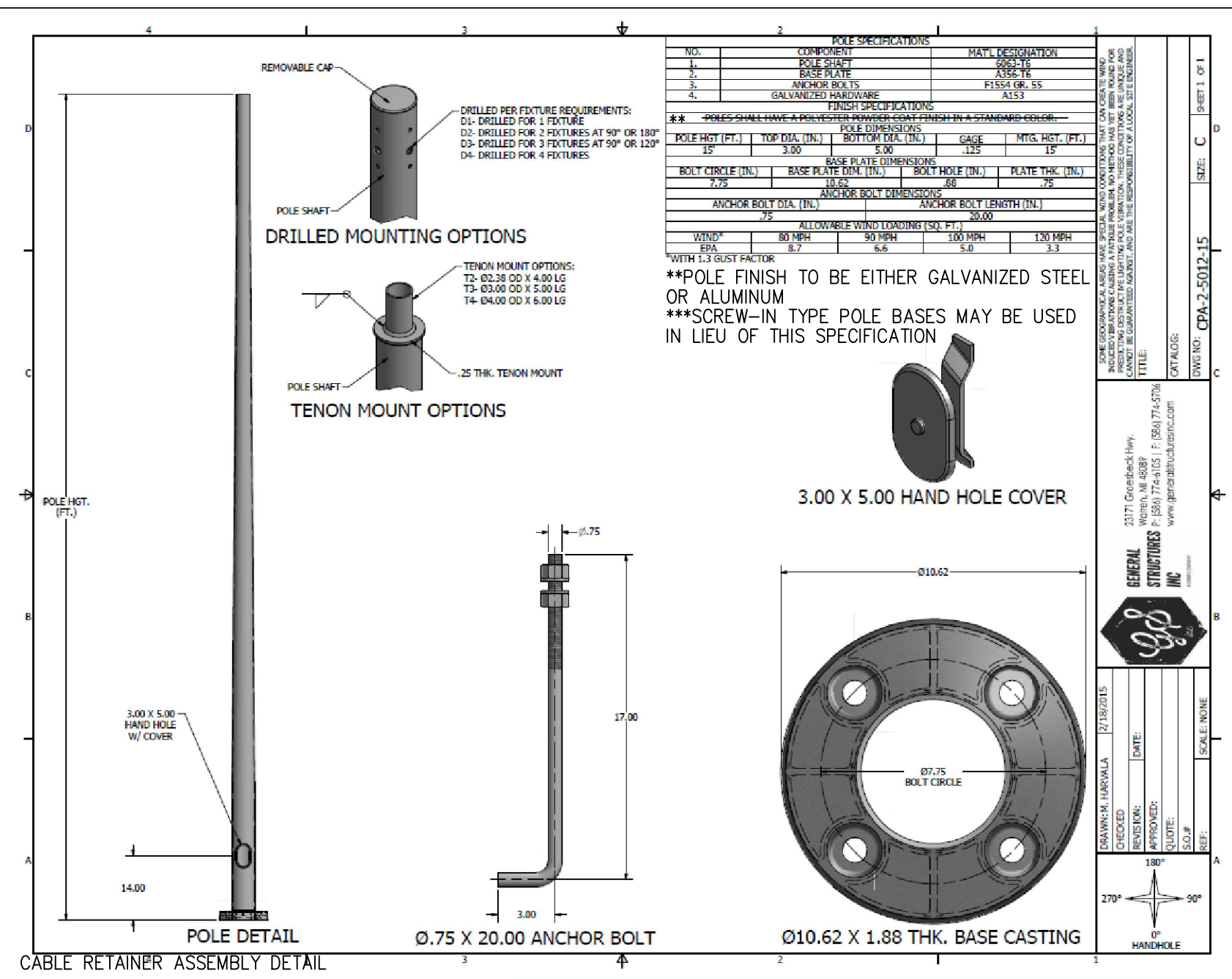
REVISIONS	NO.	DATE / DESCRIPTION
	1.	09.24.2021 (PHOTOMETRIC PLAN)

