GENERAL NOTES

- MAINTAIN ACCESS TO EXISTING WALKWAYS, CORRIDORS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT WALKWAYS, CORRIDORS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM TENANT.
- DEFINITIONS:
- REMOVE AND DISCARD: DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE.
- REMOVE AND SALVAGE: DETACH ITEMS FROM EXISTING CONSTRUCTION ND TURN OVER TO TENANT UNDAMAGED.
- RELOCATE: DETACH ITEMS FROM EXISTING CONSTRUCTION, MOVE ITEMS TACT AND UNDAMAGED, AND REINSTALL THEM WHERE INDICATED.
- EXISTING TO REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT BE REMOVED, BUT ARE TO REMAIN IN PLACE AND BE UNDAMAGED. REMOVE AND RECLAIM: DETACH ITEMS FROM EXISTING CONSTRUCTION. AT CONTRACTORS OPTION ITEM MAY BE REUSED AS PART OF NEW WORK. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO INVENTORY ITEMS TO DETERMINE IF ITEMS WILL FUNCTION AND APPEAR LIKE THE NEW ITEMS
- SPECIFIED AND CALLED OUT ON THESE DOCUMENTS. IF ITEMS ARE REUSED, CONTRACTOR IS TO CLEAN, REPAIR, OR OTHERWISE BRING ITEMS TO LIKE NEW CONDITION. MODIFY REUSED ITEMS AS REQUIRED AND SUPPLEMENT WITH MATERIALS, AND INCIDENTALS NECESSARY TO EXECUTE A COMPLETE MORKMANLIKE JOB. IF CONTRACTOR CHOOSES TO NOT REUSE ITEM, LEGALLY DISPOSE OF ITEM OFF-SITE AND REPLACE WITH NEW TO MATCH EXISTING.
- PROVIDE: THE MEANING OF THE WORD "PROVIDED" INCLUDES, BUT IS NOT LIMITED TO, FURNISHED, DELIVERED, INSTALLED, FINISHED, MADE FULLY OPERABLE AND COMPLETE. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL WORK DESCRIBED IN THESE DOCUMENTS IS TO BE PROVIDED BY THE CONTRACTOR.
- CONTRACTOR IS TO INCLUDE AS PART OF HIS SCOPE ALL CUTTING AND PATCHING REQUIRED THROUGH CAREFUL EVALUATION OF THE EXISTING SITE AND THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL COORDINATE THE CUTTING AND PATCHING OF EXISTING CONSTRUCTION NECESSARY TO PERMIT INSTALLATION OR PERFORMANCE OF THE WORK INDICATED IN THESE CONSTRUCTION DOCUMENTS. SAW-CUT CONC. SLAB AS REQUIRED FOR UTILITIES, FOR EQUIPMENT AND SINKS. VERIFY ROUTE AND TRENCH DEPTH IN FIELD. PATCH BACK WITH MATCHING SLAB THICKNESS OVER SAME MATERIAL, COMPACT UNDERLYING MATERIALS TO MEET BEST PRACTICES. DOWEL NEW TO EXISTING WITH #4 REBAR AT 30" OC.
- WHERE WALLS, CASEWORK, FINISHES, EQUIPMENT OR OTHER ITEMS AND CONSTRUCTIONS HAVE BEEN REMOVED EXPOSING UNDERLYING WALL AND/OR FLOOR SURFACES, SUCH SURFACES ARE TO BE PATCHED AND REPAIRED AS REQUIRED TO ACCEPT NEW FINISHES. ALL HOLES, DAMAGES, DEFECTS, ETC. IN EXISTING SURFACES ARE TO BE PATCHED TO MATCH EXISTING CONDITIONS.
- EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE BASED UPON BASE BUILDING OR OTHER CONSTRUCTION DOCUMENTS MADE AVAILABLE TO THE DESIGNER BY THE BUILDING MANAGEMENT. ALL AS-BUILT ARCHITECTURAL CONDITIONS HAVE NOT BEEN FIELD VERIFIED AND MAY VARY FROM THOSE
- PRIOR TO BID: FIELD VERIFY ALL EXISTING CONSTRUCTION TO REMAIN AND INCLUDE COSTS FOR REPAIR AND RECONDITION OF ALL EXISTING

