



# 940 NW Pryor Road Lee's Summit, Missouri 64081

**PROJECT NO.:** 18-046  
**ISSUE DATE:** 5.21.2021 (TENANT EQUIPMENT)

**RELEASE FOR CONSTRUCTION**  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICE  
LEE'S SUMMIT, MISSOURI  
06/18/2021

ARCHITECT	STRUCTURAL ENGINEER	MECHANICAL ENGINEER	ELECTRICAL ENGINEER
TR, I ARCHITECTS	BOB D CAMPBELL & COMPANY	RENAISSANCE INFRASTRUCTURE CONSULTING	PLUMBING ENGINEER
ARCHITECTS	GENERAL CONTRACTOR	MECHANICAL ENGINEER	ELECTRICAL ENGINEER
BOB D CAMPBELL & COMPANY	RENAISSANCE INFRASTRUCTURE CONSULTING	BRINKMANN CONSTRUCTORS	LATIMER SOMMERS & ASSOCIATES
TR, I ARCHITECTS	BOB D CAMPBELL & COMPANY	RENAISSANCE INFRASTRUCTURE CONSULTING	LATIMER SOMMERS & ASSOCIATES

Pearl  
COMPANIES

### GENERAL NOTES

1. AIA DOCUMENT A-201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, CURRENT EDITION, AND SPECIAL CONDITIONS AS NOTED IN THE PROJECT MANUAL, SHALL GOVERN THE WORK.
2. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY EXISTING FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
3. GENERAL CONTRACTOR SHALL CROSS-REFERENCE THE VARIOUS DISCIPLINES PLANS HEREIN AND REVIEWED SHOP DRAWINGS PRIOR TO STARTING CONSTRUCTION PHASE OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
4. ONLY CONTRACT DOCUMENTS APPROVED FOR CONSTRUCTION AND REVIEWED SHOP DRAWINGS SHALL BE USED FOR CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF SAID DOCUMENTS AND UPDATES TO THE FIELD FOR CONSTRUCTION.
5. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE SUBCONTRACTOR WORK WITH THESE PROJECT DOCUMENTS.
6. DIMENSIONS TO THE EXTERIOR OF THE BUILDING ARE TO THE EXTERIOR OF FOUNDATION/MASONRY UNLESS NOTED OTHERWISE.
7. DO NOT SCALE DRAWINGS.
8. THE WORD 'ALIGN' AS USED IN THESE DOCUMENTS SHALL SUPERSEDE DIMENSIONAL INFORMATION.
9. NO PRODUCTS CONTAINING ASBESTOS SHALL BE INSTALLED IN OR USED DURING THE CONSTRUCTION OF THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CERTIFY TO THE OWNER THAT THIS REQUIREMENT HAS BEEN COMPLIED WITH.
10. ALL HVAC EQUIPMENT AND DUCTWORK SHALL COMPLY WITH THE CURRENT APPLICABLE MECHANICAL CODE AND INSTALLED PER SMACNA RECOMMENDATIONS.
11. CODE COMPLIANCE - THE WORK SHALL BE GOVERNED BY ALL CURRENT APPLICABLE LOCAL, CITY, STATE AND NATIONAL CODES AND LAWS. THESE AUTHORITIES INCLUDE, BUT ARE NOT LIMITED TO THE INTERNATIONAL BUILDING CODE, NATIONAL ELECTRIC CODE, NATIONAL FIRE PROTECTION ASSOCIATION OR ANY OTHER AUTHORITY OR BODY HAVING JURISDICTION OVER WORK. THE SITE, PARKING LOT, AND BUILDING SHALL COMPLY WITH THE ADA (AMERICANS WITH DISABILITIES ACT) REGULATIONS. NOTIFY ARCHITECT OF ANY REQUIRED CHANGES TO COMPLY WITH ADA.
12. REFERENCE CIVIL DRAWINGS FOR SITE WORK, INCLUDING THE BUILDING LOCATION ON THE SITE.



### DRAWING INDEX

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P104	PARTIAL GARAGE PLAN - PLUMBING	●	○
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### ABBREVIATIONS

ABV	ABOVE	OFCl	OWNER FURNISHED CONTRACTOR INSTALLED
AFF	ABOVE FINISH FLOOR	OF0I	OWNER FURNISHED OWNER INSTALLED
ACT	ACOUSTICAL ALUMINUM AND @	OC	ON CENTER
ALUM	ALUMINUM	OPNG	OPENING
@	AT	PTD	PAINTED
BLK	BLOCK	PLAM	PLASTIC LAMINATE
BD	BOARD	PLYWD	PLYWOOD
BO	BOTTOM OF	PT	PRESSURE TREATED
CLG	CEILING CENTER LINE		
CL	CERAMIC TILE		
CLR	CLEAR		
CONC	CONCRETE		
CMU	CONC. MASONRY UNIT		
CNT	CONTINUOUS		
CONTR	CONTRACTOR		
CFCl	CONTRACTOR FURNISHED CONTRACTOR INSTALLED		
CJ	CONTROL JOINT		
CG	CORNER GUARD		
DTL	DETAIL		
DIA	DIAMETER		
DR	DOOR		
DS	DOWNSPOUT		
DWG	DRAWING		
EOS	EDGE OF SLAB		
ELEC	ELECTRICAL		
ELEV	ELEVATION		
EQ	EQUAL		
EQUIP	EQUIPMENT		
EXIST	EXISTING		
EJ	EXPANSION JOINT		
FT	FEET		
FG	FINISH GRADE		
FF	FINISH FLOOR		
FR	FIRE RETARDANT FLOOR		
GC	GENERAL CONTR. CURSUM		
GVP	GYPSUM		
HDWD	HARDWOOD		
HDPB	HIGH DENSITY PARTICLE BOARD		
HT	HEIGHT		
HR	HOUR		
INSUL	INSULATION		
JT	JOINT		
LAV	LAVATORY		
MO	MASONRY OPENING		
MSRY	MASONRY		
MDF	MEDIUM DENSITY FIBERBOARD		
MECH	MECHANICAL		
MTL	METAL		
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		

### PROJECT DIRECTORY

<b>General Contractor</b> Brinkmann Constructors 8700 Indian Creek Parkway Suite 150 Overland Park, KS 66210 Phone: (314) 365-9750 Contact: Philip Sutterfield	<b>Architect</b> TR, I Architects 9812 Manchester Road St. Louis, Missouri 63119 Phone: (314) 475-9271 Contact: Jeff Kaiser (ext 219) Michaela Silva (ext 275)	<b>Owner</b> Summit at West Pryor, LLC 919 N. East Street Indianapolis, Indiana 46202 Phone: (317) 478-4221 Contact: Brad Richey
<b>Structural Engineer</b> Bob D Campbell & Company 4338 Bellevue Avenue Kansas City, Missouri 64111 Phone: (816) 531-4144 Contact: Clark Basinger (Direct: 816-778-7191)	<b>Civil Engineer</b> Renaissance Infrastructure Consulting 1815 McGee Street, Suite 200 Kansas City, MO 64108 Phone: (816) 800-9950 Contact: Dustin Burton	
<b>Mech / Elec / Plumb. Engineer</b> Latimer Sommers and Associates 3838 SW Summerfield Dr Ste A Topeka, KS 66614 Phone: (785) 233-3232 Contact: Rich Beardmore		

