

Lot 151  
1816 SW Sage Canyon  
Napa Valley

BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS. ALSO VERIFY ALL BEAM, HEADERS, PAD LOCATIONS, AND COLUMN SIZES.

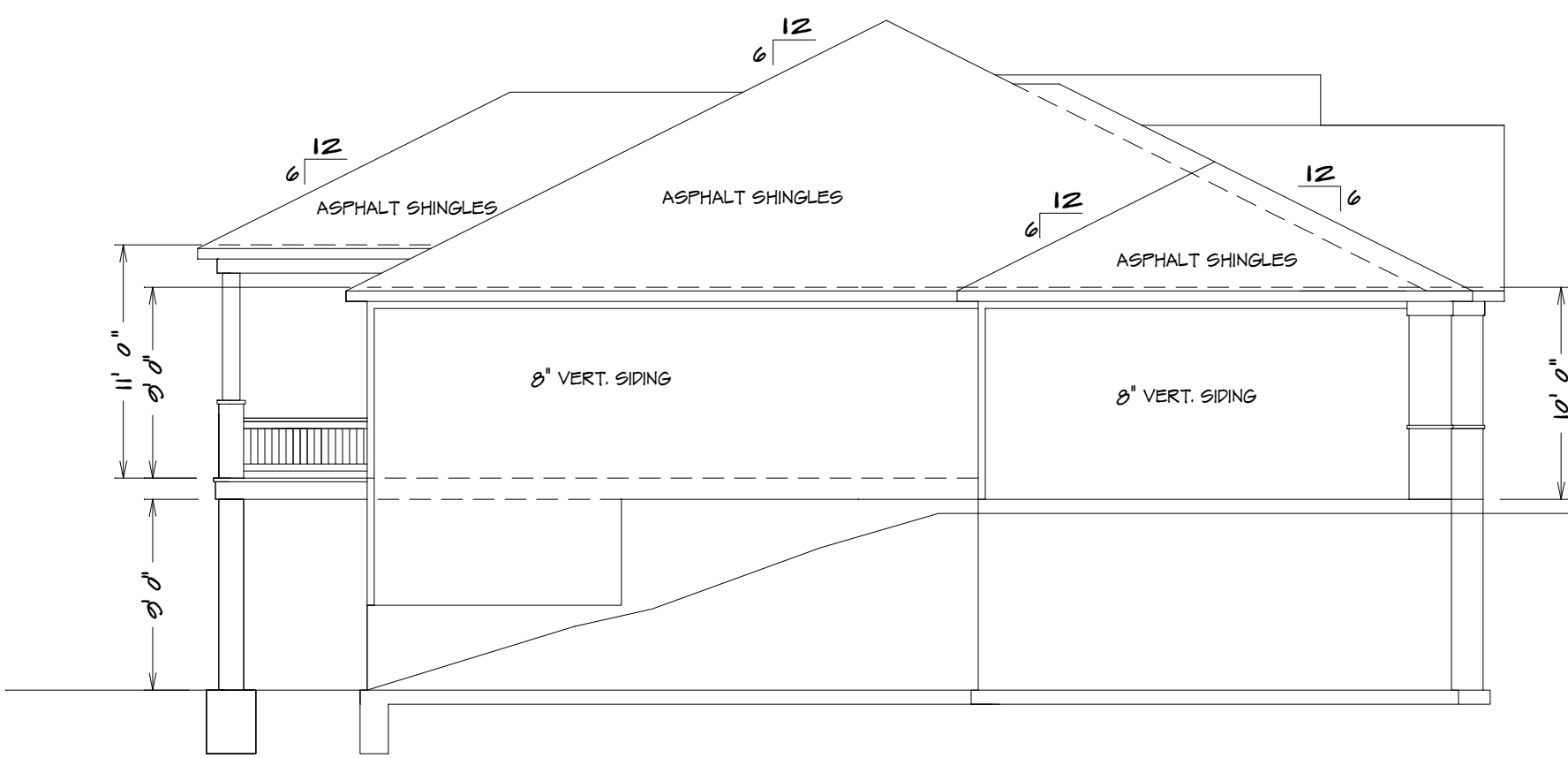
FRONT ELEVATION

1/4" = 1'0"

NOTE:  
ACTUAL ELEVATIONS MAY VARY FROM ARCHITECTURAL DRAWINGS, DUE TO TERRAIN/BACKFILL PROCESS. FRONT ELEVATION IS ARCHITECTURAL DRAWING AND MAY VARY DUE TO MATERIALS AVAILABILITY.

