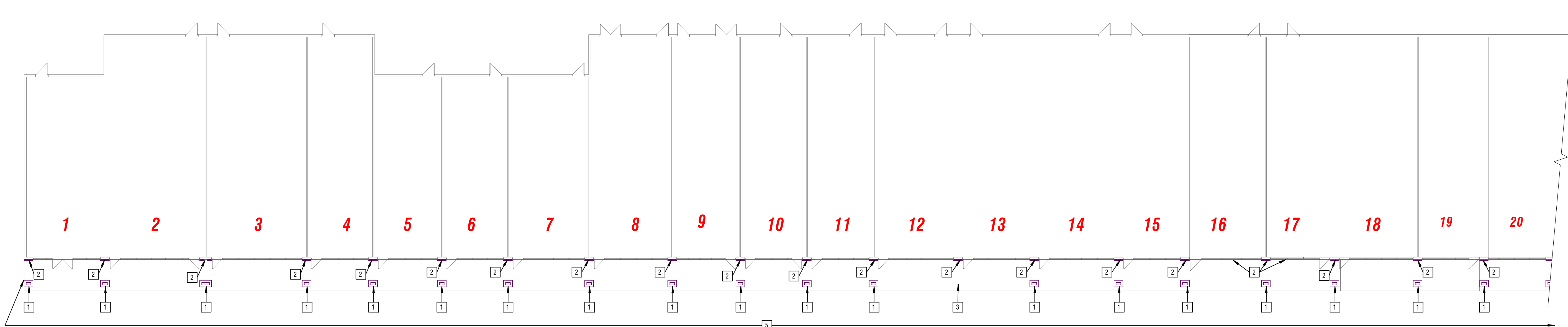


D10 DEMOLITION PLAN - SOUTH
1/16" = 1'-0" | 1/002



GENERAL DEMOLITION NOTES



A10 DEMOLITION PLAN - NORTH
1/16" = 1'-0" | 1/002

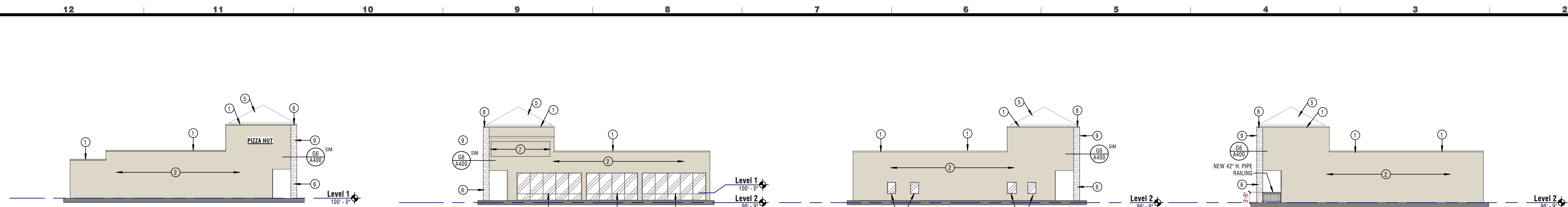


1. CONTRACTOR SHALL CONTACT DESIGNATED OWNER'S REPRESENTATIVE DAILY TO PROVIDE ACTIVITIES AND SHUTDOWN REQUIREMENTS. ALL SITE AND BUILDING USE SHALL BE COORDINATED IN ADVANCE WITH THE OWNER.
2. ALL MEP SYSTEMS TO SURROUNDING SPACES SHALL BE MAINTAINED, UNLESS COORDINATED IN ADVANCE WITH THE OWNER.
3. CONTRACTOR SHALL MEET WITH OWNER'S REPRESENTATIVE PRIOR TO BEGINNING ANY WORK, TO SET MINIMUM PROCEDURES FOR DUST CONTAMINATION.
4. WHERE REMOVAL OF EXISTING WALLS, EQUIPMENT, ETC., DISRUPTS OR DISTURBS EXISTING ELECTRICAL, MECHANICAL, OR PLUMBING SYSTEMS TO AREAS NOT TO BE REMOVED, THE CONTRACTOR SHALL PROVIDE TEMPORARY CONNECTIONS AS REQUIRED TO INSURE UNINTERRUPTED SERVICE TO SAID AREAS.
5. CONTRACTOR IS TO REMOVE COMPLETELY ANY EXISTING CONSTRUCTION WHICH CONFLICTS WITH THE INTENT OF THE NEW CONSTRUCTION. EXISTING STORAGE, LIGHTING AND ELECTRICAL DEVICES SHALL BE REMOVED, STORED AND REINSTALLED BY THE CONTRACTOR.
6. REMOVE EXISTING LIGHT FIXTURES AS REQUIRED FOR INSTALLATION OF NEW REPLACEMENT LIGHT FIXTURES AS DESCRIBED ON SHEET AND ADDITIONAL NOTES.
7. REPAIR OF CORRODED COLUMNS (BASE BID FOR COLUMNS THAT ARE EXPOSED AT TIME OF BID). UNIT PRICE FOR COLUMNS THAT ARE CONCEALED AT TIME OF BID):
 - SHORE EXISTING FRAMING THAT THE COLUMN IS SUPPORTING.