### PROJECT SUMMARY

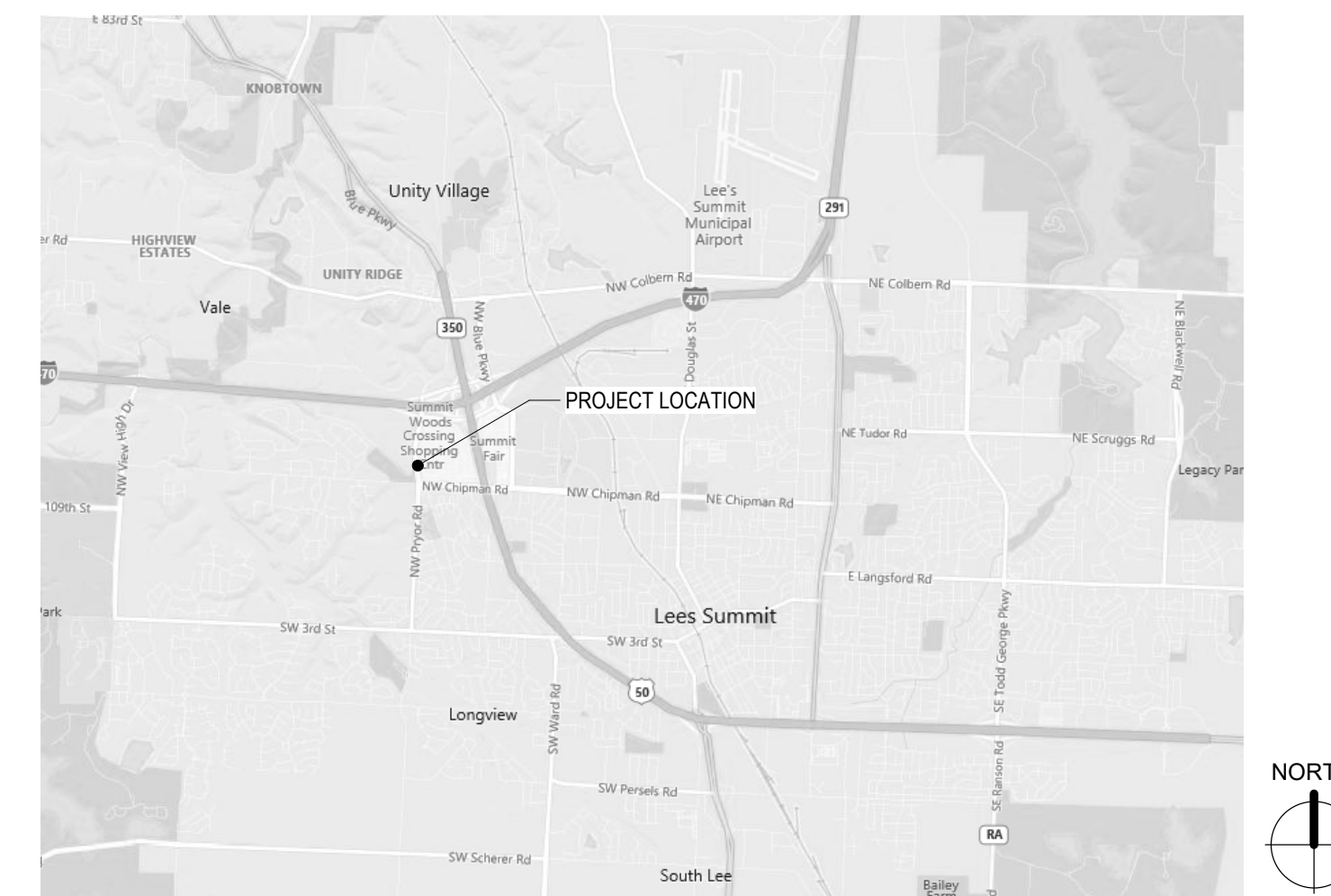
**\*FOR COMPLETE CODE ANALYSIS SEE LIFE SAFETY PLAN SHEET A006 - A010**

<b>PROJECT NAME:</b>	Summit at West Pryor
<b>PROJECT ADDRESS:</b>	NWO NW Pryor Rd & NW Lowenstein Dr Lee's Summit, Missouri 64081
<b>PROJECT DESCRIPTION:</b>	237 Unit development
<b>BUILDING CODES:</b>	2018 International Building Code 2017 National Electrical Code 2018 International Mechanical Code 2018 International Plumbing Code 2018 International Energy Conservation Code
<b>ACCESSIBILITY:</b>	2010 ADA Guidelines & 2017 ICC/ANSI A117.1 Fair Housing Act
<b>OCCUPANCY TYPE / USE GROUP:</b>	SEE LIFE SAFETY PLANS.

### SYMBOLS

CONCRETE	BUILDING SECTION	COL GRID
BRICK	WALL SECTION	ROOM
BLOCKING	DETAIL	TEMPERED GLASS
BATT INSULATION	PARTITION TYPE	NEW CONSTRUCTION
RIGID INSULATION		EXISTING CONSTR. TO REMAIN
CONCRETE BLOCK		EXISTING CONSTR. REMOVED

### LOCATION MAP



Summit at West Pryor

940 NW Pryor Road  
Lee's Summit, Missouri 64081

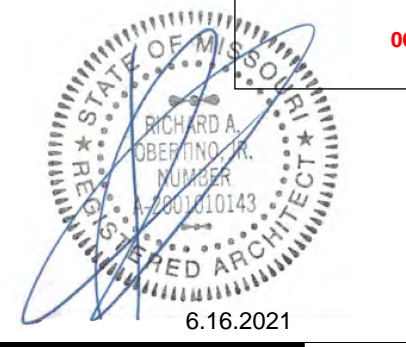
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St. Louis, Missouri 63144  
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**DATE:** 5.21.21

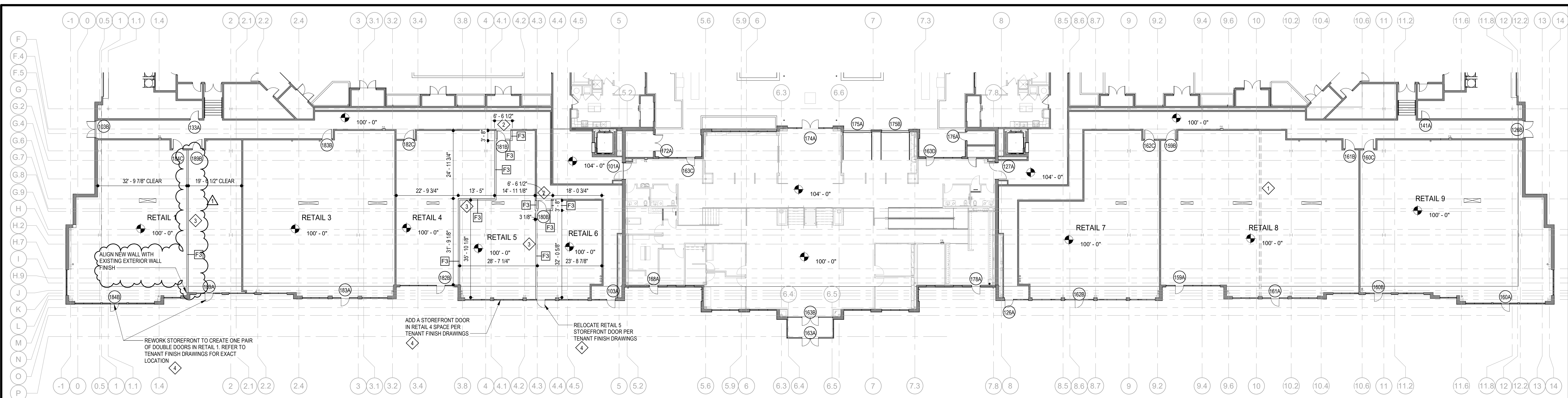
#### REVISIONS

NO.	DATE	DESCRIPTION

<b>DWG BY</b>	Author
<b>TR, I PROJECT NO.</b>	18-046
<b>SHEET NO.</b>	A00
COVER SHEET	



ARCHITECT: TRJ ARCHITECTS  
 STRUCTURAL ENGINEER: BOB D CAMPBELL & COMPANY  
 CIVIL ENGINEER: RENAISSANCE INFRASTRUCTURE CONSULTING  
 GENERAL CONTRACTOR: BRINKMANN CONSTRUCTORS  
 MECHANICAL ENGINEER: LATIMER SOMMERS & ASSOCIATES  
 PLUMBING ENGINEER: LATIMER SOMMERS & ASSOCIATES  
 ELECTRICAL ENGINEER: LATIMER SOMMERS & ASSOCIATES