ELECTRICAL NOTES

- CONSTRUCTION TO REMAIN SO THAT IT MEETS THE AESTHETIC AND FUNCTIONAL STANDARD OF QUALITY FOR NEW CONSTRUCTION. BLEND AND MATCH EXISTING CONSTRUCTION WITH NEW CONSTRUCTION PRIOR TO BID. ADVISE TENANT OF ANY CONDITIONS WHICH CANNOT BE REPAIRED OR RECONDITIONED, BLENDED AND MATCHED. NOTE CONTRACT DOCUMENT REQUIREMENTS FOR EXISTING CONSTRUCTION AND INCLUDE COSTS FOR THIS WORK IN BID PROPOSAL.
- THE GENERAL CONTRACTOR SHALL, IN THE BIDDING PROCESS, REQUIRE THAT MECHANICAL AND ELECTRICAL SUBCONTRACTORS MAKE A THOROUGH FIELD INSPECTION OF AS-BUILT CONDITIONS OF EXISTING SYSTEMS. AFTER SUCH FIELD VERIFICATION HAS BEEN COMPLETED, THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PROVIDE IN THEIR BIDS, ANY MODIFICATIONS TO THE EXISTING SYSTEMS WHICH MAY BE REQUIRED TO ACCOMMODATE THE PROPOSED REQUIREMENTS FOR THIS TENANT. IF A DETERMINATION OF SUCH MODIFICATIONS CANNOT BE MADE, THE GENERAL CONTRACTOR SHALL NOTIFY THE TENANT, AND AT THE DIRECTION OF THE TENANT, PROVIDE AN AGREED UPON ALLOWANCE TO COVER SUCH WORK.
- COMMENCING WORK BY A CONTRACTOR OR SUBCONTRACTOR CONSTITUTES ACCEPTANCE OF THE UNDERLYING CONDITIONS AND SURFACES. PRIOR TO PROCEEDING WITH THE WORK, PREPARE EXISTING AND NEW UNDERLYING CONDITIONS AND SUBSTRATE TO COMPLY WITH THE CONTRACT DOCUMENTS, INDUSTRY STANDARDS AND MANUFACTURER'S RECOMMENDATION.
- 9. FIELD VERIFY ALL ROUGH OPENINGS AND WALL WIDTHS PRIOR TO ORDERING OR FABRICATION OF MATERIALS.
- 10. DIMENSIONS ARE NOMINAL AND TO THE FACE OF PARTITIONS
- 11. CLEAN-UP OF RUBBISH AND DEBRIS RESULTING FROM DEMOLITION AND NEW WORK SHALL BE COLLECTED REGULARLY FROM PROJECT SITE AND LEGALLY
- 12. ALL WEATHER EXPOSED SURFACES SHALL HAVE A MEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM
- 13. BUILDING ADDRESS NUMBERS TO BE PROVIDED ON THE FRONT AND STREET SIDE OF THE BUILDING. SAID NUMBERS SHALL BE A MIN. OF 7" HIGH WITH 1" WIDE STROKES CONTRASTING WITH THEIR BACKGROUND
- CONTRACTORS ARE RESPONSIBLE FOR ALL MATERIALS AND QUANTITIES SHOWN IN THESE DRAWINGS GRAPHICALLY AS WELL AS THOSE CALLED FOR BY NOTE
- 15. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO COMPLETE THE PROPOSED WORK AND SHALL COMPLY WITH ALL LOCAL, STATIC, AND FEDERAL REGULATIONS
- 16. THE TENANT OR THE TENANT'S DESIGNATED REPRESENTATIVE WILL PROVIDE SERVICES IN CONNECTION WITH ADMINISTRATION OF THE CONTRACT
- 17. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS OF THE GOVERNING AGENCIES

f. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A

DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF

INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN

STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE

HAVING JURISDICTION

- 18. THE CONTRACTOR MUST TAKE ADEQUATE CARE TO PROTECT ALL AREAS OF THE BUILDING WHERE THE WORK OF THIS PROJECT IS LOCATED AS WELL AS THE AREAS ADJACENT TO THE AREA OF THE WORK OF THIS PROJECT SO AS TO PREVENT DAMAGE TO LIFE OR PROPERTY AS A RESULT OF THIS
- 19. ONLY MATERIALS THAT ARE NEW, UNUSED, FREE FROM DEFECTS, AND THE BEST OF THEIR RESPECTIVE KINDS SHALL BE USED. THE BASIS OF QUALITY SHALL BE THE LATEST STANDARDS OF ASTM, ASA OR ASHRA
- 20. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES INCLUDING THOSE OF THE TENANT WHO MAY BE ENGAGED UNDER A SEPARATE
- 21. INSTALL ALL WORK IN SUCH A MANNER AS TO BE READILY ACCESSIBLE FOR OPERATION, MAINTENANCE AND/OR REPAIRS
- 22. ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE TENANT BEFORE BEING TURNED OVER FOR USE
- 23. A COPY OF THE LATEST SET OF CONSTRUCTION DOCUMENTS SHALL BE KEPT AT THE JOB SITE AT ALL TIMES
- 24. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL KEEP ACCURATE RECORDS OF ANY MODIFICATION OR DEVIATIONS FROM THE CONTRACT
- 25. PROJECT CLOSE OUT DOCUMENTS SHALL BE PROVIDED TO THE TENANT. INCLUDE AS-BUILT DRAWINGS, WARRANTY/MAINTENANCE MANUALS AND TESTING AND SUPERVISION AS REQUIRED. PRESERVE ALL PRINTED INSTRUCTIONS AND WARRANTIES THAT ARE PROVIDED WITH EQUIPMENT OR MATERIALS USED, AND DELIVER SAID PRINTED MATTER TO THE TENANT AT THE TIME OF SUBSTANTIAL COMPLETION. IF REQUESTED BY THE TENANT, INSTRUCT THE MANAGEMENT IN THE PROPER USE AND MAINTENANCE OF ALL ITEMS OF WORK PROVIDED.
- 26. PROVIDE WORK IN ACCORDANCE WITH THE MANUFACTURE'S RECOMMENDATION, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT. PROVIDE ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR PROPER INSTALLATION OF THE
- 27. ALL WORK SHALL BE WARRANTED BY THE CONTRACTOR TO BE SATISFACTORY, IN MATERIALS AND WORKMANSHIP, FOR A MINIMUM PERIOD OF ON (1) YEAR, OR FOR THE PERIOD OF WARRANTY CUSTOMARY, SPECIFIED FOR, THE TRADE, CRAFT OR PRODUCT, WHICHEVER IS LONGER.
- 28. SUBMIT REQUESTS FOR SUBSTITUTIONS OF SPECIFIED ITEMS IN WRITING, ACCOMPANIED BY THE ALTERNATIVE PRODUCT INFORMATION, TO THE TENANT. SUBSTITUTIONS MAY BE CONSIDERED ONLY IF THEY DO NOT SACRIFICE QUALITY, APPEARANCE AND FUNCTION. ACCEPTANCE OF SUBSTITUTIONS IS AT THE SOLE DISCRETION OF THE TENANT.