 - AFTER THE FRAMING IS SHORED, REMOVE CONCRETE BY CHIPPING IT AWAY TO EXPOSE THE NON-CORRODED PORTION OF THE COLUMN.
 - REPAIR TO ENSURE THAT THE COLUMN SHALL BE REINFORCED.
 - ALL CORRODED STEEL SHALL BE WIRE BRUSHED DOWN TO WHITE METAL.
 - REPAIR ALL STEEL SHALL BE PAINTED WITH A COLD GALVANIZING PAINT.
 - IF AFTER ALL CORRODED STEEL IS REMOVED, MORE THAN 1/8" OF STEEL HAS BEEN LEFT TO CORRODE, THE REPAIR DESCRIBED ABOVE FOR THE "HEAVILY CORRODED COLUMNS" WILL BE REQUIRED.
8. REPAIR OF HEAVILY CORRODED COLUMNS (BASE BID FOR COLUMNS THAT ARE EXPOSED AT TIME OF BID. UNIT PRICE FOR COLUMNS THAT ARE CONCEALED AT TIME OF BID):
 - SHORE EXISTING FRAMING THAT THE COLUMN IS SUPPORTING.
 - AFTER THE FRAMING IS SHORED, REMOVE CONCRETE BY CHIPPING IT AWAY TO EXPOSE THE EXISTING COLUMN BASE PLATE.
 - ALL CORRODED STEEL SHALL BE WIRE BRUSHED DOWN TO WHITE METAL.
 - A 1/4" TALL 1 X 1/2" THICK X 7' LONG PLATE SHALL BE WELDED TO BOTH SIDES OF THE COLUMN WEB. THE WELD SHALL BE A 1/4" FILLET WELD AND SHALL RUN 7' ALONG THE TOP OF THE PLATE AND DOWN THE SIDES. THE WELD SHALL BE 1/4" THICK.
 - THE EXISTING COLUMN BASE PLATE WITH 7" OF 1/4" FILLET WELD. IF THE EXISTING WELD BETWEEN THE COLUMN WEB AND THE BASE PLATE DOES NOT MATCH WITH A FILLET WELD, THE CONTRACTOR SHALL REPAIR THE EXISTING WELD SHALL BE GROUND SMOOTH.
 - AFTER THE PLATES ARE ADDED, STEEL SHALL BE PAINTED WITH A COLD GALVANIZING PAINT.
9. REMOVE ALL SEALANT MATERIAL THAT IS SCHEDULED TO RECEIVE HIGH PERFORMANCE COATING.