PROJECT #: 21-049  
ISSUE DATE: 06/11/2021  
ISSUED FOR: PERMIT

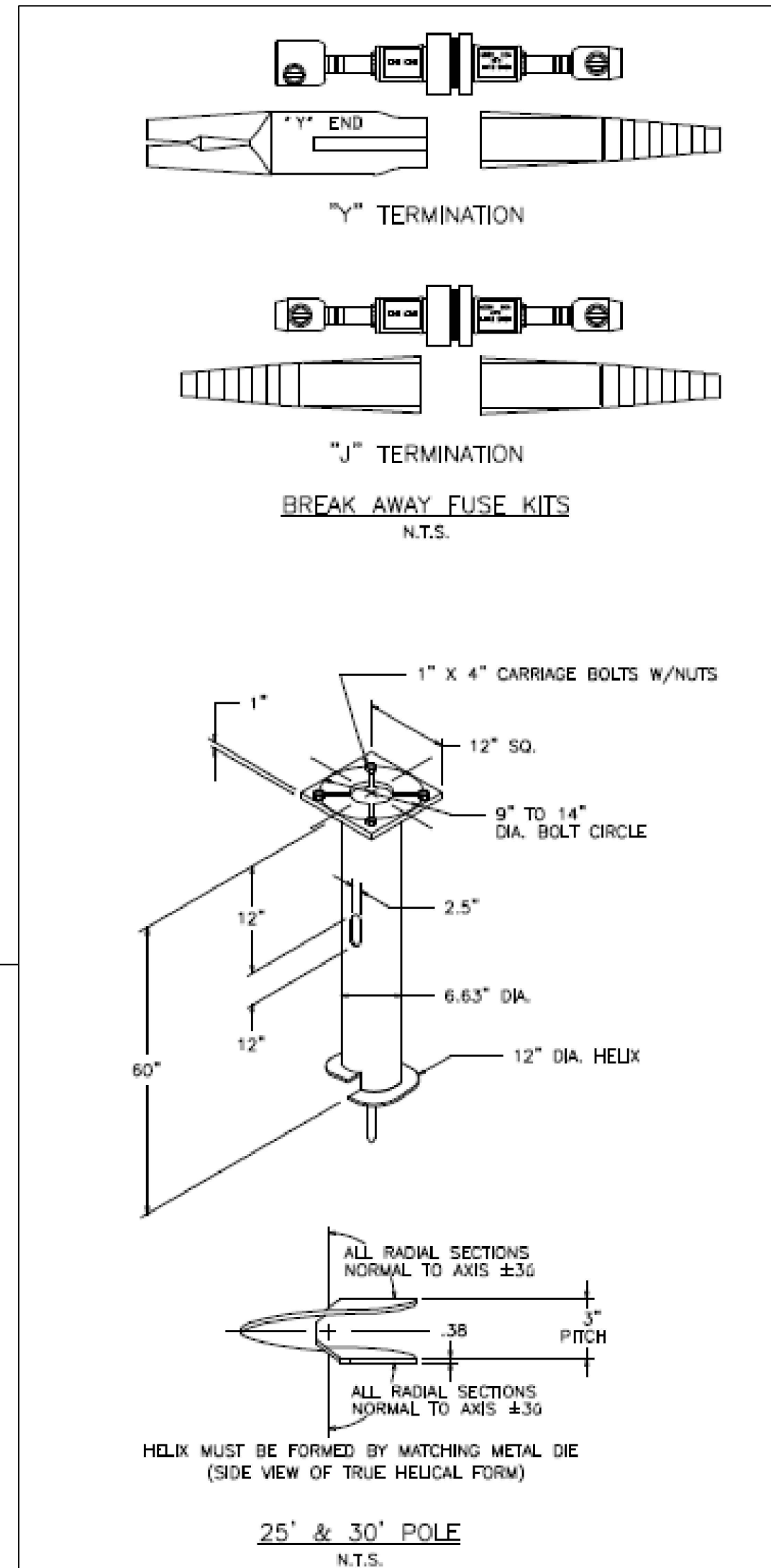
PHOTOMETRIC PLAN

E-002

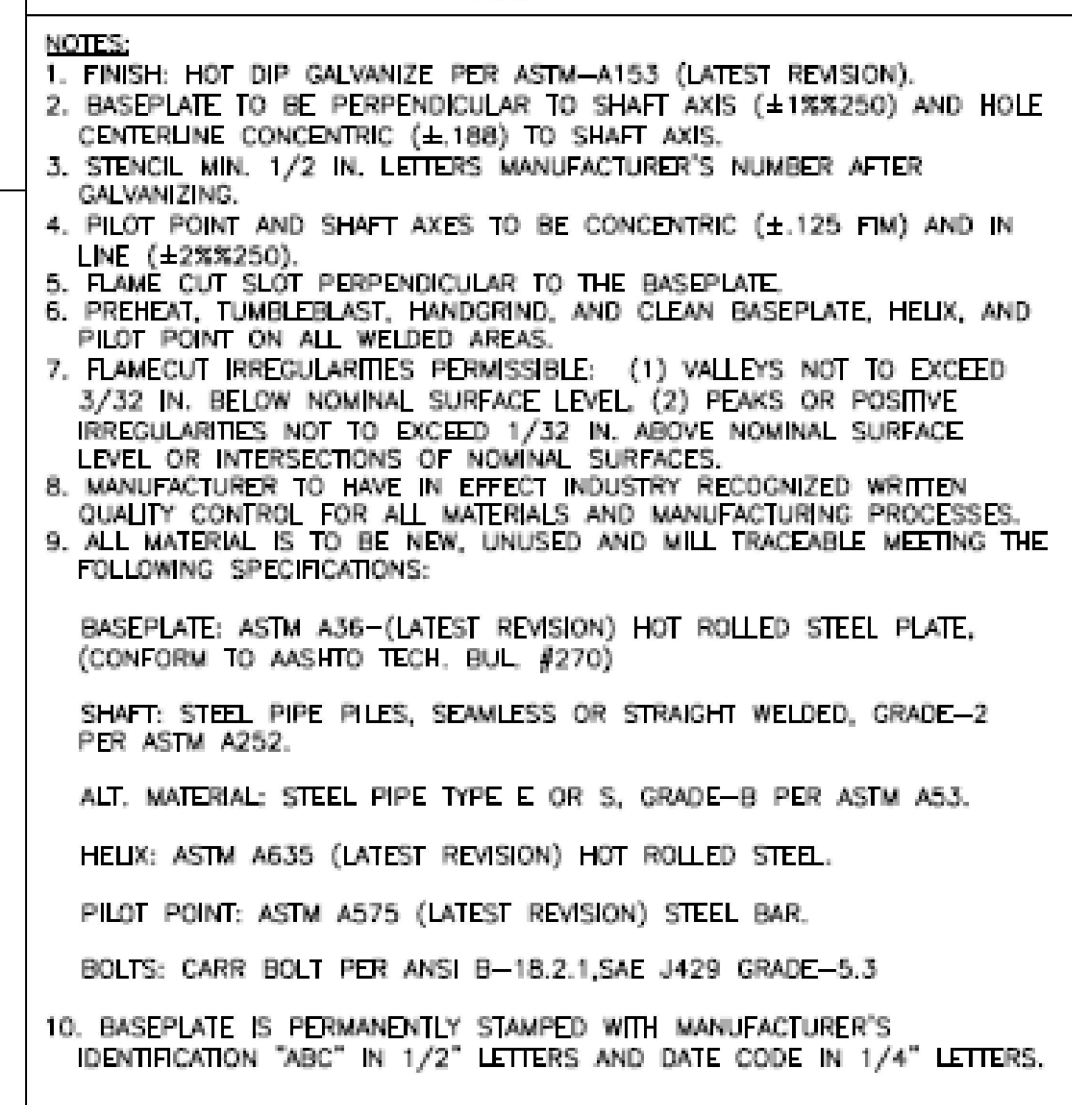
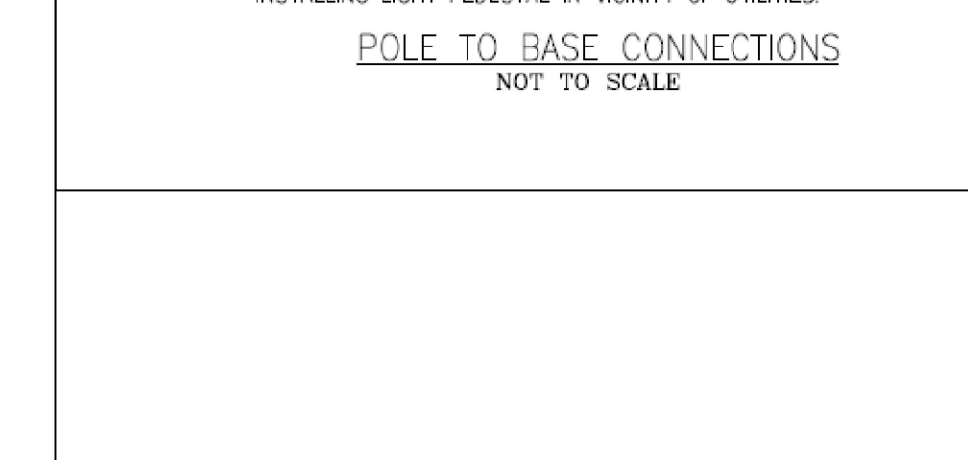
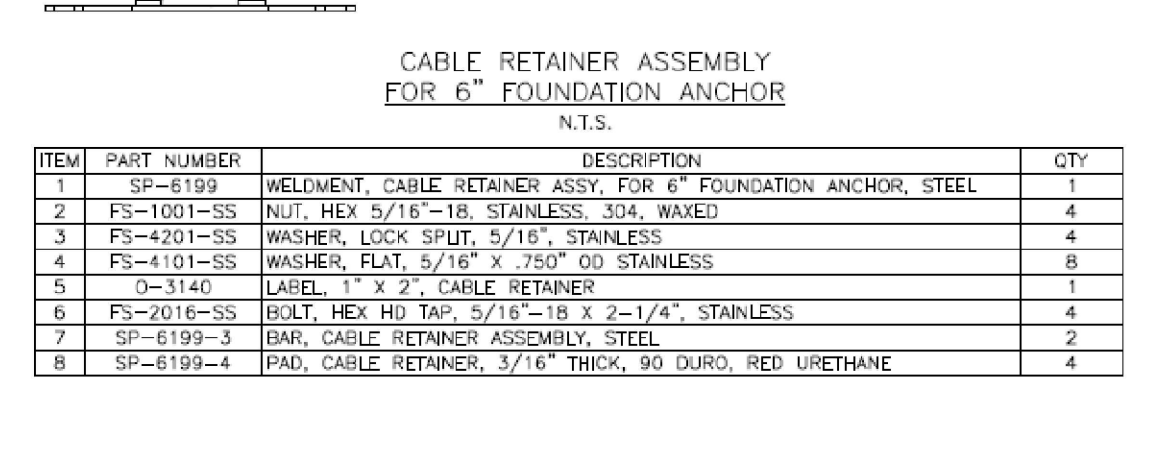
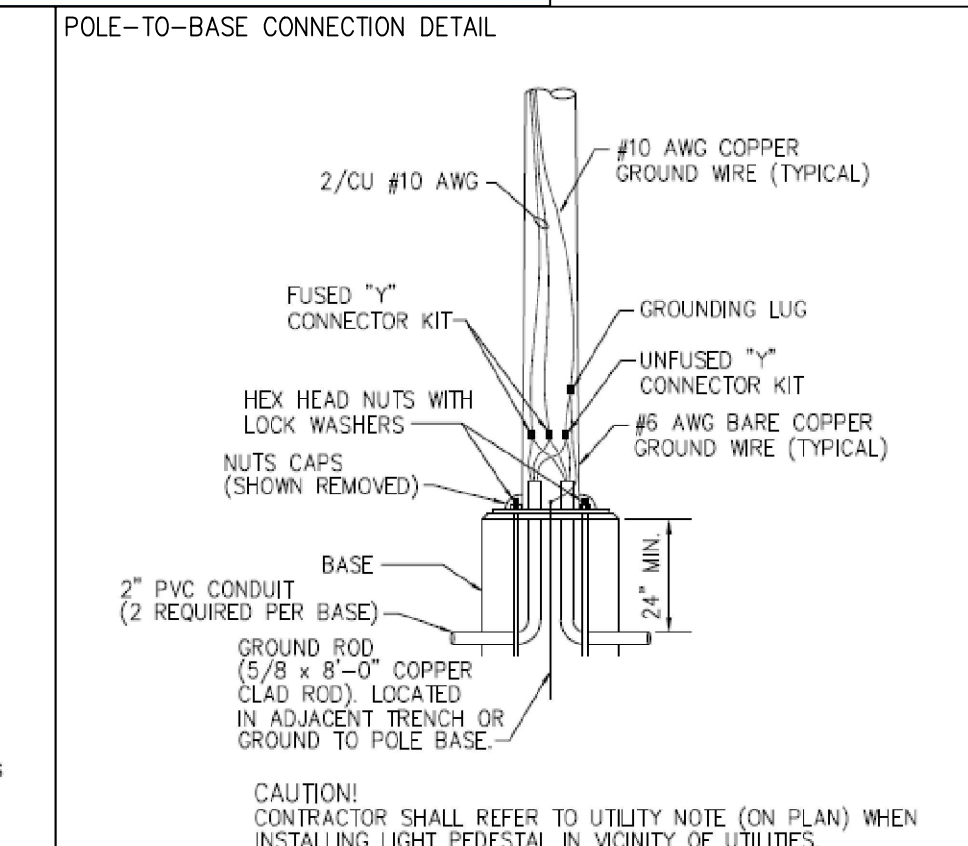
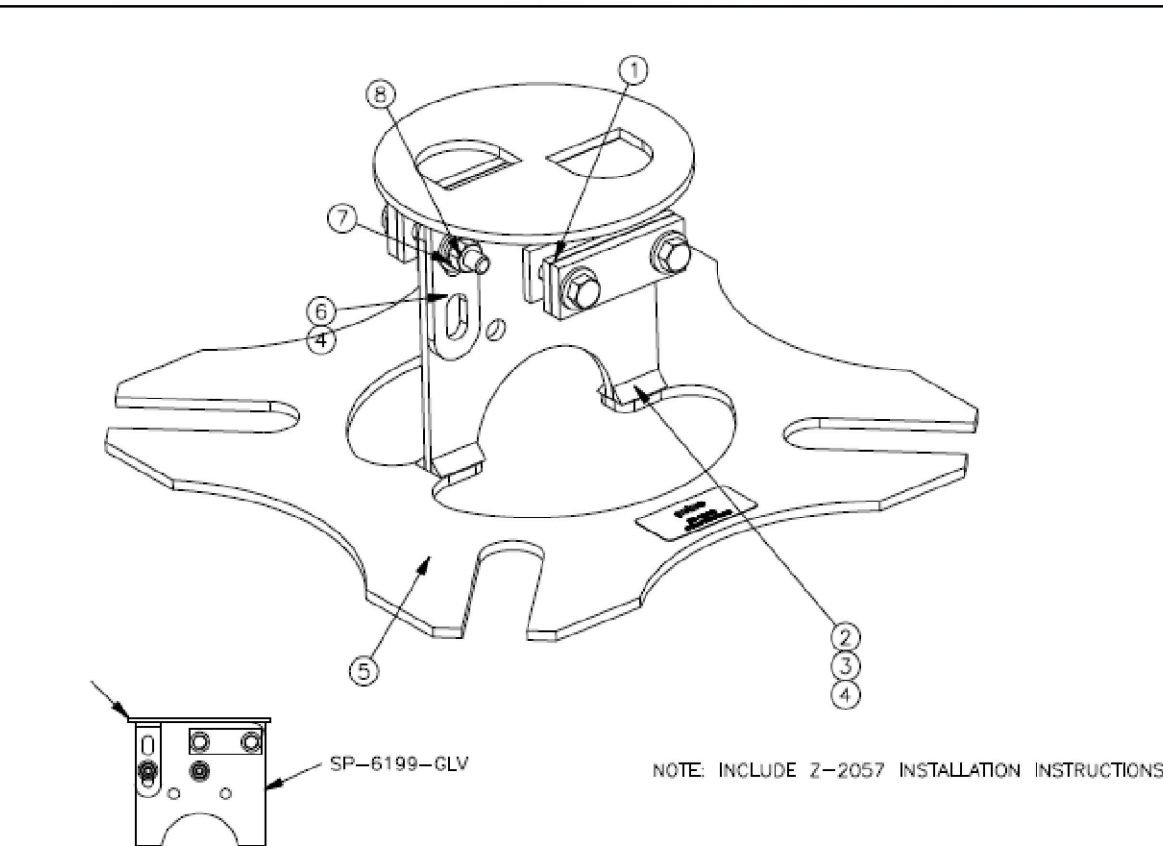
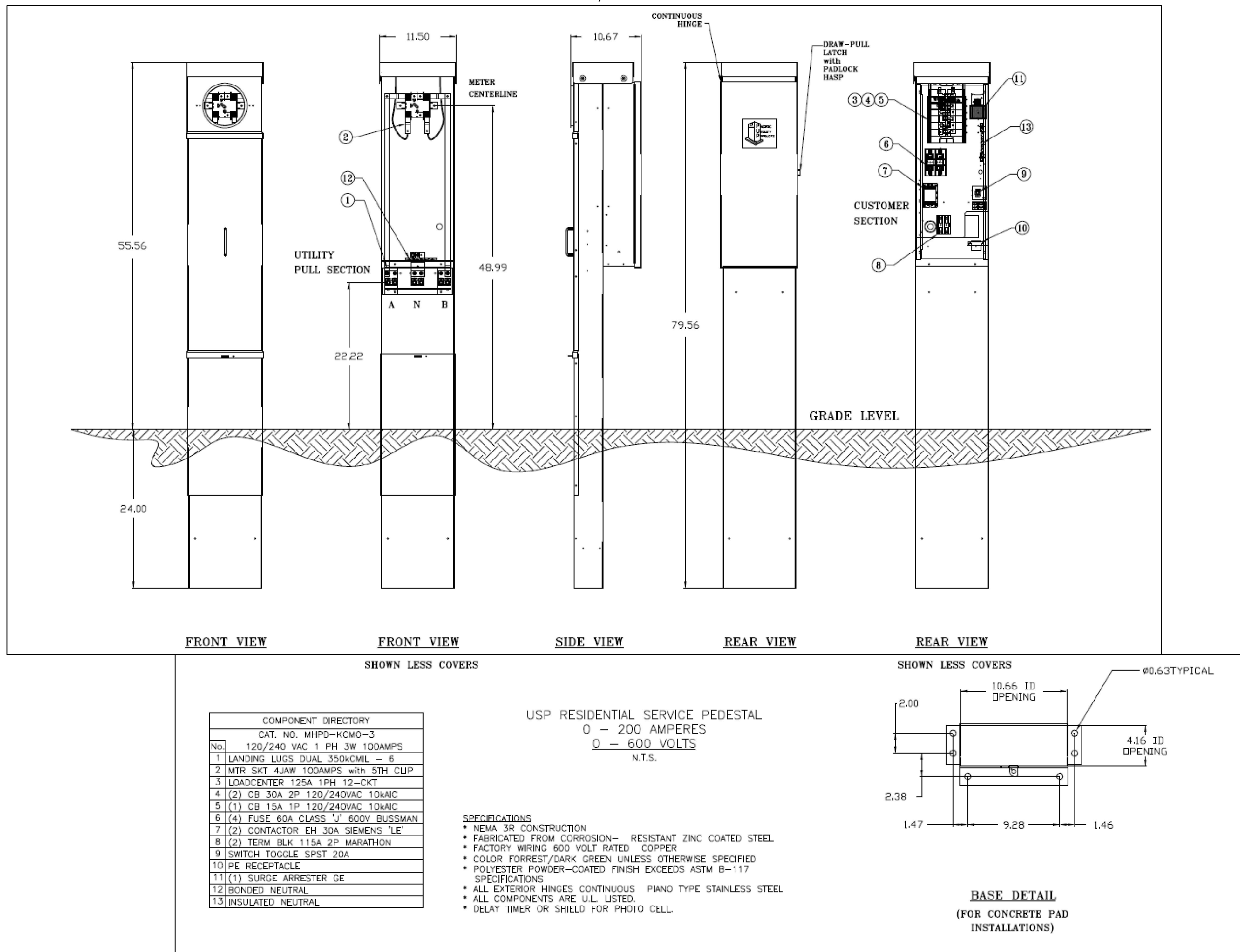
FIXTURE POLE SPECIFICATION