PLUMBING NOTES

- ELECTRICAL CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT FOR WORK ON A DESIGN BUILD BASIS, ALL MIRE, MIREMAY, CONDUIT, CONNECTORS, OUTLETS. ETC. NECESSARY TO ACHIEVE A COMPLETE ELECTRICAL INSTALLATION. EXACT LOCATIONS AND QUANTITIES OF ELECTRICAL OUTLETS AND JUNCTION BOXES ARE TO BE COORDINATED WITH THE EQUIPMENT AND ACCESSORY SCHEDULE, THE TENANT'S EQUIPMENT SUPPLIER AND WITH TENANT. WHERE AN ELECTRICAL DEVICE IS REQUIRED BY CODE BUT NOT REQUESTED BY TENANT, IT SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. COORDINATE AND PROVIDE ELECTRICAL WORK REQUIRED BY OTHER TRADES. ALL LABOR, TOOLS, MATERIALS, EQUIPMENT SHALL BE PROVIDED AS NECESSARY TO PROVIDE AND INSTALL A COMPLETE SYSTEM. ALL WORK SHALL BE PER 2011 NEC.
- ALL ELECTRICAL, LIGHT AND POWER WIRE SHALL NOT BE SMALLER THAN 12 AMG. ALL LIGHTING AND POWER WIRING 10 AMG AND SMALLER SHALL BE SOLID. ALL CONDUCTORS SHALL BE COPPER ONLY. NO ALUMINUM IS
- ALL CONDUITS SHALL BE SIZED IN ACCORDANCE WITH THE LATEST NEC TABLES. MINIMUM CONDUIT SIZE SHALL BE 1/2". ALL CONDUIT IN AND UNDER FLOOR SLAB SHALL BE SCHEDULE 40 PVC.
- ALL POWER WIRING IN EXPOSED AREAS AND ABOVE ACCESSIBLE CIELINGS SHALL BE IN EMT CONDUIT. MC CABLE AND ARMORED CABLE ARE ALSO ALLOMABLE IN WALLS WHERE CONDUITS ARE NOT EXPOSED.
- ELECTRICAL CONTRACTOR SHALL CIRCUIT FIXTURES AND SHALL PROVIDE AND INSTALL CIRCUIT DIRECTORY WITH TYPED CIRCUIT DESIGNATION CARD UNDER PLASTIC COVER ON THE INSIDE OF EACH PANEL DOOR. ELECTRICAL CONTRACTOR SHALL ALSO FURNISH AND INSTALL NAMEPLATES ON ALL DISCONNECT SMITCHES AND PANELBOARDS.
- ALL CONDUIT, JUNCTION BOXES, ETC. ABOVE CEILINGS SHALL BE SUPPORTED FROM STRUCTURE.
- LIGHTING IS TO BE CIRCUITED SEPARATE FROM ALL OTHER DEVICES. ALL NEW LIGHTING IS TO BE UL LISTED. ALL LIGHTING IS TO BE SWITCHED. COORDINATE SMITCH LOCATIONS WITH TENANT.
- ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN THE LOCATIONS SPECIFIED IN 210.8(B)(1) THROUGH (8) SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL.
- (1) BATHROOMS
- (2) KITCHENS (3) ROOFTOPS
- (4) OUTDOORS (5) SINKS - WHERE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE
- OUTSIDE EDGE OF THE SINK. (6) INDOOR WET LOCATIONS

LIGHTING EQUIPMENT ARE TO BE USED.

- (7) LOCKER ROOMS WITH ASSOCIATED SHOWERING FACILITIES (8) GARAGES, SERVICE BAYS, AND SIMILAR AREAS WHERE ELECTRICAL DIAGNOSTIC EQUIPMENT, ELECTRICAL HAND TOOLS, OR PORTABLE
- ILLUMINATION REQUIRED. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL
- AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS: a. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES
- THAT REQUIRE TWO OR MORE MEANS OF EGRESS. b. CORRIDORS, INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEMAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
- c. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THEIR LEVELS OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE

d. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1027.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. e. EXTERIOR LANDINGS AS REQUIRED BY SECTION 1008.1.6 FOR EXIT

ILLUMINATION LEVEL UNDER EMERGENCY POWER, EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOTCANDLE (11LUX) AND A MINIMUM AT ANY POINT

(B) INSULATED EQUIPMENT GROUNDING CONDUCTOR.

ACCORDANCE WITH SECTION 604.

- OF 0.1 FOOTCANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOTCANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOTCANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.
- 11. PATIENT CARE AREAS TO INCLUDE ALL CHAIR ROOMS AS WELL AS PANO. WIRING IN PATIENT CARE AREAS SHALL COMPLY WITH 2017 NEC 517.13(A) AND
- (A) WIRING METHODS. ALL BRANCH CIRCUITS SERVING PATIENT CARE AREAS SHALL BE PROVIDED WITH AN EFFECTIVE GROUND-FAULT CURRENT PATH BY INSTALLATION IN A METAL RACEWAY SYSTEM, OR A CABLE HAVING A METALLIC ARMOR OR SHEATH ASSEMBLY. THE METAL RACEMAY SYSTEM, OR METALLIC CABLE ARMOR, OR SHEATH ASSEMBLY SHALL ITSELF QUALIFY AS AN EQUIPMENT GROUNDING CONDUCTOR IN ACCORDANCE WITH 250.118.
- (1) GENERAL. THE FOLLOWING SHALL BE DIRECTLY CONNECTED TO AN INSULATED COPPER EQUIPMENT GROUNDING CONDUCTOR THAT IS INSTALLED WITH THE BRANCH CIRCUIT CONDUCTORS IN THE WIRING METHODS AS PROVIDED IN 517.13(A). 1. THE GROUNDING TERMINALS OF ALL RECEPTACLES. 2. METAL BOXES AND ENCLOSURES CONTAINING RECEPTACLES. 3. ALL NON-CURRENT-CARRYING CONDUCTIVE SURFACES OF FIXED ELECTRICAL EQUIPMENT LIKELY TO BECOME ENERGIZED THAT ARE SUBJECT TO PERSONAL CONTACT, OPERATING AT OVER 100 VOLTS. (REFER CODE FOR
- (2) SIZING. EQUIPMENT GROUNDING CONDUCTORS AND EQUIPMENT BONDING JUMPERS SHALL BE SIZED IN ACCORDANCE WITH 250.122.
- 12. LOW VOLTAGE WIRING AND DEVISES ARE TO BE PROVIDED UNDER SEPARATE CONTRACT BY TENANT'S VENDOR. ELECTRICAL CONTRACTOR SHALL FURNISH CONDUIT AND PULL-STRING TO ACCESSIBLE AREAS. EXACT LOCATIONS AND QUANTITIES OF DATA JUNCTION BOXES ARE TO BE COORDINATED WITH THE EQUIPMENT AND ACCESSORY SCHEDULE, THE TENANT'S EQUIPMENT SUPPLIER AND WITH THE TENANT.

