

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
06/18/2021 8:32:03

LEE'S SUMMIT, MO REMODEL/ADDITION

MR. & MRS. ART DAVIS III
300 SW JEFFERSON STREET
LEE'S SUMMIT, MO 64063



ABBREVIATIONS

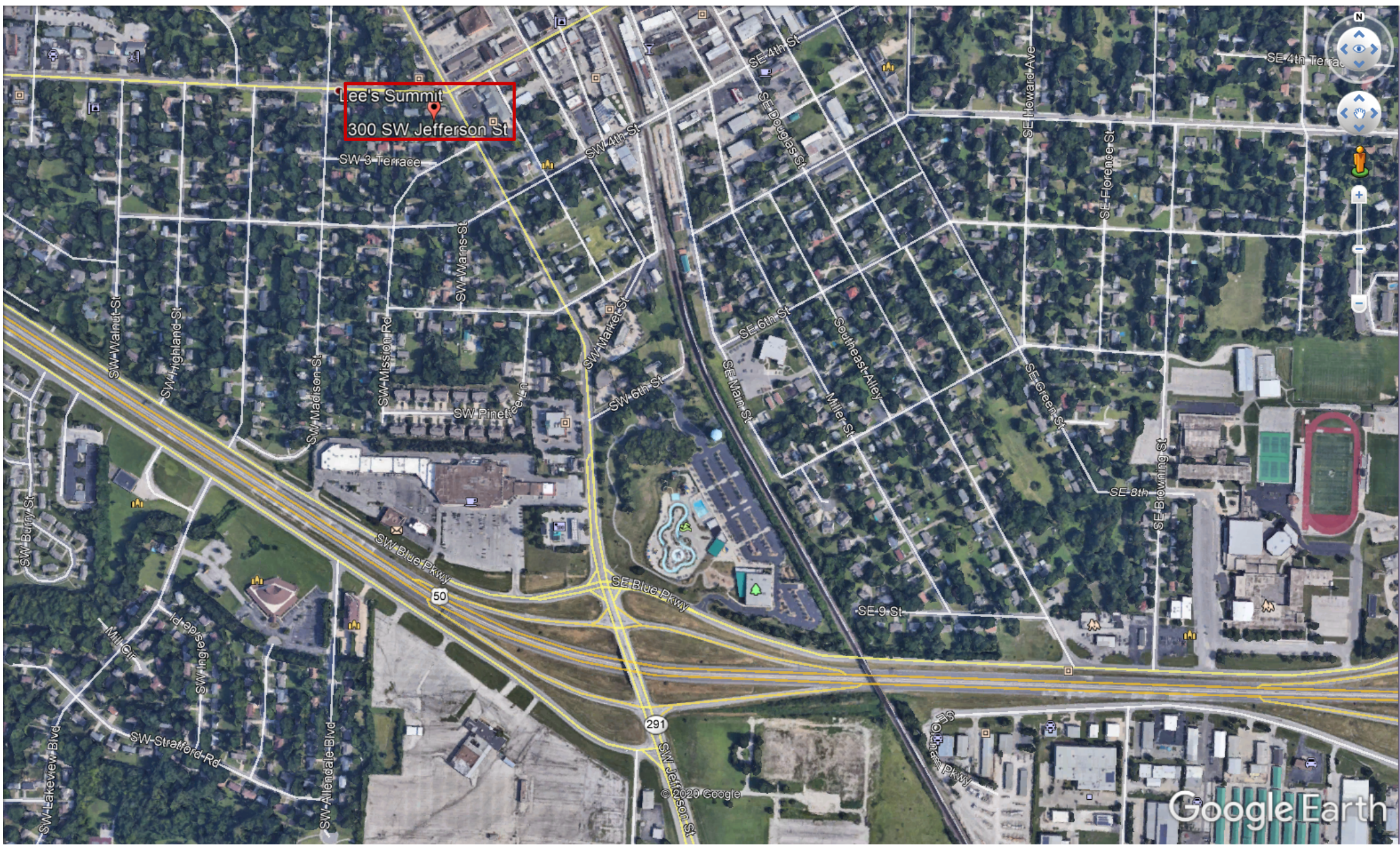
ABBREVIATIONS	
@	AT
AFF	ABOVE FINISH FLOOR
ADJ	ADJUSTABLE
BLDG	BUILDING
BTWN	BETWEEN
CAB	CABINET
CLG	CEILING
CO	CASED OPENING
COA	CARBON MONOXIDE ALARM
COL	COLUMN
COMP	COMPOSITION
CONC	CONCRETE
CONT	CONTINUOUS
D	DRYER
DBL	DOUBLE
DFL	DOUG-FIR-LARCH
DN	DOWN
DR	DOOR
DW	DISHWASHER
EA	EACH
ENG	ENGINEERED
EQ	EQUAL
EXT	EXTERIOR
FD	FLOOR DRAIN
FIN	FINISHED
FLR	FLOOR
FND	FOUNDATION
FTG	FOOTING
FUR	FURNACE
HB	HOSE BIB
HDR	HEADER
HOR	HORIZONTAL
INSUL	INSULATED
JST	JOISTS
LBW	LOAD BEARING WALL
LSL	LAMINATED STRAND LUMBER
LVL	LAMINATED VENEER LUMBER
LVT	LUXURY VINYL TILE FLOORING
MAX	MAXIMUM
MICRO	MICROWAVE
MIN	MINIMUM
MISC	MISCELLANEOUS
NTS	NOT TO SCALE
OC	ON CENTER
OH	OVERHEAD

OPNG	OPENING
PLCS	PLACES
PSL	PARALLEL STRAND LUMBER
PT	PRESERVATIVE TREATED LUMBER
R	RADIUS
REF	REFRIGERATOR
REQ	REQUIRED
SA	SMOKE ALARM
SHWR	SHOWER
SJ	SAW JOINT
SL	SIDE LIGHT
SPF	SPRUCE-PINE-FIR
SQ FT	SQUARE FEET
STD	STANDARD
STL	STEEL
STRUCT	STRUCTURAL
SUSPEN	SUSPENDED
SYP	SOUTHERN YELLOW PINE
TEMP	TEMPERED
T & G	TONGUE & GROOVE
TOF	TOP OF FOOTING
TOS	TOP OF SLAB
TOW	TOP OF WALL
TYP	TYPICAL
VERT	VERTICAL
W	WASHER
W/	WITH
WD	WOOD
WH	WATER HEATER
WRB	WEATHER-RESISTIVE BARRIER