BREAK AWAY FUSE DETAILS



METER PEDESTAL DETAIL - PROVIDE WITH PHOTOCELL LOCATED ON METER PEDESTAL WITH SHIELD AND/OR TIME DELAY FUNCTION.



SITE LIGHTING FIXTURE SPECIFICATIONS

FIXTURE "W"

**WDGE3 LED**  
Architectural Wall Sconce

Specifications  
Depth (D1): 1.5"  
Depth (D2): 9"  
Height: 13"  
Width: 13"  
Height H1: 7.12"  
Height H2: 3.1/2"  
Weight (max): 27 lbs

WDGE LED Family Overview

Luminaire	Standard ETL ETC	Color Temp. (°C)	Finish	F1	F2	F3	F4	F5	F6
WDGE3 LED	4W	-	-	1,500	2,000	-	-	-	-
WDGE2 LED	10W	10W	Standard / slight	1,500	2,000	3,000	4,500	6,000	-
WDGE1 LED	15W	10W	Standard / slight	7,500	8,500	10,000	12,000	-	-
WDGE4 LED	-	-	Standard / slight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information  
EXAMPLE: WDGE3 LED P3 40K 70CRI R3 M3VOLT SRM DBBXD

Series	Package	Color Temperature	CRI	Distribution	Wetproof	Mounting
WDGE3 LED	P1	30K 3000K	70CRI	R2 Type 2	M3VOLT	Shipped included
	P2	40K 4000K	80CRI	R3 Type 3	SRM	Shipped separately
	P3	50K 5000K	80CRI	R4 Type 4	40K	Shipped separately
	P4	50K 5000K	80CRI	R5 Forward throw	40K	Shipped separately

Accessories  
E1500 Emergency battery backup, Certified in CA  
E2000 Emergency battery backup, Certified in CA  
E3000 Emergency battery backup, Certified in CA  
E4000 Emergency battery backup, Certified in CA  
E5000 Emergency battery backup, Certified in CA  
E6000 Emergency battery backup, Certified in CA  
E7000 Emergency battery backup, Certified in CA  
E8000 Emergency battery backup, Certified in CA  
E9000 Emergency battery backup, Certified in CA  
E10000 Emergency battery backup, Certified in CA

FIXTURES "S1/S2/S3"

FIXTURES "S1/S2/S3"

**D-Series Size 1**  
LED Area Luminaire

Specifications  
EPAL: 1.01 ft  
Length: 33"  
Width: 13"  
Height H1: 7.12"  
Height H2: 3.1/2"  
Weight (max): 27 lbs

Ordering Information  
EXAMPLE: DSX1 LED P7 40K T3M V3MOLT SPA NLTAR2 PIRHN DBBXD

Series	LEDs	Color Temperature	Distribution	Wetproof	Mounting
DSX1 LED	P1	30K 3000K	T5 Type 1 short	T3V3 Type 1 very short	M3VOLT SPA
	P2	40K 4000K	T5 Type 1 short	T3V3 Type 1 very short	SRM
	P3	50K 5000K	T5 Type 1 short	T3V3 Type 1 very short	40K
	P4	50K 5000K	T5 Type 1 short	T3V3 Type 1 very short	40K

Control options  
Shipped installed  
Other options  
Finish (optional)

**POWELL**  
ARCHITECTURE/ENGINEERING/SURVEYING  
3200 S. State Route 291, Bldg. 1, Independence, MO 64057  
816.373.4800 | powell.com

Certificates of Authority  
Architecture: MO 117 / KS 73  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 36

CLIENT  
DAVID WARD  
WARD DEVELOPMENT  
1120 EAGLE RIDGE BLVD  
GRAIN VALLEY, MO 64029  
david@safetyminstorage.com

MEP ENGINEER  
**JSC ENGINEERS**  
AUSTIN R. SMOTHERS  
PROFESSIONAL ENGINEER  
09-24-2021

LOT 10 LAKEWOOD  
BUSINESS PARK  
LOT 10 1-470 BUSINESS PARK  
LEE'S SUMMIT, MO 64064

REVISIONS  
NO. DATE / DESCRIPTION  
1. 09-24-2021 (PHOTOMETRIC PLAN)

