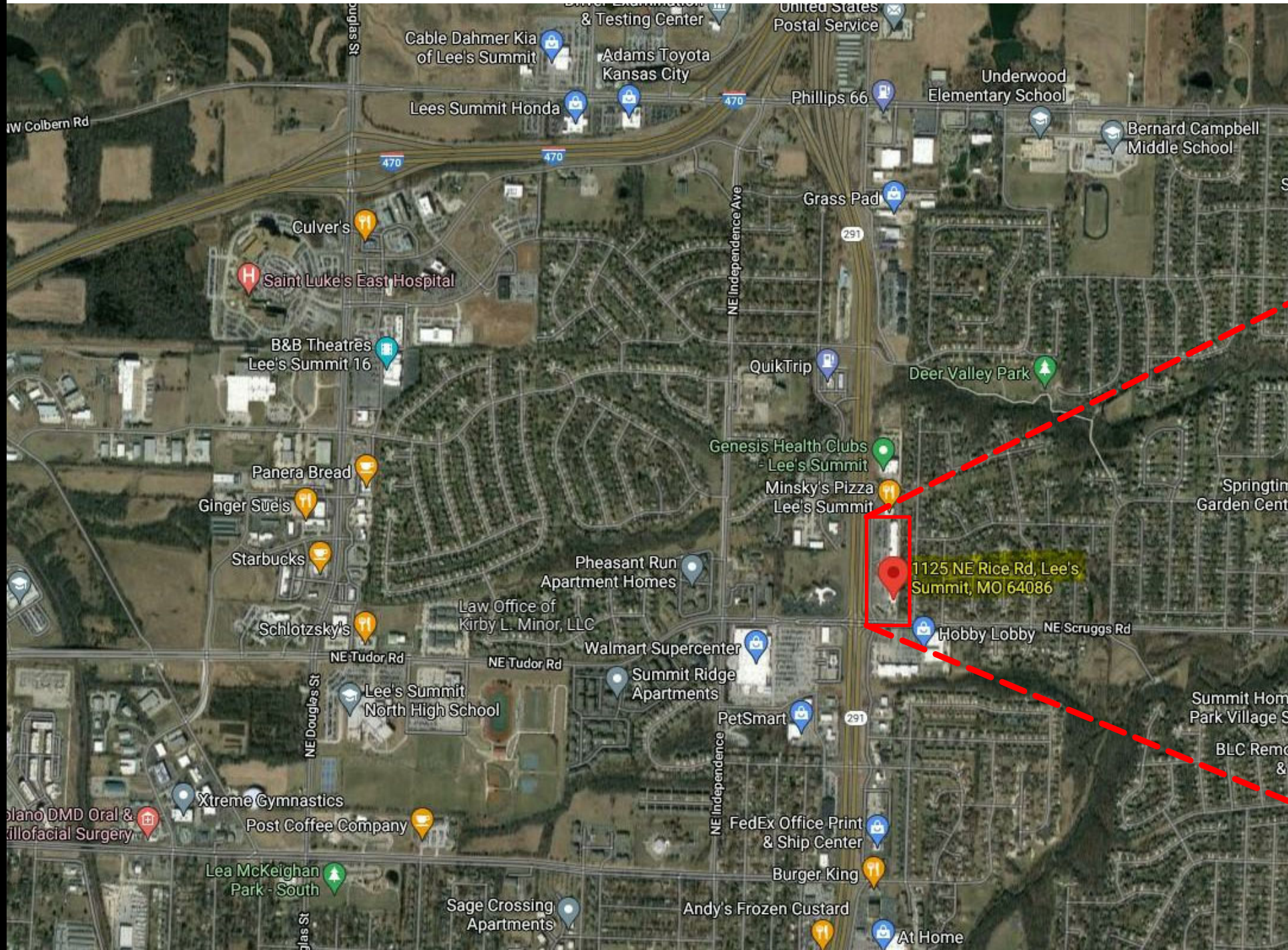


# DEER BROOK PLAZA FACADE UPGRADE

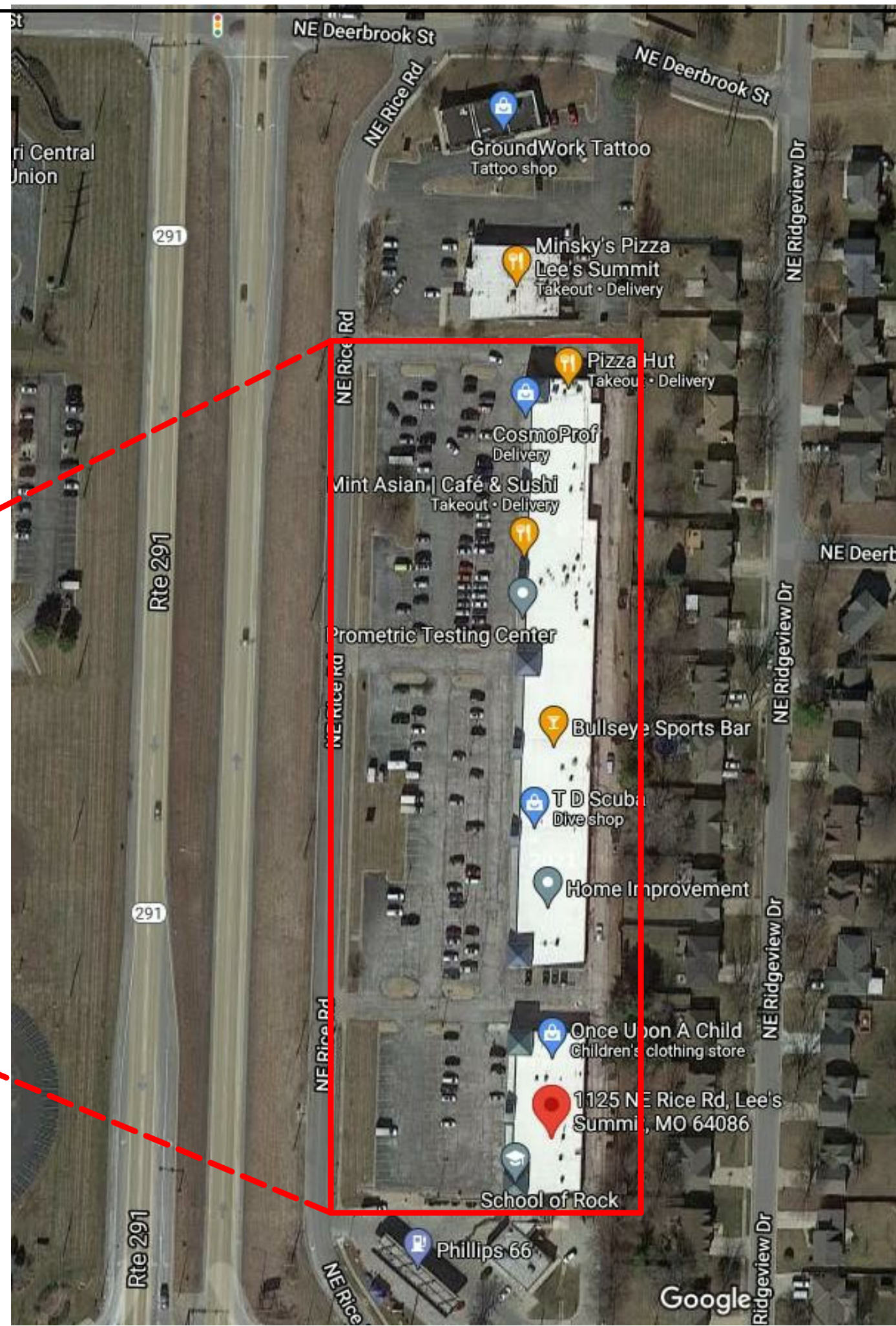
1125 - 1225 NE Rice Road  
Lee's Summit, MO 64086-6788

CONSTRUCTION DOCUMENTS  
JUNE 15, 2021

## VICINITY MAP



## SITE LOCATION



## ADA COMPLIANCE

### ADA Compliance for New Construction

The American with Disabilities Act (ADA) provides that it is a violation of the ADA to design and construct a facility for first occupancy later than January 26, 1993, that does not meet the accessibility and usability requirements of the ADA except where and entity can demonstrate that it is structurally impractical to meet such requirements. The Client acknowledges that the requirements of the ADA will be subject of various and possibly contradictory interpretations. The Design Professional, therefore, will use his or her reasonable professional efforts to interpret applicable ADA requirements and other federal, state and local laws, rules, codes, ordinances and regulations as they apply to the project. The Design Professional, however, cannot and does not warrant or guarantee that the Client's project will comply with interpretations of the ADA requirements and/or the requirements of other federal, state and local laws, rules, codes, ordinances and regulations as they apply to the project.

### ADA Compliance for Alterations

The American with Disabilities Act (ADA) provides that alterations to a facility must be made in such a manner that, to the extent feasible, the altered portions of the facility are readily accessible to and by individuals with disabilities. The Client acknowledges that the requirements of the ADA will be subject to various and possibly contradictory interpretations. The Design Professional, therefore, will use his or her reasonable professional efforts and judgement to interpret applicable ADA regulations as they apply to the project. The Design Professional, however, cannot and does not warrant or guarantee that the Client's project will comply with all interpretations of the ADA requirements or the requirements of other federal, state and local laws, rules, codes, ordinances and regulations as they apply to the project.

## GENERAL NOTES

- These notes apply equally to the full set of documents, and are to be considered complimentary to the Project Manual Specifications.
