

GENERAL REQUIREMENTS 01000

1. The General Conditions of the Contract for Construction of A.I.A. Document A201, latest edition, forms part of this contract as if herein bound.
2. Satisfy all applicable local codes and ordinances. Reference the cover sheet for list of codes.
3. Contractor to pay for Construction Permit Fees, Excise Tax, Tap Fees, Ect. as applicable to the local Municipalities and Utility Companies.
4. Contractor is to meet all Building Owner Standards and instructions for work within this facility.

PRODUCTS 01600

1. Where a specific manufacturer's product is named including make or model number or other designation, it has been selected to establish the significant qualities related to type, function, dimension, in-service performance, physical properties, appearance, and other characteristics of the product. Unless otherwise indicated, provided the named product or a product that is equal to or exceeds the specified product.
2. Deliver, store, and handle products using means and methods that will prevent damage, deterioration, and loss, including theft. Comply with manufacturer's written instructions.
3. Provide products complete with accessories, trim, finish, fasteners, and other items needed for a complete installation and indicated use and effect.
4. All products, and materials used in conjunction with, are to be installed in strict conformance with manufacturers instruction.

SPECIAL CONDITIONS 01700

1. General Contractor shall provide all water, light, and power necessary during construction until the completion of the building. All extensions, controls, and equipment beyond the points of temporary service shall be provided under the work of the respective Division requiring the same.
2. The General Contractor shall do all final cleaning of the building construction areas and wash windows.

CUTTING AND PATCHING

1. Contractor is to include as part of his scope all cutting and patching required through careful evaluation of the existing site and the construction documents. All holes, damages, defects, etc., in existing surfaces are to be patched to match existing conditions. Contractor shall coordinate the cutting of existing construction necessary to permit installation or performance of other Work.
2. Patching: Patch construction by filling, repairing, refinishing, closing up, and similar operations. Patch with durable seams that are as invisible as possible. Use materials identical to existing materials. If identical materials are unavailable or cannot be used, use materials that, when installed, will match the visual and functional performance of existing materials. For exposed surfaces, use materials that visually match existing adjacent surfaces to the fullest extent possible. Before patching, verify compatibility with and suitability of substrates, including compatibility with existing and new finishes or primers.
3. Cutting: Cut existing construction by sawing, drilling, breaking, chipping, grinding, and similar operations, including excavation, using methods least likely to damage elements retained or adjoining construction. In general, use hand or small power tools designed for sawing and grinding, not hammering and chopping. Cut holes and slots as small as possible, nearly to size required, and with minimum disturbance of adjacent surfaces. Temporarily cover openings when not in use. Provide temporary support of Work to be cut. Cut concrete using a cutting machine, such as an abrasive saw or a diamond-core drill.

NO WORK THIS SECTION

SEE CUTTING AND PATCHING

NO WORK THIS SECTION

METAL STUD FRAMING

1. Metal Studs and Runners: shall be as manufactured by Dietrich, Inryco/Milcor, USC, or approved equal. Studs shall be sized as indicated on the drawings and of gauge recommended by the manufacturers literature. Double studs at door jambs shall be 20 gauge minimum. Standard stud spacing at no more than 16" O.C. unless otherwise noted on drawings.
2. At all walls indicated to extend to underside of decking provide Dietrich SLP-TRK slotted deflection track. Install and finish per manufacturer's recommendations.

CARPENTRY

1. Each piece of framing lumber shall be identified by the trademark of an approved inspection agency or association. Wood framing and all rough carpentry items shall be installed in accordance with UBC and/or FHA requirements whichever is most restrictive.

INSULATION

1. Where insulating materials listed below will not be covered with gypsum board substitute specified insulation w/ product of same thickness and R-value and similar facing, but such shall have a flame spread rating of 25 or less and a smoke developed rating of 50 or less when tested in accordance with ASTM E84 unless more stringent requirements are listed for a specific product.
2. Interior insulation shall be unfaced batt insulation in thickness to fill entire cavity.