PROJECT #: 21-049  
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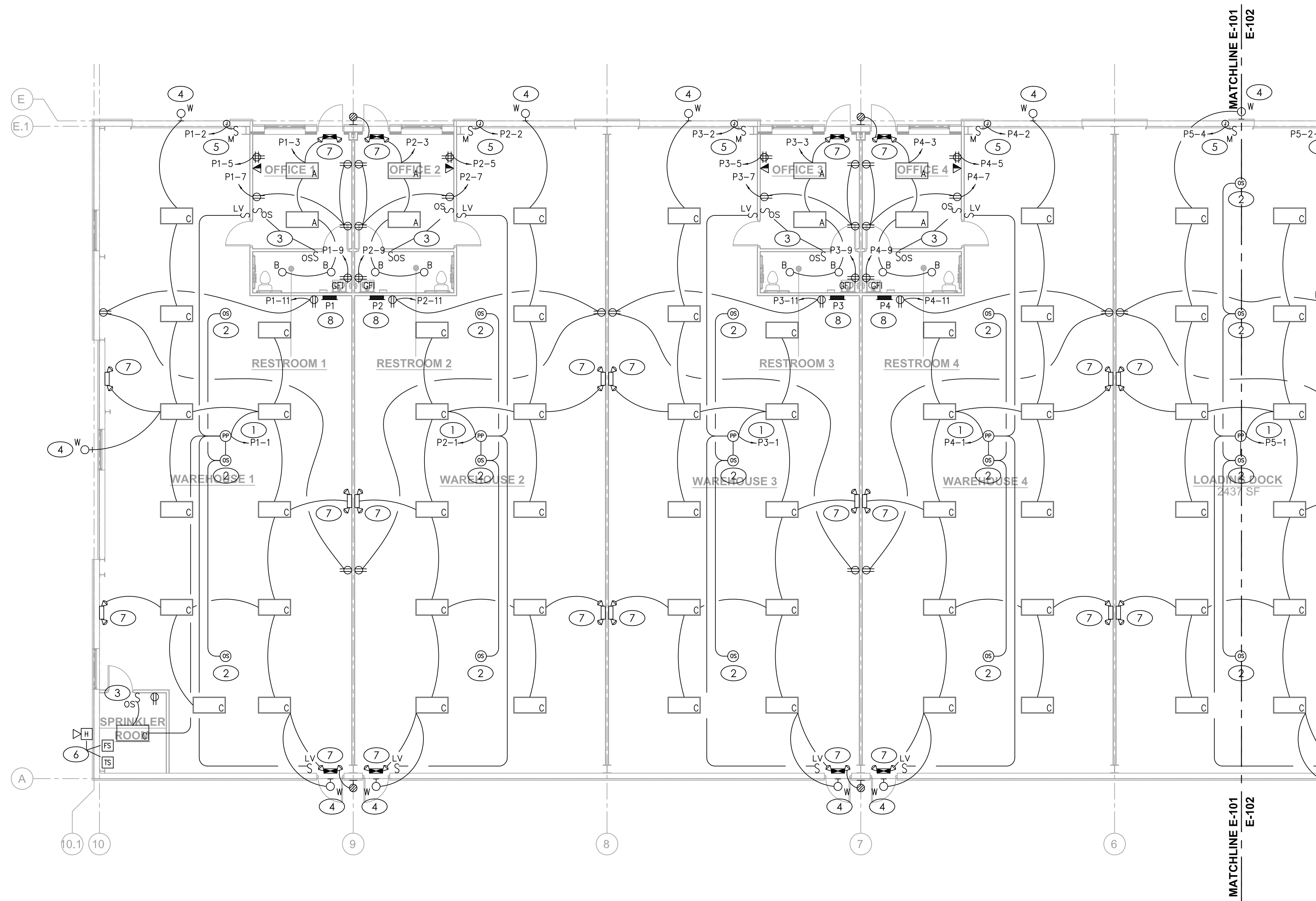
PHOTOMETRIC PLAN  
E-003

**GENERAL NOTES**

- A. DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL PLANS OR FIELD MEASUREMENTS FOR DIMENSIONS.
- B. ALL WORK SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES AND AMENDMENTS.
- C. ALL ROOF AND WALL PENETRATIONS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. PROVIDE ALL REQUIRED SLEEVES, FLASHINGS, CURBS, REINFORCED ANGLES, SUPPORTING FRAMES, ETC. UNLESS THEY ARE SPECIFICALLY CALLED OUT TO BE FURNISHED BY OTHERS.
- D. COORDINATE ALL WORK WITH OTHER TRADES AS REQUIRED TO PROPERLY INSTALL ALL SYSTEMS AS INTENDED, WITHIN THE CONFINES OF THE SPACE AVAILABLE, AND WITHOUT INTERFERENCES.
- E. THIS CONTRACTOR SHALL PERFORM ALL WORK INDICATED AND/OR AS REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE ELECTRICAL SYSTEMS.
- F. ALL WIRING SHALL BE IN APPROVED RACEWAY.
- G. WIRE SIZE SHALL BE MINIMUM #12 AWG, THWN SOLID COPPER UNLESS OTHERWISE NOTED. PROVIDE GROUND WIRE WHERE REQUIRED BY CODE. INCREASE WIRE SIZE TO COMPENSATE FOR VOLTAGE DROP WHERE TOTAL LENGTH OF ANY BRANCH EXCEEDS 100 FEET.
- H. MAXIMUM NUMBER OF UNGROUNDED WIRES IN ANY CONDUIT SHALL BE THREE. ADDITIONAL WIRES ARE ACCEPTABLE IF WIRE SIZE IS INCREASED TO ALLOW FOR DERATING PER CODE. PROVIDE ADDITIONAL WIRES FOR SWITCHING AS REQUIRED.
- I. REFER TO LIGHTING FIXTURE SCHEDULE ON E201 FOR LIGHT FIXTURE TYPES AND REQUIREMENTS.
- J. CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTING UNITS TO THE INDICATED CIRCUIT WITH A SEPARATE AND UN-SWITCHED CONDUCTOR BYPASSING ALL CONTROLS AND CONTACTORS. REFER TO MANUFACTURER'S WRITTEN INSTRUCTIONS FOR PROPER INSTALLATION AND TESTING.
- K. THE ELECTRICAL SYSTEM DESIGN IS BASED IN PART ON THE SPECIFIED HVAC EQUIPMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE EXACT LOCATIONS AND ELECTRICAL REQUIREMENTS OF ALL HVAC EQUIPMENT BEING FURNISHED. ANY CHANGES TO THE ELECTRICAL SYSTEM DUE TO HVAC EQUIPMENT SUBSTITUTIONS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- L. FIRE ALARM, AUDIO/VIDEO AND SURVEILLANCE SYSTEMS BY OTHERS.
- M. PROVIDE ALL ADDITIONAL EXTRA CONDUCTORS NEEDED FOR UNSWITCHED AND SWITCH LEGS AND TRAVELERS BETWEEN SWITCHES.
- N. REFER TO NATIONAL ACCOUNT LIGHTING FIXTURE SCHEDULE ON SHEET E203 FOR LIGHTING FIXTURE INFORMATION.

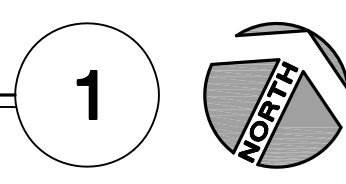
**# KEYED PLAN NOTES**

- 1. LIGHTING CONTROLS POWER PACK. SENSORWORX SWX-900 SERIES OR PRE-BID APPROVED EQUAL. PROVIDE AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- 2. LIGHTING CONTROLS CEILING MOUNTED OCCUPANCY SENSOR. SENSORWORX SWX-200 SERIES OR PRE-BID APPROVED EQUAL. PROVIDE AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- 3. OCCUPANCY SENSING WALL SWITCH. SENSORWORX SWX-100 SERIES OR PRE-BID APPROVED EQUAL. PROVIDE AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- 4. PHOTOCELL PROVIDED WITH FIXTURE TO CONTROL ONLY THE ASSOCIATED FIXTURE.
- 5. MAKE CONNECTION TO POWER AND CONTROLS FOR OVERHEAD COILING DOOR PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- 6. COORDINATE CONNECTION TO SPRINKLER SYSTEM WATERFLOW AND TAMPER SWITCHES AND NOTIFICATION HORN WITH SPRINKLER SYSTEM INSTALLER PRIOR TO CONSTRUCTION. MAKE CONNECTION PER MANUFACTURER'S RECOMMENDATIONS AND NFPA REQUIREMENTS.
- 7. CONNECT EMERGENCY/EXIT LIGHT VIA UNSWITCHED HOT CONDUCTOR.
- 8. NEW 225A FRAME/200A MCB, 208Y/120V, 3Φ, 4W, 42-POLE PANELBOARD. REFER TO SINGLE LINE DIAGRAM AND PANELBOARD SCHEDULES ON SHEET E-201 FOR MORE INFORMATION.



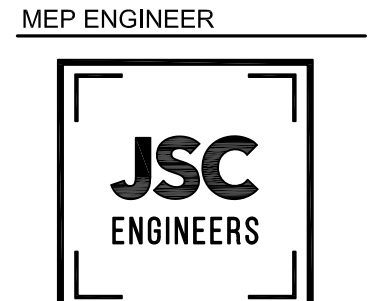
**LIGHTING AND POWER PLAN - WEST**

SCALE : 1/8" = 1'-0"



Certificates of Authority  
Architecture: MO 119 / KS 73  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 36

CLIENT  
DAVID WARD  
WARD DEVELOPMENT  
1120 EAGLE RIDGE BLVD  
GRAIN VALLEY, MO 64029  
david@safelyministorage.com