- The notes and symbols set down on these drawings are for the guidance of all trades involved in the project, and must be followed to execute the intended assemblies.
- The contractor shall refer to Architectural drawings for details of building construction to insure space and satisfactory arrangement for their work. The various drawings comprising the set are interdependent, and must be used jointly at all times. Each contractor should refer to the general requirements of the contract. If discrepancies occur, contact the Architect thru the Contractor for clarification before proceeding.
- All work must be coordinated with the owner to maintain operation of any and all existing activities on the owner's site. All work in/on other floors, including core drilling, utility tie-ins, etc., shall be coordinated with the owner.
- Use dimensional information given. DO NOT scale the drawings.
- Titles, Captions, Headings, etc., are intended for general reference, and are NOT intended to limit the work required in any way.
- Each Contractor shall coordinate his work with the work of others. He shall keep himself informed of the progress and detail development of the work of others, and shall be responsible for coordinating and expediting his work with that of others, so that the progress of the total work shall be kept on schedule.
- All work shall be performed in strict compliance with all governing codes and standards.
- Existing conditions shown have been based upon available drawing information, and may vary with actual work in place. Correctness and compatibility of said documents, with information on these plans, must be verified by the contractor, prior to bidding and prior to commencement of construction.
- Each Contractor and/or trade fitting or placing his work into or on the work of others does so with the understanding that the installation of his work constitutes his acceptance of the suitability of the work in place. If the work of others is not acceptable, he shall notify the General Contractor and such work shall be corrected. Any new work installed in/on unsuitable existing work shall be the responsibility of the contractor or trade installing the new work. No claims for additional compensation for correcting work installed in unsuitable existing conditions will be considered.
- General Contractor shall field verify all existing conditions and notify the Architect of any discrepancies.