EXT. ELEVATION KEYNOTES

- 3 PAINT METAL COPING USING HIGH-PERFORMANCE COATING, COLOR: PPQ DURANUR XL, CHOCOLATE BROWN
- 4 INSTALL WATERPROOFING AND RESTORATION COATING SYSTEM OVER EXISTING DECK, COLOR: PPQ DURANUR XL, CHOCOLATE BROWN
- 5 INSTALL WATERPROOFING AND RESTORATION COATING SYSTEM OVER EXISTING DECK, COLOR: SW/719 "SUNLIGHT" GRAY
- 6 CLEAN AND RESTORE KALKWALL SKYLIGHT GLAZING PANELS PAINT KALKWALL SKYLIGHT GLAZING PANELS WITH HIGH-PERFORMANCE COATING, COLOR: PPQ DURANUR XL, CHOCOLATE BROWN
- 7 PAINT METAL ROOFING SYSTEM, TRIM AND FLASHING USING HIGH-PERFORMANCE COATING, COLOR: PPQ DURANUR XL, CHOCOLATE BROWN
- 8 MANUFACTURED STONE BY CORONADO, STYLE: AMALA LEDE-"SALERNO", WRAP ALL SIDES OF COLUMNS WITH STONE
- 9 PATCH DAMAGED SUBSTRATE TO MATCH EXISTING BEFORE APPLYING NEW WATERPROOFING AND RESTORATION COATING SYSTEM
- 10 NEW METAL COPING OVER MANUFACTURED STONE, PAINT COPING USING HIGH-PERFORMANCE COATING, PAINT COLOR: PPQ DURANUR XL, CHOCOLATE BROWN
- 11 MANUFACTURED STONE BY CORONADO, STYLE: AMALA LEDE-"SALERNO", WHERE STONE IS INSTALLED, REMOVE EXISTING EPS/UM SHEATHING AND WATERPROOFING WOOD JOINTS, AND REPAIR AND FINISH THE JOINTS OF EXISTING WRB TO REMAIN TO PREPARE OVERLAPPING WITH NEW WRB, REFERENCE DETAILS.
- 12 PAINT EXTERIOR SIDE OF EXISTING STOREFRONT SYSTEM USING HIGH-PERFORMANCE COATING, REMOVE EXISTING SEALANT AROUND ALUMINUM FRAMING BEFORE PAINTING, REPLACE WITH NEW SEALANT AFTER PAINTING, PAINT COLOR: PPQ DURANUR XL, CHOCOLATE BROWN
- 13 CLEAN AND RESTORE KALKWALL SKYLIGHT GLAZING PANELS FROM BELOW, PAINT EXISTING KALKWALL SKYLIGHT SYSTEM FRAMING, TRIM, AND FLASHING FROM BELOW USING HIGH-PERFORMANCE COATING, COLOR: PPQ DURANUR XL, CHOCOLATE BROWN
- 14 INSTALL WATERPROOFING AND RESTORATION COATING SYSTEM OVER EXISTING DECK ON BACKSIDE SIDE WALLS/CEILING/SOFFIT/PAINT ACCESS PANELS, APPLYING HIGH-PERFORMANCE COATING, COLOR TO BE SELECTED BY ARCHITECT.
- 15 PAINT ALL SIDES OF EXISTING STOREFRONT SYSTEM USING HIGH-PERFORMANCE COATING, REMOVE EXISTING SEALANT AROUND ALUMINUM FRAMING BEFORE PAINTING, INSTALL NEW SEALANT AFTER PAINTING, PAINT COLOR SHALL BE PPQ DURANUR XL, CHOCOLATE BROWN
- 16 PAINT EXTERIOR WALL AND WINDOW FRAME TO BE SELECTED BY ARCHITECT, ALTERNATE #3 OMIT THE PAINTING
- 17 PAINT OVER EXISTING OUTSIGHTS AND DOWNSPUTS USING HIGH-PERFORMANCE COATING, COLOR TO BE SELECTED BY ARCHITECT, ALTERNATE #3 OMIT PAINTING
- 18 INSTALL WATERPROOFING AND RESTORATIONS COATING SYSTEM OVER EXISTING DECK, COLOR TO BE SELECTED BY ARCHITECT, ALTERNATE #3 OMIT COATING SYSTEM