MECHANICAL NOTES

- MECHANICAL CONTRACTOR SHALL ON A DESIGN BUILD BASIS MODIFY EXISTING MECHANICAL SYSTEMS AND PROVIDE NEW MECHANICAL SYSTEMS AS NECESSARY TO ACHIEVE A COMPLETE MECHANICAL INSTALLATION. MODIFY, FURNISH, INSTALL AND CONNECT FOR MORK, ALL DUCTMORK, DIFFUSERS, GRILLS ETC. NECESSARY TO ACHIEVE A COMPLETE MECHANICAL INSTALLATION. ALL LABOR, TOOLS, MATERIALS, EQUIPMENT SHALL BE PROVIDED AS NECESSARY TO PROVIDE AND INSTALL A COMPLETE SYSTEM. MECHANICAL CONTRACTOR IS TO DESIGN DUCTWORK SIZES AND COMPONENTS AS REQUIRED TO PROVIDE A COMPLETE BALANCED SYSTEM.
- MECHANICAL SYSTEM IS TO BE REBALANCED THROUGH OUT ENTIRE AREA OF WORK TO PROVIDE EVEN TEMPERATURES AT ALL SPACES.

- PLUMBING CONTRACTOR SHALL ON A DESIGN BUILD BASIS MODIFY EXISTING SYSTEMS AND PROVIDE NEW PLUMBING SYSTEMS AS NECESSARY TO ACHIEVE A COMPLETE PLUMBING INSTALLATION. MODIFY, FURNISH, INSTALL AND CONNECT FOR WORK, ALL SANITARY, SUPPLY, COMPRESED AIR, VACUUM LINES, FIXTURES, ECT. EXACT LOCATIONS AND QUANTITIES OF FIXTURES, VALVES, AND EQUIPMENT CONNECTIONS ARE TO BE COORDINATED WITH, THE FIXTURE SCHEDULE, THE EQUIPMENT AND ACCESSORY SCHEDULE THE TENANT'S EQUIPMENT SUPPLIER AND WITH THE TENANT. ALL LABOR, TOOLS, MATERIALS, EQUIPMENT SHALL BE PROVIDED AS NECESSARY TO PROVIDE AND INSTALL A COMPLETE SYSTEM. PLUMBING CONTRACTOR IS TO DESIGN PIPE SIZES AND COMPONENTS AS REQUIRED TO MEET CODE.
- PLUMBING CONTRACTOR TO DETERMINE EXACT ROUTING AND LOCATIONS OF ALL PIPING ON JOB SITE IN COMPLETE COORDINATION WITH ALL OTHER TRADES INVOLVED. HE SHALL ALSO VERIFY WITH TENANT EXACT FLOOR PLAN LAYOUT, LOCATIONS OF FIXTURES, AND STRUCTURAL CONDITIONS.
- 3. PROVIDE ALL FIXTURES WITH HOT AND COLD WATER, WASTE AND VENT CONNECTIONS. EACH FIXTURE SHALL HAVE SHUTOFF VALVES FOR HOT AND COLD WATER. HOT AND COLD WATER SUPPLIES TO EACH FIXTURE. PIPING SHALL BE INSTALLED PROPERLY TO ELIMINATE CROSS CONTAMINATION OR SIPHONING OF WASTE MATERIAL INTO THE SUPPLY WATER SYSTEM. PIPING SHALL BE PITCHED TO VENT AND/OR DRAIN. VERIFY EXACT LOCATIONS AND REQUIREMENTS BEFORE BEGINNING THE INSTALLATION.
- 4. THOROUGHLY CLEAN ALL ITEMS BEFORE INSTALLATION. CAP PIPE OPENINGS TO EXCLUDE DIRT UNTIL FIXTURES ARE INSTALLED AND FINAL CONNECTIONS HAVE BEEN MADE. SET FIXTURES LEVEL AND IN PROPER ALIGNMENT. INSTALL SILICONE SEALANT BETWEEN FIXTURES ADJACENT MATERIAL FOR SANITARY
- 5. TEST WATER SYSTEM UNDER 150 PSIG HYDROSTATIC PRESSURE FOR FOUR HOURS MINIMUM. ALL WORK SHALL BE IN ACCORDANCE 2006 IPC.