## DRAWING INDEX

<b>GENERAL</b>	
G000	COVER SHEET
<b>ARCHITECTURAL DEMOLITION</b>	
AD100	ARCHITECTURAL DEMOLITION PLANS
<b>ARCHITECTURAL</b>	
A101	FLOOR PLANS
A300	EXTERIOR ELEVATIONS
A301	EXTERIOR ELEVATIONS
A400	PLAN DETAILS AND SECTION DETAILS

## ABBREVIATIONS

AFF	Above Finished Floor	DFF	Door Frame Paint	HR	Hour	PSI	Pounds per Square Inch	T O	Top of
ACT	Acoustical Tile	DN	Down	IN	Inch	PCS	Paint Coating System	TYP	Typical
AWC	Acoustical Wall Covering	DWG	Drawing	INCL	Included(ded), (sion)	PROP	Property	UL	Underwriters Lab
AP	Acrylic / Resinous Panel	E	East	INFO	Information	PPF	PVC Free Plank Flooring	UNO	Unless Noted Otherwise
ADJ	Adjacent	EA	Each	IB	Integral Base	PS	PVC Free Sheet		
AGSR	Aggregate	EB	Edge Banding	ISB	Integral Sink Bowl	QTY	Quantity	VNR	Veneer
A/C	Air Conditioning	ELEV	Elevation	INT	Interior	QT	Quarry Tile	VERT	Vertical
ALT	Alternate	ELEC	Electric(al)	JT	Joint	QTB	Quarry Tile Base	VCC	Vinyl Ceiling Covering
AL	Aluminum	EM	Emergency	LAB	Laboratory	Q	Quartz	VCT	Vinyl Composition Tile
AMT	Amount	ENGR	Engineer	LAM	Laminated	QCT	Quartz Composition Tile	VET	Vinyl Enhanced Tile
APPROX	Approximate	EP	Epoxy Paint	LAV	Lavatory	QS	Quartz Surfacing	VPF	Vinyl Plank Flooring
APT	Apartment	EPF	Epoxy / Powder Flooring	LVT	Lay-in Vinyl Ceiling Tile	RAD	Radius	VVC	Vinyl Wall Covering
ARCH	Architect / Architectural	EQ	Equal	LH	Left Hand	RCF	Raised Computer Floor	WSC	Wainscot
AVE	Avenue	EST	Estimate	LT	Light	REF	Reference	WDM	Walk-off Mat
BRS	Backer Rod & Sealant	EXIST	Existing	LWT	Lightweight	RE	Refer to	WPS	Wall Protection Sheet
BSMT	Basement	ETR	Existing to Remain	LWC	Light Weight Concrete	RENF	Reinforcing	WC	Water Closet
BLK	Block	EJ	Expansion Joint	LVC	Low Volume Change	REQD	Required	WH	Water Heater
BLKS	Blocking	EXP	Exposed	LB	Pound or (#)	RB	Resilient Base	WR	Weld Rod
BLVD	Boulevard	EXT	Exterior	MFG	Manufacturer	RP	Reveal Paint	WRB	Water Resistant Barrier
BLDG	Building	F	Fiber	MB	Marker Board	REV	Revisions, Revised	W	West
BR	Bumper Rail	FWP	Fabric Wrapped Panel	MAS	Masonry	RO	Rough Opening	WF	Wide Flange
CPT	Carpet	FFM	Feet per Minute	MAX	Maximum	RM	Room	WT	Window Treatment
CPTT	Carpet Tile	FFI	Finished Floor Elevation	MECH	Mechanical	RS	Rubber Sheet	W	With
CB	Carpet Base	FFL	Finished Floor Line	MED	Medium	RT	Rubber Tile	W/O	Without
CLK	Clau(king)	FE	Fire Extinguisher	MEP	Mechanical, electrical, and plumbing	SC	Schedule	WO	Wood
CLNG	Ceiling	FEC	Fire Extinguisher Cabinet	MTL	Metal, Material	SCRN	Screen	WDS	Wood Door Stain
CT	Ceramic Floor Tile	FHC	Fire Hose Cabinet	ML	Metal Laminat	SC	Sealed Concrete	WF	Wood Floor
CTI	Ceramic Tile	FHY	Fire Hydrant	MT	Metal, Material	SEC	Section	WS	Wood Stain
CR	Chair Rail	FLR	Flooring	MIN	Minimum	SHT	Sheet	WV	Wood Veneer
CLR	Clearance	FD	Floor Drain	MISC	Miscellaneous	SVT	Sheet Vinyl Flooring		
CLOS	Closet	FND	Foundation	NF	No Finish	S	Similar		
CW	Cold Water	FRT	Fire Retardant Treated	NOM	Nominal	SC	Solid Core		
COL	Column	FT	Foot / Feet	N	North	SS	Solid Surfacing		
CONC	Concrete	FTG	Footing	NIC	Not in Contract	SPEC	Specification(s)		
CONJ	Concrete Masonry Unit	FUT	Future	NTS	Not to Scale	SO	Square		
CONST	Construction	FV	Field Verify	OC	On Center	SO FT	Square Foot		
CONT	Continuous or Continue	GA	Gage, Gauge	OPNG	Opening	STC	Stained Concrete		
CONTR	Contractor	GC	General Contractor(s)	OPP	Opposite	STL	Stainless Steel		
CJ	Control Joint	GL	Glass / Glazing	OT	Overflow Drain	STL	Steel		
CG	Corner Guard	GLBK	Glass Block	OFI	Owner Furnished, Contractor Installed	STV	Stone Veneer		
CR	Crash Rail	GWT	Glass Wall Tile	P	Paint	STOR	Storage		
CRM	Crown Molding	GD	Grade, Grading	PART BD	Particleboard	ST	Street		
CRM	Cubic Feet per Minute	GVL	Gravel	PTM	Patch to Match	STRUCT	Structural		
CU FT	Cubic Feet	GR	Grout	HT	Height	SUSP	Suspended		
CU IN	Cubic Inch	GYP BD	Gypsum Board	PL	Plate	TS	Tackable Surface		
CU YD	Cubic Yard	HR	Hand Rail	PLAM	Plastic Laminat	TB	Tack Board		
CC	Cubicle Curtain	HVAC	Heating / Ventilation / Air Conditioning	PL	Plate	TV	Television		
		HID	High Impact Door	PT	Point	TRZ	Terrazzo Flooring		
		HPR	High Performance Resin	PTT	Porcelain Floor Tile	TLT	Toilet		
		HC	Hollow Core	PTB	Porcelain Tile Base	TLT PTN	Toilet Partition		
		HM	Hollow Metal	PWF	Porcelain Wall Tile	T&G	Tongue and Groove		
		HORIZ	Horizontal	PSF	Pounds per Square Foot				
		HW	Hot Water						