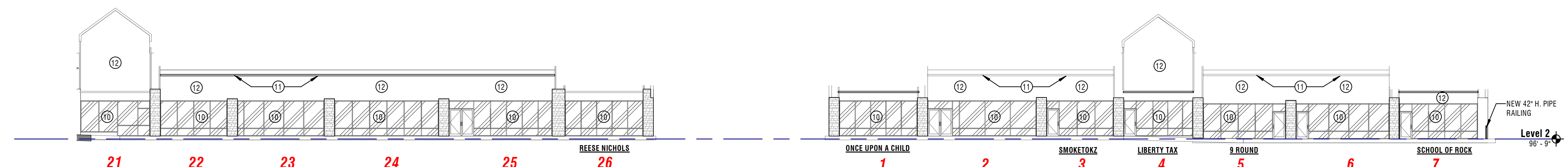


H12 NORTH BUILDING - NORTH ELEVATION

H9 NORTH BUILDING - SOUTH ELEVATION

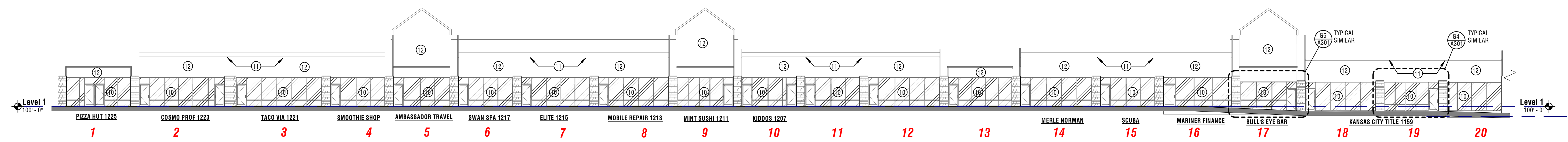
H7 SOUTH BUILDING - NORTH ELEVATION
1/16" = 1'-0" | D11/A101

H4 SOUTH BUILDING - SOUTH ELEVATION
1/16" = 1'-0" | D11/A101



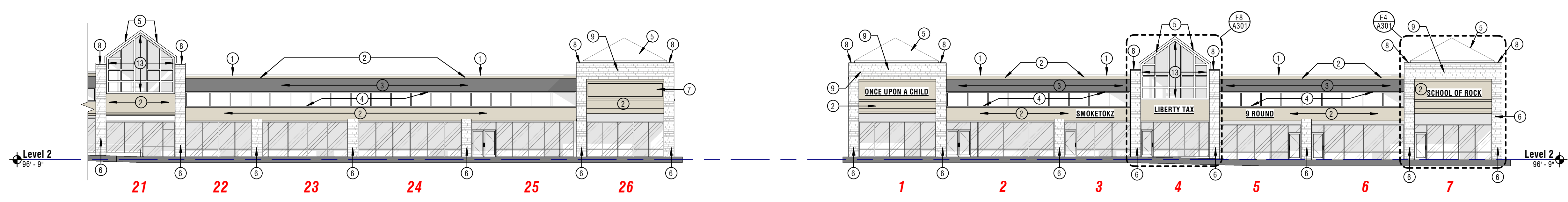
F10 WEST STOREFRONT ELEVATION - SOUTH
1/16" = 1'-0" | A11/A101

GENERAL NOTES AT STOREFRONT ELEVATIONS:
 BASE BID: REMOVE EXISTING BRICK VENEER AND REPLACE WITH NEW STONE VENEER ADJACENT TO STOREFRONT (TYPICAL).
 ALTERNATE NO. 1: PROVIDE WATERPROOFING AND RESTORATION COATING OVER EXISTING BRICK VENEER ADJACENT TO STOREFRONT.
 ALTERNATE NO. 2: PROVIDE EXTERIOR PAINT OVER EXISTING BRICK VENEER ADJACENT TO STOREFRONT.