SEALANTS

1. **Mildew-Resistant Silicone Rubber Sealant:** Silicone rubber-based, one part elastomeric sealant, complying with FS TT-S-0021543, Class A, compounded specifically for mildew resistance and recommended by manufacturer for interior joints in wet areas; passing ANSI A136.1 test for mold growth.
2. **Silicone Sealant:** One-part nonacid-curing silicone sealant complying with ASTM C920; Type S, Grade NS, Class 25, paintable, for uses at casings, window casings and hollow metal to drywall and masonry.
3. **Joints and spaces to be caulked shall be clean, dry and free of dust, loose mortar or other foreign materials.** After joints have been filled, they shall be neatly tooled to eliminate air pockets or voids and to provide a smooth, neat appearing surface.
4. **Non-Elastomeric Sealants and Caulking Compounds:** 1-component acrylic sealant: FS-TT-S-00230, Class B, Type 11, solvent based solids 95% acrylic for uses at exterior window and door frame perimeters and flashing

STEEL FRAMES AND DOORS 08110

1. Druggall Frames shall be manufactured from cold-rolled 16 gauge steel conforming to ASTM A366 or A620 ± A566. Frames shall be knock-down, double return back bend (to prevent cutting into wall). Flush headline miter at the corner of the head and jamb, and the corner reinforced with a concealed clip. Each jamb is to have one compression anchor to securely hold the frame between the studs and maintain proper alignment.
2. All Frames and Doors are to be thoroughly degreased and cleaned of all imperfections and provided with one coat of oven-cured neutral color primer paint. Primer coat shall conform with ANSI A250.10. The primer coat is to be a preparatory base for necessary Finish painting.
3. Frame Hardware Provisions: Frames are to be mortised, reinforced and drilled and tapped for all mortise finish hardware. Frames are to be reinforced only for surface mounted hardware, with drilling and tapping to be done in the field by the installation contractor. Steel plates and mortising boxes are to be welded to all hinge and lock reinforcement. Frames are handed. Hinge jambs are to be mortised for hinges with T gauge steel hinge reinforcement welded in place and drilled and tapped for fasteners. In accordance with ANSI A156.1. The strike jamb is to be prepared for 4-7/8" universal strike in accordance with ANSI A 115.142. Additional hardware reinforcement (e.g. closer/holder as indicated by hardware schedule) is to be 12 gauge minimum steel welded in place. Three door mutes are to be provided per strike jamb and two for double swing heds.
4. Door Hardware Provisions: Hinge preparations are handed. Hinge edges are to be mortised for hinges with T gauge steel hinge reinforcements welded inside the door edge and drilled and tapped for fasteners in accordance with ANSI A156.7. The lock edge is to have a standard bevel (1:16) and be prepared for locks in accordance with hardware schedule. Additional hardware reinforcement (e.g. closer/pulls as indicated by hardware schedule) is to be 12 gauge steel channel.

WOOD DOORS

1. Single swing interior doors shall be solid core premium grade veneer with matching edges. Species, stain, and finish to be selected from manufactures full range by Tenant. Comply with requirements of ANSI/NAMA 1.5, 1 and Section 1400 of AIA "Architectural Woodwork Quality Standards" except as otherwise indicated. Coordinate stain color with interior designer.

FINISH HARDWARE

1. Provide finish hardware for all doors in project. See Door Hardware Schedule on drawings for specific information. The Contractor shall verify all keying requirements with TENANT prior to installation. Finish to be 26D (confirm w/ TENANT)
2. Hardware mounting heights by the door and hardware institute "Recommended Locations for Builders Hardware". Comply with all ADA requirements for hardware.

GYPSUM DRYWALL

1. Materials shall meet the following standards:
 - a. Gypsum Wallboard - ASTM C36
 - b. Nails - ASTM C380
 - c. Metal Accessories - ASA A97.1
 - d. Water Resistant Gypsum Backing Board - ASTM C1278 (paragraph 6.1)
2. Use gypsum board fasteners that are recommended by gypsum board manufacturer except as otherwise indicated.
3. Furnish and install all trim accessories, adhesives and joint treatments per manufacturer's recommendations.
4. All gypsum board to be finished to Level 4 unless noted otherwise.

