

LEE'S SUMMIT
MISSOURI

RELEASE FOR LAWN SPRINKLER SYSTEM
IN CITY OF LEE'S SUMMIT RIGHT OF WAY
(RESIDENTIAL)

In consideration for the City of Lee's Summit's permission to extend a Lawn Irrigation System into the City's right of way at (legal description of the property):

Lot No. 94 Plat Title Monticello Address: 4709 NE Saratoga Ct
County: Jackson State: MO

I, Jack Green, the undersigned, successors, and assigns do hereby release and forever discharge the City of Lee's Summit, its employees and/or agents from and against any and all liability, claims and demands for any use arising out of, relating to, or being in any way connected with work or service by the City, its employees or agents within the City's right of way for any purpose whatsoever.

NOW THEREFORE, the Undersigned hereby declares that said property described above shall be held, sold and conveyed subject to the release herein and said release shall run with the real property and be binding on all parties having any part thereof, their heirs, successors and assigns.

IN WITNESS WHEREOF, this release has been read, signed and sealed this 16 day of August, 2021

By: Jack Green
Jack Green
Printed or Typed Name

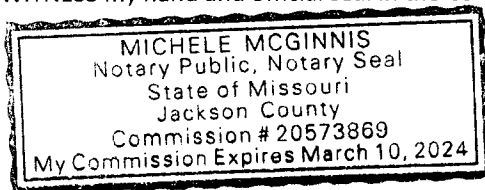
INDIVIDUAL ACKNOWLEDGMENT

STATE OF MISSOURI
COUNTY OF JACKSON

ON THIS, The 16 day of August, 2021 before me, a Notary Public, personally appeared:
Jack Green

proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) subscribed to the within instrument, and acknowledged that he he/she/they executed the same for the purposes stated therein and no other.

WITNESS my hand and official seal in the County and State aforesaid, the day and year first above written.



/s/ Michele McGinnis
Notary Public Signature
Michele McGinnis
Printed or Typed Name

(Seal)

My Commission Expires:

March 10, 2024

PLOT PLAN

DESCRIPTION: As Provided By: CLIENT

Lot 96, MONTICELLO 3RD PLAT - LOTS 68-108 & TRACTS G-J, a subdivision in Lees Summit, Jackson County, Missouri.

ADDRESS 4709 NE SARATOGA CT
GARAGE FLOOR=953.0
TOP FOUNDATION=953.7
BASEMENT FLOOR=945.0
WALKOUT=945.0
WALKOUT LAG=945.8
TOP EGRESS WELL=949.2
EGRESS LAG=948.7
MBFE PER ASBUILT=944.85
96R MBOE PER ASBUILT=941.05
96L MBOE PER ASBUILT=932.26



EASTERN & WESTERN
SWATH TYPICAL SECTION
NOT TO SCALE

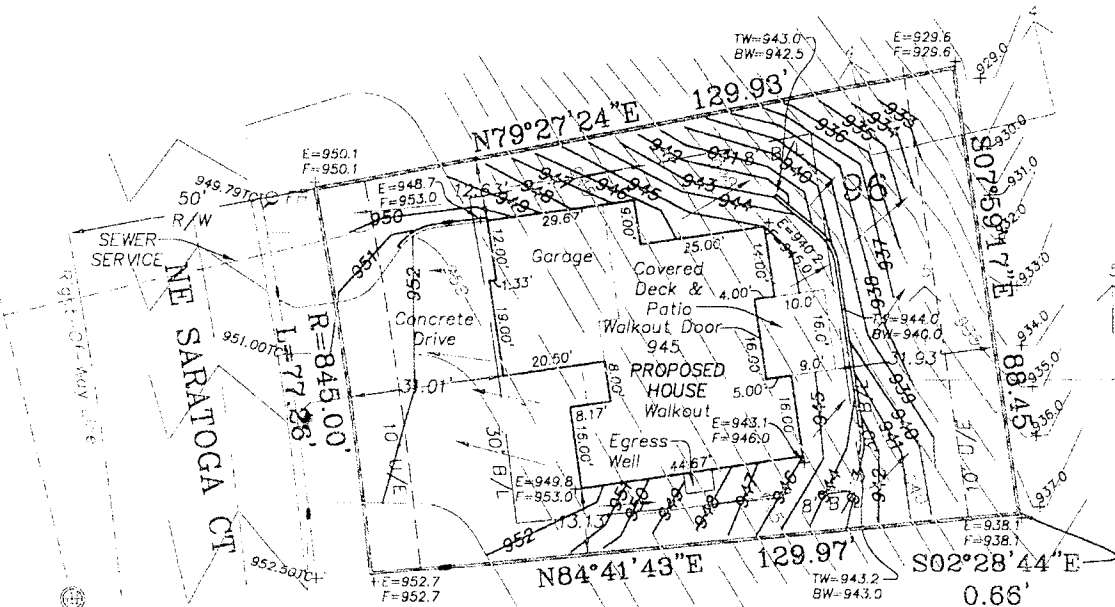
CROSS SECTION 4-4
AREA(A)=0.93
Q100(QFS)=5.37
BOTTOM ELEV 918.59
B(-1)=5.00
Z(-1)=6.0
Z(-2)=6.5
SLOPE(%)=4.44
WSE 100 YR 918.91

CROSS SECTION 5-5
AREA(A)=0.56
Q100(QFS)=2.89
BOTTOM ELEV 920.82
B(-1)=5.00
Z(-1)=5.0
Z(-2)=9.0
SLOPE(%)=4.00
WSE 100 YR 921.00

AS-GRADED PLOT PLAN IS REQUIRED PRIOR TO
SODDING PER CITY OF LEES SUMMIT.

Digitally signed
by Kim Brennan
Reason:
Release for
Construction
Date:
2020.09.30
14:06:09-0500'

Kim Brennan



NOTES:

- LEGAL DESCRIPTION OF PROPERTY PROVIDED BY CONTRACTOR. THIS PLOT PLAN DOES NOT CONSTITUTE OR REPRESENT A BOUNDARY SURVEY. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR VERIFICATION OF PROPERTY BOUNDARY, PROPERTY CORNERS, DEED DESCRIPTIONS AND LOCATIONS OF PROPOSED HOUSE WITH RESPECT TO PROPERTY LINES.
- EASEMENTS, BUILDING LINES AND SET-BACKS TAKEN FROM RECORDED PLAT ONLY.
- CONTRACTOR TO VERIFY LOCATION AND DEPTH OF SANITARY SEWER SERVICE PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS AND LOCATIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY CONDITION OF ALL FILL PRIOR TO CONSTRUCTION.
- GRADES ARE PROPOSED GRADES ONLY. FINAL GRADING AND ELEVATIONS SHALL BE CONTRACTORS RESPONSIBILITY.
- THIS IS A REPRESENTATION OF THE STRUCTURE AS STAKED BY THIS COMPANY.

REVISED DATE: 09/30/2020
PER COMMENTS

Ordered By:
D&D Building, Inc.
PO Box 1014
Lees Summit, MO, 64084

LOVELACE & ASSOCIATES, LLC
LAND SURVEYING AND PLANNING SERVICES

929 S. 3RD ST / PO BOX 68
Lees Summit, MO 64063/816-347-9997

Drawn by: J. Smith, Jr.
Checked by: J. Lovelace

SCALE: 1" = 30'

DATE: 09/30/2020 JOB NO: 20211