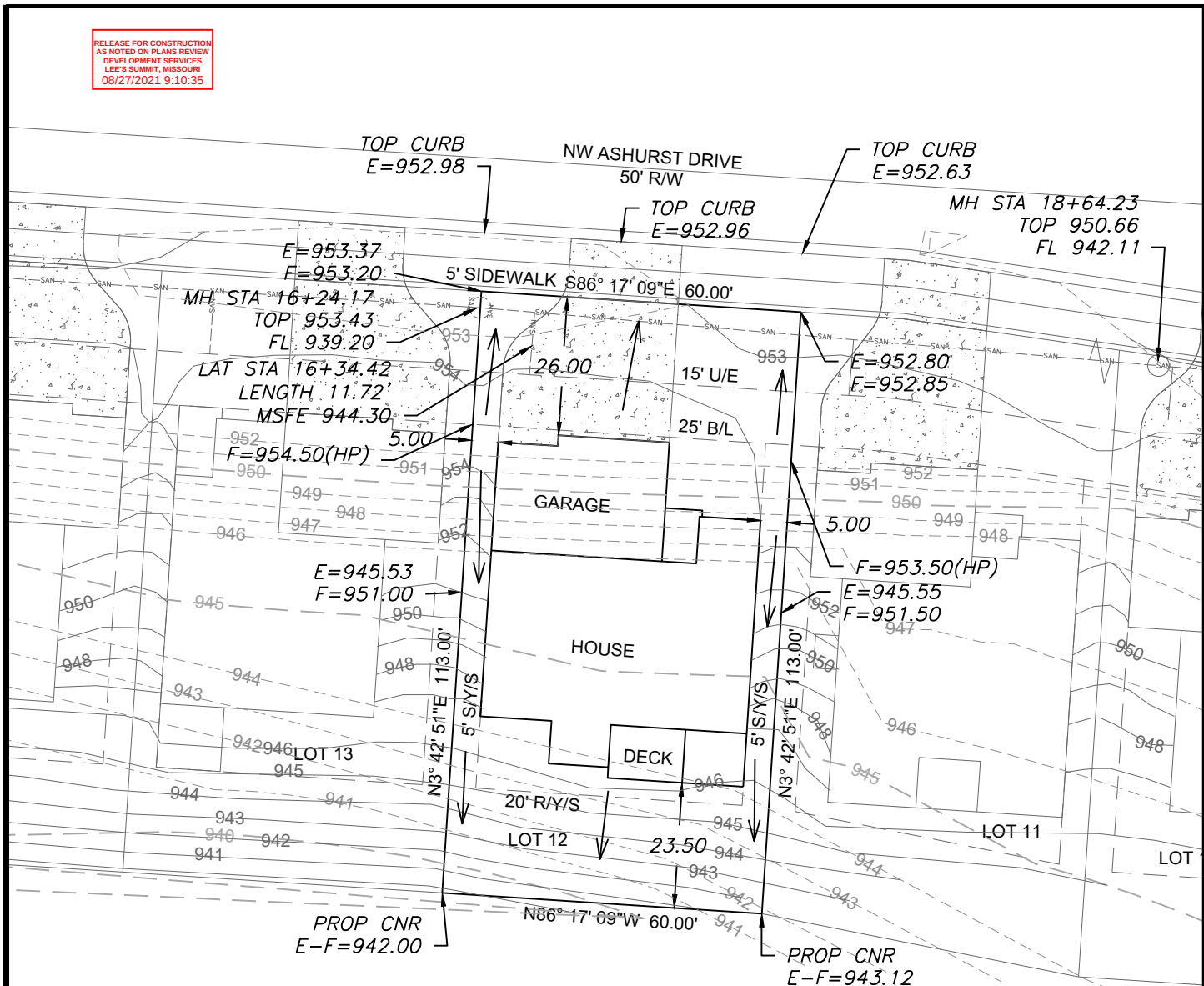




LEGEND

- | | |
|---|-----------------------------------|
|  | Gas Meter |
|  | Telephone or Fiber-Optic Pedestal |
|  | Cable TV Pedestal |
|  | Electric Pedestal |
|  | Light Pole |
|  | Mailbox |
|  | Fire Hydrant |
|  | Water Valve |

PROPOSED HOUSE

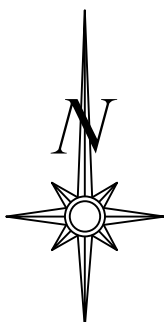
TOP FOUNDATION = 956.00
GARAGE FLOOR = 955.00
TOP FOOTING = 947.00
BASEMENT FLOOR = 947.33

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. THE EASEMENTS MAY EXIST OR NOT.

EXTENDED LOT AREA = 7,440 SF
DRIVE AREA = 797 SF
APPROACH AREA = 231 SF
SIDEWALK AREA = 196 SF
DRIVE SLOPE = 7.0%



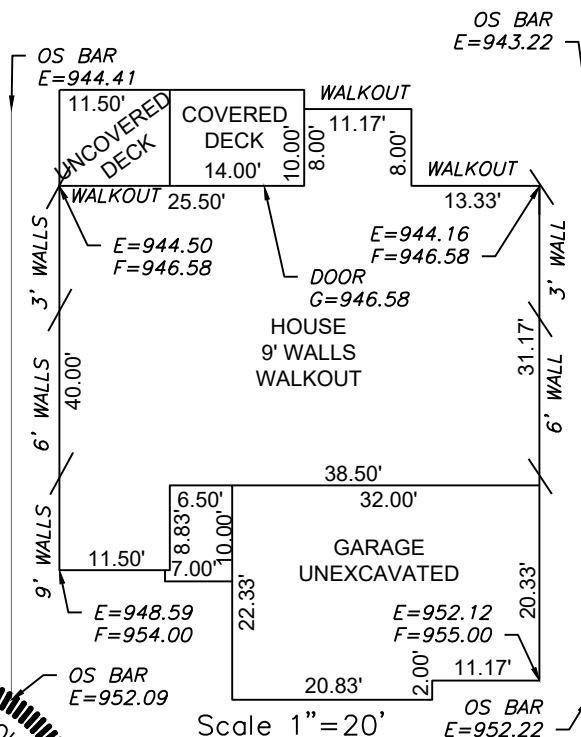
Scale 1"=30'

LOT INFORMATION

6,780 SQ. FT.
MLO (REAR LEFT) = 943.72
MLO (REAR RIGHT) = 942.60
MLO (FRONT LEFT) = 953.84
MLO (FRONT RIGHT) = 954.10
MSFE = 944.30
ADDRESS
2017 NW ASHURST DR

LEGAL DESCRIPTION

LOT 12, WOODSIDE RIDGE 1ST
PLAT, A SUBDIVISION AS
RECORDED IN LEE'S SUMMIT,
JACKSON COUNTY, MISSOURI.



Scale 1"=20'



ENGINEERING
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THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.

PLOT PLAN - LOT 12

WOODSIDE RIDGE 1ST PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SUMMIT HOMES
120 SE 30TH STREET
LEE'S SUMMIT, MO 64082

PROJECT NO. 1	FILE NAME LOT 9-15, WOODSIDE RIDGE	DATE 10/16/20	SHEET 1	OF 1
Rev:				