PAINTING GENERAL

1. Paint shall be as manufactured by Sherwin Williams Paints or approved equal.

SURFACE PREPARATION FOR PAINT

1. **General:** Protect adjacent and underlying surfaces. Remove or mask electrical plates, hardware, light fixture trim, escutcheons, and fittings prior to preparing surfaces of finishing. Correct defects and clean surfaces capable of affecting work of this section. Seal marks that may bleed through surface finishes with compatible sealer.
2. **Galvanized Steel:** Remove surface contamination and oils and wash with solvent.
3. **Uncoated Ferrous Metals:** Remove grease, mill scale weld splatter, dirt and rust. Where heavy coatings of scale are evident, remove by hand or power tool wire brushing or sandblasting; wash with solvent. Apply treatment of phosphoric acid solution, ensuring weld joints, bolts and nuts are similarly cleaned. Spot Prime paint, after repairs.
4. **Shop primed ferrous Metals:** Sand and scrape to remove loose primer and rust. Feather edges to make patches inconspicuous. Clean with solvent. Prime bare steel surfaces.
5. **Other existing Surfaces:** Remove loose, flaking, powdery, and peeling paints. Light sand painted surfaces. Fill holes, cracks, depressions and other imperfections with compatible patching compound; sand flush with surface. Remove oil, grease, and wax by scraping; solvent wash and thoroughly rinse. Remove rust by wire brushing to expose base metal.

PAINTING SCHEDULE

1. Paint all new interior gypsum board walls:
 - 1.1. 1 ct. PrepRite 200 Latex Primer and
 - 2.2. 2 cts. ProMar 200 Int. Latex Eg-Shel
2. Paint all new and existing interior gypsum board walls in wet areas (Toilet and Janitor Rooms):
 - 2.1. 1 ct. PrepRite 200 Latex Primer and
 - 2.2. 2 cts. Waterbased Catalyzed Epoxy
3. Interior gypsum board ceilings and soffits (unless noted otherwise):
 - 3.1. 1 ct. PrepRite 200 Latex Primer
 - 3.2. 2 cts. ProMar 200 Int. Latex Flat
4. Interior and Exterior Ferrous metal (metal frames, exposed steel structure, exposed ductwork, misc. metal):
 - 4.1. 1 ct. All Surface Enamel oil Primer
 - 4.2. 2 cts. Promar 200 Int. Alkyd Eg-Shel Enamel

FLOORING GENERAL

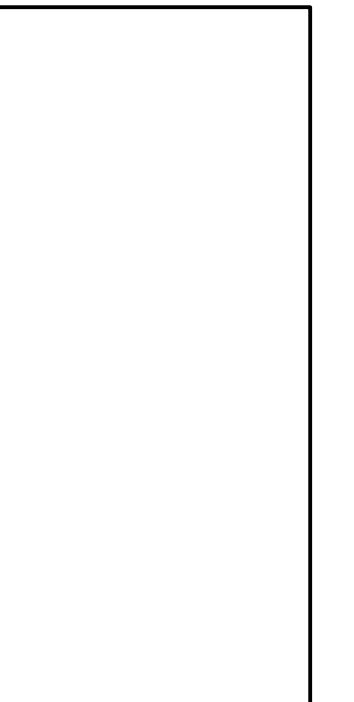
1. Patch, level and prepare all floors as recommended by flooring manufacturer for each type of flooring to be placed. Use troublefree leveling and patching compound to fill cracks, holes, and depressions in substrates. Troublefree Leveling and Patching Compounds shall be of Latex-modified portland cement based or blended hydraulic cement based Formulation provided or approved by floor covering manufacturer for applications indicated.
2. Changes in finished floor height/materials: Where finished floor height of tile flooring is higher than adjacent floor finish, raise adjacent flooring with troublefree leveling compound so finish heights are equal. Taper compound out at $\frac{1}{8}"$ per foot. Provide Schlüter Schien at edges of tile flooring. At all other locations rubber transition strips shall be used. Strips shall be as manufactured by Johnstone or approved equal. (Verify color with designer.) Transitions strips are to occur under doors unless noted otherwise.

NO WORK THIS SECTION

COORDINATE ALL EQUIPMENT INSTALLATION WITH SUPPLIER

NO WORK THIS SECTION

**GUY GRONBERG
ARCHITECTS, P.C.**
113 SE 3rd St.



419 SW Ward Road
Lees Summit, MO 64081

Instrument of service by the architect, or under his supervision and is intended for use on this project only. It is issued to the architect by the owner. It is not to be used on any other drawings, specifications, ideas and designs, including the overall form, arrangement and composition of spaces and elements appearing herein, constitute the design for the project. The architect and design professional agree to keep confidential and to not disclose or permit disclosure of information contained herein without prior written consent of the Architect is strictly prohibited.