PROJECT DATA

NEW 1ST FLOOR FIN SQ FT: 18 SQ FT

VICINITY MAP



SHEET INDEX

SHEET INDEX	
ID	Name
A1	TITLE SHEET
A2	NOTES, TABLES
A3	ORIGINAL PLAN
A4	DEMO PLAN
A5	FIRST FLOOR PLAN
A6	ROOF PLAN
A7	REAR ELEVATIONS
A8	EXTERIOR ELEVS (CONT)

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AMERICAN INSTITUTE OF
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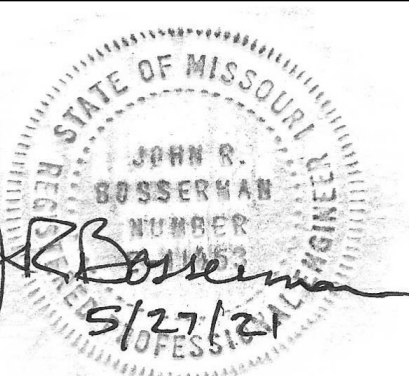
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OF THESE DOCUMENTS AND ANY DISCREPANCIES,
ERRORS AND/OR OMISSIONS BECOME THE
RESPONSIBILITY OF THE BUILDING CONTRACTOR.

DESIGNER IS NOT RESPONSIBLE FOR CHANGES MADE
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FROM THE DESIGNER.

THE OWNER AND CONTRACTOR HAVE THE
RESPONSIBILITY TO COMPLY WITH ALL APPLICABLE
FEDERAL, STATE AND LOCAL CODES, LAWS, ACCEPTED
STANDARDS, RULES, REGULATIONS AND ORDINANCES IN
THE CONSTRUCTION OF THIS STRUCTURE, AND TO
VERIFY DIMENSIONS, SITE CONDITIONS AND BEARING
CAPACITY OF THE SOIL PRIOR TO START OF WORK.

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TO SHOW EVERY SPECIFIC DETAIL OF THIS PROJECT.
INCLUDING BUT NOT LIMITED TO FLASHING, CAULKING,
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AS SUCH WOULD BE IMPOSSIBLE ON A TIMELY AND
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BUILT BY: SRKO BUILDERS

1" ACTUAL
IF THE ABOVE DIMENSION DOES
NOT MEASURE ONE INCH (1")
EXACTLY, THIS DRAWING WILL HAVE
BEEN ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

BY REVISIONS DATE

Date: 5/21/21
Scale: AS NOTED
Drawn: SW
Job: 200414
Issue: CONST

A1

Plotted On: 5/28/2021

TITLE SHEET

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
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06/18/2021 8:32:05

GENERAL NOTES:

1. NEW WALLS SHALL BE 2 X 4, EXCEPT AS NOTED.
2. WALL DIMENSIONS ARE FROM FACE TO FACE OF STUDS.
3. CODES GOVERN OVER DRAWINGS.
4. DIMENSIONS GOVERN OVER SCALE.
5. VERIFY ALL MECHANICAL REQUIREMENTS BEFORE FRAMING.
6. NEW STAIRS: 7" MAXIMUM RISE, 11" MINIMUM RUN, 6'-8" MIN HEADROOM, 3 STRINGERS.
7. GUARDRAIL NOTE: GUARDRAIL REQUIRED AT ALL OPEN SIDES OF PORCHES/DECKS/BALCONIES/STAIRS WHICH ARE MORE THAN 30" ABOVE GRADE.
MIN 36" IN HEIGHT FROM TOP OF WALKING SURFACE TO TOP OF HANDRAIL.
MAX 3 15/16" SPACING BETWEEN VERTICAL MEMBERS.
MAX 3 15/16" BETWEEN TOP OF WALKING SURFACE & BOTTOM OF BOTTOM RAIL.
8. PROVIDE SHUTOFF VALVE AT EACH NEW PLUMBING FIXTURE.
9. PROVIDE TEMPERATURE CONTROL VALVES AT ALL NEW TUBS & SHOWERS. PLACE SHOWER CONTROLS CLOSE TO ENTRY TO SHOWER.
10. PROVIDE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKER PER CODE UNDER WET AREAS OF MAIN BATHROOM.
11. PROVIDE SMOKE ALARMS PER CODE.
12. PROVIDE CARBON MONOXIDE ALARMS PER CODE.
13. CONTRACTOR SHALL VERIFY LOCAL REQUIREMENTS FOR WINDOW EGRESS, ENERGY EFFICIENCY, TEMPERED GLASS AND FALL PROTECTION, AND SHALL BE RESPONSIBLE FOR CAUSING ALL CONSTRUCTION TO MEET SUCH REQUIREMENTS. CONTRACTOR SHALL VERIFY AND COORDINATE WINDOW I.D. NUMBERS AND ROUGH OPENINGS WITH MANUFACTURER'S LATEST DATA PRIOR TO START OF PROJECT.
14. ALL WINDOWS AND EXTERIOR DOORS SHALL BE PROPERLY FLASHED, CAULKED AND WEATHERSTRIPPED.
15. FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS FOR HANDLING, INSTALLATION, USE, AND MAINTENANCE OF ALL PRODUCTS AND SYSTEMS. IF DRAWINGS AND/OR SPECIFICATIONS INDICATE INFORMATION CONTRADICTORY TO MANUFACTURER'S RECOMMENDATIONS, CONSULT THE DESIGNER.
16. THE APPEARANCE OF ACTUAL MATERIALS AND FINISHES MAY VARY FROM THAT OF THE DRAWINGS BASED UPON CLIENT SELECTIONS, MANUFACTURERS, AND METHODS OF INSTALLATION USED BY BUILDER.
17. THESE CONSTRUCTION DOCUMENTS ARE NOT INTENDED TO SHOW EVERY SPECIFIC DETAIL OF THIS PROJECT, NOR EVERY BUILDING CODE REFERENCE PERTAINING TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO FLASHING, CAULKING, PAINTING, WATERPROOFING, NAILING AND FASTENING, AS SUCH WOULD BE IMPOSSIBLE ON A TIMELY AND ECONOMICAL BASIS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUPERVISED WORKMANSHIP IN ALL AREAS OF CONSTRUCTION.
18. THE OWNER AND CONTRACTOR HAVE THE RESPONSIBILITY TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, LAWS, ACCEPTED STANDARDS, RULES, REGULATIONS AND ORDINANCES IN THE CONSTRUCTION OF THIS STRUCTURE (EVEN IF THEY ARE IN VARIANCE WITH THE PLANS), AND TO VERIFY DIMENSIONS AND BEARING CAPACITY OF THE SOIL PRIOR TO START OF WORK.
19. THE DESIGN PROFESSIONAL WILL NOT HAVE CONTROL OVER OR CHARGE OF, AND WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
20. IT IS AGREED THAT THE PROFESSIONAL SERVICES OF THE DESIGN PROFESSIONAL DO NOT EXTEND TO OR INCLUDE THE REVIEW OR SITE OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE. IT IS FURTHER AGREED THAT THE OWNER WILL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE DESIGN PROFESSIONAL FROM ANY CLAIM OR SUIT WHATSOEVER ARISING FROM THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.
21. BUILDING CODE REQUIREMENTS VARY WITH LOCATION, AND CHANGE FROM TIME TO TIME. BEFORE STARTING CONSTRUCTION, THE BUILDER SHALL REVIEW AND BE RESPONSIBLE TO ENSURE THAT THESE PLANS MEET ALL CURRENT REQUIREMENTS IN YOUR AREA AT THE TIME OF CONSTRUCTION.
22. DESIGNER HAS NO CONTROL OVER BUILDING VENTILATION OR WATER INTRUSION PROBLEMS, AND THEREFORE SHALL NOT BE LIABLE FOR ANY SUCH PROBLEMS, OR FOR INDOOR AIR QUALITY OR MOLD RELATED PROBLEMS, OR THE EFFECTS THEREOF.
23. IF YOU ARE UNSURE OR NOT CLEAR ABOUT ANYTHING CONTAINED IN THESE DRAWINGS, CONTACT THE DESIGNER BEFORE COMMENCING CONSTRUCTION.
24. DESIGNER IS NOT RESPONSIBLE FOR CHANGES MADE TO PLANS WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM DESIGNER.
25. ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS IN THE NOTES, DIMENSIONS, AND/OR DRAWINGS CONTAINED ON THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PROCEEDING WITH CONSTRUCTION CONSTITUTES THE ACCEPTANCE OF THESE DOCUMENTS AND ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS BECOME THE RESPONSIBILITY OF THE BUILDING CONTRACTOR.