1 FIRST FLOOR PLAN  
 SCALE: 1/16" = 1'-0"

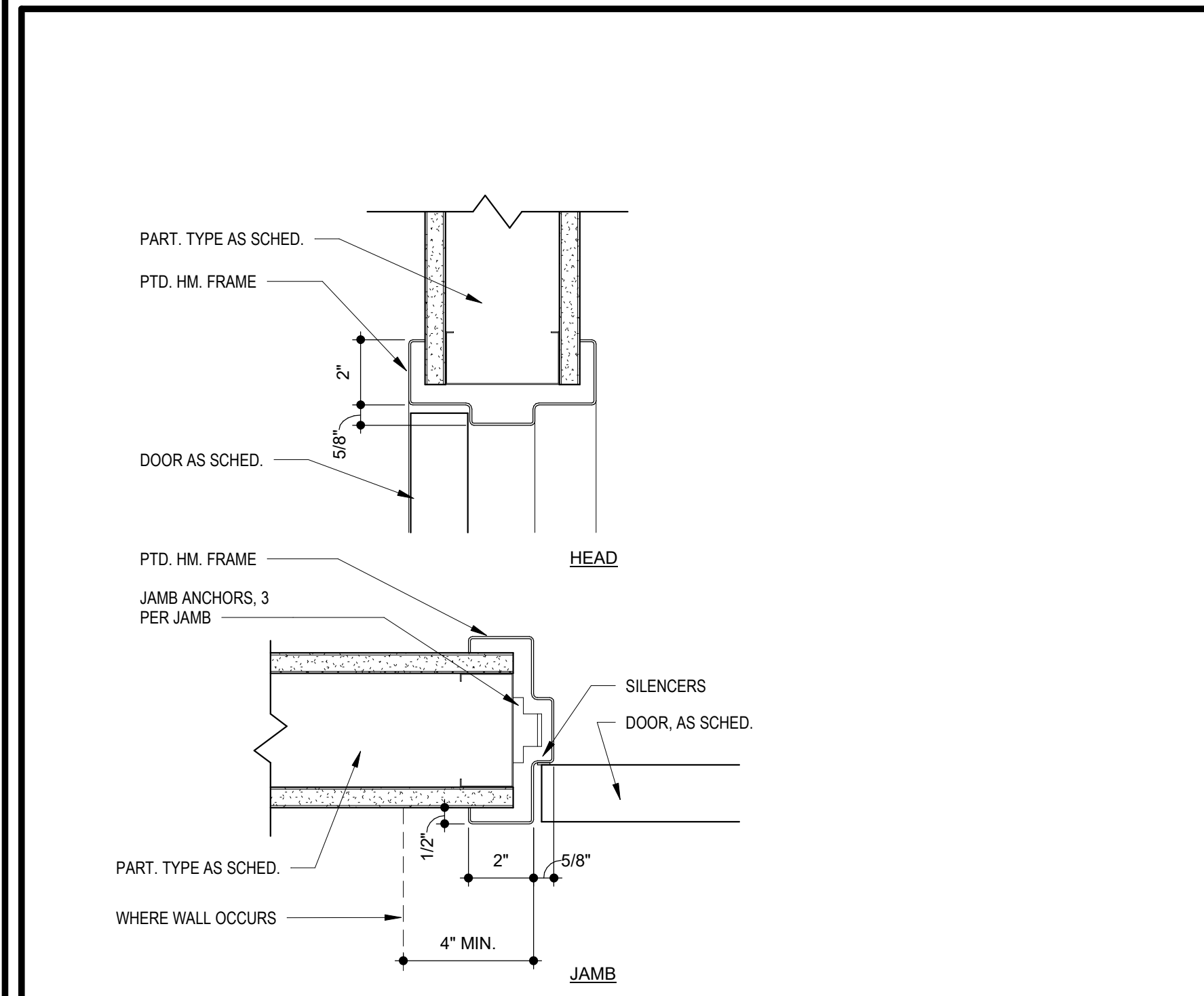
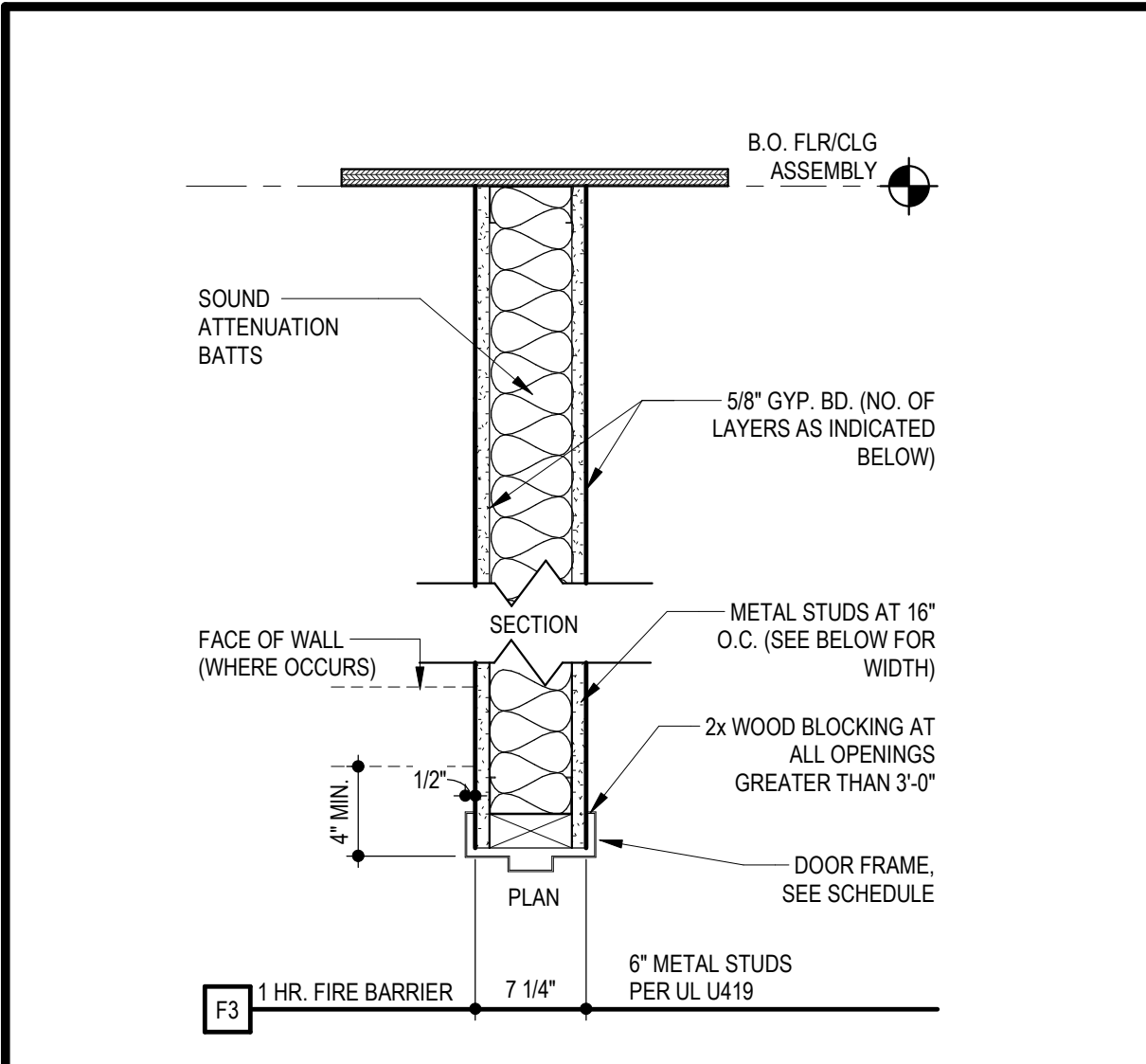
DOOR SCHEDULE FIRST FLOOR RETAIL REWORK

DOORS						FRAMES							
NO.	TYPE	MATL.	WIDTH	HEIGHT	HRDWRE SET	LABEL	REMARKS	TYPE	MATL.	HEAD	JAMBS	SILL	LABEL
180B	A	WD	3'-0"	7'-0"	E3	45 MIN	-	1	HM	16/A500	16/A500	-	45 MIN
181B	A	WD	3'-0"	7'-0"	E3	45 MIN	-	1	HM	16/A500	16/A500	-	45 MIN



- KEYED NOTES
- DEMO DEMISING WALL TO COMBINE RETAIL SPACES
  - DEMO PORTION OF CORRIDOR WALL FOR NEW BACK OF HOUSE EXIT FROM RETAIL SPACE
  - NEW WALL TO DIVIDE RETAIL SPACES
  - STOREFRONT SYSTEM AND GLAZING TO MATCH EXISTING SYSTEM.  
 GLASS TYPES: TYPE 1 - 1/4" Clear Solarban 60 (2) - 1/2" Black AS - 1/4" Clear ANWANN  
 TYPE 2 - 1/4" Clear Solarban 60 (2) - 1/2" Black AS - 1/4" Clear TE/TE  
 STOREFRONT: Manko 2450FS BLACK ANODIZED STOREFRONT  
 STOREFRONT DOORS: Manko Series 1351 STOREFRONT DOOR

- GENERAL NOTES
- THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
  - FIRE RETARDANT TREATED WOOD PERMITTED TO BE USED IN LOCATIONS SPECIFIED IN TABLE 602, NOTE D AND SECTION 603.2 AND 2310.0. VERIFY SECTIONS IN 2009 IBC.
  - FOR RETAIL SHOPS, COORDINATE WITH G.C. AND OWNER FOR FINAL TENANT DOOR QUANTITIES AND LOCATIONS.
  - ALL DIMENSIONS ARE TO FINISH FACE OF WALL



Summit at West Pryor  
 940 NW Pryor Road  
 Lee's Summit, Missouri 64081

TRJ ARCHITECTS  
 TRJ Architects  
 1750 Brentwood Blvd  
 St. Louis, Missouri 63144  
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REVISIONS

NO.	DESCRIPTION	DATE
1	ASI 1	Date 14

DWG BY: MKSS  
 TRJ PROJECT NO.: 18-046  
 SHEET NO.:

A500  
 RETAIL TENANT REWORK



ARCHITECT  
TRAVIS ARCHITECTS  
BOB D CAMPBELL & COMPANY  
RENAISSANCE INFRASTRUCTURE  
CONSULTING  
BRINKMANN CONSTRUCTORS  
LATIMER SOMMERS & ASSOCIATES  
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STRUCTURAL ENGINEER  
CIVIL ENGINEER  
GENERAL CONTRACTOR  
MECHANICAL ENGINEER  
PLUMBING ENGINEER  
ELECTRICAL ENGINEER