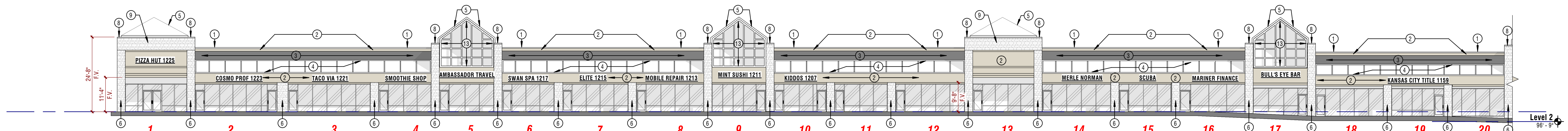


D12 WEST STOREFRONT ELEVATION - NORTH
1/16" = 1'-0" | A11/A101

GENERAL NOTES AT STOREFRONT ELEVATIONS:
 BASE BID: REMOVE EXISTING BRICK VENEER AND REPLACE WITH NEW STONE VENEER ADJACENT TO STOREFRONT (TYPICAL).
 ALTERNATE NO. 1: PROVIDE WATERPROOFING AND RESTORATION COATING OVER EXISTING BRICK VENEER ADJACENT TO STOREFRONT.
 ALTERNATE NO. 2: PROVIDE EXTERIOR PAINT OVER EXISTING BRICK VENEER ADJACENT TO STOREFRONT.