REMODELING NOTES:

1. THE CONTRACTOR SHALL DETERMINE THE ADEQUACY OF EXISTING M-E-P SYSTEMS, AND SHALL MAKE ALL NECESSARY CHANGES, ADDITIONS, AND/OR UPGRADES.
2. THE CONTRACTOR SHALL LOCATE & RELOCATE (AS NEEDED) ALL UTILITIES, PHONE LINES, CABLE TV LINES, AND OTHER SUCH ITEMS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING & SHORING DURING ALL DEMOLITION AND CONSTRUCTION. ALL FLOORS, WALLS AND ROOFS SHALL BE BRACED OR SECURED AT ALL TIMES.
4. REWIRING OF ELECTRICAL SYSTEMS & COMPONENTS IN THE EXISTING CEILING & EXISTING WALLS, AND ALL NEW ELECTRICAL MUST BE PERFORMED BY A QUALIFIED ELECTRICIAN TO CURRENT CODES AND STANDARDS.

FOUNDATION NOTES:

1. THE SOIL SHALL BE CAPABLE OF SAFELY SUSTAINING 2000 PSF WITHOUT UNDUE SETTLEMENT OR HEAVING. THIS SHALL BE VERIFIED BY THE GEOTECHNICAL ENGINEER PRIOR TO CONCRETE PLACEMENT FOR FOUNDATION.
2. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL BELOW FROSTLINE OF 36 INCHES.
3. IF EXISTING SITE TOPOGRAPHY OR SOIL CONDITIONS VARY FROM THE CONDITIONS SHOWN ON THE DRAWINGS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE GEOTECHNICAL ENGINEER SO THAT A DESIGN THAT IS APPROPRIATE FOR THE SITE CAN BE PRODUCED.
4. A. THE CONCRETE FOR THE FOOTINGS & FOUNDATION WALLS SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI WITH A MAXIMUM SLUMP OF 4".
B. MINIMUM SET PERIOD FOR FOOTINGS SHALL BE 2 DAYS.
C. MINIMUM SET PERIOD FOR FOUNDATION WALLS SHALL BE 7 DAYS, WITH TEMPERATURE ABOVE 40° AT ALL TIMES.
5. THE REINFORCING STEEL SHALL BE ASTM A615, BENDABLE GRADE 60 (MIN) UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL BARS SHALL BE LAPPED A MINIMUM OF 24 INCHES AND OR CORNER BARS SHALL BE PROVIDED AT ALL FOOTING AND WALL CORNERS, AND FOOTING STEPS.
6. THE FOOTING SHALL BE POURED CONTINUOUS AT FOOTING STEPS (SOLID JUMPS) EXCEPT FOR THE STEPS FROM THE GARAGE.
7. ANY FILL THAT IS INSTALLED UNDER THE BASEMENT OR GARAGE FLOOR SLABS SHALL BE PROPERLY COMPACTED TO PREVENT SETTLEMENT OF THE FILL MATERIAL. AT THE CONTRACTOR'S OPTION, A PROPERLY DESIGNED STRUCTURAL SLAB MAY BE INSTALLED OVER ANY FILL THAT HAS NOT BEEN COMPACTED.
8. CONTROL JOINTS IN THE FLOOR SLABS SHALL BE INSTALLED AS TO MINIMIZE THE AMOUNT OF RANDOM CRACKING. THESE JOINTS SHALL BE SAWCUT WITHIN 12 HOURS OF POURING THE SLAB OR MAY BE TOOLED INTO THE SLAB. LIMIT CONTROLLED AREAS TO 325 SQ FT (18' X 18') OR 1.5 TIMES THE WIDTH WITH 18" MAX WIDTH.
9. PROVIDE 4" X 4" STEEL SHIMS IN BEAM POCKETS TO LEVEL BEAMS. BEAM POCKETS SHALL THEN BE GROUTED SOLID.
10. PROVIDE BLOCKOUTS IN CONCRETE FLOOR OVER COLUMN FOOTINGS AT COLUMN LOCATIONS. BLOCKOUTS SHALL BE POURED OR GROUTED SOLID AFTER COLUMN & BEAM INSTALLATION AND LEVELING IS COMPLETE.
11. STRUCTURAL STEEL SHALL BE ASTM A36. STEEL PIPE SHALL BE A501 OR ASTM A53, GRADE B.
12. CONTRACTOR SHALL ADEQUATELY BRACE FOUNDATION WALLS TO PREVENT LATERAL MOVEMENT DURING BACKFILL OPERATIONS.
13. NO ALUMINUM ITEMS SHALL BE EMBEDDED IN ANY CONCRETE.
14. CLEAR MINIMUM COVERAGE OF CONCRETE OVER REINFORCING STEEL SHALL BE AS FOLLOWS:
CONCRETE PLACED AGAINST EARTH: 3"
FORMED CONCRETE AGAINST EARTH: 2"
SLABS: 1"
BEAMS OR COLUMNS: 1 1/2"
OTHER: 2"
ALL COVERAGE SHALL BE NOMINAL BAR DIAMETER MINIMUM.
15. THE CONCRETE FOR ALL EXTERIOR FLATWORK SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 4000 PSI WITH A MAXIMUM SLUMP OF 4", AND SHALL HAVE 6% AIR (+/- 1%).