# Summit at West Pryor

940 NW Pryor Road  
Lee's Summit, Missouri 64081



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T: 314-365-0750

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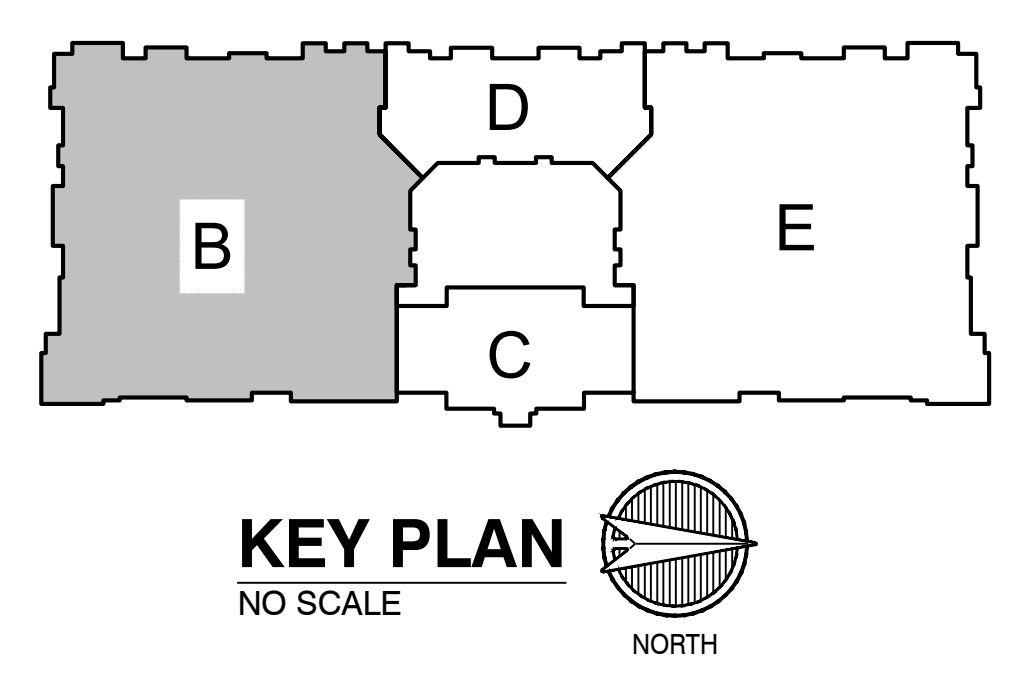
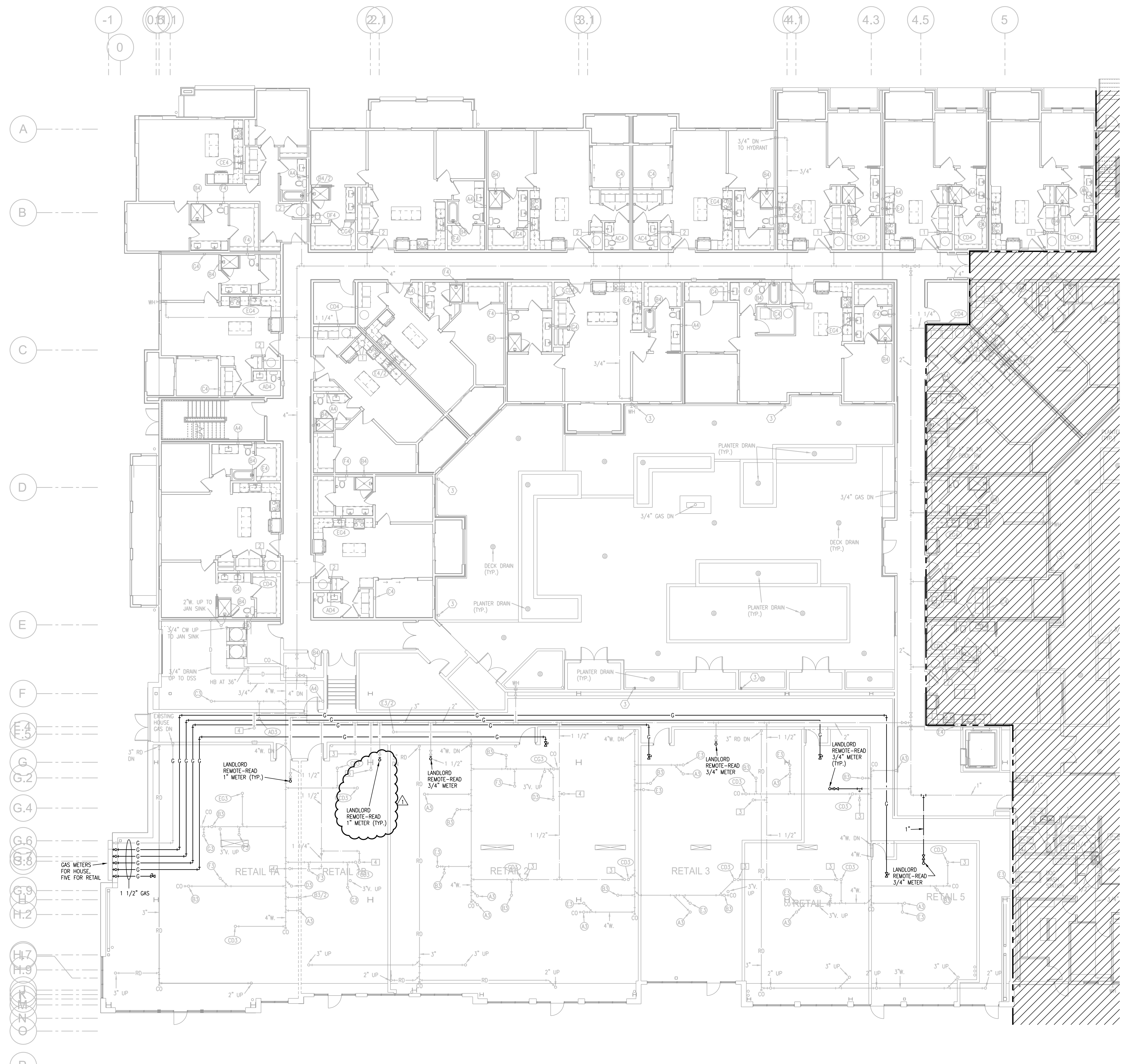
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SHEET NO.

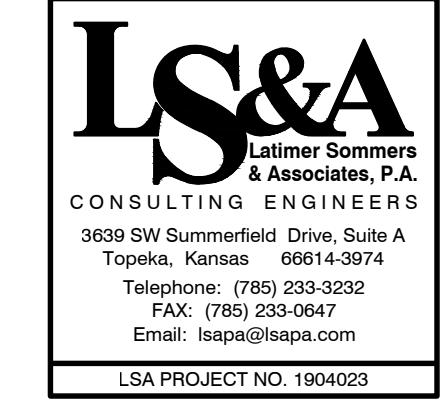
**P105**  
FIRST FLOOR PLAN - AREA B  
PLUMBING  
FOR INFORMATION ONLY

- NOTES:
1. ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
  2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
  3. DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM.
  4. ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
  5. CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
  6. ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
  7. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
  8. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
  9. SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
  10. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
  11. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
  12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
  13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.

- LEGEND:
- ① 3"V. UP TO RISER FOR FUTURE CONNECTION.
  - ② 6" UP TO DOWNSPOUT CONNECTION.
  - ③ DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
  - ④ PENETRATE BEAM PER STRUCTURAL DETAIL.



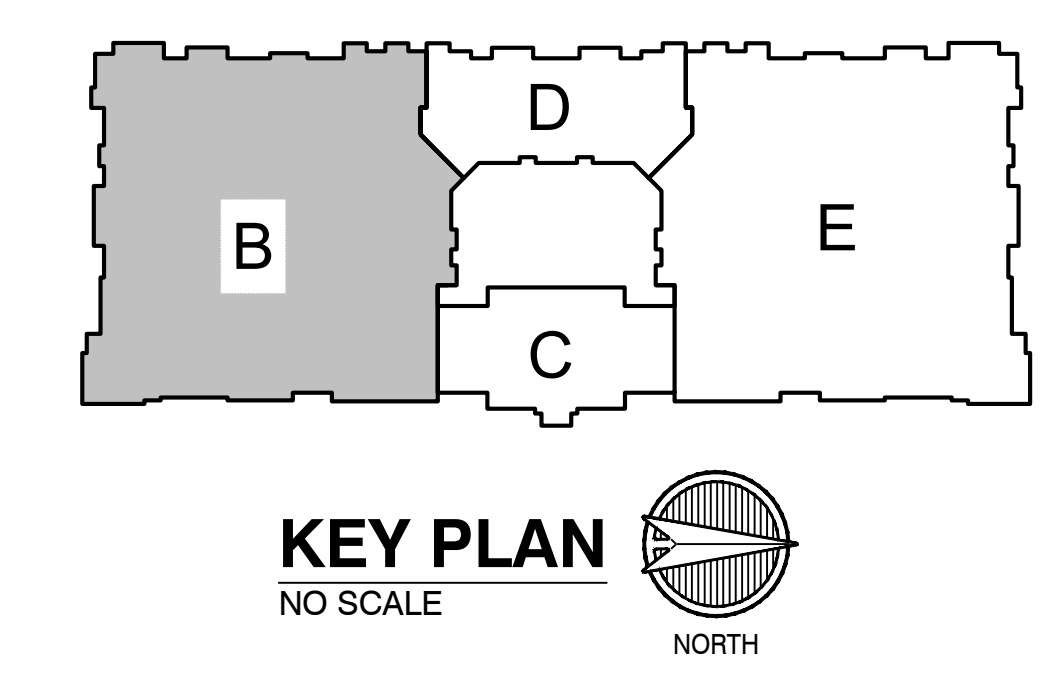
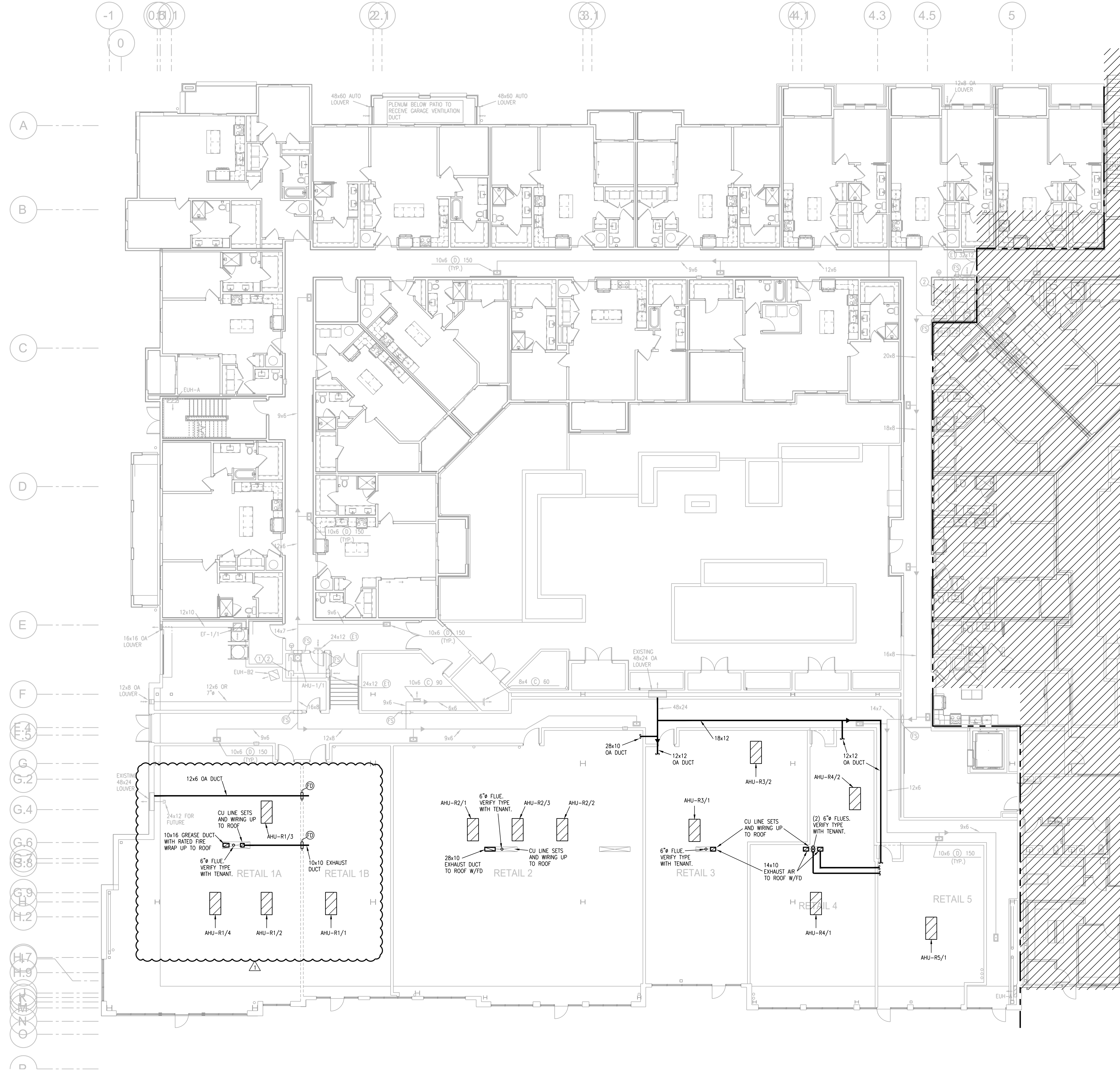
**1** FIRST FLOOR PLAN - AREA B  
3/32\" = 1'-0"  
PLUMBING  
NORTH