## CODE INFORMATION

**GENERAL:**

CONSTRUCTION PURPOSE: FACADE UPGRADE

PROJECT ADDRESS: 1125 - 1225 NE RICE ROAD  
LEE'S SUMMIT, MO

COUNTY: JACKSON

LOCAL FIRE DEPARTMENT: LEE'S SUMMIT FIRE DEPARTMENT

LOCAL WATER DEPARTMENT: LEE'S SUMMIT WATER UTILITIES

LOCAL BLDG. INSPECTION DEPT: CITY OF LEE'S SUMMIT

**CODES / REGULATIONS UTILIZED TO DESIGN THIS PROJECT:**

2018 INTERNATIONAL BUILDING CODE

2018 INTERNATIONAL FIRE CODE

2017 NATIONAL ELECTRICAL CODE

2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

OCCUPANCY CLASSIFICATION: GROUP B (EXISTING)

TYPE OF CONSTRUCTION: II-B (EXISTING)



ARCHITECT:  
HMN ARCHITECTS, INC.

7400 W. 110th, STE. 200  
Overland Park, KS 66210  
913.451.9075  
www.hmnarchitects.com



7400 W. 110th Street, Suite 200  
Overland Park, Kansas 66210  
913.451.9075 phone  
913.451.9080 fax  
H M N ARCHITECTS, P.C.  
Missouri Certificate of Authority #: 000003202

CONSTRUCTION DOCUMENTS

FACADE UPGRADE  
DEER BROOK PLAZA  
1125 - 1225 NE Rice Road  
Lee's Summit, MO 64086-6788