WOOD FRAMING NOTES:

1. ALL STRUCTURAL DIMENSION LUMBER SHALL POSSESS THE FOLLOWING MINIMUM VALUES:
F_b = 900 (SINGLE MEMBER)
F_b = 1035 (REPETITIVE MEMBER)
E = 1,600,000
ALL STRUCTURAL ENGINEERED LUMBER SHALL POSSESS THE FOLLOWING MINIMUM VALUES:
F_b = 2900
E = 2,000,000
ALL MANUFACTURER'S RECOMMENDATIONS ON FASTENING AND CONNECTIONS OF ENGINEERED LUMBER SHALL BE STRICTLY FOLLOWED.
2. FLOOR JOISTS BELOW PARTITION WALLS RUNNING PARALLEL TO THE JOIST SPAN SHALL BE DOUBLED (MIN), OR AS NOTED ON THE PLANS.
3. SOLID BLOCKING BETWEEN FLOOR JOISTS SHALL BE INSTALLED AT BEAM AND HEADER LOCATIONS.
4. ALL FLOOR AND CEILING JOISTS THAT BUTT INTO THE SIDE OF THE HEADER OR STEEL BEAM SHALL BE ANCHORED TO THE HEADER OR STEEL BEAM WITH STANDARD JOIST HANGERS. INSTALL FASTENERS IN JOIST HANGERS PER MANUFACTURER'S RECOMMENDATIONS.
5. ALL HIP AND VALLEY RAFTERS SHALL BE 2X MEMBERS WITH A DEPTH NOT LESS THAN THE END CUT OF THE RAFTER UNLESS NOTED OTHERWISE ON THE DRAWINGS. ALL HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A 2 X 6 "TEE" BRACE TO A BEARING PARTITION BELOW.
6. ALL HEADERS ARE DOUBLE 2 X 10'S UNLESS NOTED OTHERWISE ON THE DRAWINGS.
7. PROVIDE BRACED WALL PANELS PER CODE.
8. ALL LUMBER IN CONTACT WITH CONCRETE AND/OR SOIL SHALL BE PRESERVATIVE TREATED.
9. ALL HARDWARE & CONNECTORS IN CONTACT WITH PRESERVATIVE TREATED LUMBER (EXCEPT BORATE TREATED LUMBER) SHALL BE HIGHLY GALVANIZED (G185) HOT DIPPED (ASTM-A153, ASTM-A653), STAINLESS STEEL (304 OR 316), SILICON BRONZE OR COPPER (EXCEPTION: STEEL BOLTS 1/2" DIA OR GREATER)
10. WHEN USING STAINLESS STEEL OR HOT-DIPPED GALVANIZED HARDWARE AND/OR CONNECTORS, ALL HARDWARE AND/OR CONNECTORS SHALL BE MADE OF THE SAME MATERIAL.
11. ALL FLASHING IN CONTACT WITH PRESERVATIVE TREATED LUMBER (EXCEPT BORATE TREATED LUMBER) SHALL BE COPPER OR HIGHLY GALVANIZED (G185) HOT DIPPED (ASTM-A153, ASTM-A653).

BRICK CONSTRUCTION NOTES:

1. ALL BRICK CONSTRUCTION AND ASSOCIATED CONSTRUCTION TECHNIQUES AND MATERIALS SHALL BE IN ACCORDANCE WITH ACCEPTED STANDARDS OF THE BRICK INDUSTRY ASSOCIATION.
2. WALL TIES SHALL COMPLY WITH ASTM A82. THEY SHALL BE CORROSION-RESISTANT, 3/16" DIAMETER STEEL OR METAL WIRE OF EQUIVALENT THICKNESS. THERE SHALL BE ONE TIE FOR EVERY 2 2/3 SQ FT OF WALL AREA WITH A MAXIMUM SPACING OF 24" IN EITHER DIRECTION. THE NAIL ATTACHING A CORRUGATED TIE SHALL BE LOCATED WITHIN 5/8" OF THE BEND IN THE TIE. THE BEST LOCATION OF THE NAIL IS AT THE BEND IN THE CORRUGATED TIE, AND THE BEND SHOULD BE 90°. WIRE TIES SHALL BE EMBEDDED AT LEAST 5/8" INTO THE BED JOINT FROM THE AIR SPACE AND SHALL HAVE AT LEAST 5/8" COVER OF MORTAR TO THE EXPOSED FACE. CORRUGATED TIES SHALL PENETRATE TO AT LEAST HALF THE VENEER THICKNESS AND HAVE AT LEAST 5/8" COVER. TIES SHALL BE PLACED SO THAT THE PORTION WITHIN THE BED JOINT IS COMPLETELY SURROUNDED BY THE MORTAR.
3. WEEPHOLES SHALL BE PROVIDED IN THE HEAD JOINTS IMMEDIATELY ABOVE ALL FLASHING AT ALL FLASHING LOCATIONS. WEEPHOLES SHALL BE AT LEAST 1/4" IN DIAMETER, AND SHALL BE SPACED NO FURTHER APART THAN 24" OC HORIZONTALLY. IN OTHER CASES, SUCH AS WHERE A WICK MATERIAL IS USED IN THE WEEPHOLE, THE SPACING SHOULD BE REDUCED TO 16" MAXIMUM.
4. ALL OPENINGS SHALL BE PROPERLY FLASHED AND CAULKED.
5. FLASHING AND WEEPHOLES SHALL BE LOCATED ABOVE AND AS NEAR TO GRADE AS POSSIBLE AT THE BOTTOM OF THE WALL, ABOVE ALL OPENINGS, AND BENEATH SILLS. FLASHING SHALL BE SECURELY FASTENED TO THE BACKING SYSTEM AND EXTEND THROUGH THE FACE OF THE BRICK VENEER. FLASHING SHALL BE CAREFULLY INSTALLED TO PREVENT PUNCTURES OR TEARS. WHERE SEVERAL PIECES OF FLASHING ARE REQUIRED TO FLASH A SECTION OF THE VENEER, THE ENDS OF THE FLASHING SHALL BE LAPPED A MINIMUM OF 6" AND THE JOINTS PROPERLY SEALED. WHERE FLASHING IS NOT CONTINUOUS, SUCH AS OVER AND UNDER OPENINGS IN THE WALL, THE ENDS OF THE FLASHING SHOULD BE TURNED UP INTO THE HEAD JOINT AT LEAST 2" TO FORM A DAM.
6. EXTERIOR JOINTS AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW FRAMES TO BE FILLED WITH SEALANT SHALL BE FORMED BY THE ADJACENT MATERIALS OR BE A RESERVOIR TYPE JOINT. THE JOINT SHALL BE NO LESS THAN 1/4" NOR MORE THAN 1/2" WIDE AND 1/4" DEEP. IF WIDER JOINTS ARE REQUIRED, THE SEALANT DEPTH SHALL BE ONE-HALF OF THE JOINT WIDTH. A COMPRESSIBLE BACKER ROD OR SEALANT BOND BREAK TAPE SHALL BE USED. FILLET JOINTS ARE NOT RECOMMENDED, BUT IF USED, SHOULD BE AT LEAST 1/2" ACROSS THE DIAGONAL. THESE JOINTS SHALL BE SOLIDLY FILLED WITH AN ELASTIC SEALANT FORCED INTO PLACE WITH A PRESSURE GUN. ALL JOINTS SHALL BE PROPERLY PREPARED BEFORE PLACING SEALANTS. APPROPRIATE PRIMERS SHALL BE APPLIED AS NECESSARY. EXPANSION JOINTS SHALL BE CLEAR OF ALL MATERIAL FOR THE THICKNESS OF THE VENEER WYTHE AND CLOSED WITH A BACKER ROD AND SEALANT.
7. IT IS IMPERATIVE THAT THE 1" MINIMUM AIR SPACE BETWEEN THE VENEER AND THE BACKING STAYS CLEAN AND FREE OF ALL MORTAR DROPPINGS, SO THE WALL ASSEMBLY WILL PERFORM AS A DRAINAGE WALL.

CODE:

2018 INTERNATIONAL RESIDENTIAL CODE AS AMENDED BY THE CITY OF LEE'S SUMMIT, MO INCLUDING APPENDIX CHAPTERS E, H & J WITH LOCAL AMENDMENTS/REVISIONS

DESIGN LOADS:

FLOOR (NON-TILED AREAS): 40 PSF LIVE LOAD, 10 PSF DEAD LOAD, L/480 MAX DEFLECTION

CONCRETE TOPPING OR TILED FLOOR AREAS: 40 PSF LIVE LOAD, 14 PSF DEAD LOAD (W/TILE & UNDERLAYMENT), L/600 MAX DEFLECTION

ROOF: 20 PSF SNOW LOAD, 10 PSF DEAD LOAD, L/240 MAX DEFLECTION

CEILING (NO ATTIC STORAGE): 10 PSF LIVE LOAD, 5 PSF DEAD LOAD, L/240 MAX DEFLECTION

CEILING (LIMITED ATTIC STORAGE): 20 PSF LIVE LOAD, 10 PSF DEAD LOAD, L/240 MAX DEFLECTION

EXTERIOR BALCONIES & DECKS: 40 PSF LIVE LOAD, 10 PSF DEAD LOAD, L/480 MAX DEFLECTION

WIND: 90 MPH BASIC WIND SPEED



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CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - LEE'S SUMMIT, MO

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE	DECAY					
20 PSF	90 MPH	NO	NO	NO	A	SEVERE	36"	MODERATE TO HEAVY	SLIGHT TO MODERATE	6° F	YES	SEE ARTICLE	42°	55.5° F

INSULATION AND FENESTRATION REQUIREMENTS - LEE'S SUMMIT, MO

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	ROOF R-VALUE	FLOOR R-VALUE	DUCT R-VALUE	SLAB R-VALUE & DEPTH	CRAW SPACE WALL R-VALUE
4A	_____	_____	_____	30	13	19	19	5	_____	_____

PROJECT ENGINEER

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A2

Plotted On: 5/28/2021

NOTES, TABLES



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www.SherriWeaverDesign.com

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CERTIFIED AGING-IN-PLACE SPECIALIST
CERTIFIED GREEN PROFESSIONAL

NOT A REGISTERED ARCHITECT
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STATE OF MISSOURI
JOHN S.
68888448
NUMBER
5/27/21
EXPIRATION