HVAC SYSTEM SCHEDULE																				
MARK	MFGR	NOM TON	MODEL	CFM	OA CFM	AHU				ELEC	FLA	OCP	OUTDOOR UNIT				NOTES			
						E.S.P.	HP	SMBH	TMBH				HEAT CAP	MODEL	ELEC	FLA		OCP	SEER	
R1/2, R1/3, R1/4, R3/1, R3/2, R4/2, R8/2, R8/3, R8/4	GOODMAN	4	ARUF81D14	1600	TBD	0.5	0.75	32	48	11.4 KW	208/1	57	70	GOODMAN	GSX14-0481	208/1	21	45	14.0	2
R1/1, R5/1, R6/1, R6/2, R7/1, R7/2, R7/3, R8/1	GOODMAN	5	ARUF81D14	1850	TBD	0.5	0.75	41	57.5	11.4 KW	208/1	57	70	GOODMAN	GSX14-0601	208/1	28.3	50	14.0	
R4/1	GOODMAN	3	ARUF-37C14	1350	TBD	0.4	FR	25.8	33	7.5 KW	208/1	40	50	GOODMAN	GSX14-037	208/1	15	30	14.0	
R6/3	GOODMAN	2	ARUF25B14	800-800	100	0.5	0.33	17.0	23.2	7.5 KW	208/1	40	50	GOODMAN	GSX14-025	208/1	14	25	14.0	
R2/1	GOODMAN	4	ARUF81D14	1600	TBD	0.5	0.75	32	48	11.4 KW	208/1	4	15	GOODMAN	GSZ14-0481	208/3	18	30	14.0	1
R2/2	GOODMAN	2	ARUF25B14	800-800	100	0.5	0.33	17.0	23.2	7.5 KW	208/1	4	15	GOODMAN	GSZ14-025	208/1	14	20	14.0	1
R2/3	GOODMAN	4	ARUF81D14	1600	TBD	0.5	0.75	32	48	11.4 KW	208/3	40	50	GOODMAN	GSZ14-0481	208/3	18	30	14.0	

NOTE: PROVIDE LONG LINE ACCESSORY KIT ON ALL SPLIT SYSTEMS THAT EXCEED MFGRS LIMITS  
 1 - PROVIDE CRANKCASE HEATERS, HARD START KIT, 4" FILTER RACK  
 2 - UNITS 31, 32 TO HAVE 4" FILTER RACK AND HEPA FILTER

NOTES:  
 1. AHU POSITIONS TO BE VERIFIED WITH TENANTS.



**1** FIRST FLOOR PLAN - AREA B  
 3/32"=1'-0"  
 HVAC NORTH

RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICE LEE'S SUMMIT, MISSOURI 64081

6-16-21

ARCHITECT  
 STRUCTURAL ENGINEER  
 CIVIL ENGINEER  
 GENERAL CONTRACTOR  
 MECHANICAL ENGINEER  
 PLUMBING ENGINEER  
 ELECTRICAL ENGINEER

TR,i ARCHITECTS  
 BOB D CAMPBELL & COMPANY  
 RENAISSANCE INFRASTRUCTURE CONSULTING  
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**Summit at West Pryor**  
 940 NW Pryor Road  
 Lee's Summit, Missouri 64081

TR,i ARCHITECTS  
 TR,i Architects  
 1750 Brentwood Blvd  
 St. Louis, Missouri 63144  
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DATE: 5.21.21

REVISIONS

NO.	DESCRIPTION	DATE
1	ASI 2	6.16.21

**LS&A**  
 Latimer Sommers & Associates, P.A.  
 CONSULTING ENGINEERS  
 3636 SW Summerfield Drive, Suite A  
 Topeka, Kansas 66614-3974  
 Telephone: (785) 233-2332  
 FAX: (785) 233-0647  
 Email: lsa@lsand.com  
 LEA PROJECT NO. 1804023

DWG BY: RRB  
 TR,i PROJECT NO.: 18-046  
 SHEET NO.: **M103**  
 FIRST FLOOR PLAN - AREA B  
 - HVAC



ARCHITECT  
 STRUCTURAL ENGINEER  
 CIVIL ENGINEER  
 GENERAL CONTRACTOR  
 MECHANICAL ENGINEER  
 PLUMBING ENGINEER  
 ELECTRICAL ENGINEER

TR,i ARCHITECTS  
 BOB D CAMPBELL & COMPANY  
 RENAISSANCE INFRASTRUCTURE CONSULTING  
 BRINKMANN CONSTRUCTORS  
 LATIMER SOMMERS & ASSOCIATES  
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# Summit at West Pryor

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 Lee's Summit, Missouri 64081

- NOTES:
- ALL  $\odot$  ARE TYPE "A" UNLESS NOTED OTHERWISE.
  - ALL STAR LIGHTS ARE TYPE "11" UNLESS NOTED OTHERWISE.
  - ALL  $\odot$  ARE TYPE "11" UNLESS NOTED OTHERWISE.
  - ALL  $\odot$  ARE TYPE "12" UNLESS NOTED OTHERWISE.
  - ALL  $\odot$  ARE TYPE "15" UNLESS NOTED OTHERWISE.
  - CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS.
  - SEE UNIT PLANS FOR FURTHER WORK.
  - LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
  - ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
  - EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
  - EXTERIOR LIGHTING TO BE ROUTED THRU PHOTOCELL.
  - $\odot$  DENOTES DISTRIBUTION PANEL.

- LEGEND:
- $\odot$  TO LIGHTING CONTROL PANEL.