MEP ENGINEER



**LOT 10 LAKEWOOD  
BUSINESS PARK**  
LOT 10 I-470 BUSINESS PARK  
LEE'S SUMMIT, MO 64064

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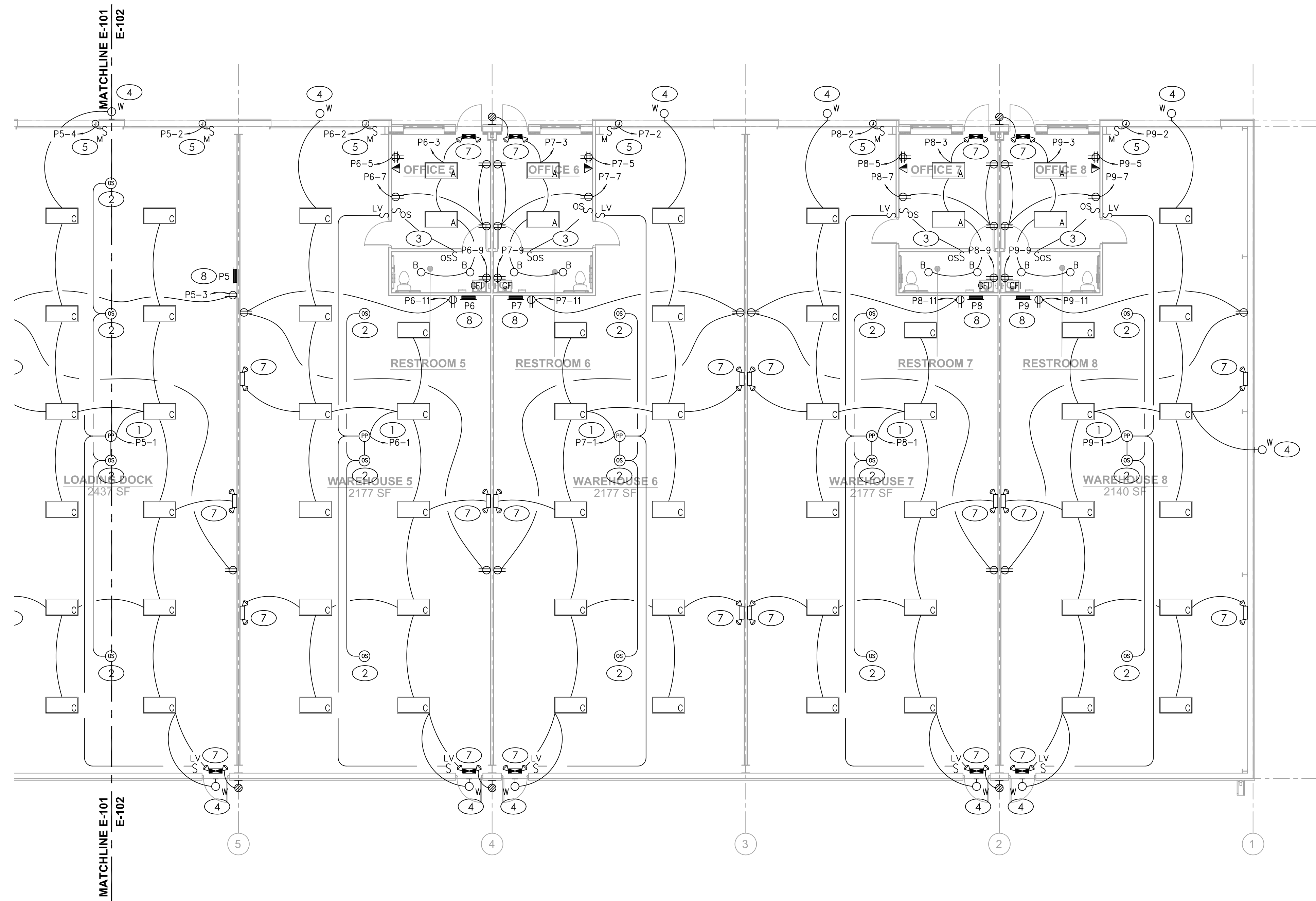
ELECTRICAL PLAN - WEST

**GENERAL NOTES**

- A. DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL PLANS OR FIELD MEASUREMENTS FOR DIMENSIONS.
- B. ALL WORK SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES AND AMENDMENTS.
- C. ALL ROOF AND WALL PENETRATIONS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. PROVIDE ALL REQUIRED SLEEVES, FLASHINGS, CURBS, REINFORCED ANGLES, SUPPORTING FRAMES, ETC. UNLESS THEY ARE SPECIFICALLY CALLED OUT TO BE FURNISHED BY OTHERS.
- D. COORDINATE ALL WORK WITH OTHER TRADES AS REQUIRED TO PROPERLY INSTALL ALL SYSTEMS AS INTENDED, WITHIN THE CONFINES OF THE SPACE AVAILABLE, AND WITHOUT INTERFERENCES.
- E. THIS CONTRACTOR SHALL PERFORM ALL WORK INDICATED AND/OR AS REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE ELECTRICAL SYSTEMS.
- F. ALL WIRING SHALL BE IN APPROVED RACEWAY.
- G. WIRE SIZE SHALL BE MINIMUM #12 AWG, THWN SOLID COPPER UNLESS OTHERWISE NOTED. PROVIDE GROUND WIRE WHERE REQUIRED BY CODE. INCREASE WIRE SIZE TO COMPENSATE FOR VOLTAGE DROP WHERE TOTAL LENGTH OF ANY BRANCH EXCEEDS 100 FEET.
- H. MAXIMUM NUMBER OF UNGROUNDED WIRES IN ANY CONDUIT SHALL BE THREE. ADDITIONAL WIRES ARE ACCEPTABLE IF WIRE SIZE IS INCREASED TO ALLOW FOR DERATING PER CODE. PROVIDE ADDITIONAL WIRES FOR SWITCHING AS REQUIRED.
- I. REFER TO LIGHTING FIXTURE SCHEDULE ON E201 FOR LIGHT FIXTURE TYPES AND REQUIREMENTS.
- J. CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTING UNITS TO THE INDICATED CIRCUIT WITH A SEPARATE AND UN-SWITCHED CONDUCTOR BYPASSING ALL CONTROLS AND CONTACTORS. REFER TO MANUFACTURER'S WRITTEN INSTRUCTIONS FOR PROPER INSTALLATION AND TESTING.
- K. THE ELECTRICAL SYSTEM DESIGN IS BASED IN PART ON THE SPECIFIED HVAC EQUIPMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE EXACT LOCATIONS AND ELECTRICAL REQUIREMENTS OF ALL HVAC EQUIPMENT BEING FURNISHED. ANY CHANGES TO THE ELECTRICAL SYSTEM DUE TO HVAC EQUIPMENT SUBSTITUTIONS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- L. FIRE ALARM, AUDIO/VIDEO AND SURVEILLANCE SYSTEMS BY OTHERS.
- M. PROVIDE ALL ADDITIONAL EXTRA CONDUCTORS NEEDED FOR UNSWITCHED AND SWITCH LEGS AND TRAVELERS BETWEEN SWITCHES.
- N. REFER TO NATIONAL ACCOUNT LIGHTING FIXTURE SCHEDULE ON SHEET E203 FOR LIGHTING FIXTURE INFORMATION.

**# KEYED PLAN NOTES**

- 1. LIGHTING CONTROLS POWER PACK. SENSORWORX SWX-900 SERIES OR PRE-BID APPROVED EQUAL. PROVIDE AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- 2. LIGHTING CONTROLS CEILING MOUNTED OCCUPANCY SENSOR. SENSORWORX SWX-200 SERIES OR PRE-BID APPROVED EQUAL. PROVIDE AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- 3. OCCUPANCY SENSING WALL SWITCH. SENSORWORX SWX-100 SERIES OR PRE-BID APPROVED EQUAL. PROVIDE AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- 4. PHOTOCELL PROVIDED WITH FIXTURE TO CONTROL ONLY THE ASSOCIATED FIXTURE.
- 5. MAKE CONNECTION TO POWER AND CONTROLS FOR OVERHEAD COILING DOOR PER MANUFACTURER'S RECOMMENDATIONS AND NEC REQUIREMENTS.
- 6. NOT USED ON THIS SHEET.
- 7. CONNECT EMERGENCY/EXIT LIGHT VIA UNSWITCHED HOT CONDUCTOR.
- 8. NEW 225A FRAME/200A MCB, 208Y/120V, 3Φ, 4W, 42-POLE PANELBOARD. REFER TO SINGLE LINE DIAGRAM AND PANELBOARD SCHEDULES ON SHEET E-201 FOR MORE INFORMATION.



