



June 16, 2021

Joe Frogge
220 SE Green Street
Lee's Summit, MO 64063

Ref: QuikTrip #183
1001 SW Blue Parkway
PRCOM20210866

Subject: City Review Comments

The following are responses to the review comments dated March 3, 2021:

Licensed Contractors

1. *Lee's Summit Code of Ordinance, Section 7-130.4 - Business License. (excerpt)*
No person, other than a licensed contractor or employees of a licensed contractor, shall engage in electrical, plumbing or mechanical business, construction, installation or maintenance unless duly licensed in accordance with this section.

Action required: MEP subcontractors are required to be listed on permit. Provide company names of licensed MEP contractors.

QuikTrip has selected Excel Constructors for this project, please find included their and the sub-contractors license information.

2. *Lee's Summit Code of Ordinance, Section 7-130.10 - Business License. It shall be unlawful for any person to engage in the construction contracting business without first obtaining a business license as required under the applicable provisions of Chapter 28 of the Lee's Summit Code of Ordinances.*

Action required: Either a Class A or Class B license is required. Provide the name of the licensed general contractor and an email address for the on-site contact.

QuikTrip has selected Excel Constructors for this project, please find included their and the sub-contractors license information.

Building Plan Review

1. *Code of Ordinances Section 8.330. CPTED Review Requirement.*
All development applications shall be subject to CPTED review and recommendations. The application of CPTED concepts and strategies is site specific and the level of review shall be determined on a case by case basis. Some requests during development review will require mandatory compliance. Others will be strongly encouraged but compliance will be voluntary. Mandatory compliance elements will be addressed in Article 9 "Uses with Conditions". Section 8.340. CPTED Uses Specified The following uses have been classified as "Uses with Conditions" per Article 9 of this Chapter, having been determined with a tendency toward an increased risk of

crime. Specific conditions for such uses are found in Article 9 and shall be required to be met prior to receiving any zoning approval, business license or approval to occupy any commercial space.

1. Bank/Financial Services
2. Bank Drive-Thru Facility
3. Check Cashing and Payday Loan Business
4. Convenience Store (C-Store)
5. Financial Services with Drive-up Window or Drive-Thru Facility
6. Pawn Shop
7. Title Loan Business, if performing on site cash transactions with \$500 or more in cash on hand
8. Unattended self-serve gas pumps
9. Unsecured Loan Business
10. Other similar uses shall meet the same standards as the above

Action required: Submit drawings or detailed report/spec to demonstrate compliance. A separate review for CPTED requirements must be performed. Permit will not be issued until CPTED review is approved.

This remodel is for the building interior only and the exterior security measures will not be affected or enhanced. The following list of interior items are existing and will remain in place or are being remodeled and will comply with CRTD guidelines:

Sales Area lighting – we are replacing all lighting and lighting levels will be X footcandles.

Video surveillance cameras – cash register cameras will be relocated as required to maintain clear views; entrance door and pin hole cameras will remain in place.

Alarm system – silent panic alarm will be located at each cash register.

Visibility – new check stand location will maintain clear visibility of the sales floor area and pump islands; the check stand is elevated 4” above the customer side floor level; merchandise shelving located along the storefront has height designed not to obstruct views out to the pump islands by employees within the store.

Drop Safe – is securely attached within the check stand millwork.

2. For the Health Department review contact Deb Sees with the Jackson County Public Works Department, Environmental Services Division, at (816) 847-7070. Health Department approval is required prior to receiving any type of building permit from the City of Lee's Summit.

Action required: Comment is for informational purposes.

Deb Sees has reviewed and approved the plans.

3. For the Health Department inspection contact Deb Sees with the Jackson County Public Works Department, Environmental Health Division at (816) 847-7070. Health Department approval is required prior to receiving any type of Occupancy from the City of Lee's Summit.

Action required: Comment is for informational purposes.

Deb Sees has reviewed and approved the plans.

4. "2018 IBC 1606.2 Design dead load. For purposes of design, the actual weights of materials of construction and fixed service equipment shall be used. In the absence of definite information, values used shall be subject to the approval of the building official.

Action required: Provide verification from licensed engineer that existing roof structure will support dead load imposed from new roof equipment.

Please refer to attached letter from a licensed engineer stating the existing structure will support the new loads.

Fire Plan Review

1. *2018 IFC 901.5- Installation acceptance testing. Fire detection and alarm systems, fire-extinguishing systems, fire hydrant systems, fire standpipe systems, fire pump systems, private fire service mains and all other fire protection systems and appurtenances thereto shall be subject to acceptance tests as contained in the installation standards and as approved by the fire code official. The fire code official shall be notified before any required acceptance testing. The fire code official shall be notified 48 hours before any required acceptance test.*
(Informational Purposes)
Call (816)969-1300 to schedule a test for the relocated emergency fuel switch.
Acknowledged.

Sincerely,



Mark Vitamvas
Lickel Architecture, P.C.

June 15, 2021

Beverly Stein
Lickel Architecture
14 W. 3rd Street, Suite 100
Kansas City, MO 64105

**RE: QUIKTRIP #0183
1001 SOUTHWEST BLUE PARKWAY
LEES SUMMIT, MO**

FILE# 2021-1712

SUBJECT: NEW CONDENSERS ON ROOF

Dear Bev:

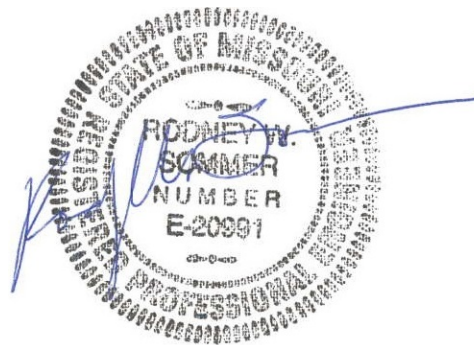
We have analyzed the existing roof structure with the existing RTUs and condensers along with the new condensers (see attached Roof Framing Plan), and have determined that the structure is capable of supporting the new condensers without modification.

Respectfully,



Rod Sommer, P.E.
Principal

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2021-06-15