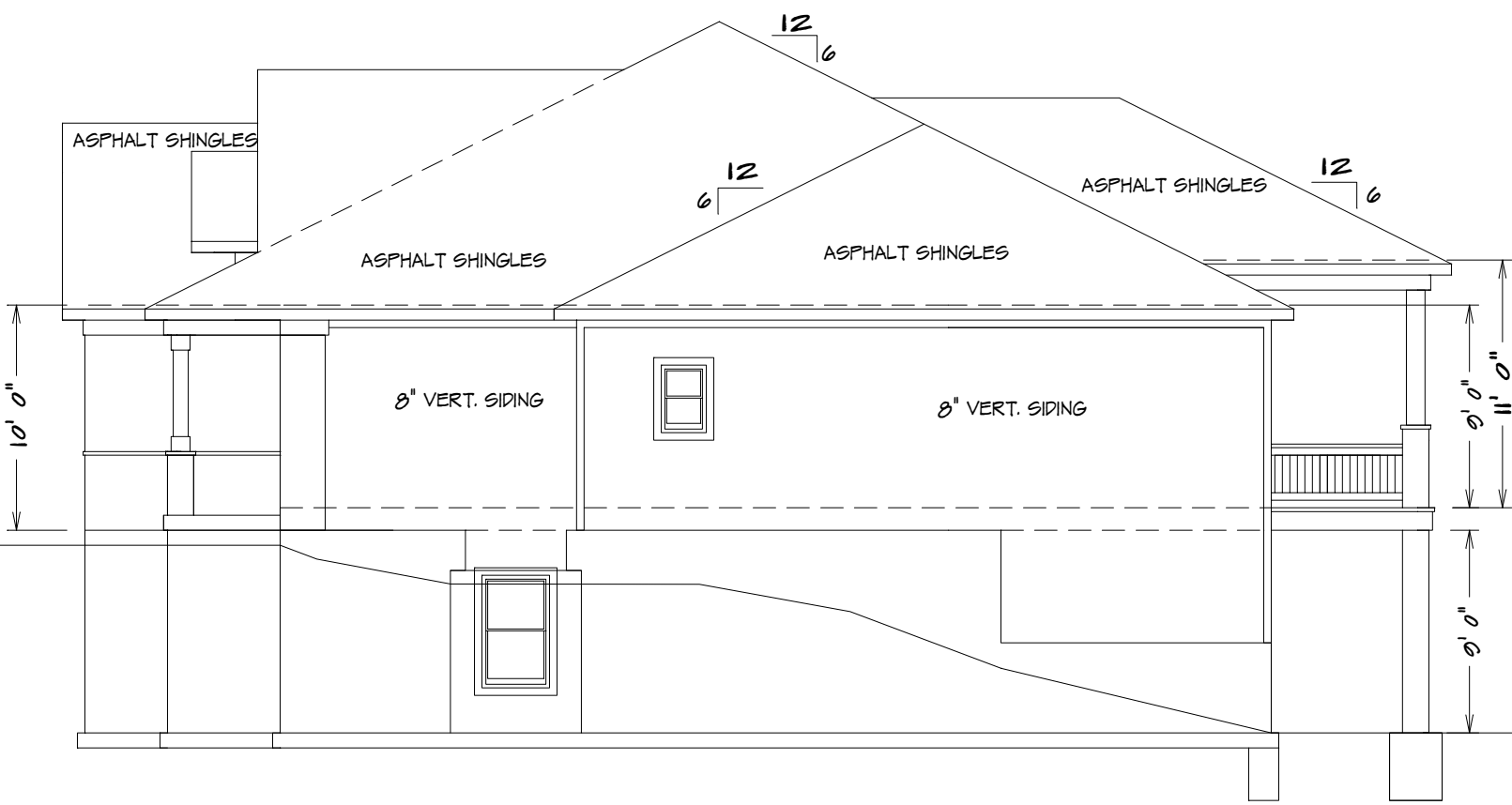
THE "CYPRESS"