**LIGHTING AND POWER PLAN - EAST** 1  
 SCALE : 1/8" = 1'-0"

**LOT 10 LAKEWOOD  
 BUSINESS PARK  
 LOT 10 I-470 BUSINESS PARK  
 LEE'S SUMMIT, MO 64064**

REVISIONS NO.	DATE	DESCRIPTION

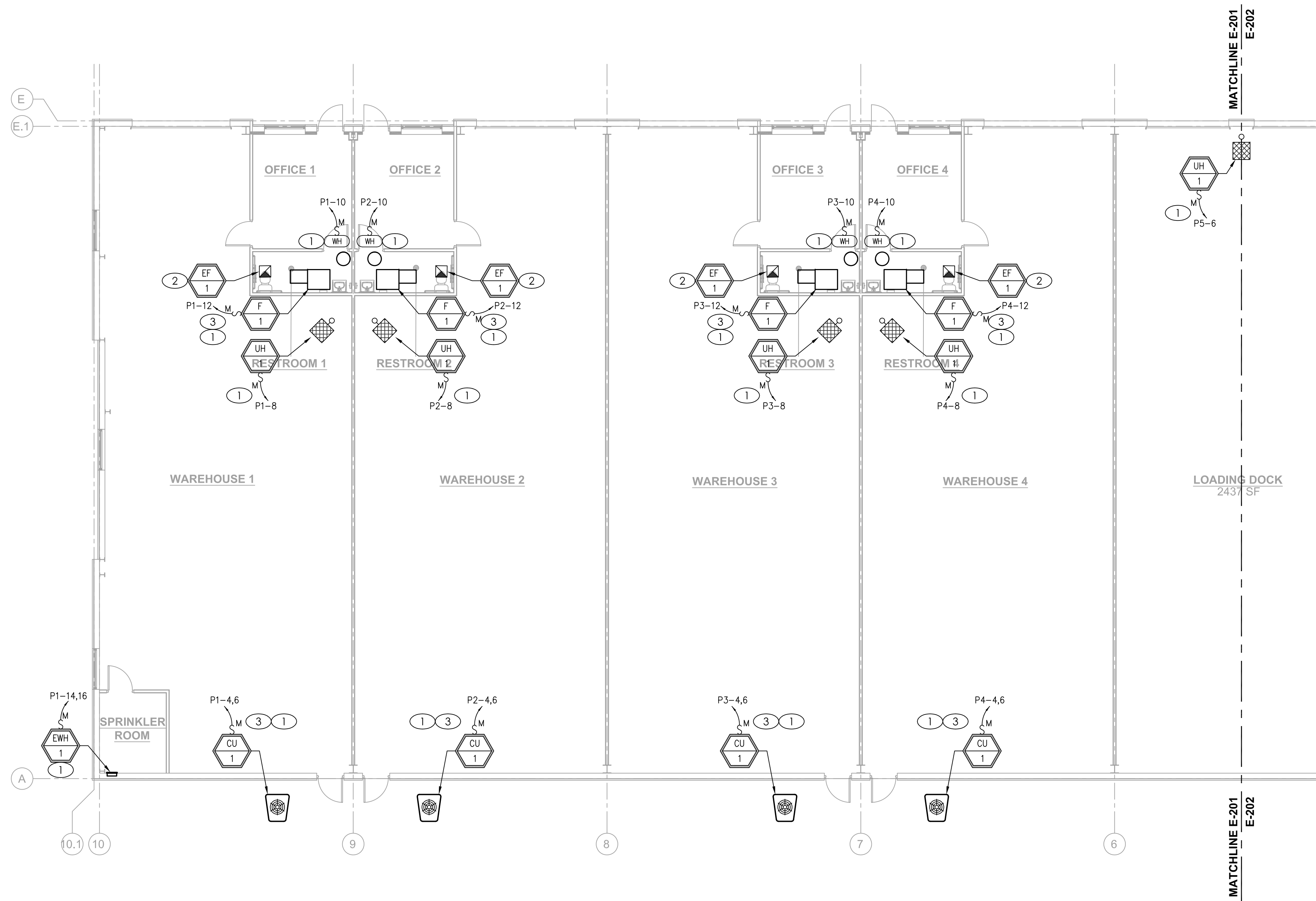
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 PERMIT

**GENERAL NOTES**

- A. DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL PLANS OR FIELD MEASUREMENTS FOR DIMENSIONS.
- B. ALL WORK SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES AND AMENDMENTS.
- C. ALL ROOF AND WALL PENETRATIONS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. PROVIDE ALL REQUIRED SLEEVES, FLASHINGS, CURBS, REINFORCED ANGLES, SUPPORTING FRAMES, ETC. UNLESS THEY ARE SPECIFICALLY CALLED OUT TO BE FURNISHED BY OTHERS.
- D. COORDINATE ALL WORK WITH OTHER TRADES AS REQUIRED TO PROPERLY INSTALL ALL SYSTEMS AS INTENDED, WITHIN THE CONFINES OF THE SPACE AVAILABLE, AND WITHOUT INTERFERENCES.
- E. THIS CONTRACTOR SHALL PERFORM ALL WORK INDICATED AND/OR AS REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE ELECTRICAL SYSTEMS.
- F. ALL WIRING SHALL BE IN APPROVED RACEWAY.
- G. WIRE SIZE SHALL BE MINIMUM #12 AWG, THWN SOLID COPPER UNLESS OTHERWISE NOTED. PROVIDE GROUND WIRE WHERE REQUIRED BY CODE. INCREASE WIRE SIZE TO COMPENSATE FOR VOLTAGE DROP WHERE TOTAL LENGTH OF ANY BRANCH EXCEEDS 100 FEET.
- H. MAXIMUM NUMBER OF UNGROUNDED WIRES IN ANY CONDUIT SHALL BE THREE. ADDITIONAL WIRES ARE ACCEPTABLE IF WIRE SIZE IS INCREASED TO ALLOW FOR DERATING PER CODE. PROVIDE ADDITIONAL WIRES FOR SWITCHING AS REQUIRED.
- I. REFER TO LIGHTING FIXTURE SCHEDULE ON E201 FOR LIGHT FIXTURE TYPES AND REQUIREMENTS.
- J. CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTING UNITS TO THE INDICATED CIRCUIT WITH A SEPARATE AND UN-SWITCHED CONDUCTOR BYPASSING ALL CONTROLS AND CONTACTORS. REFER TO MANUFACTURER'S WRITTEN INSTRUCTIONS FOR PROPER INSTALLATION AND TESTING.
- K. THE ELECTRICAL SYSTEM DESIGN IS BASED IN PART ON THE SPECIFIED HVAC EQUIPMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE EXACT LOCATIONS AND ELECTRICAL REQUIREMENTS OF ALL HVAC EQUIPMENT BEING FURNISHED. ANY CHANGES TO THE ELECTRICAL SYSTEM DUE TO HVAC EQUIPMENT SUBSTITUTIONS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- L. FIRE ALARM, AUDIO/VIDEO AND SURVEILLANCE SYSTEMS BY OTHERS.
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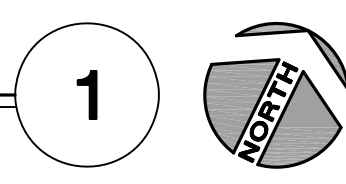
**# KEYED PLAN NOTES**

- 1. MAKE CONNECTION TO DIV 22/23 EQUIPMENT PER MANUFACTURER'S RECOMMENDATION AND NEC REQUIREMENTS. COORDINATE WORK WITH DIVISION 22/23 CONTRACTOR PRIOR TO CONSTRUCTION.
- 2. WIRE SO THAT ON/OFF OPERATION OF EXHAUST FAN COORDINATES WITH LIGHTING IN ROOM.
- 3. MAKE CONNECTION FROM INDOOR TO OUTDOOR UNIT PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE WORK WITH DIVISION 23 CONTRACTOR.



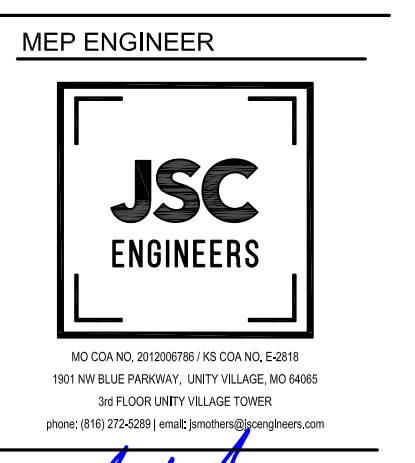
**EQUIPMENT POWER PLAN - WEST**

SCALE : 1/8" = 1'-0"



Certificates of Authority  
 Architecture: MO 119 / KS 73  
 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 36

CLIENT  
 DAVID WARD  
 WARD DEVELOPMENT  
 1120 EAGLE RIDGE BLVD  
 GRAIN VALLEY, MO 64029  
 david@saftyministorage.com



**LOT 10 LAKEWOOD  
 BUSINESS PARK  
 LOT 10 1-470 BUSINESS PARK  
 LEE'S SUMMIT, MO 64064**

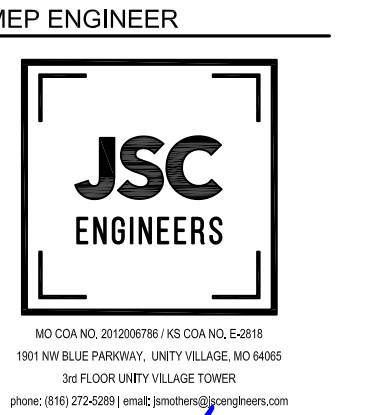
REVISIONS NO.	DATE / DESCRIPTION

PROJECT #: 21-049  
 ISSUE DATE: 06/11/2021  
 ISSUED FOR: PERMIT

ELECTRICAL EQUIPMENT  
 POWER PLAN - WEST

Certificates of Authority  
 Architecture: MO 119 / KS 73  
 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 36

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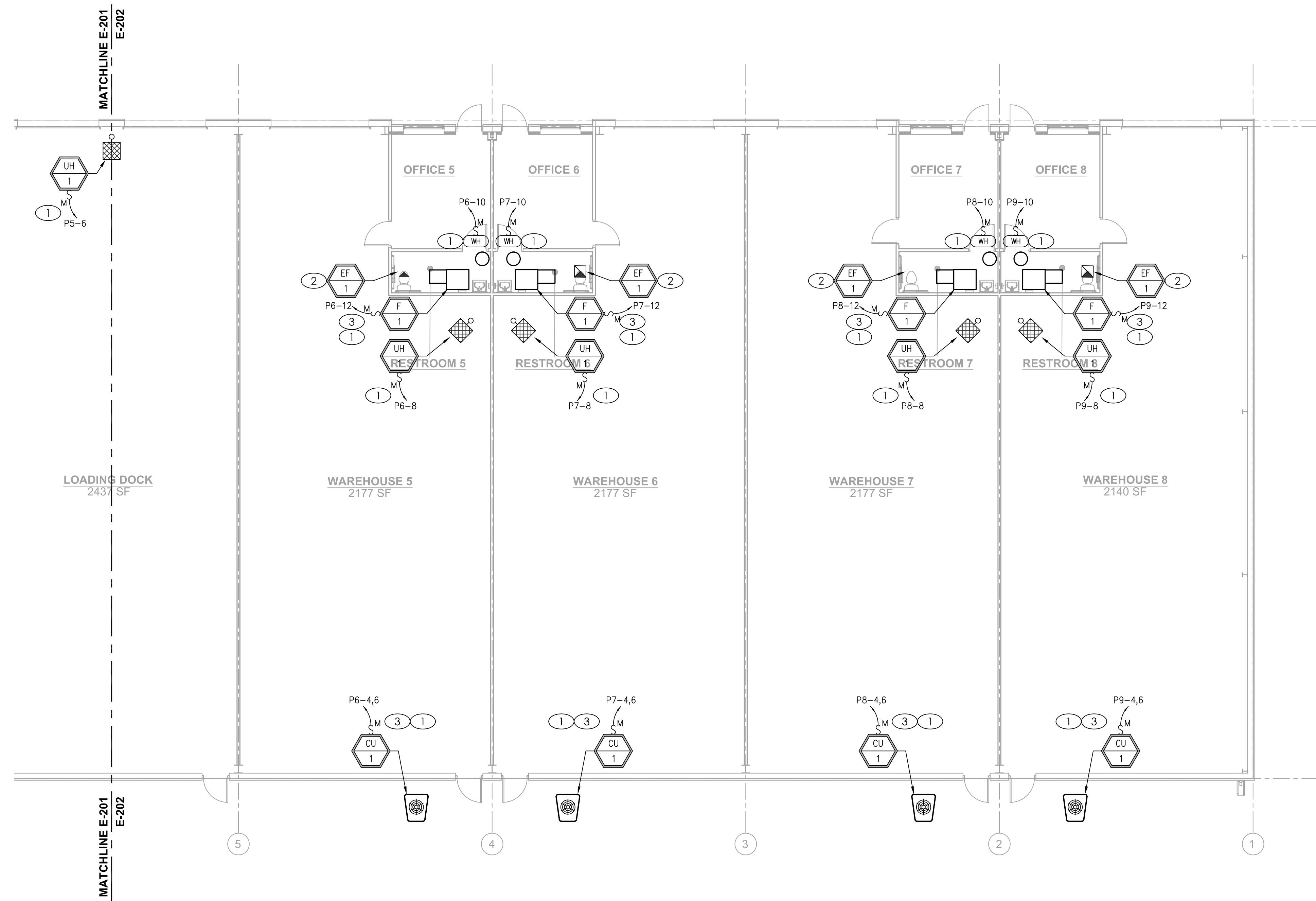
06-11-2021