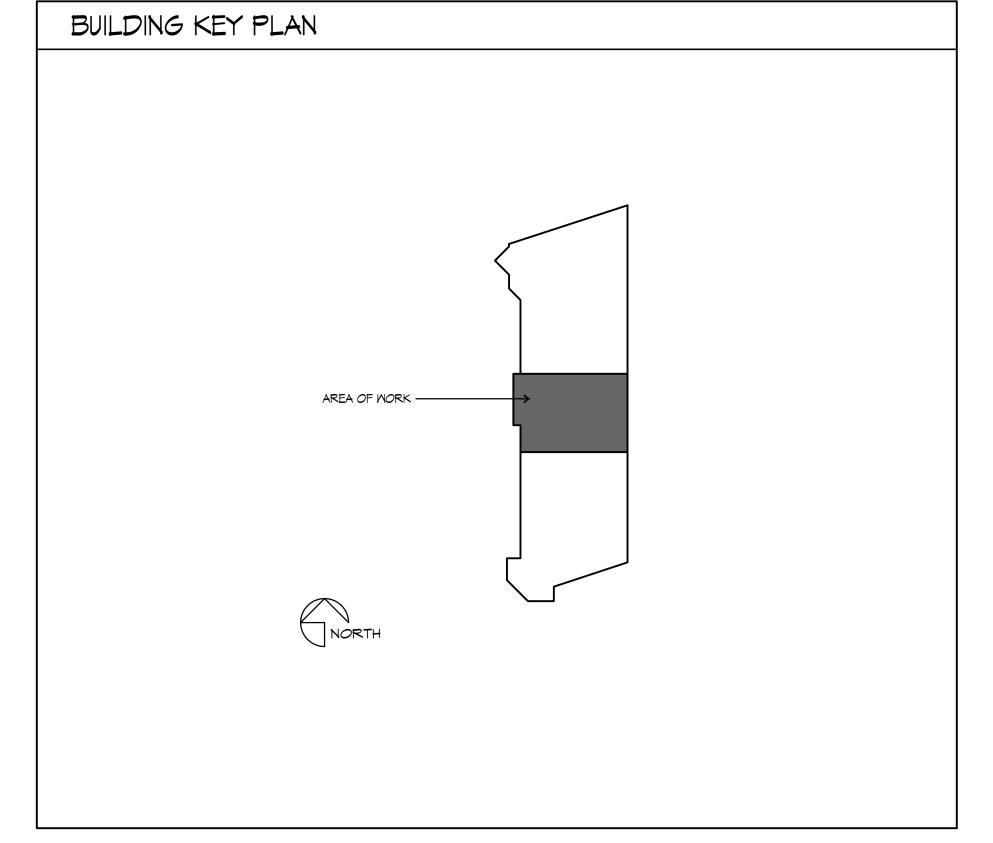
PIPING MATERIALS

- DOMESTIC WATER BELOW SLAB AND GRADE: TYPE 'K' SOFT TEMPER COPPER WITH FLARE FITTING CONNECTIONS. EXCEPT NO FITTINGS TO BE USE BELOW FLOOR SLAB. USE LONG RADIUS BENDS ONLY.
- DOMESTIC WATER ABOVE SLAB: TYPE 'L' HARD TEMPER COPPER WITH SWEAT SOLDER CONNECTIONS. USE NO-LEAD TYPE SOLDER. ALL WATER LINES ABOVE SLAB SHALL BE INSULATED WITH EXPANDED CELL OR MOLDED SECTIONAL FIBEROUS GLASS WITH FACTORY APPLIED UL LISTED VAPOR BARRIER JACKET. FLAME SPREAD FOR INSULATION SHALL BE 25 OR LESS.
- SANITARY WASTE AND VENT: SCHEDULE 40 PVC DWV SOLVENT JOINT. HOMEVER, PVC MAY NOT BE USED IN ABOVE CEILING PLENUM RETURN AREAS. IN PLENUM AREAS USE CAST IRON NO-HUB CONNECTIONS.
- GAS PIPING: TO BE TYPE 'S' SEAMLESS GRADE B SCHEDULE 40 BLACK OR ASTM A53 STEEL PIPE. TYPE 'E' ELECTRIC RESISTANT WELDED. WHERE INSTALLED BELOW GRADE, PIPE MUST BE COATED AND WRAPPED AND HAVE CATHODIC PROTECTION. ALL CAST IRON PIPE THAT IS OVER 3" DIAMETER AND NOT EXPOSED, MUST BE WELDED PIPE

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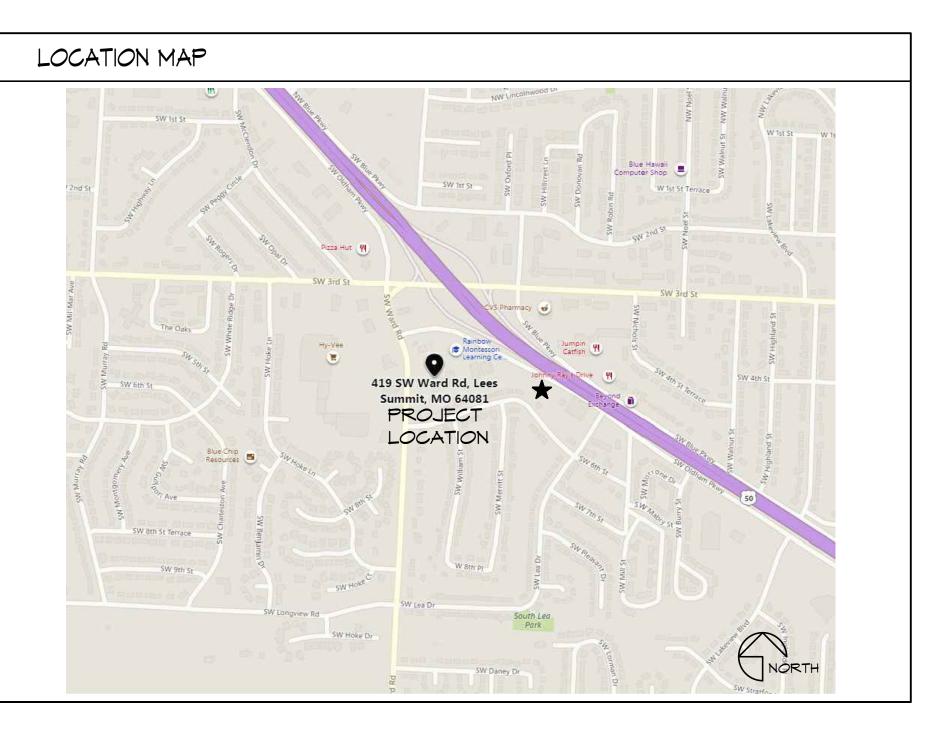
419 SW Ward Road