20007.20.001.2



Ronald Lon Wehr, Architect  
License A-7035

Date: 06/15/2021

Issue Date

Issue Date

Issue Date

Issue Date

Issue Date

Issue Date

Issue Date

Issue Date

Issue Date

Issue Date

Issue Date

Issue Date

Issue Date

Issue Date

Issue Date

Issue Date

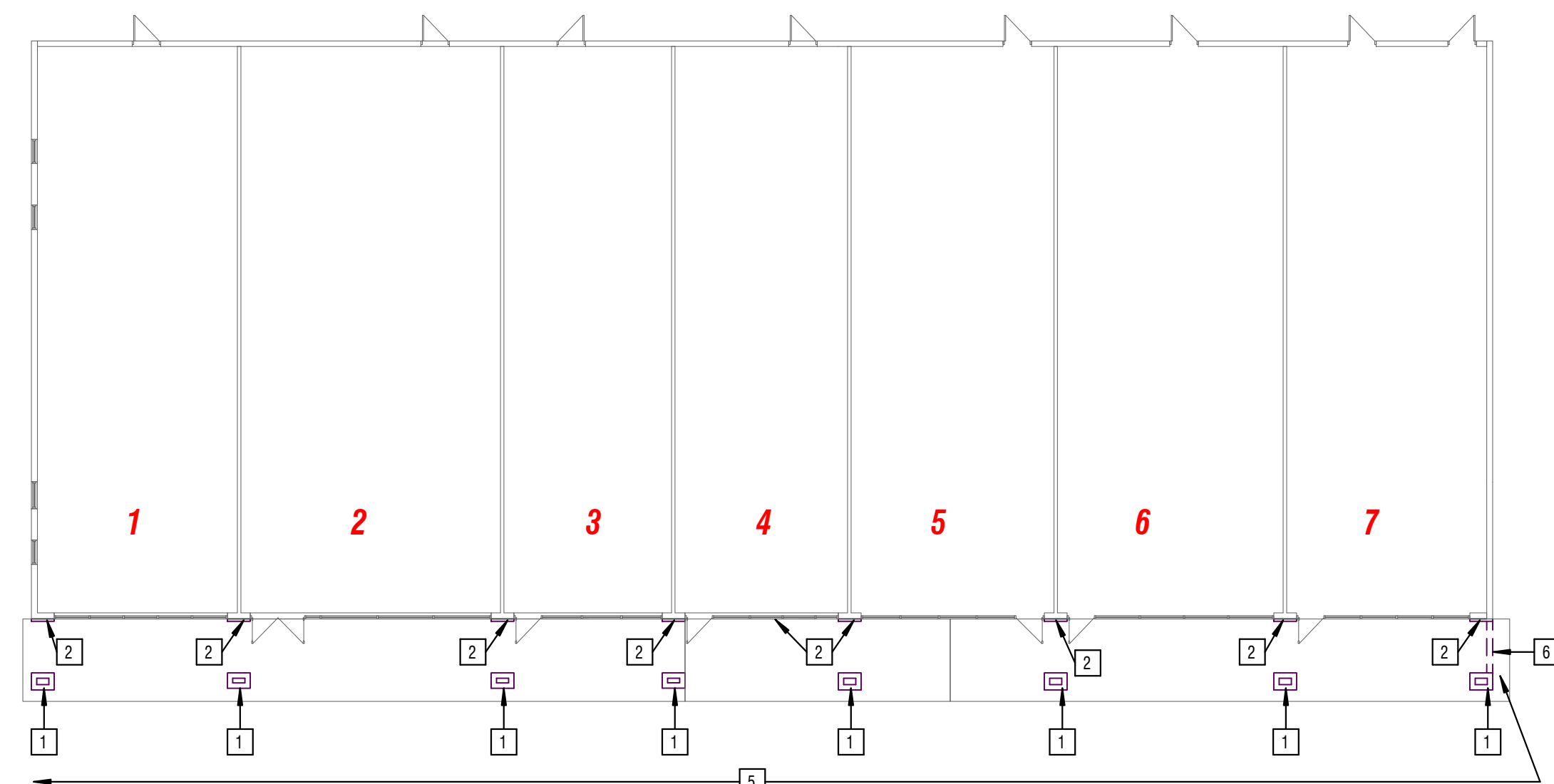
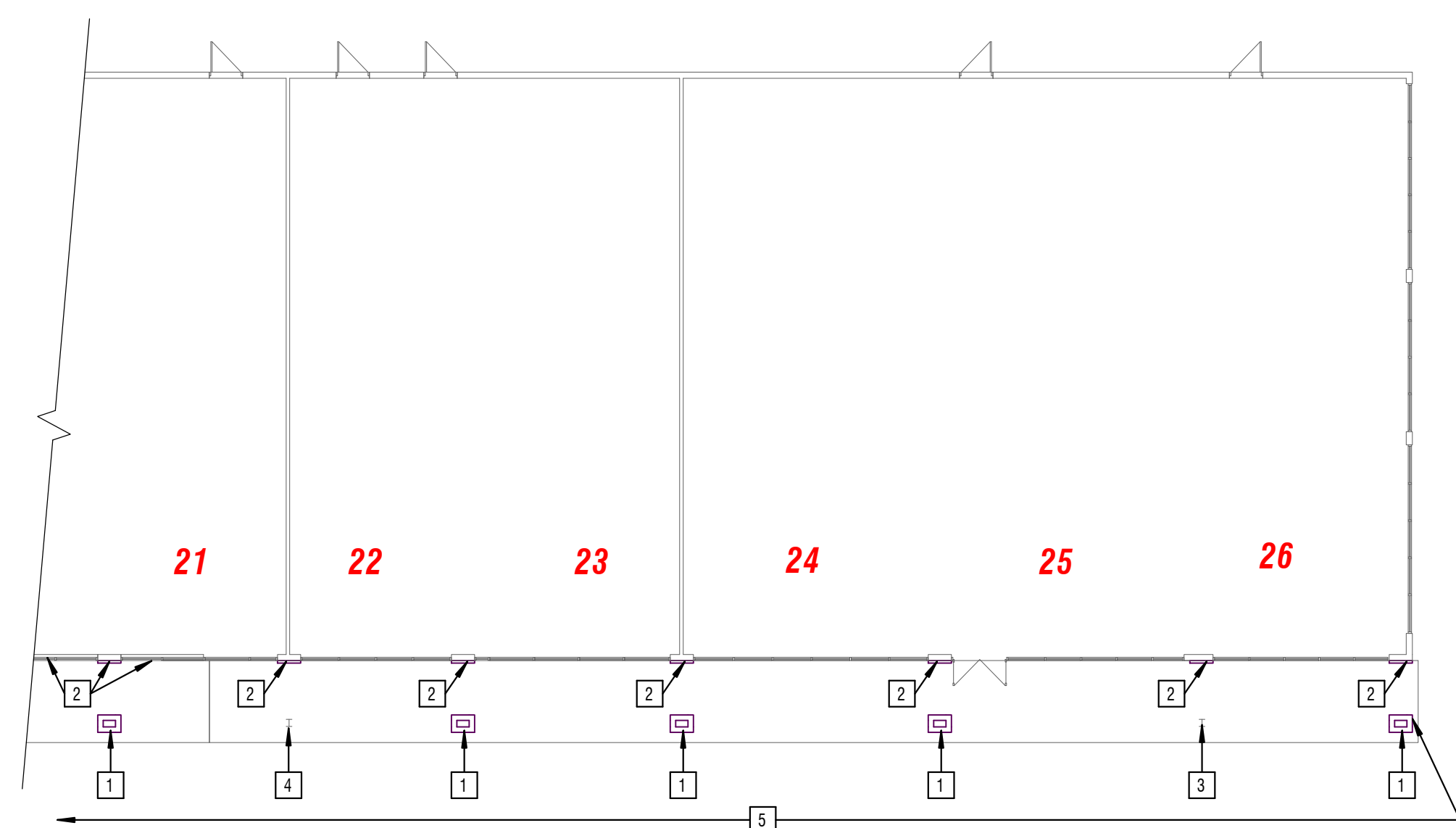
Issue Date