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A3

EXISTING TO REMAIN WALL. PATCH, REPAIR AND FINISH ANY DISRUPTIONS CAUSED BY THE WORK

3½" 25 GAUGE MTL. STUDS @ 16" O.C. WITH 3½" GYPSUM BOARD ON ONE SIDE AND 3½" UNFACED ACoustICAL BATTS. EXTEND ALL TO 3" ABOVE DROPPED CEILING. BRACE TOP OF WALL IN/45 METAL STUD KICKERS AT 4'-0"

3½" 25 GAUGE MTL. STUDS @ 16" O.C. FROM FLOOR TO UNDERSIDE OF GYPSUM BOARD LVL AT BOTTOM OF ROOF TRUSSES. PROVIDE DEEP LEE DEFLECTION TRACK AT TOP OF WALL. ON ONE SIDE OF WALL PROVIDE 3½" GYP. BD. TO 3" ABOVE CEILING. ON OTHER SIDE OF WALL PROVIDE 3½" GYP BD TO UNDERSIDE OF DECK. SEAL ALL PERIMETERS AND THROUGH WALL PENETRATION WITH ACoustICAL SEALANT. PROVIDE 3½" UNFACED ACoustICAL BATTS FULL HEIGHT.

3½" 25 GAUGE MTL. STUDS @ 16" O.C. FROM TOP OF EXISTING TO REMAIN WALL TO UNDERSIDE OF GYPSUM BOARD LVL AT BOTTOM OF ROOF TRUSSES. PROVIDE DEEP LEE DEFLECTION TRACK AT TOP OF WALL. ON ONE SIDE OF WALL PROVIDE 3½" GYP. BD. TO 3" ABOVE CEILING. ON OTHER SIDE OF WALL PROVIDE 3½" GYP BD TO UNDERSIDE OF DECK. SEAL ALL PERIMETERS AND THROUGH WALL PENETRATION WITH ACoustICAL SEALANT. PROVIDE 3½" UNFACED ACoustICAL BATTS FULL HEIGHT. FINISH WALL FLUSH WITH EXISTING SURFACES - PAINT

F01 NEW OR RECLAIMED 3'-0"X7'-0"X1/2" PAINTED SOLID CORE DOOR. PROVIDE HOLLOW METAL METAL FRAME. PROVIDE ADA LEVER LOCKSET AND THREE BALL BEARING HINGES. COORDINATE LOCKSET FUNCTION WITH TENANT.

F02 NEW OR RECLAIMED 3'-0"X7'-0" CASED OPENING HOLLOW METAL METAL FRAME.

F03 INFILL OPENING WITH GYPSUM BOARD ON METAL FRAMING AND FINISH FLUSH WITH EXISTING TO REMAIN WALL SURFACES. PRIME AND PAINT TO MATCH EXISTING.

F04 FIELD VERIFY TOILET ROOM CONFORMS TO THE REQUIREMENT OF TOILET ROOM TYPICAL NOTES THIS SHEET. ANY ITEMS FOUND TO BE NONCONFORMING ARE TO BE CORRECTED AS PART OF THE WORK.

F05 PROVIDE NEW OR RECLAIMED THIN STONE VENEER ON WALL BEHIND DESK. INSTALL OVER 3/4" PLYWOOD BACKER APPLIED OVER EXISTING GYPSUM BOARD.

F06 NEW RECEPTION DESK OR RECLAIMED AND MODIFIED RECEPTION DESK TO BE DESIGNED/BUILT BY CONTRACTOR. DESK IS TO PROVIDE AN ADA TRANSACTIONS SURFACE. THIS SURFACE IS TO BE AT MAXIMUM OF 34" ABOVE FINISHED FLOOR AND IS TO BE MINIMUM OF 31" IN LENGTH.

F07 EXISTING TO REMAIN JANITOR SINK.

F08 EXISTING TO REMAIN FRP WALL PANELS FULL HEIGHT THROUGHOUT THIS ROOM OR AREA.

F09 PLASTIC LAMINATE GLAD CASEWORK AND COUNTERTOPS TO BE DESIGNED/BUILT BY CONTRACTOR. RM OR SINK TO BE A MAXIMUM OF 34" AFF

1. AT ALL AREAS WITHOUT EXISTING LIVE PROVIDE NEW LUXURY VINYL TILE TO MATCH EXISTING EXCEPT AT STORAGE 110, MECH 111 AND MECH 120 WHERE EXPOSED CONCRETE FLOOR IS EXISTING TO REMAIN.
2. PROVIDE MATCHING RUBBER BASE COILED GOODS THROUGHOUT ENTIRE SUITE. BASE IN EXISTING TENANT AREA IS EXISTING TO REMAIN AND IS TO BE REPAIRED AND REPAIRED WHERE DISTURBED BY THE WORK. PROVIDE NEW BASE TO MATCH EXISTING THROUGHOUT EXPANSION AREA.
3. PAINT ALL NEW AND EXISTING TO REMAIN GYPSUM BOARD WALLS IN EXPANSION AREA. IN OTHER AREAS PAINT WALLS TO MATCH AND BLEND INTO EXISTING AS REQUIRED TO FINISH ANY SURFACES DISTURBED BY THE WORK.