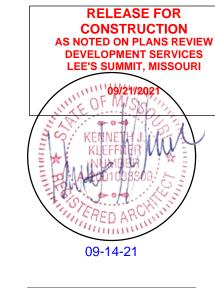
Lees Summit, MO 64081



CODE NOTES

- A. ALL CONSTRUCTION FOR THIS PROJECT SHALL CONFORM TO THE FOLLOWING BUILDING CODES AND REQUIREMENTS ADOPTED AND AS AMENDED BY THE CITY OF LEE'S SUMMIT, MISSOURI;
- A.1. 2018 International Building Code A.2. 2018 International Plumbing Code
- A.3. 2018 International Mechanical Code
- A.4. 2018 International Fuel Gas Code
- A.5. 2018 International Residential Code A.6. 2018 International Fire Code
- A.7. 2017 National Electrical Code A.8. ICC/ANSI A117.1-2009, Accessible and Usable Buildings and Facilities
- B. USE GROUP: B BUSINESS, PROFESSIONAL OFFICE
- C. TYPE OF CONSTRUCTION: TYPE VB
- D. AUTOMATIC SPRINKLER SYSTEM: NONE PROVIDED AUTOMATIC FIRE ALARM SYSTEM: NONE PROVIDED
- E. TENANT FLOOR AREA: 3316 SQFT
- F. OCCUPANT LOAD: 3316 SQFT ÷ 150 SF/OCC = 22.11 OCC ≈ 23 OCCUPANTS
- G. CORRIDORS: A FIRE-RESISTANCE RATING IS NOT REQUIRED FOR CORRIDORS WITH AND OCCUPANT LOAD (30.



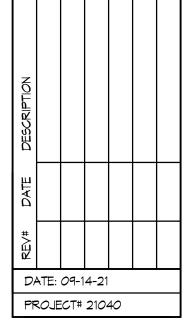


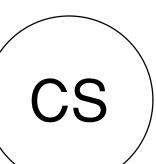
GUY GRONBERG ARCHITECTS, P.











DIVISION 1 - GENERAL REQUIREMENTS

GENERAL REQUIREMENTS 01000

- 1. The General Conditions of the Contract for Construction of A.I.A. Document A201, latest edition, forms part of this contract as if herein bound.
- 2. Satisfy all applicable local codes and ordinances. Reference the cover sheet for list of codes.
- 3. Contractor to pay for Construction Permit Fees, Excise Tax, Tap Fees, Ect. as applicable to the local Municipalities and Utility Companies.
- 4. Contractor is to meet all Building Owner Standards and Instructions for work within this facility.

PRODUCTS 01600

- 1. Where a specific manufacturer's product is named including make or model number or other designation, it has been selected to establish the significant qualities related to type, function, dimension, in-service performance, physical properties, appearance, and other characteristics of the product. Unless otherwise indicated, provided the named product or a product that is equal to or exceeds the specified product.
- 2. Deliver, store, and handle products using means and methods that will prevent damage, deterioration, and loss, including theft. Comply with manufacturer's written instructions.
- 3. Provide products complete with accessories, trim, finish, fasteners, and other items needed for a complete installation and indicated use and effect.
- 4. All products, and materials used in conjunction with, are to be installed in strict conformance with manufacturers instruction.

SPECIAL CONDITIONS 01700

- 1. General Contractor shall provide all water, light, and power necessary during construction until the completion of the building. All extensions, controls, and equipment beyond the points of temporary service shall be provided under the work of the respective Division requiring the same.
- 2. The General Contractor shall do all final cleaning of the building construction areas and wash windows.

CUTTING AND PATCHING

- 1. Contractor is to include as part of his scope all cutting and patching required through careful evaluation of the existing site and the construction documents. All holes, damages, defects, ect. in existing surfaces are to be patched to match existing conditions. Contractor shall coordinate the cutting of existing construction necessary to permit installation or performance of other Mork.
- 2. Patching: Patch construction by filling, repairing, refinishing, closing up, and similar operations. Patch with durable seams that are as invisible as possible. Use materials identical to existing materials. If identical materials are unavailable or cannot be used, use materials that, when installed, will match the visual and functional performance of existing materials. For exposed surfaces, use materials that visually match existing adjacent surfaces to the fullest extent possible. Before patching, verify compatibility with and suitability of substrates, including compatibility with existing and new finishes or primers.
- 3. Cutting: Cut existing construction by sawing, drilling, breaking, chipping, grinding, and similar operations, including excavation, using methods least likely to damage elements retained or adjoining construction. In general, use hand or small power tools designed for sawing and grinding, not hammering and chopping. Cut holes and slots as small as possible, neatly to size required, and with minimum disturbance of adjacent surfaces. Temporarily cover openings when not in use. Provide temporary support of Mork to be cut. Cut concrete using a cutting machine, such as an abrasive saw or a diamond-core drill.

DIVISION 2 - SITE WORK

NO WORK THIS SECTION

DIVISION 3 - CONCRETE

SEE CUTTING AND PATCHING

DIVISION 4 - MASONRY

NO WORK THIS SECTION

DIVISION 5 - METALS

METAL STUD FRAMING

- 1. Metal Studs and Runners: shall be as manufactured by Dietrich, Inryco/Milcor, USC, or approved equal. Studs shall be sized as indicated on the drawings and of gauge recommended by the manufacturers literature. Double studs at door jambs shall be 20 gauge minimum. Standard stud spacing at no more than 16" O.C. unless otherwise noted on drawings.
- 2. At all walls indicated to extend to underside of decking provide Dietrich SLP-TRK slotted deflection track. Install and finish per manufacturer's recommendations.

DIVISION 6 - WOODS AND PLASTIC

CARPENTRY

Each piece of framing lumber shall be identified by the trademark of an approved inspection agency or association. Wood framing and all rough carpentry items shall be installed in accordance with UBC and/or FHA requirements whichever is most restrictive.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

INSULATION

- 1. Where insulating materials listed below will not be covered with gypsum board substitute specified insulation w/ product of same thickness and R-value and similar facing, but such shall have a flame spread rating of 25 or less and a smoke developed rating of 50 or less when tested in accordance with ASTM E84 unless more stringent requirements are listed for a specific product.
- 2. Interior insulation shall be unfaced batt insulation in thickness to fill entire cavity.