Issue Date

Issue Date

Issue Date



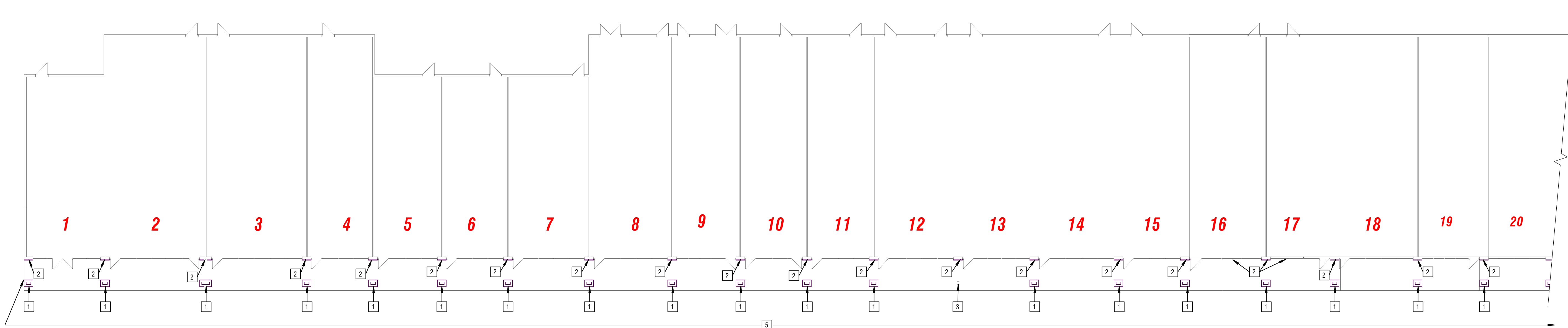


**D10** DEMOLITION PLAN - SOUTH  
1/16" = 1'-0" | 1/002



## GENERAL DEMOLITION NOTES

1. CONTRACTOR SHALL CONTACT DESIGNATED OWNER'S REPRESENTATIVE DAILY TO PROVIDE ACTIVITIES AND SHUTDOWN REQUIREMENTS. ALL SITE AND BUILDING USE SHALL BE COORDINATED IN ADVANCE WITH THE OWNER.
2. ALL MEP SYSTEMS TO SURROUNDING SPACES SHALL BE MAINTAINED, UNLESS COORDINATED IN ADVANCE WITH THE OWNER.
3. CONTRACTOR SHALL MEET WITH OWNER'S REPRESENTATIVE PRIOR TO BEGINNING ANY WORK, TO SET MINIMUM PROCEDURES FOR DUST CONTAMINATION.
4. WHERE REMOVAL OF EXISTING WALLS, EQUIPMENT, ETC., DISRUPTS OR DISTURBS EXISTING ELECTRICAL, MECHANICAL, OR PLUMBING SYSTEMS TO AREAS NOT TO BE REMOVED, THE CONTRACTOR SHALL PROVIDE TEMPORARY CONNECTIONS AS REQUIRED TO INSURE UNINTERRUPTED SERVICE TO SAID AREAS.
5. CONTRACTOR IS TO REMOVE COMPLETELY ANY EXISTING CONSTRUCTION WHICH CONFLICTS WITH THE INTENT OF THE NEW CONSTRUCTION. EXISTING STORAGE, LIGHTING AND ELECTRICAL DEVICES SHALL BE REMOVED, STORED AND REINSTALLED BY THE CONTRACTOR.
6. REMOVE EXISTING LIGHT FIXTURES AS REQUIRED FOR INSTALLATION OF NEW REPLACEMENT LIGHT FIXTURES AS DESCRIBED ON SHEET AND ADDITIONAL NOTES.
7. REPAIR OF CORRODED COLUMNS (BASE BID FOR COLUMNS THAT ARE EXPOSED AT TIME OF BID). UNIT PRICE FOR COLUMNS THAT ARE CONCEALED AT TIME OF BID):
  - EXPOSED EXISTING FRAMING THAT THE COLUMN IS SUPPORTING.
  - AFTER THE FRAMING IS SHORED, REMOVE CONCRETE BY CHIPPING IT AWAY TO EXPOSE THE NON-CORRODED PORTION OF THE COLUMN.
  - REPAIR TO ENSURE THAT THE COLUMN IS FULLY STRENGTHENED.
  - ALL CORRODED STEEL SHALL BE WIRE BRUSHED DOWN TO WHITE METAL.
  - REPAIR ALL STEEL SHALL BE PAINTED WITH A COLD GALVANIZING PAINT.
    - IF AFTER ALL CORRODED STEEL IS REMOVED, MORE THAN 1/16" OF STEEL HAS BEEN LEFT TO CORRODE, THE REPAIR DESCRIBED ABOVE FOR THE "HEAVILY CORRODED COLUMNS" WILL BE REQUIRED.
8. REPAIR OF HEAVILY CORRODED COLUMNS (BASE BID FOR COLUMNS THAT ARE EXPOSED AT TIME OF BID. UNIT PRICE FOR COLUMNS THAT ARE CONCEALED AT TIME OF BID):
  - EXPOSED EXISTING FRAMING THAT THE COLUMN IS SUPPORTING.
  - AFTER THE FRAMING IS SHORED, REMOVE CONCRETE BY CHIPPING IT AWAY TO EXPOSE THE NON-CORRODED PORTION OF THE COLUMN.
  - REPAIR TO ENSURE THAT THE COLUMN IS FULLY STRENGTHENED.
  - ALL CORRODED STEEL SHALL BE WIRE BRUSHED DOWN TO WHITE METAL.
  - REPAIR ALL STEEL SHALL BE PAINTED WITH A COLD GALVANIZING PAINT.
    - A 1/4" TALL 1 X 1/2" THICK X 7' LONG PLATE SHALL BE WELDED TO BOTH SIDES OF THE COLUMN WEB. THE WELD SHALL BE A 1/4" FILLET WELD AND SHALL RUN 7' ALONG THE TOP OF THE PLATE AND DOWN THE SIDES. THE PLATE SHALL BE 1/4" THICK AND 1/2" WIDE.
    - THE EXISTING COLUMN BASE PLATE WITH 7" OF 1/4" FILLET WELD. IF THE EXISTING WELD BETWEEN THE COLUMN WEB AND THE BASE PLATE DOES NOT MATCH WITH A FILLET WELD, THE CONTRACTOR SHALL REPAIR THE EXISTING WELD SHALL BE GROUND SMOOTH.
    - AFTER THE PLATES ARE ADDED, STEEL SHALL BE PAINTED WITH A COLD GALVANIZING PAINT.
9. REMOVE ALL SEALANT MATERIAL THAT IS SCHEDULED TO RECEIVE HIGH PERFORMANCE COATING.