ALL NOTES, SECTIONS, AND DRAWINGS ARE IN ACCORDANCE WITH THE 2018 IRC



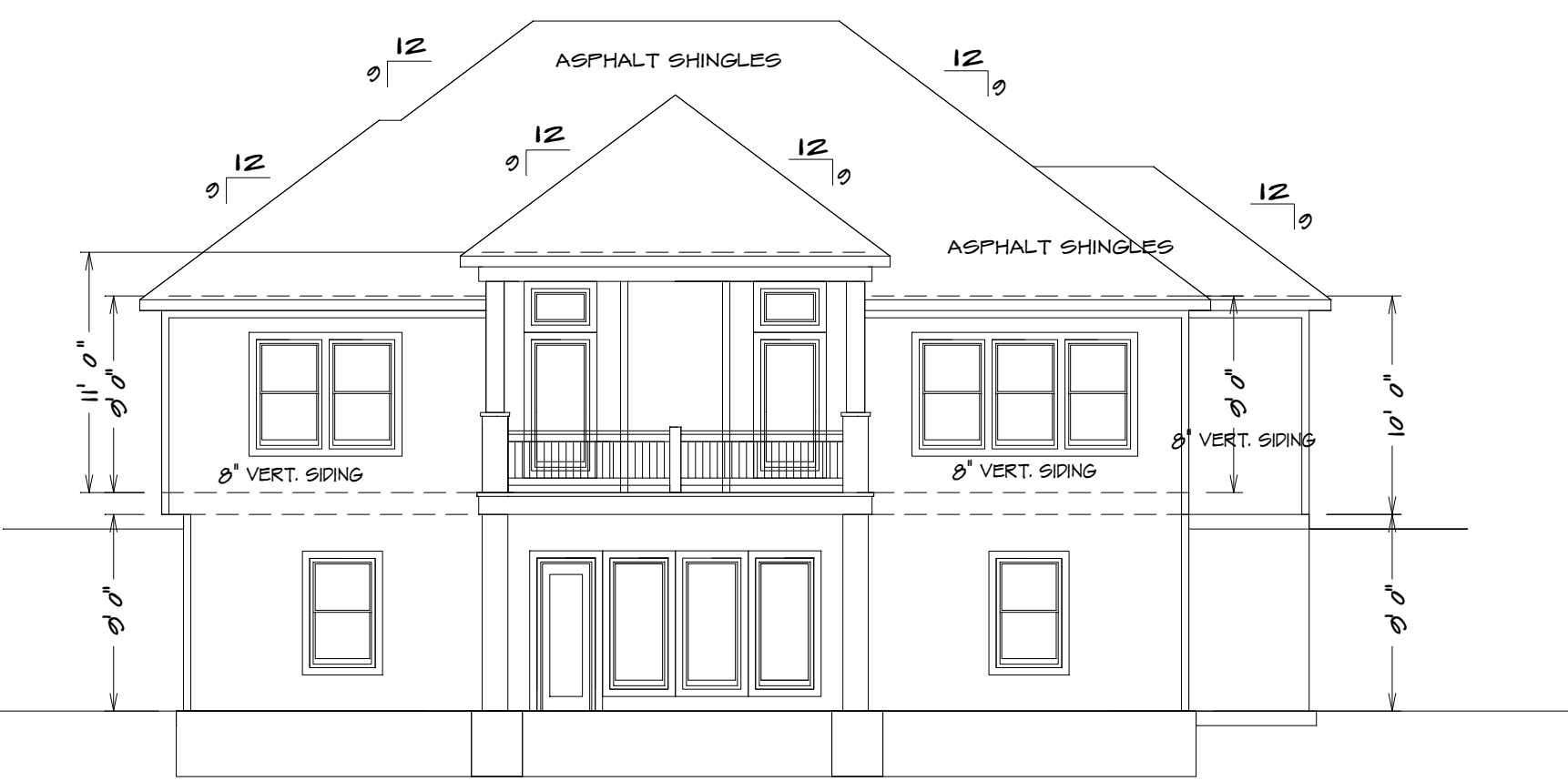
LEFT ELEVATION

1/8" = 1'0"



RIGHT ELEVATION

1/8" = 1'0"



REAR ELEVATION

1/8" = 1'0"

RELEASE FOR CONSTRUCTION  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
06/09/2021