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300 SW JEFFERSON STREET
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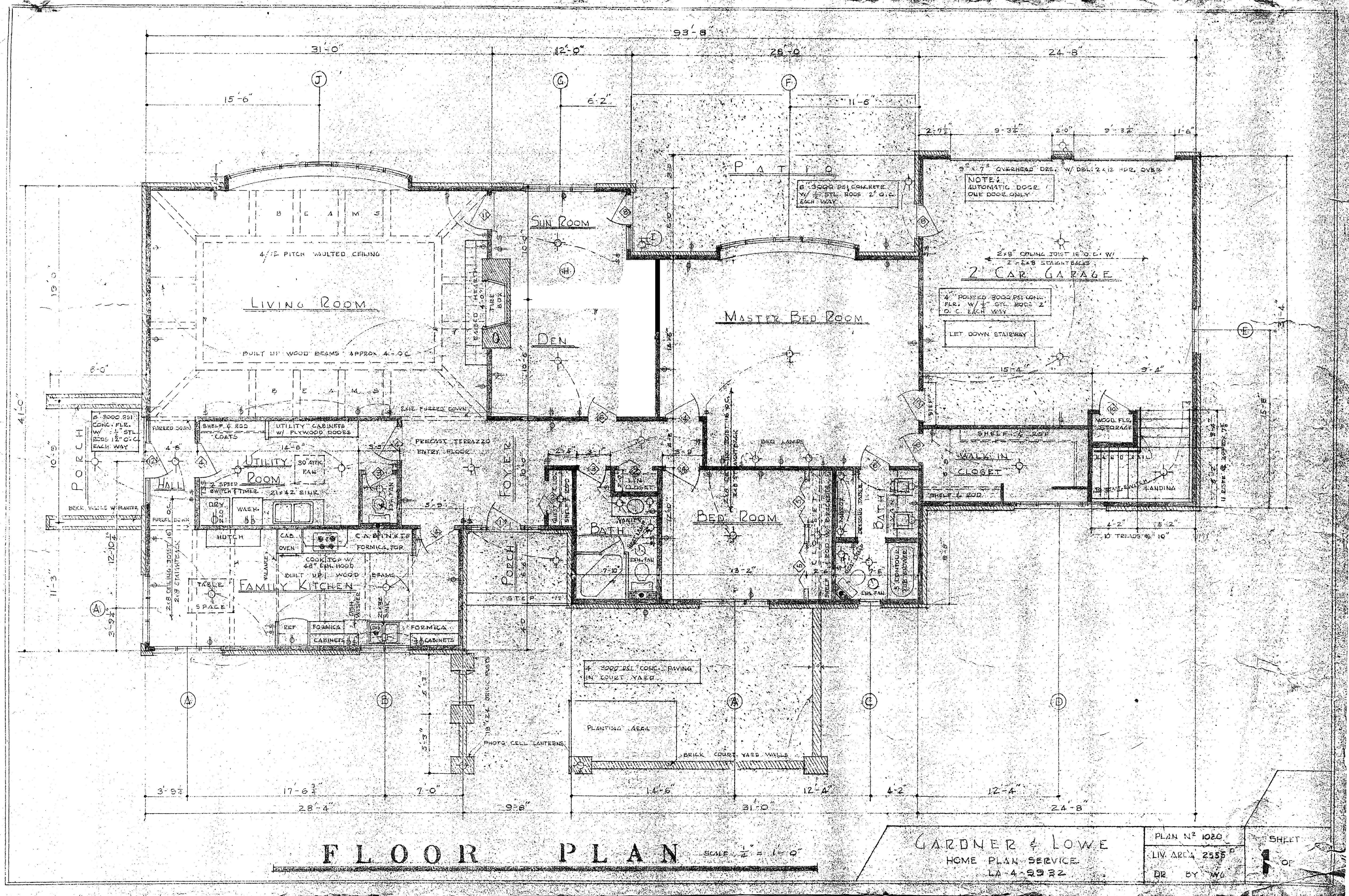
BY | REVISIONS | DATE

Date: 5/27/21
Scale: AS NOTED
Drawn: SW
Job: 200414
Issue: CONST

A3

Plotted On: 5/28/2021

ORIGINAL PLAN



FLOOR PLAN

SCALE 1/2" = 1'-0"

GARDNER & LOWE
HOME PLAN SERVICE
LA-4-9932

PLAN N° 1020

LIV. AREA 2555

DR BY WLG

SHEET

1 OF

1 ORIGINAL FLOOR PLAN



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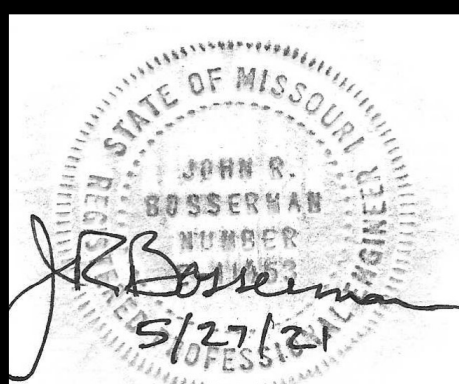
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BY	REVISIONS	DATE

Date: 5/21/21

Scale: AS NOTED

Drawn: SW

Job: 200414

Issue: CONST

A4

Plotted On: 5/28/2021

DEMO PLAN

KEY:

- WALL OR OBJECT TO BE REMOVED
- OBJECT TO BE REMOVED AND
MOVED TO NEW LOCATION

NOTE:

SAVE ALL APPLIANCES, CABINETS, COUNTERTOPS,
DOORS, HARDWARE, LIGHT FIXTURES, WOOD FLOORING
AND OTHER ITEMS FOR HOMEOWNER TO REUSE
OR SELL.

DEMO NOTES:

GENERAL:

1. REMOVE POPCORN CEILING TEXTURE FROM ALL CEILINGS EXCEPT GARAGE & OWNER'S CLOSET.
2. REMOVE ALL WOOD BASEBOARD EXCEPT OWNER'S CLOSET.
3. REMOVE ALL WALLPAPER UNLESS SKIN COATINGS.