**A10** DEMOLITION PLAN - NORTH  
1/16" = 1'-0" | 1/002



**FACADE UPGRADE**  
**DEER BROOK PLAZA**  
1125 - 1225 NE Rice Road  
Lee's Summit, MO 64086-6788



Ronald Lon Wehr, Architect  
License A-7035

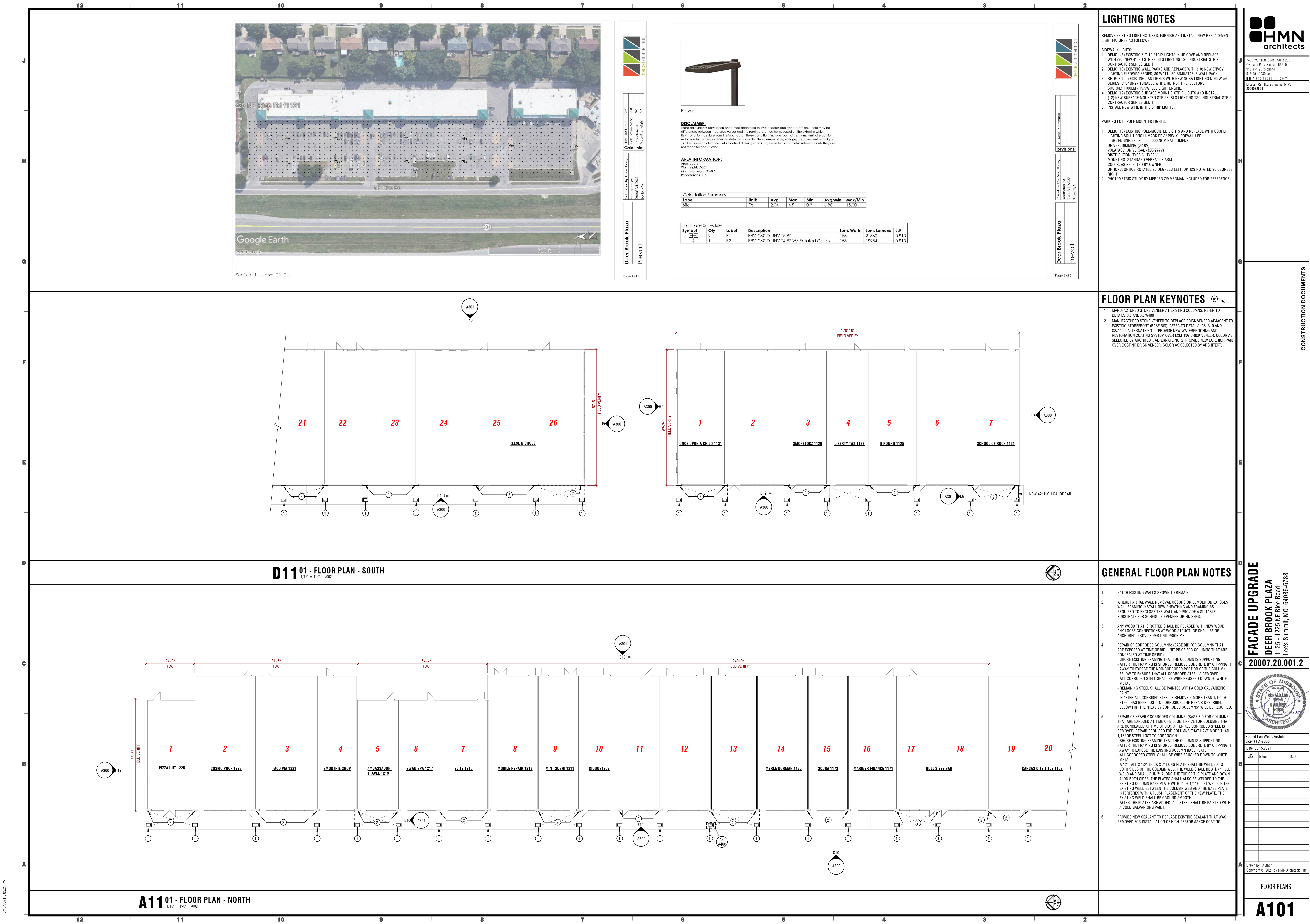
[illegible]

Drawn by: Author  
Copyright © 2021 by HMN Architects, Inc.

