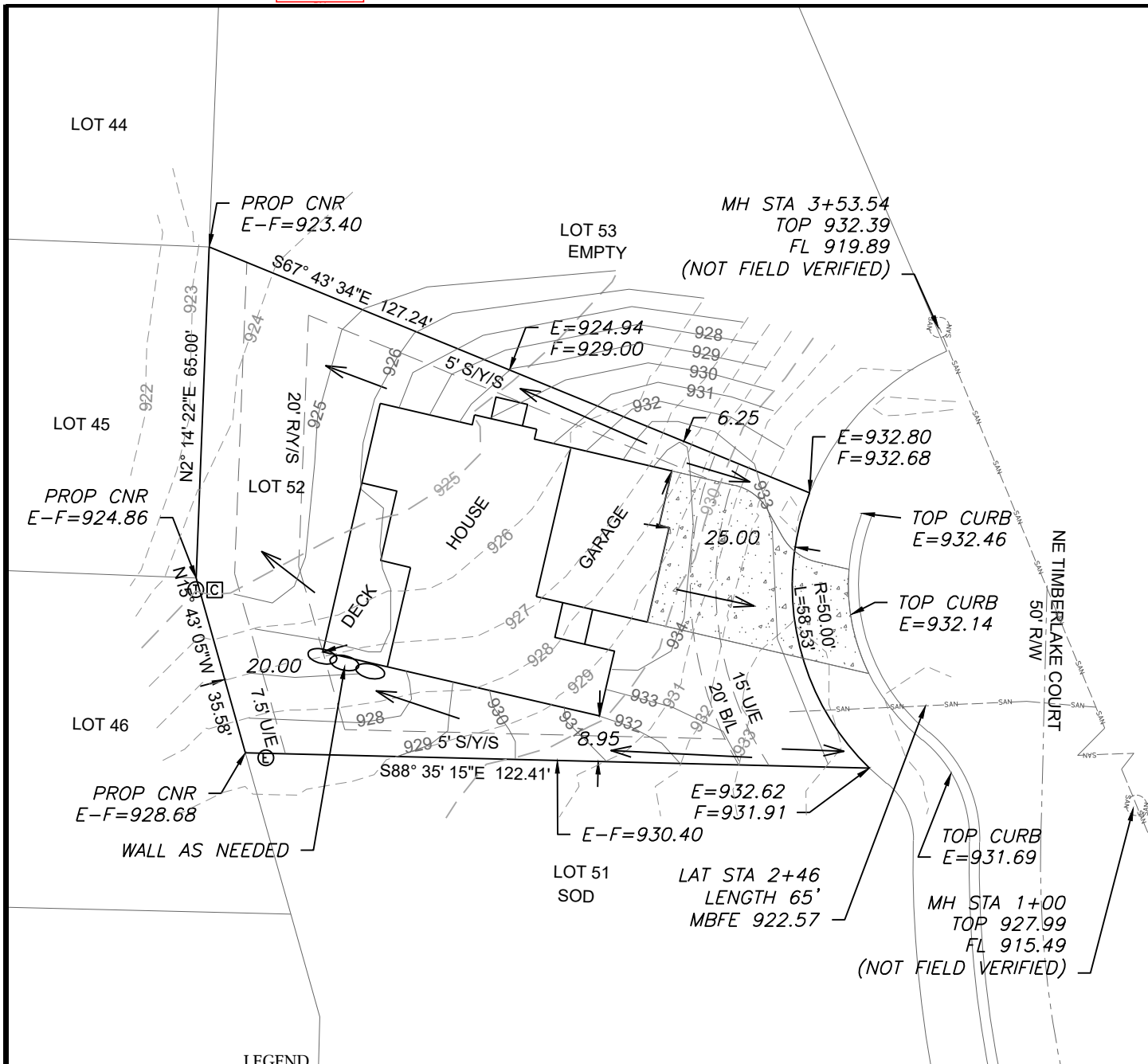




LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

PROPOSED HOUSE

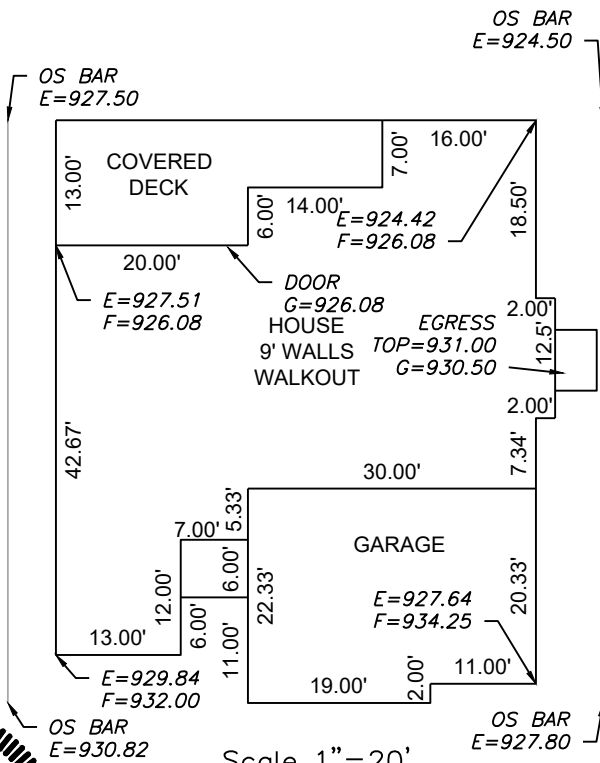
TOP FOUNDATION = 935.25
GARAGE FLOOR = 934.25
TOP FOOTING = 926.25
BASEMENT FLOOR = 926.58

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

- BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
- THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
- THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.

DRIVEWAY SLOPE = 7.6%



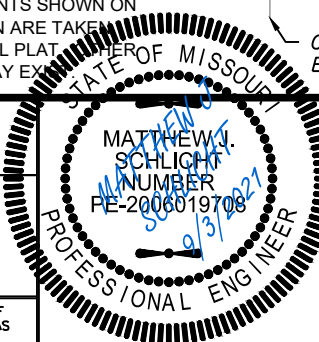
LOT INFORMATION

8,999 SQ. FT.
MBFE = 922.57
ADDRESS
4068 NE TIMBERLAKE COURT

LEGAL DESCRIPTION

LOT 52, THE TRAILS OF PARK RIDGE 2ND PLAT, A SUBDIVISION AS RECORDED IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P:(816) 623-9888 F:(816)623-9849
WWW.ENGINEERINGSOLUTIONKCC.COM



PLOT PLAN - LOT 52

THE TRAILS OF PARK RIDGE 2ND PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

WOOD BROTHERS CONSTRUCTION INC.
PO BOX 553
LEE'S SUMMIT, MO 64063

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 52, TRAILS OF PARK RIDGE	9/10/20	1	1

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.