ELECTRICAL:

1. REMOVE EXISTING ELECTRICAL PANEL AND ALL UNUSED ELECTRICAL COMPONENTS AND UNUSED WIRING.
2. REMOVE ALL OLD INTERCOM, THERMOSTATS, EMERGENCY PUSH BUTTONS, PHONE OUTLETS, RADIO AND ALARM SYSTEMS AND ASSOCIATED WIRING (DO NOT REMOVE DOOR BELL OR CHIME).
3. REMOVE ALL OUTLETS, SWITCHES & COVER PLATES. SEE ELECTRICAL PLAN FOR THOSE TO BE REPLACED WITH NEW OUTLETS, SWITCHES & COVERPLATES.

HVAC:

1. REMOVE EXISTING HEATING AND COOLING SYSTEM, INCLUDING ALL DUCTS, VENTS, PIPES, REGISTERS, GRILLS, ETC.
1. HOMEOWNER TO KEEP ALL COPPER, OR TO RECEIVE CREDIT FOR SALE OF COPPER.
2. CAP WATER LINE INTO EXISTING BOILER.
3. PATCH ALL HOLES TO OUTSIDE AFTER REMOVAL OF COMPONENTS.

ATTIC:

1. REMOVE ALL ATTIC INSULATION.
2. SEE HVAC DEMO.

GREAT ROOM:

1. REMOVE CARPET.
2. REMOVE INTERIOR WALL FINISH FROM EXTERIOR WALLS AND INSPECT INSULATION FOR POSSIBLE REPLACEMENT.

KITCHEN/EATING AREA:

1. REMOVE CROWN MOLDING.
2. REMOVE FLOORING.
3. REMOVE WINDOW TRIM & SALVAGE FOR POSSIBLE REUSE.
4. REMOVE INTERIOR WALL FINISH FROM EXTERIOR WALLS AND INSPECT INSULATION FOR POSSIBLE REPLACEMENT.

MAIN BATH:

1. REMOVE WALL TILE, INCLUDING SHOWER WALL TILE.
2. REMOVE CROWN MOLDING.
3. REMOVE SINK, FAUCET & COUNTERTOP (DO NOT REMOVE VANITY).
4. REMOVE FLOORING.
5. REMOVE TOWEL BARS.
6. REMOVE SEWER PIPE FROM MAIN FLOOR TO BASEMENT FLOOR.

DEN:

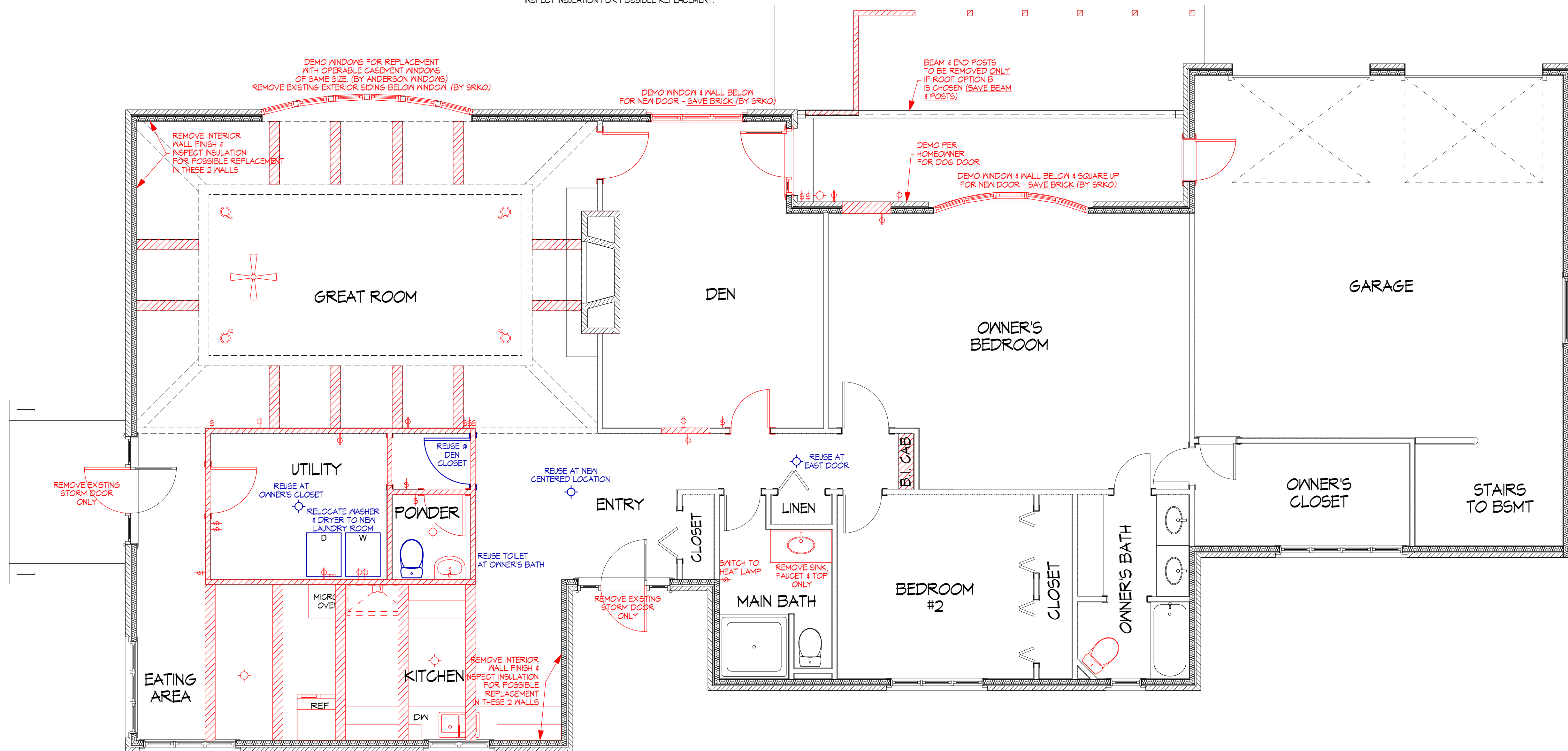
1. CAREFULLY PROTECT FIREPLACE, AS IT WILL REMAIN.
2. REMOVE PANELING AT NEW DOOR OPENINGS WITH EXTREME CARE FOR REINSTALLATION.
3. CAREFULLY PROTECT FLOORING, AS IT WILL REMAIN.