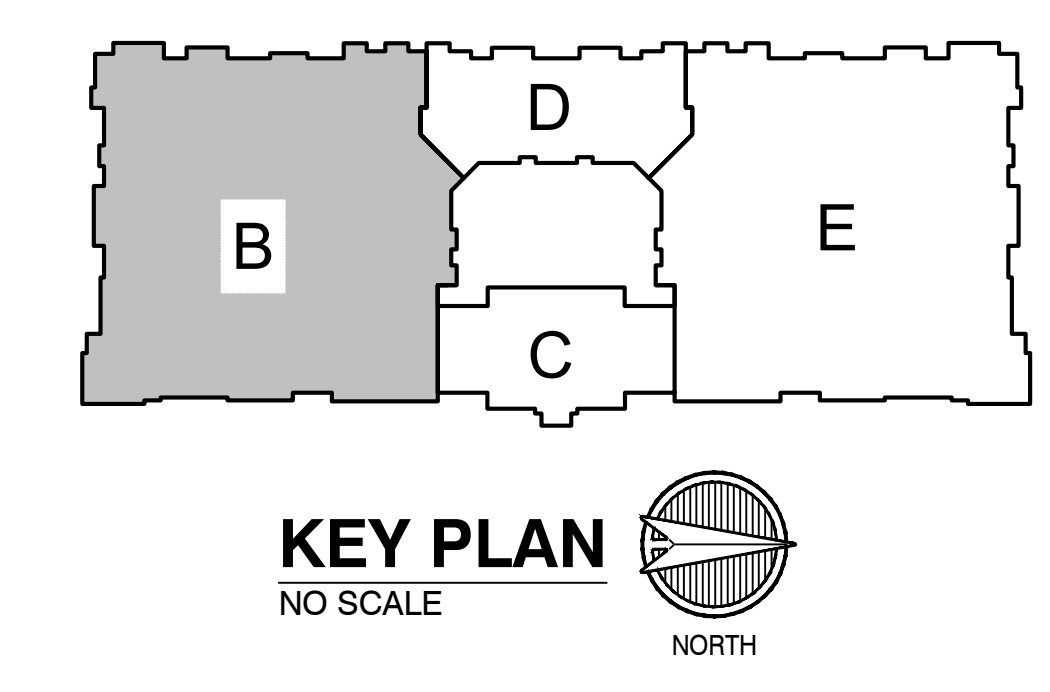
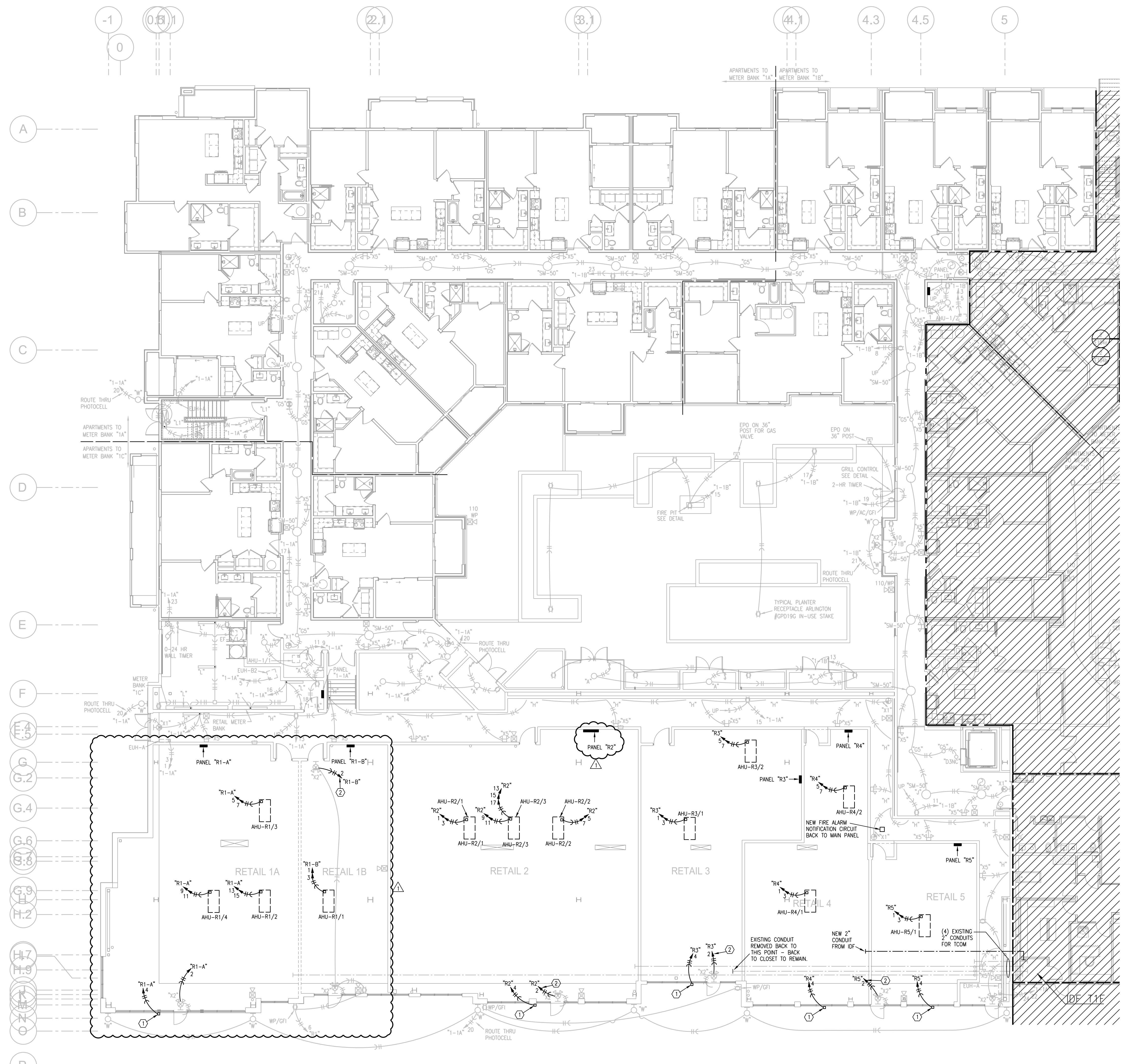
- NOTES:
- VERIFY PANEL LOCATIONS WITH TENANT PLANS.
  - PROVIDE (1) 2" CONDUIT FROM TENANT SPACE IN CHASE UP TO ROOF FOR FUTURE USE.
  - EXTERIOR DOOR/EXIT SIGN LOCATIONS MAY CHANGE.
  - CONNECT NEW FIRE ALARM DEVICES TO EXISTING HORN/STROBES UP TO 10 ADDITIONAL DEVICES.

- LEGEND:
- $\odot$  JUNCTION BOX (JB) FOR SIGN WITH CIRCUIT TO TENANT PANEL.
  - $\odot$  NEW HOME RUN.

PANELBOARD SUMMARY

MARK	QUANT	BUS AMPS	BRANCH BREAKERS
R1	1	400	(4) 70/2, (1) 50/2, (2) 45/2, (1) 25/2, 20/1
R2	2	400	(2) 45/2, (1) 40/3, (1) 25/2, (3) 15/2, (20) 20/1
R3	1	200	(2) 50/2, (2) 30/2, (20) 20/1
R4	1	200	(1) 70/2, (1) 50/2, (1) 30/2, (1) 45/2, (20) 20/1
R5	1	200	(1) 70/2, (1) 50/2, (20) 20/1
R6	2	400	(2) 70/2, (3) 50/2, (1) 25/2, (20) 20/1
R7	1	400	(3) 70/2, (3) 50/2, (20) 20/1
R8	1	400	(4) 70/2, (1) 50/2, (3) 45/2, (20) 20/1

NOTES: ALL PANELS ARE 120/208V 3PH 4W, MLO, 42 SPACE



**1** FIRST FLOOR PLAN - AREA B  
 3/32"=1'-0"  
 ELECTRICAL

**LS&A**  
 Latimer Sommers & Associates, P.A.  
 CONSULTING ENGINEERS  
 3626 SW Summerfield Drive, Suite A  
 Topeka, Kansas 66614-3974  
 Telephone: (785) 233-0252  
 FAX: (785) 233-0647  
 Email: lsapa@lsapa.com  
 LDA PROJECT NO. 1064022

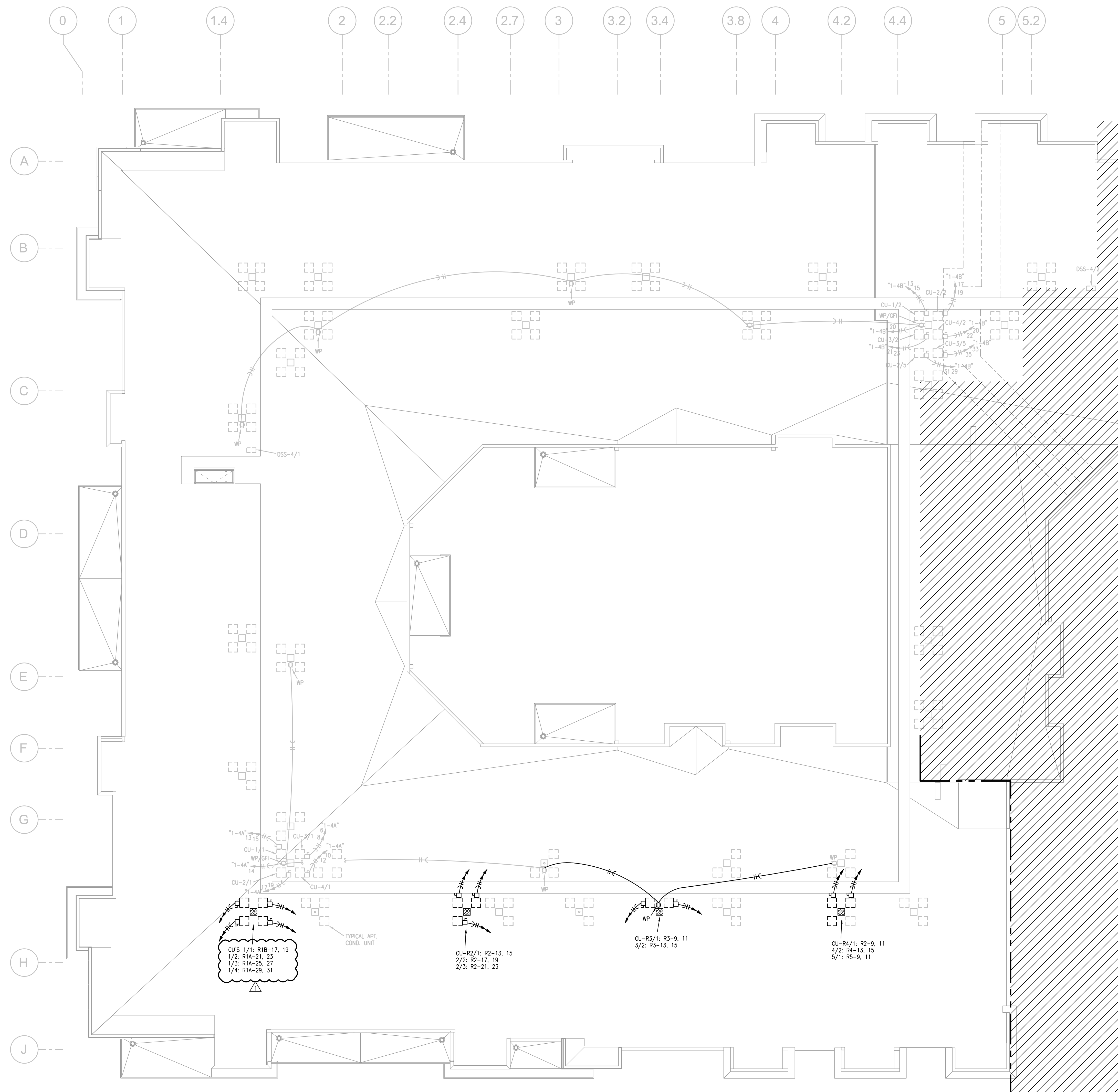
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 TR,i Architects  
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DATE: 5.21.21