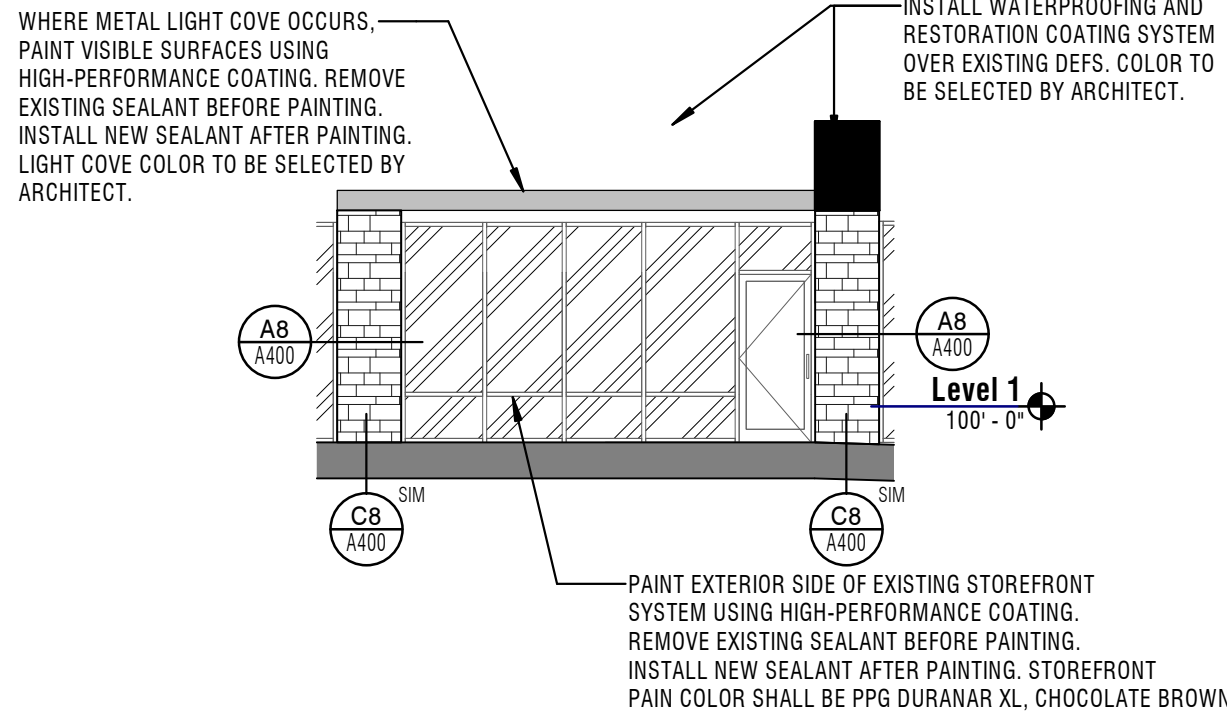


C10 WEST ELEVATION - SOUTH
1/16" = 1'-0" | A11/A101



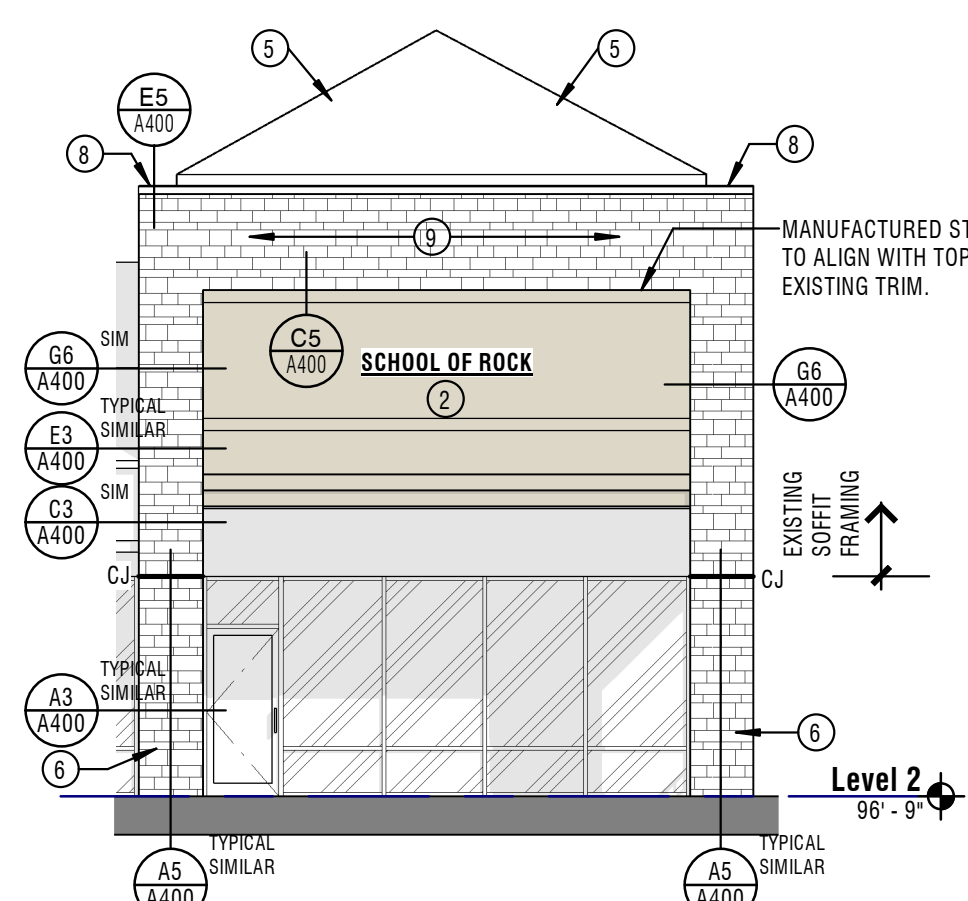
A12 WEST ELEVATION - NORTH
1/16" = 1'-0" | A11/A101