SQUARE FOOTAGE

LIVING AREA  
FIRST FLOOR = 1625  
BASEMENT = 1215  
COVERED DECK = 106

UNFINISHED AREA  
STORAGE BASEMENT = 287  
GARAGE = 725  
UNDER STOOP = 52

KH-6105 (LOT 188)

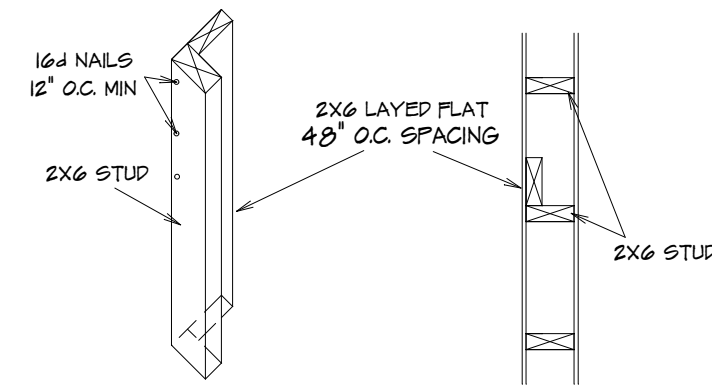
HOME BUYER:	PHONE:	DATE DRAWN:	PLAN NO.	SHEET NO.
BUILDER:	PHONE:	DATE REVISED:	KH-6105	1
SUB-DIVISION:	LOT NO.	DESIGNER:	FILE NAME:	APPROX. SQ.FT.
			6105 ELEV	

BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS. ALSO VERIFY ALL BEAM, HEADERS, PAD LOCATIONS, AND COLUMN SIZES. BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK FOR CONFLICTS WITH EXISTING UTILITIES AND STRUCTURES. BUILDER/CONTRACTOR ACCEPTS ALL RESPONSIBILITY FOR LOT PLACEMENT, SETBACKS, AND FLOOD PLANS. BUILDER/CONTRACTOR AND HOME OWNER ACCEPTS RESPONSIBILITY FOR ANY AND ALL COPYRIGHT INFRINGEMENTS OR RESEMBLANCES TO OTHER COPYRIGHTED PLANS. BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON SITE CHANGES MADE TO STRUCTURE.





S.D.  
 = SMOKE DETECTOR



10' TRU 18' UNINTERRUPTED TALL WALLS  
TO BE CONSTRUCTED WITH  
2X6 STUDS 16" O.C. WITH  
STIFF BACK EVERY 48" O.C.

REQUIRED AREAS NEEDING HEADERS:	HEADER DESCRIPTIONS:
WINDOWS/DOORS UP TO 36" R.O.	(2) #2 P-FIR 2X10'S
WINDOWS/DOORS 36" UP TO 72" R.O.	(2) #2 P-FIR 2X10'S W/1/2" GL
WINDOWS/DOORS 72" UP TO 96" R.O.	(2) 2 1/2" L.V.L.
0'0" GARAGE DOORS W/CEILING & ROOF LOAD	(2) 2 1/2" L.V.L.
0'0" GARAGE DOORS W/CEILING & ROOF LOAD	(2) 2 1/2" L.V.L.
0'0" GARAGE DOORS W/SECOND FLOOR	(2) 2 1/2" L.V.L.
0'0" GARAGE DOORS W/SECOND FLOOR	(2) 11 7/8" L.V.L.
16'0" GARAGE DOOR W/NO SECOND FLOOR	(2) 11 7/8" L.V.L.
16'0" GARAGE DOORS W/SECOND FLOOR	(2) 14" L.V.L.