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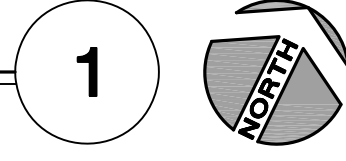
**# KEYED PLAN NOTES**

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**POWER PLAN - EAST**

SCALE : 1/8" = 1'-0"



REVISIONS	NO.	DATE	DESCRIPTION

PROJECT #: 21-049  
 ISSUE DATE: 06/11/2021  
 ISSUED FOR:  
 PERMIT

ELECTRICAL EQUIPMENT  
 POWER PLAN - EAST



Licenses of Authority  
 Architecture: MO 117 / KS 73  
 Engineering: MO 4 / KS 241  
 Land Surveying: MO 123 / KS 36

CLIENT  
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MEP ENGINEER  
**JSC**  
 ENGINEERS  
 MISSOURI REG. PROFESSIONAL ENGINEER NO. 01818  
 101 W. BLUE PAVEMENT, LEXINGTON, MO 64505  
 361.000.8871 | JSC@JSCENR.COM  
 Phone: 816.275.0285 | Email: jsc@jscenr.com

STATE OF MISSOURI  
 LUSTIN R. SMOTHERS  
 NUMBER  
 PE-2012003568  
 PROFESSIONAL ENGINEER  
 09-24-2021

**LOT 10 LAKEWOOD  
 BUSINESS PARK**  
 LOT 10 I-470 BUSINESS PARK  
 LEE'S SUMMIT, MO 64064

REVISIONS

NO.	DATE	DESCRIPTION
1.	09/24/2021	PHOTOMETRIC PLAN

PROJECT #: 21-049  
 ISSUE DATE: 06/11/2021  
 ISSUED FOR: PERMIT

ELECTRICAL SCHEDULES AND DIAGRAMS

### ELECTRICAL LIGHTING SCHEDULE (OR EQUAL, VERIFY ALL SELECTIONS AND FINISHES WITH OWNER AND ARCHITECT PRIOR TO ORDERING).

FIXTURE TYPE	MANUFACTURER		VOLT AMPS	MOUNTING	LAMP TYPE	REMARKS	VOLT
	NAME	SERIES					
A	LITHONIA	EPANL	31	RECESSED/GRID	INCLUDED 4000K LED	LED 2'X4' FLAT PANEL - 4000LM OUTPUT HIGH EFFICIENCY	MVOLT
B	LITHONIA	WF6	14	RECESSED	INCLUDED 2700K LED	WAFFER-STYLE 6" LED DOWNLIGHT	MVOLT
C	LITHONIA	CPHB 12LM MVOLT 40K	88	SUSPENDED	INCLUDED 4000K LED	COMPACT HIGH-BAY LED WAREHOUSE FIXTURE - 12000 LUMEN OUTPUT	MVOLT
W	LITHONIA	WDGE3	59	WALL	INCLUDED 4000K LED	EXTERIOR WALL PACK - P2 PACKAGE - PROVIDE WITH 'PE' PHOTOCELL OPTION	MVOLT
Ⓔ	LITHONIA	ELM2L-SDRT	5	SURFACE	INCLUDED LED	EMERGENCY EGRESS LIGHTING UNIT WITH 90 MIN. BATTERY PACK	120
Ⓔ	LITHONIA	LHQM-LED-R-SD	5	SURFACE	INCLUDED LED	EMERGENCY EXIT EGRESS COMBO LIGHTING UNIT WITH RED FACE EXIT SIGN AND 90 MIN. BATTERY PACK	120
Ⓔ	LITHONIA	ELA-B-T-QWP-L0309-SD	5	SURFACE	INCLUDED LED	OUTDOOR EMERGENCY REMOTE EGRESS LIGHTING UNIT	120

**PANELBOARD: P5 (NEW)**  
 BUS AMPS: 225A  
 MAIN SIZE/TYPE: 200A MCB  
 VOLTS/PHASE: 208Y/120V, 3PH, 4W  
 SECTION: 1

FED FROM: SERVICE ENTRANCE  
 AIC RATING: 42000 FULLY RATED  
 SERVES: TENANT SPACE  
 MOUNTING: SURFACE  
 LOCATION: WAREHOUSE

LINE-SIDE LUGS: MECHANICAL  
 EQUIPMENT GROUND BUS

CKT NO.	DESCRIPTION	VOLTAMPS/PHASE			WIRE NO.	BKR AMP	P	BKR AMP	WIRE NO.	VOLTAMPS/PHASE			DESCRIPTION	CKT NO.
		A	B	C						A	B	C		
1	LTG - WAREHOUSE	880			12	20	1	1	20	12	1,000			2
3	RCPT - WAREHOUSE GEN		720		12	20	1	1	20	12	1,000			4
5	SPARE				20	1	1	20	12			600		6
7	SPARE				20	1	1	20						8
9	SPARE				20	1	1	20						10
11	SPARE				20	1	1	20						12
13	SPARE				20	1	1	20						14
15	SPARE				20	1	1	20						16
17	SPARE				20	1	1	20						18
19	SPARE				20	1	1	20						20
21	PROVISIONAL SPACE						1	1						22
23	PROVISIONAL SPACE						1	1						24
25	PROVISIONAL SPACE						1	1						26
27	PROVISIONAL SPACE						1	1						28
29	PROVISIONAL SPACE						1	1						30
31	PROVISIONAL SPACE						1	1						32
33	PROVISIONAL SPACE						1	1						34
35	PROVISIONAL SPACE						1	1						36
37	PROVISIONAL SPACE						1	1						38
39	LTG - SITE 1		140		10	20	1	1	20	10		105		40
41	LTG - SITE 2													42
SUBTOTAL		880	880	740							1,000	1,105	705	

TOTAL PHASE A - VA	LOAD	CONN. VA	DF	LOAD	CONN. VA	DF
1,880	COOLING	0	0	REFRIG	1.00	
AMPS 16	HEATING	600	1.00	SIGN/DISP	1.25	
TOTAL PHASE B - VA	LIGHTING	1,370	1.25	KITCHEN	1.00	
AMPS 16	RECEPTACLES	720	1.0/5	EXISTING	1.00	
TOTAL PHASE C - VA	MOTORS	2,000	1.00	LRG MOTOR	1.25	
AMPS 7	SUPP HEAT	1.00	1.00	SHOW WNDW	1.25	
TOTAL PNLBD - VA	MSC EQUIP	1.00	1.00	LTG TRACK	1.00	
AMPS 13						
TOTAL DEMAND						5,033 VA
						14 A

PANELBOARD NOTES

**PANELBOARD: P1,2,3,4,6,7,8,9 (NEW)**  
 BUS AMPS: 225A  
 MAIN SIZE/TYPE: 200A MCB  
 VOLTS/PHASE: 208Y/120V, 3PH, 4W  
 SECTION: 1

FED FROM: SERVICE ENTRANCE  
 AIC RATING: 42000 FULLY RATED  
 SERVES: TENANT SPACE  
 MOUNTING: SURFACE  
 LOCATION: WAREHOUSE