DD01	REMOVE AND DISCARD GYPSUM BOARD PARTITION AND FRAMING.
DD02	REMOVE AND RECLAIM DOOR FRAME AND HARDWARE.
DD03	REMOVE AND RECLAIM CASED OPENING FRAME.
DD04	REMOVE AND DISCARD POCKET DOOR.
DD05	REMOVE PORTION OF WALL AND REFRAME AS REQUIRED FOR NEW OPENING INDICATED ON FLOOR PLAN.
DD06	REMOVE AND RECLAIM CASEWORK.
DD07	REMOVE AND SALVAGE WATER HEATER.
DD08	REMOVE AND SALVAGE FURNACE.
DD09	REMOVE AND RECLAIM STONE VENEER.

5-1 GALLEY SINK: 6.5" MAX DEEP ADA COMPLIANT, DOUBLE COMPARTMENT, SELF-RIMMING STAINLESS STEEL SINK WITH SATIN FINISH AND SOUND DAMPENING UNDERCOATING. FAUCET TO HAVE SWING SPOUT, PULL-OUT SPRAYER, AERATOR, AND SINGLE LEVER HANDLE. CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT, CHROME PLATED ANGLE STOPS AND RISERS, IN-SINK-ERATOR #BADGER 5 DISPOSAL, 1/2 HP, 120 VOLT.

FIXTURE	WASTE	VENT	ON	HW
S-1	2"	1-1/2"	1/2"	1/2"

PROVIDE WATER CLOSET WITH SEAT HEIGHT BETWEEN 17 AND 19 INCHES
MEASURED TO TOP OF THE SEAT. FLUSH CONTROLS SHALL BE LOCATED
ON THE OPEN SIDE OF THE WATER CLOSET. CENTERLINE OF WATER
CLOSET SHALL BE 16" TO 18" FROM THE SIDE WALL.

PROVIDE LAVATORY WITH RIM MOUNTED AT 34 INCHES MAXIMUM ABOVE
THE FINISH FLOOR OR GROUND. BOTTOM OF APRON TO BE 24 INCHES
MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. WATER SUPPLY AND
DRAIN PIPES UNDER LAVATORY SHALL BE INSULATED OR OTHERWISE
CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO
SHARP OR ABRASIVE SURFACES UNDER LAVATORY. THE CENTERLINE
OF THE LAVATORY SHALL BE A MINIMUM OF 15" FROM THE SIDE WALL.