SEALANTS

- Mildew-Resistant Silicone Rubber Sealant: Silicone rubber-based, one part elastomeric sealant, complying with FS TT-5-0021543, Class A; compounded specifically for mildew resistance and recommended by manufacturer for interior joints in wet areas; passing ANSI A136.1 test for mold growth.
- 2. Silicone Sealant: One-part nonacid-curing silicone sealant complying with ASTM C920; Type S, Grade NS, Class 25, paintable, for uses at casings, window casings and hollow metal to drywall and masonry.
- 3. Joints and spaces to be caulked shall be clean, dry and free of dust, loose mortar or other foreign materials. After joints have been filled, they shall be neatly tooled to eliminate air pockets or voids and to provide a smooth, neat appearing surface.
- 4. Non-Elastomeric Sealants and Caulking Compounds: 1-component acrylic sealant: F5-TT-5-00230, Class B. Tupe 11, solvent based solids 95% acrulic for uses at exterior window and door frame perimeters and flashing

DIVISION 8 - DOORS AND WINDOWS

STEEL FRAMES AND DOORS 08110

- 1. Drywall frames shall be manufactured from cold-rolled 16 gauge steel conforming to ASTM A366 or A620 & A568. Frames shall be knock-down, double return back bend (to prevent cutting into wall) flush hairline miter at the corner of the head and jamb, and the corner reinforced with a concealed clip. Each jamb is to have one compression anchor to securely hold the frame between the studs and maintain proper alignment.
- 2. All Frames and Doors are to be thoroughly degreased and cleaned of all imperfections and provided with one coat of oven-cured neutral color primer paint. Primer coat shall conform with ANSI A250.10. The primer coat is to be a preparatory base for necessary finish painting.
- 3. Frame Hardware Provisions: Frames are to be mortised, reinforced and drilled and tapped for all mortise finish hardware. Frames are to be reinforced only for surface mounted hardware, with drilling and tapping to be done in the field by the installation contractor. Steel plates and mortising boxes are to be welded to all hinge and lock reinforcement. Frames are handed. Hinge jambs are to be mortised for hinges with 7 gage steel hinge reinforcement welded in place and drilled and tapped for fasteners in accordance with ANSI A156.7. The strike jamb is to be prepared for 4-7/8" universal strike in accordance with ANSI A 115.1\$2. Additional hardware reinforcement (e.g. closer/holder as indicated by hardware schedule) is to be 12 gage minimum steel welded in place. Three door mutes are to be provided per strike jamb and two for double swing heads.
- 4. Door Hardware Provisions: Hinge preparations are handed. Hinge edges are to be mortised for hinges with 7 gage steel hinge reinforcements welded inside the door edge and drilled and tapped for fasteners in accordance with ANSI A156.7. The lock edge is to have a standard bevel (1:16) and be prepared for locks in accordance with hardware schedule. Additional hardware reinforcement (e.g. closer/pulls as indicated by hardware schedule) is to be 12 gage steel channel.

WOOD DOORS

1. Single swing interior doors shall be solid core premium grade veneer with matching edges. Species, Stain, and Finish to be selected from manufactures full range by Tenant. Comply with requirements of ANSI/NMMA I.S. 1 and Section 1400 of AMI "Architectural Moodwork Quality Standards" except as otherwise indicated. Coordinate stain color with interior designer.

FINISH HARDWARE

- Provide finish hardware for all doors in project. See Door Hardware Schedule on drawings for specific information. The Contractor shall verify all keying requirements with TENANT prior to installation. Finish to be 26D (confirm w/ TENANT)
- 2. Hardware mounting heights by the door and hardware institute "Recommended Locations for Builders Hardware". Comply with all ADA requirements for hardware.

DIVISION 9 - FINISHES

GYPSUM DRYWALL

- Materials shall meet the following standards:
 - a. Gupsum Mallboard ASTM C36
 - b. Nails ASTM C380
 - c. Metal Accessories ASA A97.1
 - d. Water Resistant Gypsum Backing Board ASTM C1278 (paragraph 6.1)
- 2. Use gypsum board fasteners that are recommended by gypsum board manufacturer except as otherwise indicated.
- 3. Furnish and install all trim accessories, adhesives and joint treatments per manufacturer's recommendations.
- 4. All gypsum board to be finished to Level 4 unless noted otherwise.

PAINTING GENERAL

1. Paint shall be as manufactured by Sherwin Milliams Paints or approved equal.

SURFACE PREPARATION FOR PAINT

- General: Protect adjacent and underlying surfaces. Remove or mask electrical plates, hardware, light fixture trim, escutcheons, and fittings prior to preparing surfaces of finishing. Correct defects and clean surfaces capable of affecting work of this section. Seal marks that may bleed through surface finishes with compatible sealer.
- 2. Galvanized Steel: Remove surface contamination and oils and wash with solvent.
- 3. Uncoated Ferrous Metals: Remove grease, mill scale weld splatter, dirt and rust. Where heavy coatings of scale are evident, remove by hand or power tool wire brushing or sandblasting: wash with solvent. Apply treatment of phosphoric acid solution, ensuring weld joints, bolts and nuts are similarly cleaned. Spot Prime paint after repairs.
- 4. Shop primed ferrous Metals: Sand and scrape to remove loose primer and rust. Feather edges to make patches inconspicuous. Clean with solvent. Prime bare steel surfaces.
- 5. Other existing Surfaces: Remove loose, flaking, powdery, and peeling paints. Light sand painted surfaces. Fill holes, cracks, depressions and other imperfections with compatible patching compound; sand flush with surface. Remove oil, grease, and wax by scraping; solvent wash and thoroughly rinse. Remove rust by wire brushing to expose base metal.