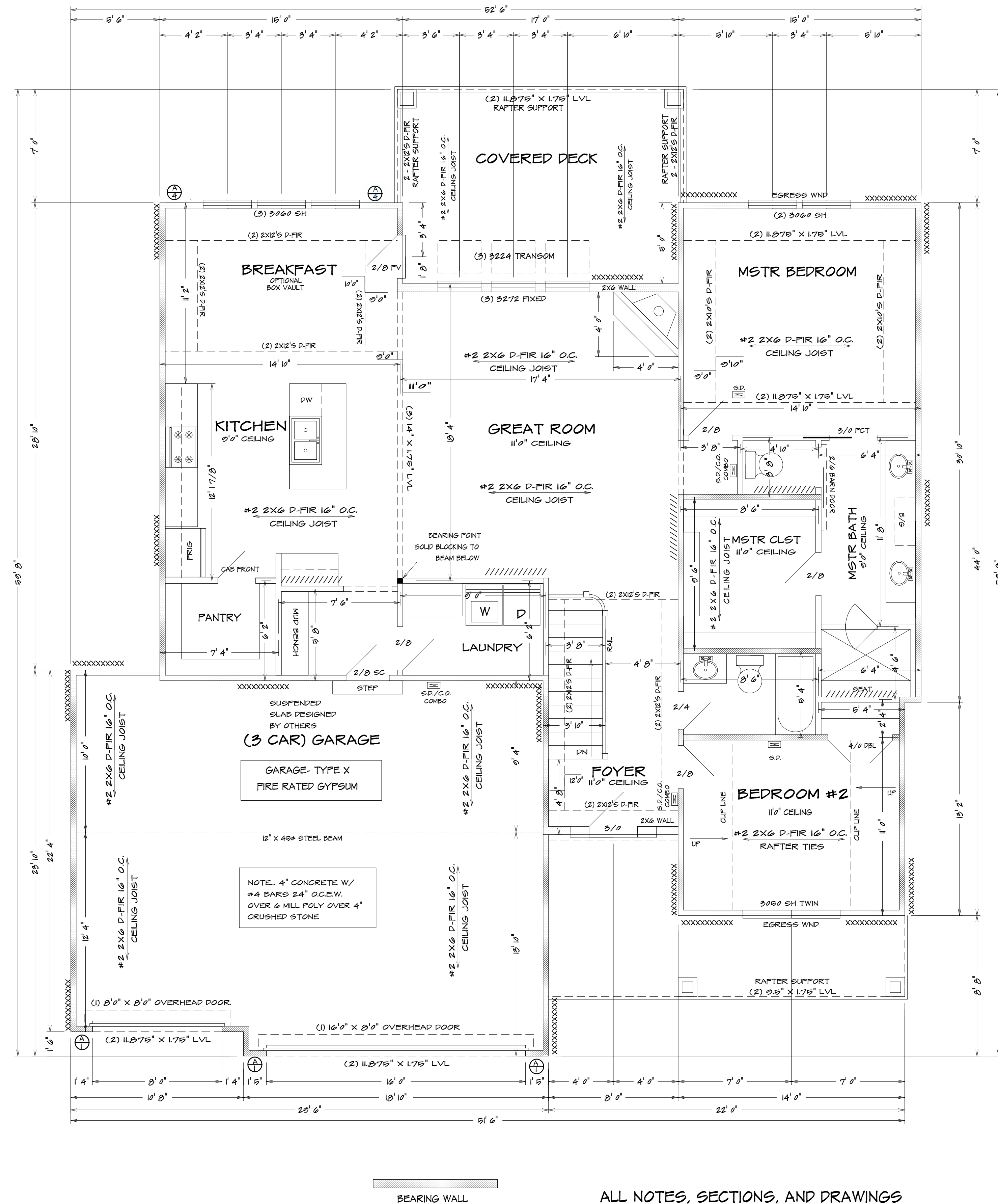
USE HEADERS FOR OPENINGS ABOVE UNLESS SPECIFIED OTHERWISE

In dwelling units, where the opening of an operable window is located more than 72 inches (1829 mm) above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches (610 mm) above the finished floor of the room in which the window is located. Operable sections of windows shall not permit openings that allow passage of a 4-inch-diameter (102 mm) sphere where such openings are located within 24 inches (610 mm) of the finished floor.

1. Windows whose openings will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening when the opening is in its largest opened position.
2. Openings that are provided with window fall prevention devices that comply with ASTM F 2090.
3. Windows that are provided with window opening control devices that comply with 2015 IRC

Window opening control devices shall comply with ASTM F 2090. The window opening control device, after operation to release the control device allowing the window to fully open, shall not reduce the minimum net clear opening area of the window unit to less than the area required by 2018 IRC.