2. PAINT METAL COPING USING HIGH-PERFORMANCE COATING. COLOR: PPS DURANUR XL, CHOCOLATE BROWN.
3. PAINT EXISTING ALUMINUM STOREFRONT SYSTEM USING HIGH-PERFORMANCE COATING. COLOR TO BE SELECTED BY ARCHITECT.
4. INSTALL WATERPROOFING AND RESTORATION COATING SYSTEM OVER EXISTING DECK. COLOR TO BE SELECTED BY ARCHITECT.
5. CLEAN AND RESTORE KALLWALL SKYLIGHT GLAZING PANELS. PAINT EXISTING KALLWALL SKYLIGHT SYSTEM FRAMING, TRIM, AND FLASHING USING HIGH-PERFORMANCE COATING. PAINT COLOR: PPS DURANUR XL, CHOCOLATE BROWN.
6. PAINT EXISTING METAL ROOFING SYSTEM, TRIM AND FLASHING USING HIGH-PERFORMANCE COATING. COLOR: PPS DURANUR XL, CHOCOLATE BROWN.
7. MANUFACTURED STONE BY CORONADO, STYLE: AMALFI LEDE: "SALERNO" WRAP ALL SIDES OF COLUMN WITH STONE.
8. MANUFACTURED SUBSTITUTION TO MATCH EXISTING PERFORMER AND FINISHED SUBSTITUTION TO MATCH EXISTING PERFORMER.
9. NEW METAL COPING OVER MANUFACTURED STONE. PAINT COPING USING HIGH-PERFORMANCE COATING. PAINT COLOR: PPS DURANUR XL, CHOCOLATE BROWN.
10. MANUFACTURED STONE BY CORONADO, STYLE: AMALFI LEDE: "SALERNO" WHERE STONE IS INSTALLED. REMOVE EXISTING SKYLIGHT SHEATHING. PAINT EXISTING SKYLIGHT SYSTEM FRAMING, TRIM, AND FLASHING PORTION OF EXISTING WUB TO REMAIN TO PROVIDE OVERLAPPING WITH NEW WUB.
11. PAINT EXTERIOR SIDE OF EXISTING STOREFRONT SYSTEM USING HIGH-PERFORMANCE COATING. REMOVE EXISTING SEALANT UNDER ALUMINUM FRAMING BEFORE PAINTING. INSTALL NEW SEALANT AFTER PAINTING. PAINT COLOR TO BE SELECTED BY ARCHITECT.
12. CLEAN AND RESTORE KALLWALL SKYLIGHT GLAZING PANELS FROM BELOW. PAINT EXISTING KALLWALL SKYLIGHT SYSTEM FRAMING, TRIM, AND FLASHING USING HIGH-PERFORMANCE COATING. COLOR: PPS DURANUR XL, CHOCOLATE BROWN.
13. INSTALL WATERPROOFING AND RESTORATION COATING SYSTEM OVER EXISTING DECK. COLOR TO BE SELECTED BY ARCHITECT.
14. PAINT EXISTING ALUMINUM STOREFRONT SYSTEM USING HIGH-PERFORMANCE COATING. REMOVE EXISTING SEALANT UNDER ALUMINUM FRAMING BEFORE PAINTING. INSTALL NEW SEALANT AFTER PAINTING. PAINT COLOR TO BE SELECTED BY ARCHITECT.
15. PAINT EXISTING GYM WALL (BASE BOLD). PAINT THE PAINTING. ARCHITECT. ALTERNATE #3 OMTS PAINTING.
16. PAINT OVER EXISTING PAINTING METAL DOOR AND FRAME (BASE BOLD). PAINT THE PAINTING. ARCHITECT. ALTERNATE #3 OMTS PAINTING.
17. PAINT OVER EXISTING GYM WALLS AND DOWNSPUTS USING HIGH-PERFORMANCE COATING. COLOR TO BE SELECTED BY ARCHITECT. ALTERNATE #3 OMTS PAINTING.
18. INSTALL WATERPROOFING AND RESTORATIONS COATING SYSTEM OVER EXISTING DECK. COLOR TO BE SELECTED BY ARCHITECT. ALTERNATE #3 OMTS PAINTING.



BASE BID: REMOVE EXISTING BRICK VENEER AND REPLACE WITH NEW STONE VENEER ADJACENT TO STOREFRONT.
ALTERNATE NO. 1: PROVIDE WATERPROOFING AND RESTORATION COATING OVER EXISTING BRICK VENEER ADJACENT TO STOREFRONT
ALTERNATE NO. 2: PROVIDE EXTERIOR PAINT OVER EXISTING BRICK VENEER ADJACENT TO STOREFRONT.

BASE BID: REMOVE EXISTING BRICK VENEER AND REPLACE WITH NEW STONE VENEER ADJACENT TO STOREFRONT.
ALTERNATE NO. 1: PROVIDE WATERPROOFING AND RESTORATION COATING OVER EXISTING BRICK VENEER ADJACENT TO STOREFRONT
ALTERNATE NO. 2: PROVIDE EXTERIOR PAINT OVER EXISTING BRICK VENEER ADJACENT TO STOREFRONT.



E4 TYPICAL BOX TOWER