OWNER'S BEDROOM:

1. CAREFULLY PROTECT FLOORING, AS IT WILL REMAIN.

OWNER'S BATHROOM:

1. REMOVE SEWER PIPE FROM FROM MAIN FLOOR TO BASEMENT FLOOR.
2. REMOVE DRAIN PIPES FROM SINKS AND SHOWER.
3. CAREFULLY PROTECT FLOORING, FIXTURES, AND CABINETS AS THEY WILL REMAIN (EXCEPT TOILET).
4. REMOVE TOILET.



1 DEMO PLAN

SCALE: 1/4" = 1'-0"

PROJECT ENGINEER

JOHN R. BOSSERMAN, P.E.
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KANSAS CITY, MISSOURI 64138
PHONE: (239) 273-0523
EMAIL: john.r.bosserman@gmail.com
MO P.E. # E-11453



(1



SCALE: 1/4" = 1'-0"

1. MATCH PITCH & OVERHANG OF EXISTING ROOF.
2. REMOVE EXISTING ROOF FRAMING AS NECESSARY FOR NEW ROOF FRAMING.
3. ALL LVL BEAMS (RIDGES, HIPs & VALLEYS) ARE SINGLE PLY, 1 3/4" THICK, BY DEPTH NOTED ON PLAN, 2.0 LVL.
4. ALL NEW HIP AND VALLEY BEAMS SHALL BE FACE MOUNTED TO THE NEW RIDGE BEAM WITH THE FOLLOWING HANGERS:
14" LVL - H414; 2 X 12 - H4212. USE 10d X 1 1/2" NAILS TO RIDGE. PROVIDE REQUIRED SLOPED AND SKINNED SEAT.
5. PROVIDE SOFFIT VENTS V4/S4SCREENS PER CODE @ ENTIRE PERIMETER OF NEW ROOF.

NEW RAFTER TO WALL TOP PLATE OR BEAM: H2.5T
 RAFTER TO RIDGE: LRU26Z W/10d X 1 1/2" NAILS TO FACE
 RAFTER TO HIP OR VALLEY: U26 W/10d X 1 1/2" NAILS TO FACE

- KEY:

■ VERTICAL SUPPORT POST TO LOAD BEARING WALL OR MEMBER BELOW



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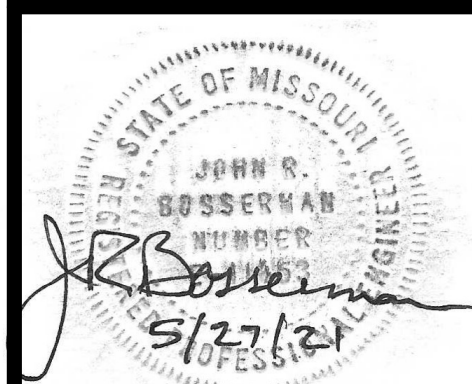
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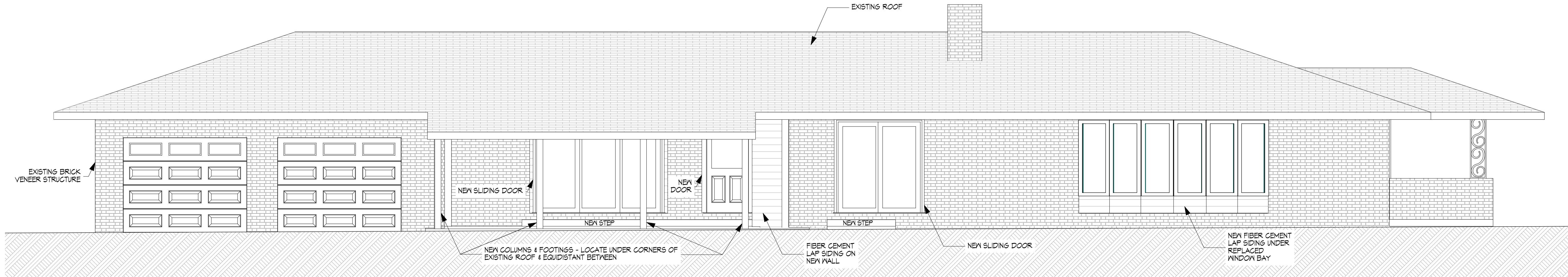
1. *Journal of the American Medical Association*, 2000; 284: 2689-2694.

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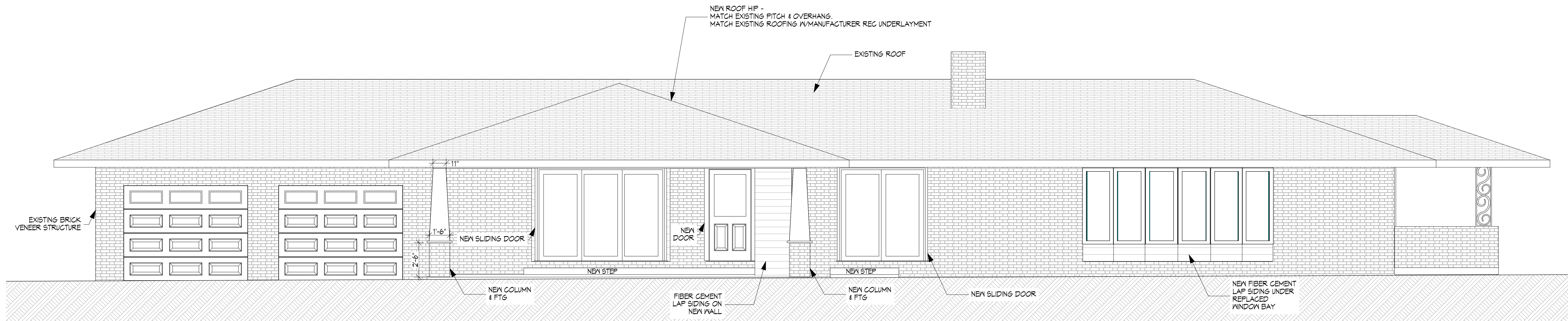
ROOF PLAN

PROJECT ENGINEER

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1 EXISTING ROOF CONDITION
SCALE: 1/4" = 1'-0"



2 ROOF OPTION B
SCALE: 1/4" = 1'-0"