ARCHITECTURAL  
DEMOLITION PLANS

## AD100

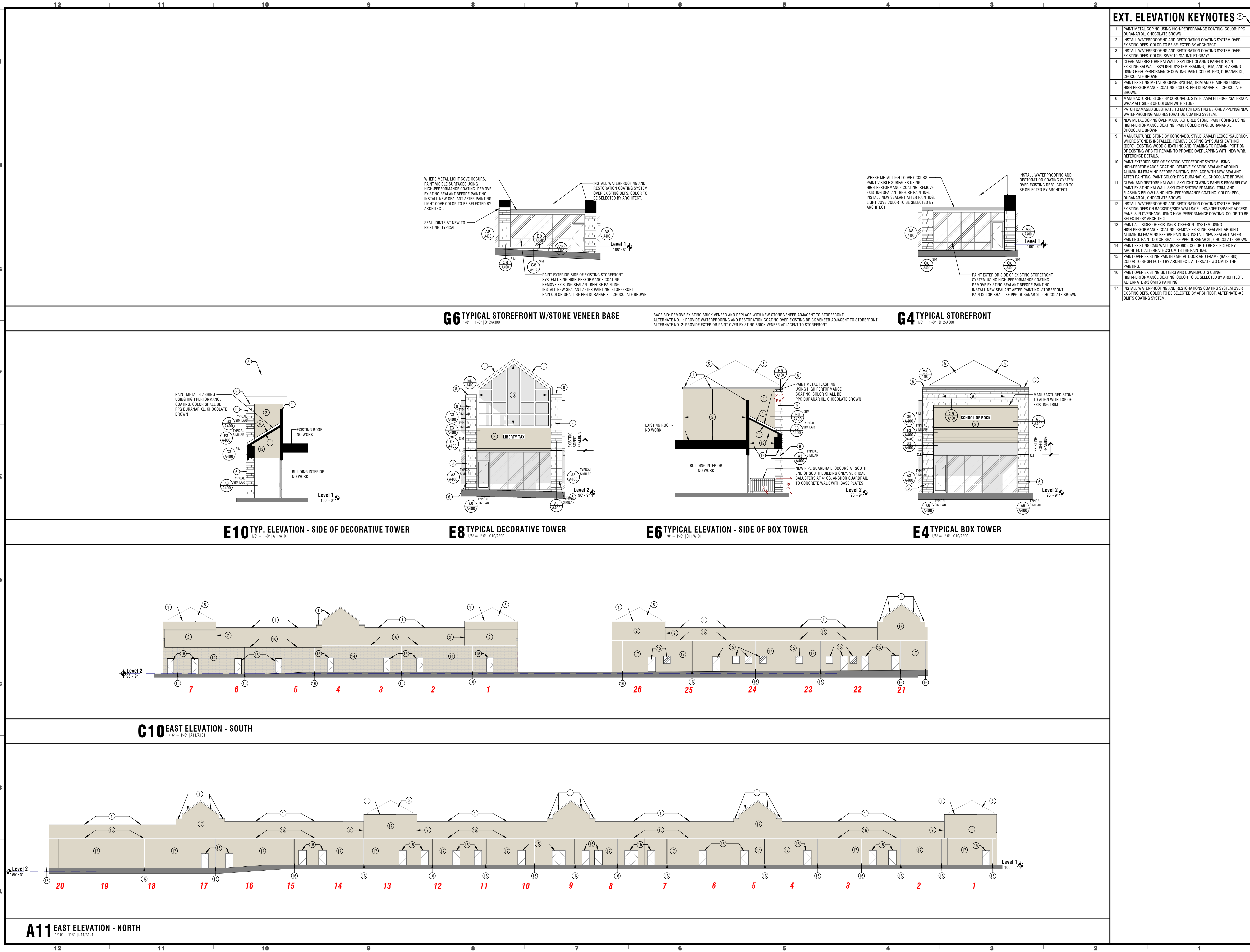












EXT. ELEVATION KEYNOTES

- 1 PAINT METAL COPING USING HIGH-PERFORMANCE COATING. COLOR: PPG DURANAR XL, CHOCOLATE BROWN.
- 2 INSTALL WATERPROOFING AND RESTORATION COATING SYSTEM OVER EXISTING DEFS. COLOR TO BE SELECTED BY ARCHITECT.
- 3 INSTALL WATERPROOFING AND RESTORATION COATING SYSTEM OVER EXISTING DEFS. COLOR: SW7019 "GAUNTLET GRAY".
- 4 CLEAN AND RESTORE KALWALL SKYLIGHT GLAZING PANELS. PAINT EXISTING KALWALL SKYLIGHT SYSTEM FRAMING, TRIM, AND FLASHING USING HIGH-PERFORMANCE COATING. PAINT COLOR: PPG DURANAR XL, CHOCOLATE BROWN.
- 5 PAINT EXISTING METAL ROOFING SYSTEM, TRIM AND FLASHING USING HIGH-PERFORMANCE COATING. COLOR: PPG DURANAR XL, CHOCOLATE BROWN.
- 6 MANUFACTURED STONE BY CORONADO, STYLE: AMALFI LEDGE "SALERNO". WRAP ALL SIDES OF COLUMN WITH STONE.
- 7 PATCH DAMAGED SUBSTRATE TO MATCH EXISTING BEFORE APPLYING NEW WATERPROOFING AND RESTORATION COATING SYSTEM.
- 8 NEW METAL COPING OVER MANUFACTURED STONE. PAINT COPING USING HIGH-PERFORMANCE COATING. PAINT COLOR: PPG DURANAR XL, CHOCOLATE BROWN.
- 9 MANUFACTURED STONE BY CORONADO, STYLE: AMALFI LEDGE "SALERNO". WHERE STONE IS INSTALLED, REMOVE EXISTING GYPSUM SHEATHING (DEFS). EXISTING WOOD SHEATHING AND FRAMING TO REMAIN. PORTION OF EXISTING WRB TO REMAIN TO PROVIDE OVERLAPPING WITH NEW WRB. REFERENCE DETAILS.
- 10 PAINT EXTERIOR SIDE OF EXISTING STOREFRONT SYSTEM USING HIGH-PERFORMANCE COATING. REMOVE EXISTING SEALANT AROUND ALUMINUM FRAMING BEFORE PAINTING. REPLACE WITH NEW SEALANT AFTER PAINTING. PAINT COLOR: PPG DURANAR XL, CHOCOLATE BROWN.
- 11 CLEAN AND RESTORE KALWALL SKYLIGHT GLAZING PANELS FROM BELOW. PAINT EXISTING KALWALL SKYLIGHT SYSTEM FRAMING, TRIM, AND FLASHING BELOW USING HIGH-PERFORMANCE COATING. COLOR: PPG DURANAR XL, CHOCOLATE BROWN.
- 12 INSTALL WATERPROOFING AND RESTORATION COATING SYSTEM OVER EXISTING DEFS ON BACKSIDE/SIDE WALLS/CEILING/SOFFITS. PAINT ACCESS PANELS IN OVERHANG USING HIGH-PERFORMANCE COATING. COLOR TO BE SELECTED BY ARCHITECT.
- 13 PAINT ALL SIDES OF EXISTING STOREFRONT SYSTEM USING HIGH-PERFORMANCE COATING. REMOVE EXISTING SEALANT AROUND ALUMINUM FRAMING BEFORE PAINTING. INSTALL NEW SEALANT AFTER PAINTING. PAINT COLOR SHALL BE PPG DURANAR XL, CHOCOLATE BROWN.
- 14 PAINT EXISTING CMU WALL (BASE BID). COLOR TO BE SELECTED BY ARCHITECT. ALTERNATE #3 OMTS THE PAINTING.
- 15 PAINT OVER EXISTING PAINTED METAL DOOR AND FRAME (BASE BID). COLOR TO BE SELECTED BY ARCHITECT. ALTERNATE #3 OMTS THE PAINTING.
- 16 PAINT OVER EXISTING GUTTERS AND DOWNSPOUTS USING HIGH-PERFORMANCE COATING. COLOR TO BE SELECTED BY ARCHITECT. ALTERNATE #3 OMTS PAINTING.
- 17 INSTALL WATERPROOFING AND RESTORATIONS COATING SYSTEM OVER EXISTING DEFS. COLOR TO BE SELECTED BY ARCHITECT. ALTERNATE #3 OMTS COATING SYSTEM.