PAINTING SCHEDULE

- 1. Paint all new interior gypsum board walls:
- 1.1. 1 ct. PrepRite 200 Latex Primer and
- 1.2. 2 cts. ProMar 200 Int. Latex Eg-Shel
- 2. Paint all new and existing interior gypsum board walls in wet areas (Toilet and Janitor Rooms):
- 2.1. 1 ct. PrepRite 200 Latex Primer and 2.2. 2 cts. Waterbased Catalyzed Epoxy
- 3. Interior gypsum board ceilings and soffits (unless noted otherwise): 3.1. 1 ct. PrepRite 200 Latex Primer
- 3.2. 2 cts. Promar 200 Int. Latex Flat
- 4. Interior and Exterior Ferrous metal (metal frames, exposed steel structure, exposed ductwork, misc.
- 4.1. 1 ct. All Surface Enamel oil Primer
- 4.2. 2 cts. Promar 200 Int. Alkyd Eg-Shel Enamel

FLOORING GENERAL

- 1. Patch, level and prepare all floors as recommended by flooring manufacturer for each type of flooring to be placed. Use trowelable leveling and patching compound to fill cracks, holes, and depressions in substrates. Trowelable Leveling and Patching Compounds shall be of Latex-modified, portland cement based or blended hydraulic cement based formulation provided or approved by floor covering manufacturer for applications indicated.
- 2. Changes in finished floor height/materials: Where finished floor height of tile flooring is higher then adjacent floor finish, raise adjacent flooring with trowelable leveling compound so finish heights are equal. Taper compound out at $\frac{1}{16}$ " per foot. Provide Schluter Schien at edges of tile flooring. At all other locations rubber transition strips shall be used. Strips shall be as manufactured by Johnsonite or approved equal. (Verify color with designer.) Transitions strips are to occur under doors unless noted otherwise.

DIVISION 10 - SPECIALTIES

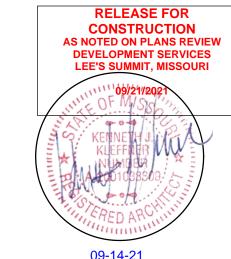
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DIVISION 11 - EQUIPMENT

COORDINATE ALL EQUIPMENT INSTALLATION WITH SUPPLIER

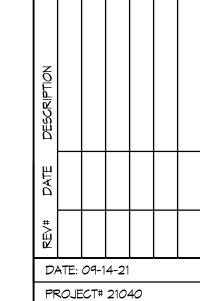
DIVISION 12 - FURNISHINGS

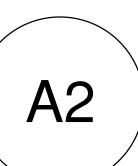
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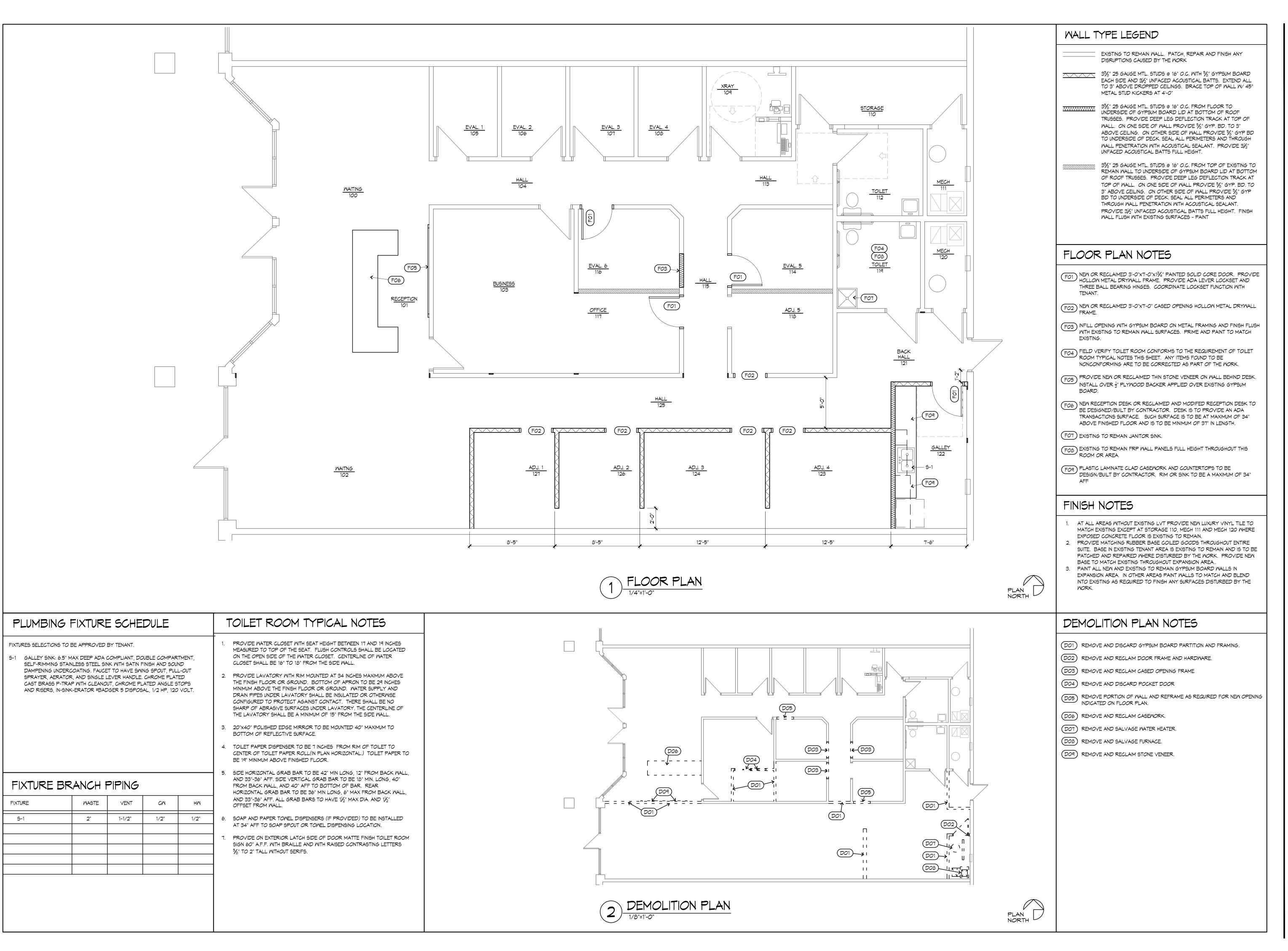


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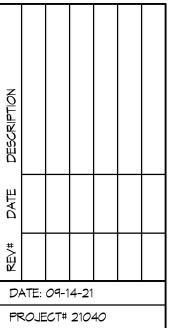
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