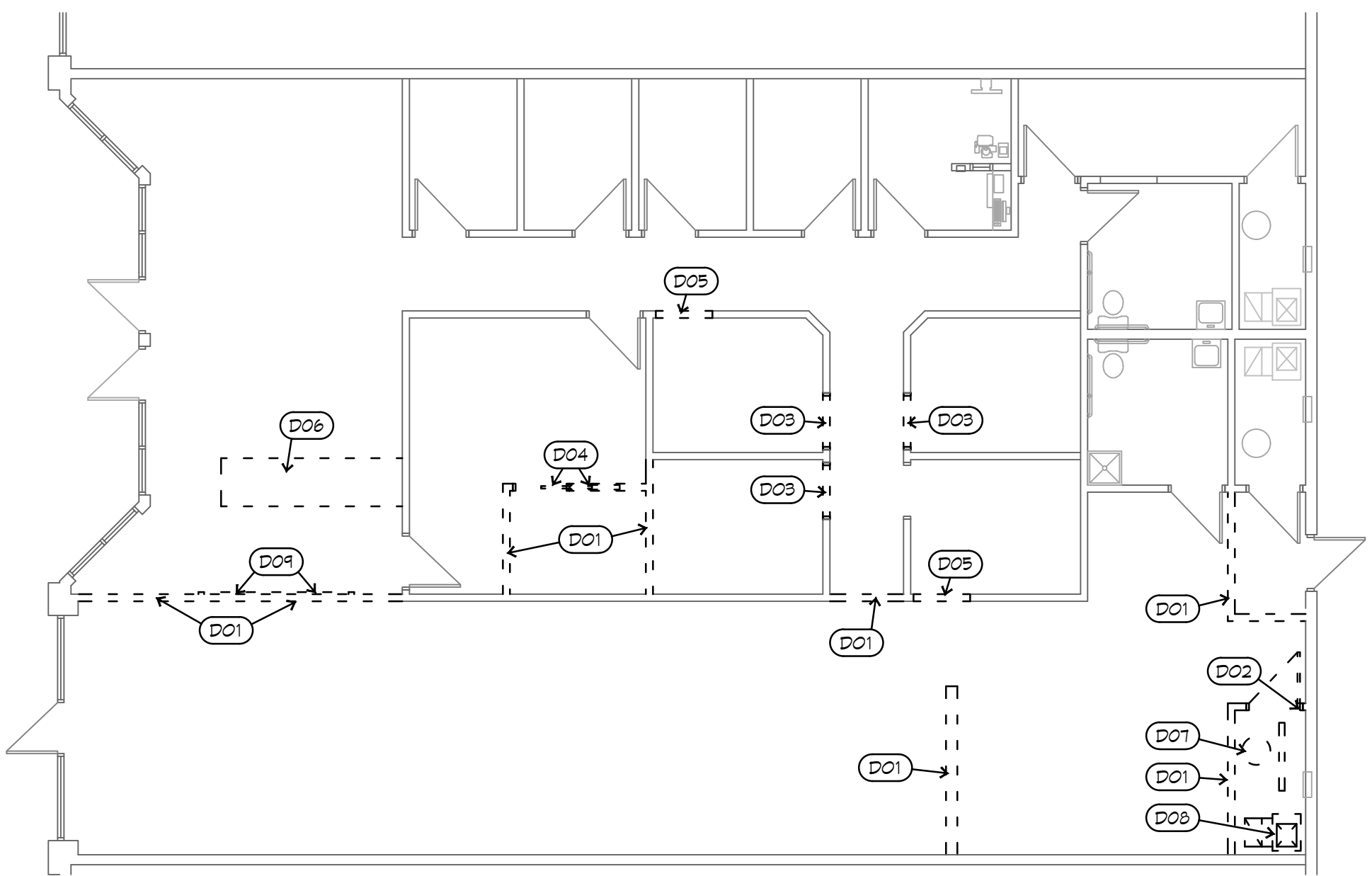
20"x40" POLISHED EDGE MIRROR TO BE MOUNTED 40" MAXIMUM TO
BOTTOM OF REFLECTIVE SURFACE.

TOILET PAPER DISPENSER TO BE 1 INCHES FROM RIM OF TOILET TO
CENTER OF TOILET PAPER ROLL-IN PLANE HORIZONTAL.) TOILET PAPER TO
BE 19" MINIMUM ABOVE FINISHED FLOOR.

SIDE HORIZONTAL GRAB BAR TO BE 42" MIN LONG, 12" FROM BACK WALL,
AND 33"-36" AFF. SIDE VERTICAL GRAB BAR TO BE 18" MIN LONG, 40"
FROM BACK WALL, AND 12" TO 20" TO BOTTOM OF BAR. REAR
HORIZONTAL GRAB BAR TO BE 36" MIN LONG, 6" MAX FROM BACK WALL,
AND 33"-36" AFF. ALL GRAB BARS TO HAVE 1 1/2" MAX DIA. AND 1/2"
OFFSET FROM WALL.

SOAP AND PAPER TOWEL DISPENSERS (IF PROVIDED) TO BE INSTALLED
AT 34" AFF TO SOAP SPOUT OR TOWEL DISPENSING LOCATION.

PROVIDE ON EXTERIOR LATCH SIDE OF DOOR MATTE FINISH TOILET ROOM
SIGN 60" A.F.F. WITH BRAILLE AND WITH RAISED CONTRASTING LETTERS
3/16" TO 2" TALL WITHOUT SERIFS.

$$1/4'' = 1' - 0''$$

$$1/8'' = 1' - 0''$$




PROVIDE NEW 4' LONG LED STRIP LIGHT.

C05 ON EACH SIDE OF WALL NEATLY CUT AND MODIFY EXISTING TO REMAIN EXPOSED T GRID TO ACCOMMODATE WALL EXTENSION THOUGH CEILING. PROVIDE NEW WALL ANGLE AND PATCH AND REPAIR ACOUSTICAL CEILING TILES

[illegible]