REVISIONS

NO.	DESCRIPTION	DATE
1	ASI 2	6.16.21

DWG BY: RRB  
 TR,i PROJECT NO.: 18-046  
 SHEET NO.: **E103**  
 FIRST FLOOR PLAN - AREA B  
 - ELECTRICAL



- NOTES:
1. ALL  $\bullet$  ARE TYPE "A" UNLESS NOTED OTHERWISE.
  2. ALL STAIR LIGHTS ARE TYPE "L1" UNLESS NOTED OTHERWISE.
  3. ALL  $\odot$  ARE TYPE "X1" UNLESS NOTED OTHERWISE.
  4. ALL  $\otimes$  ARE TYPE "X2" UNLESS NOTED OTHERWISE.
  5. ALL  $\otimes$  ARE TYPE "X5" UNLESS NOTED OTHERWISE.
  6. CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V. AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS.
  7. SEE UNIT PLANS FOR FURTHER WORK.
  8. LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
  9. ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
  10. EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
  11. EXTERIOR LIGHTING TO BE ROUTED THRU PHOTOCELL.
  12.  $\square$  DENOTES DISTRIBUTION PANEL.

- LEGEND:
- ① TO LIGHTING CONTROL PANEL.

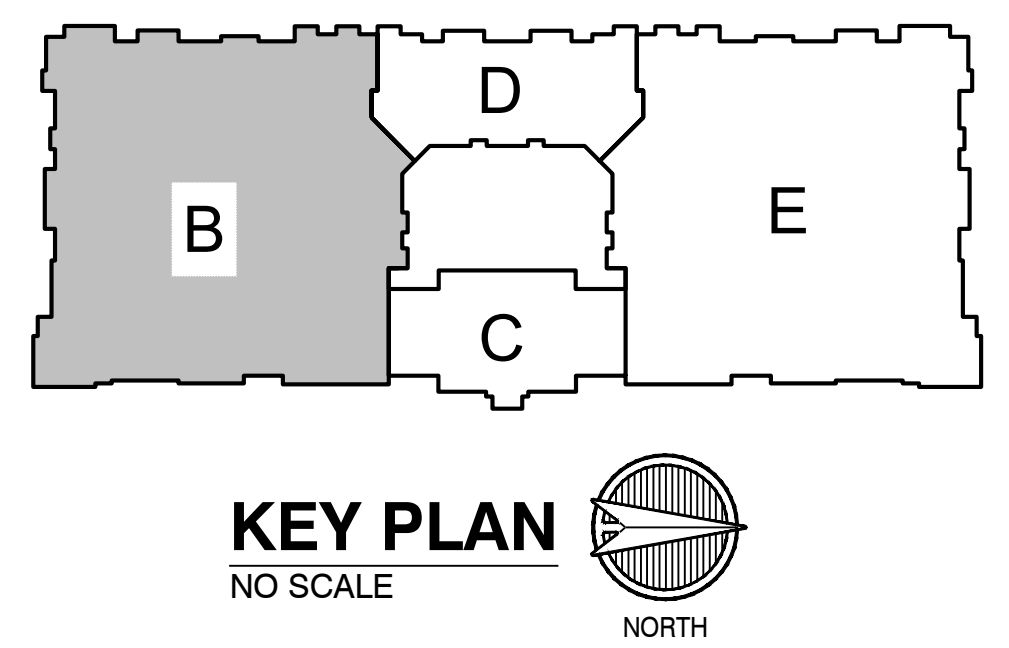
- NOTES:
1. VERIFY PANEL LOCATIONS WITH TENANT PLANS.
  2. PROVIDE (1) 2" CONDUIT FROM TENANT SPACE IN CHASE UP TO ROOF FOR FUTURE USE.
  3. EXTERIOR DOOR/EXIT SIGN LOCATIONS MAY CHANGE.
  4. CONNECT NEW FIRE ALARM DEVICES TO EXISTING HORN/STROBES UP TO 10 ADDITIONAL DEVICES.

- LEGEND:
- ① JUNCTION BOX (JWB) FOR SIGN WITH CIRCUIT TO TENANT PANEL.
  - ② NEW HOME RUN.

PANELBOARD SUMMARY

MARK	QUANT	BUS AMPS	BRANCH BREAKERS
R1	1	400	(4) 70/2, (1) 50/2, (2) 45/2, (1) 25/2, 20/1
R2	2	400	(2) 45/2, (1) 40/3, (1) 25/2, (3) 15/2, (20) 20/1
R3	1	200	(2) 50/2, (2) 30/2, (20) 20/1
R4	1	200	(1) 70/2, (1) 50/2, (3) 30/2, (1) 45/2, (20) 20/1
R5	1	200	(1) 70/2, (1) 50/2, (20) 20/1
R6	2	400	(2) 70/2, (3) 50/2, (1) 25/2, (20) 20/1
R7	1	400	(3) 70/2, (3) 50/2, (20) 20/1
R8	1	400	(4) 70/2, (1) 50/2, (3) 45/2, (20) 20/1

NOTES: ALL PANELS ARE 120/208V 3PH 4W, MLO, 42 SPACE



1 ROOF PLAN - AREA B  
3/32" = 1'-0"  
ELECTRICAL  
NORTH

RELEASER FOR CONSTRUCTION  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICE  
LEE'S SUMMIT, MISSOURI  
06/16/2021

6-16-21

ARCHITECT	STRUCTURAL ENGINEER	ARCHITECT	MECHANICAL ENGINEER
BOB D CAMPBELL & COMPANY	RENAISSANCE INFRASTRUCTURE CONSULTING	GENERAL CONTRACTOR	PLUMBING ENGINEER
TRJ ARCHITECTS	BRINKMANN CONSTRUCTORS	LATIMER SOMMERS & ASSOCIATES	ELECTRICAL ENGINEER



# Summit at West Pryor

940 NW Pryor Road  
Lee's Summit, Missouri 64081



TRJ Architects  
1750 Brentwood Blvd  
St. Louis, Missouri 63144  
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T: 314-395-9750

DATE: 5.21.21

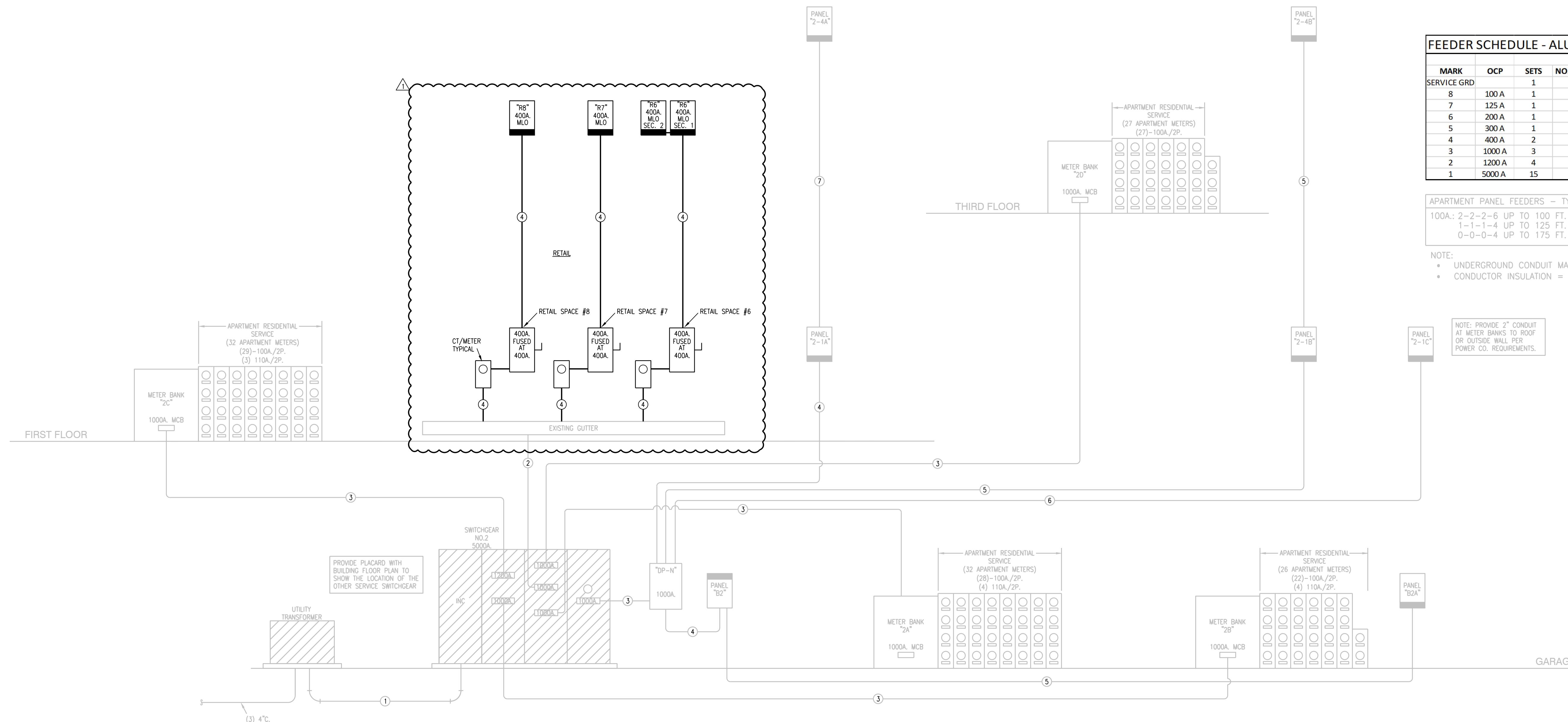
REVISIONS  $\Delta$

1	ASI 2	6.16.21

DWG BY: RRB  
TRJ PROJECT NO.: 18-046  
SHEET NO.:

E112  
ROOF PLAN - AREA B  
- ELECTRICAL

**LS&A**  
Latimer Sommers & Associates, P.A.  
CONSULTING ENGINEERS  
9609 SW Summerfield Drive, Suite A  
Topeka, Kansas 66614-3974  
Telephone: (785) 253-0252  
FAX: (785) 253-0647  
Email: lsp@lsapa.com  
LEA PROJECT NO. 1804023



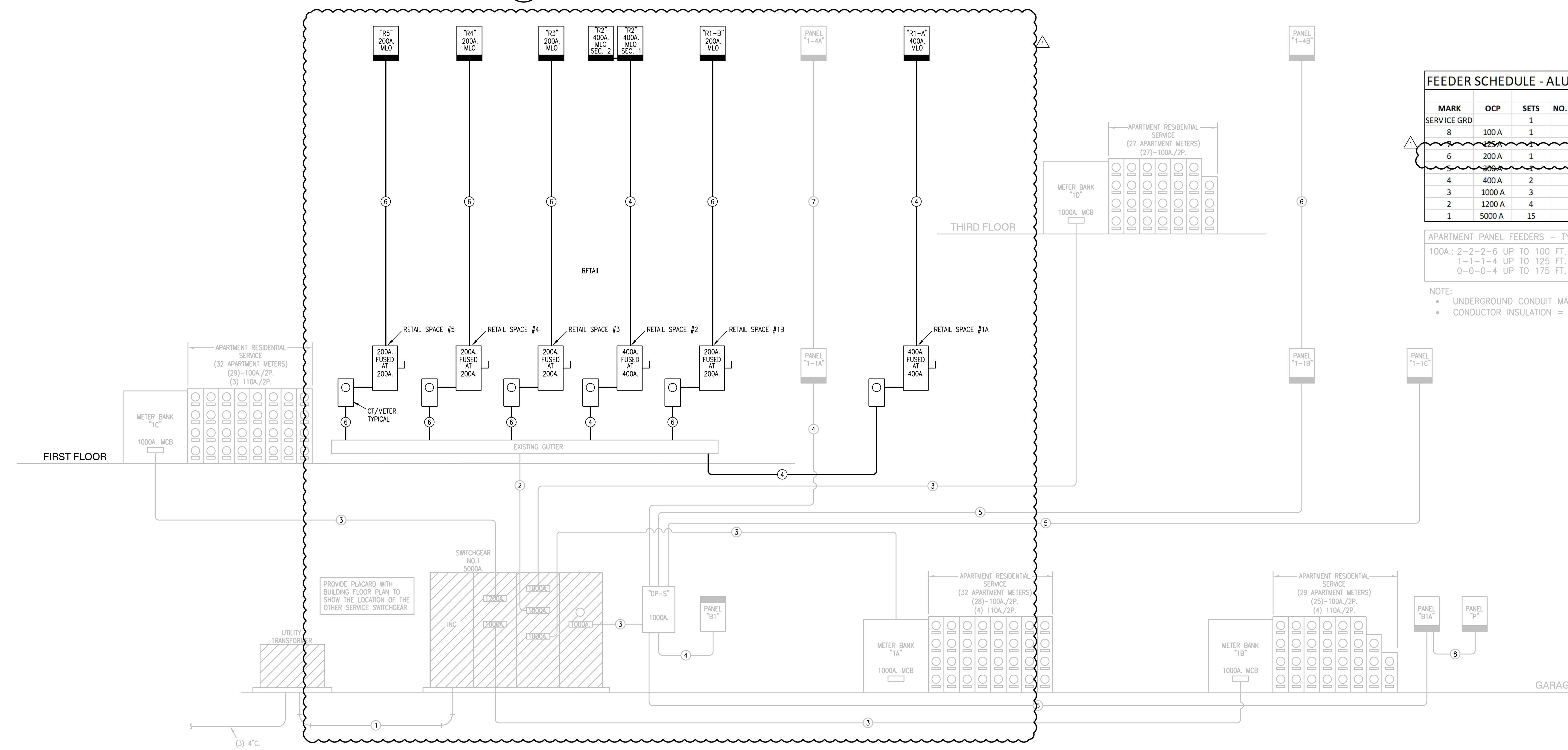
FEEDER SCHEDULE - ALUMINUM AA8000						
ALUMINUM AA8000						
MARK	OCF	SETS	NO. COND.	SIZE	SIZE GRD	CONDUIT
8	100 A	1	1	#1	#6	1.25
7	125 A	1	4	#1/0	#4	1.5
6	200 A	1	4	250 KCMIL	#4	2.5
5	300 A	1	4	500 KCMIL	#2	3
4	400 A	2	4	#4/0	#1	2
3	1000 A	3	4	600 KCMIL	#3/0	3
2	1200 A	4	4	500 KCMIL	#3/0	3
1	5000 A	15	4	600 KCMIL	#3/0	4

APARTMENT PANEL FEEDERS - TYPE SER ALUMINUM		
100A: 2-2-2-6 UP TO 100 FT.	110A: 1-1-1-4 UP TO 115 FT.	
1-1-1-4 UP TO 125 FT.	0-0-0-4 UP TO 140 FT.	
0-0-0-4 UP TO 175 FT.	2/0-2/0-2/0-3 UP TO 180 FT.	

NOTE:  
 \* UNDERGROUND CONDUIT MATERIAL = SCH. 40 PVC.  
 \* CONDUCTOR INSULATION = THHN/THWN.

NOTE: PROVIDE 2" CONDUIT AT METER BANKS TO ROOF OR OUTSIDE WALL PER POWER CO. REQUIREMENTS.

**2 ELECTRICAL DISTRIBUTION RISER DIAGRAM - NORTH SERVICE**  
 NO SCALE



FEEDER SCHEDULE - ALUMINUM AA8000						
ALUMINUM AA8000						
MARK	OCF	SETS	NO. COND.	SIZE	SIZE GRD	CONDUIT
8	100 A	1	1	#1	#6	1.25
7	125 A	1	4	#1/0	#4	1.5
6	200 A	1	4	250 KCMIL	#4	2.5
5	300 A	1	4	500 KCMIL	#2	3
4	400 A	2	4	#4/0	#1	2
3	1000 A	3	4	600 KCMIL	#3/0	3
2	1200 A	4	4	500 KCMIL	#3/0	3
1	5000 A	15	4	600 KCMIL	#3/0	4

APARTMENT PANEL FEEDERS - TYPE SER ALUMINUM		
100A: 2-2-2-6 UP TO 100 FT.	110A: 1-1-1-4 UP TO 115 FT.	
1-1-1-4 UP TO 125 FT.	0-0-0-4 UP TO 140 FT.	
0-0-0-4 UP TO 175 FT.	2/0-2/0-2/0-3 UP TO 180 FT.	

NOTE:  
 \* UNDERGROUND CONDUIT MATERIAL = SCH. 40 PVC.  
 \* CONDUCTOR INSULATION = THHN/THWN.

**1 ELECTRICAL DISTRIBUTION RISER DIAGRAM - SOUTH SERVICE**  
 NO SCALE

RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICE REVIEW LEE'S SUMMIT, MISSOURI 6-16-21

STATE OF MISSOURI PROFESSIONAL ENGINEER  
 ARCHITECT  
 TR,i ARCHITECTS  
 BOB D CAMPBELL & COMPANY  
 RENAISSANCE INFRASTRUCTURE CONSULTING  
 BRINKMANN CONSTRUCTORS  
 LATIMER SOMMERS & ASSOCIATES  
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**Summit at West Pryor**  
 940 NW Pryor Road  
 Lee's Summit, Missouri 64081

TR,i ARCHITECTS

TR,i Architects  
 1750 Brentwood Blvd  
 St. Louis, Missouri 63144  
 T: 314-365-0750  
 www.triarchitects.com

DATE: 5.21.21

REVISIONS

NO	DESCRIPTION	DATE
1	ASI 2	6.16.21

DWG BY: RRB  
 TR,i PROJECT NO.: 18-046

SHEET NO.

**E304**

ELECTRICAL DETAILS



LS&A Latimer Sommers & Associates, P.A.  
 CONSULTING ENGINEERS  
 3636 SW Summerfield Drive, Suite A  
 Topeka, Kansas 66614-3974  
 Telephone: (785) 233-2322  
 FAX: (785) 233-0647  
 Email: lss@lsand.com  
 LEA PROJECT NO. 1804023