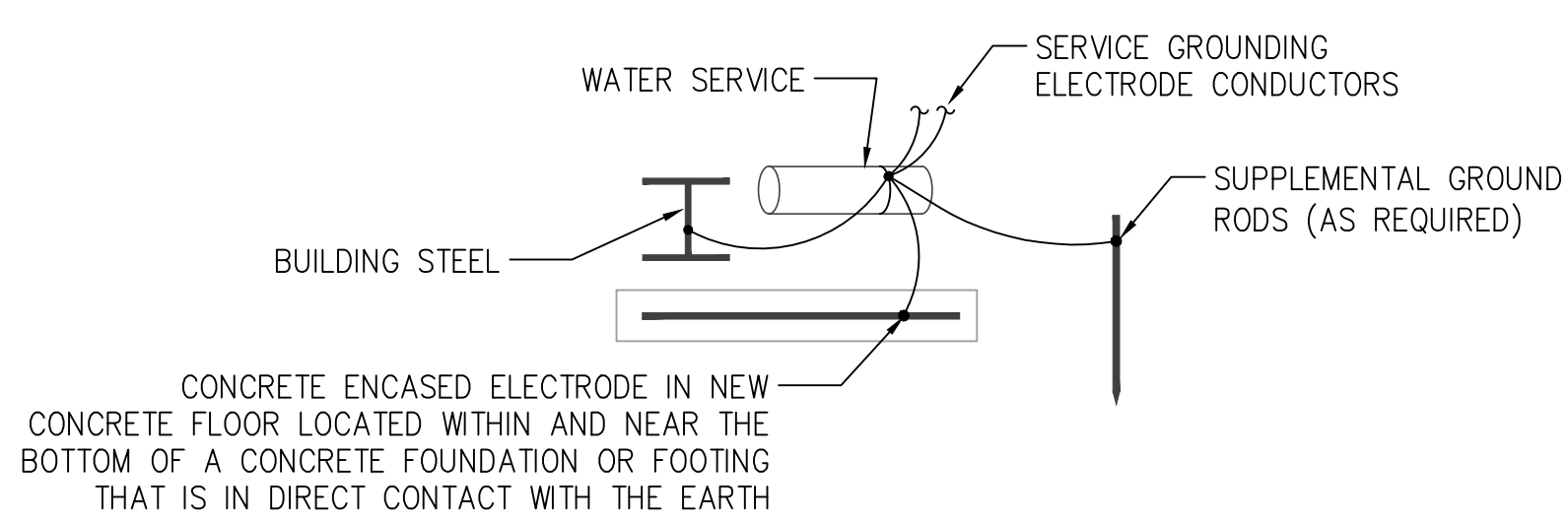
LINE-SIDE LUGS: MECHANICAL  
 EQUIPMENT GROUND BUS

CKT NO.	DESCRIPTION	VOLTAMPS/PHASE			WIRE NO.	BKR AMP	P	BKR AMP	WIRE NO.	VOLTAMPS/PHASE			DESCRIPTION	CKT NO.
		A	B	C						A	B	C		
1	LTG - WAREHOUSE	851			12	20	1	1	20	12	1,000			2
3	LTG - OFFICE/RR		76		12	20	1	1	30	10	1,987			4
5	RCPT - OFFICE QUAD			360	12	20	1	1				1,987		6
7	RCPT - OFFICE GEN	540			12	20	1	1	20	12	600			8
9	RCPT - RR GFI		180		12	20	1	1	20	12	1,650			10
11	RCPT - WAREHOUSE GEN			720	12	20	1	1	15	12		924		12
13	SPARE				20	1	1	20	30	10	1,500			14
15	SPARE				20	1	1	20			1,500			16
17	SPARE				20	1	1	20						18
19	SPARE				20	1	1	20						20
21	PROVISIONAL SPACE						1	1						22
23	PROVISIONAL SPACE						1	1						24
25	PROVISIONAL SPACE						1	1						26
27	PROVISIONAL SPACE						1	1						28
29	PROVISIONAL SPACE						1	1						30
31	PROVISIONAL SPACE						1	1						32
33	PROVISIONAL SPACE						1	1						34
35	PROVISIONAL SPACE						1	1						36
37	PROVISIONAL SPACE						1	1						38
39	PROVISIONAL SPACE						1	1						40
41	PROVISIONAL SPACE						1	1						42
SUBTOTAL		1,391	256	1,080							3,100	5,137	2,911	

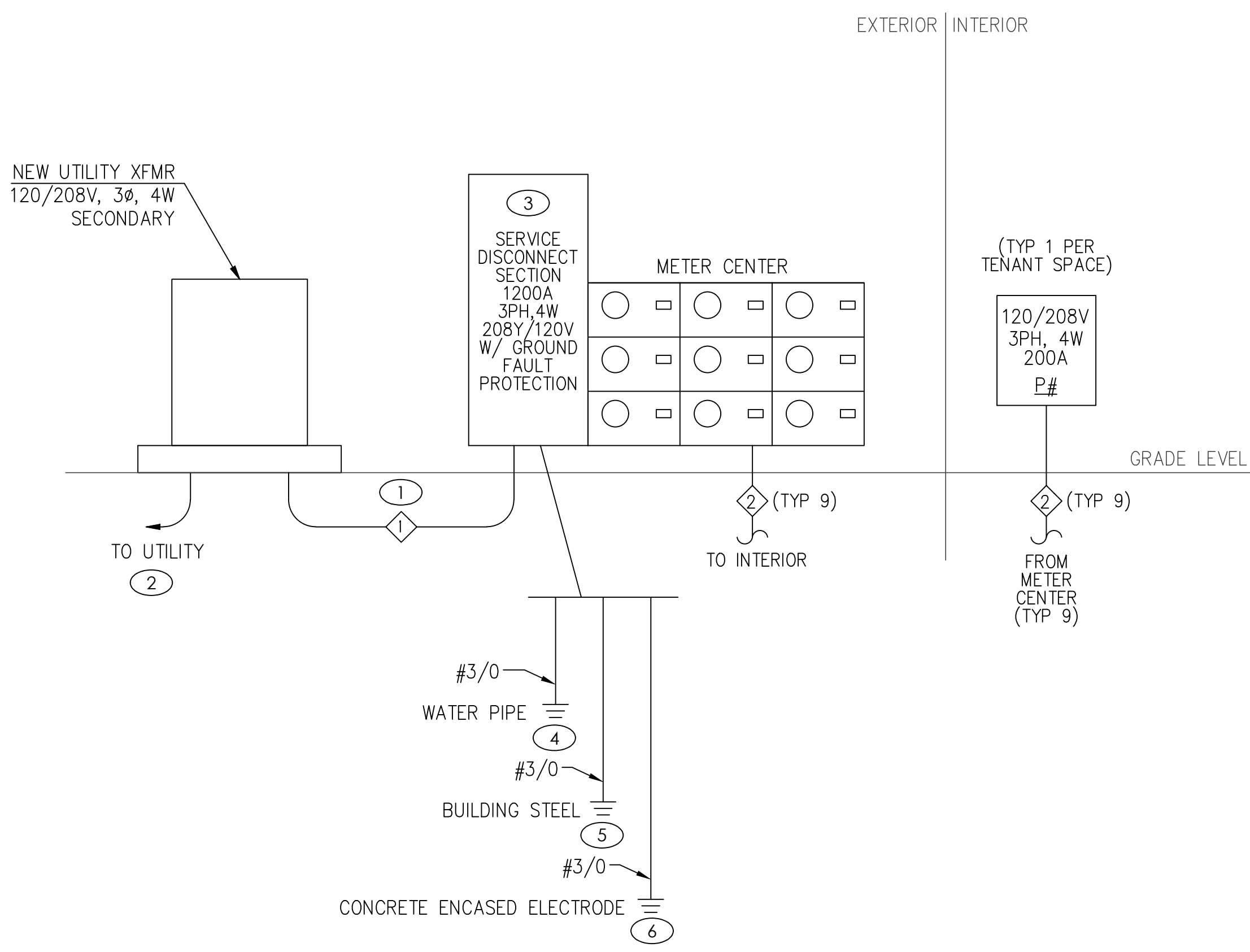
TOTAL PHASE A - VA	LOAD	CONN. VA	DF	LOAD	CONN. VA	DF
4,491	COOLING	2,772	0	REFRIG	1.00	
AMPS 37	HEATING	5,250	1.00	SIGN/DISP	1.25	
TOTAL PHASE B - VA	LIGHTING	927	1.25	KITCHEN	1.00	
AMPS 45	RECEPTACLES	1,800	1.0/5	EXISTING	1.00	
TOTAL PHASE C - VA	MOTORS	1,924	1.00	LRG MOTOR	1.25	
AMPS 33	SUPP HEAT	1.00	1.00	SHOW WNDW	1.25	
TOTAL PNLBD - VA	MSC EQUIP	1,202	1.00	LTG TRACK	1.00	
AMPS 39						
TOTAL DEMAND						11,335 VA
						31 A

PANELBOARD NOTES  
 SCHEDULE IS TYPICAL FOR PANELBOARDS "P#" LISTED

**ELECTRICAL PANEL SCHEDULES**  
 SCALE : NO SCALE



**GROUNDING ELECTRODE SYSTEM DIAGRAM**  
 SCALE : NO SCALE



**ELECTRICAL SINGLE LINE DIAGRAM**  
 SCALE : NO SCALE

**FEEDER SCHEDULE**

FEEDER NUMBER	CONDUIT AND CONDUCTOR SIZES
1	(4) 4" EA W/ 4 #500KCM AL
2	(1) 2" W/ 4 #3/0 CU & #6 CU GND

THE DESIGN PROFESSIONAL HAS PERFORMED ALL THE REQUIRED VOLTAGE DROP CALCULATIONS FOR ALL BRANCH CIRCUITS AND FEEDERS PER THE NATIONAL ELECTRICAL CODE, ARTICLE 210.19(A)(1) FPN NO. 4.

THE DESIGN PROFESSIONAL HAS PERFORMED ALL THE REQUIRED SHORT CIRCUIT CALCULATIONS AND THE AIC RATING INDICATED FOR EACH DEVICE IS ADEQUATE TO PROTECT THE EQUIPMENT AND THE ELECTRICAL SYSTEM.

- KEYED SLD NOTES**
- PROVIDE NEW CONDUCTORS TO UTILITY SOURCE. VERIFY EXACT LOCATION AND REQUIREMENTS WITH UTILITY PRIOR TO ROUGH-IN.
  - CONTRACTOR TO PROVIDE AND INSTALL TWO 4" PVC CONDUITS FOR SERVICE PRIMARY TO LOCATION DETERMINED BY UTILITY.
  - NEW DISCONNECT WITH GROUND FAULT PROTECTION PER UTILITY REQUIREMENTS.
  - PROVIDE NEW GROUND PER NEC 250.52(A)(1).
  - PROVIDE NEW GROUND PER NEC 250.52(A)(2).
  - PROVIDE NEW GROUND PER NEC 250.52(A)(3).