Exhaust air from the space shall be exhausted directly to the outdoors.


$$1/4'' = 1'0''$$

ALL NOTES, SECTIONS, AND DRAWINGS  
ARE IN ACCORDANCE WITH THE 2018 IRC



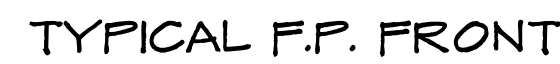
KH-6105 (LOT 188)

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LEE'S SUMMIT, MISSOURI

6/09/2021



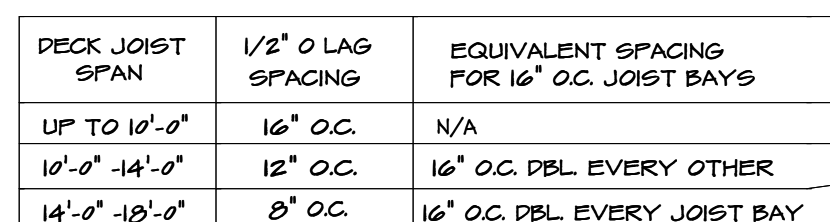


1. PROVIDE ONE WINDOW FROM EACH BEDROOM THAT HAS A MIN. OPENABLE AREA OF 5.7 SQ. FT. WITH A MIN. OPENABLE HEIGHT OF 24" AND WIDTH OF 21"

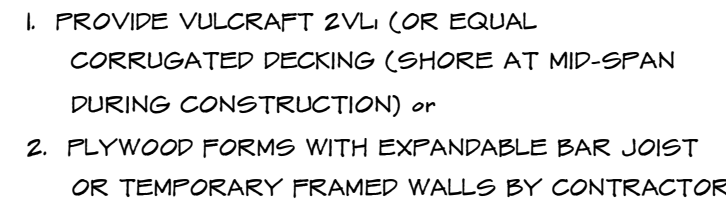
EXCEPT, REFRIGERATOR, SINGLE OUTLET FOR SUMP PUMP  
AND SINGLE OUTLET IN GARAGE FOR A FREEZER

1. THE GARAGE FLOOR SHALL BE SLOPED TOWARD GARAGE DOORS
2. DOORS BETWEEN GARAGE AND DWELLING - MIN 1 3/8" SOLID CORE OR HONEY COMBED STEEL DOOR OR 20 MIN. RATED
3. GARAGE TO HAVE 3/8" TYPE X GYPSUM THROUGHOUT
4. THE H-FRAM SHALL CONSIST OF 2X6 FRAMING

GLAZING IN HAZARDOUS LOCATIONS AS IDENTIFIED IN IRC SECTION R908.4 SHALL BE APPROVED SAFETY GLAZING MATERIALS; GLASS IN STORM DOORS, INDIVIDUAL FIXED OR OPENABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARCH OF THE DOOR IN CLOSED POSITION AND WHOSE BOTTOM EDGE IS WITHIN 60" OF THE FLOOR; WALLS ENCLOSED STAIRWAYS AND LANDINGS WHERE THE GLAZING IS WITHIN 60" OF THE TOP OR BOTTOM OF THE STAIR ENCLOSURES FOR SPAC, TUBS, SHOWERS, AND WHIRLPools; GLAZING IN FIXED OR OPENABLE PANELS EXCEEDING 0.50 FT. IN WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR OR WALKING SURFACE IN 36"



AND A 5/8" ANCHOR ROD DRILLED AND EPOXYED  
MIN. 7" INTO THE FOUNDATION



OPTIONAL

1. MAXIMUM SPAN = 6'
2. MINIMUM 6" THICKNESS
3. #4 REBARS AT 12" O.C. EACH WAY
4. MIN. 1-1/2' OF CONTINUOUS BEARING AT THE EDGES OF SLAB
5. PORCH SLAB GREATER THEN 6' SHALL BE TREATED AS AN ELEVATED GARAGE SLAB

2018 IRC.  
PROVIDE SMOKE ALARMS IN EACH  
SLEEPING ROOM, OUTSIDE OF EACH  
SLEEPING ROOM AND ON EACH  
FLOOR, INCLUDING BASEMENT.  
ALARMS SHALL BE INTERCONNECTED  
IN SUCH A MANNER THAT THE  
ACTIVATION OF ONE ALARM WILL  
ACTIVATE ALL OF THE ALARMS IN THE  
DWELLING. (SECTION R314.5)

'STRUCTURAL' ON THE PLAN, PER IRC SEC. 80

Required guards on open sides of stairways, raised floor areas, balconies, and porches shall have intermediate rails or ornamental closures that do not allow passage of a sphere 4" or more in diameter.

solid or honeycomb-core steel doors not less than 1 3/8 inches thick, or 20-minute doors, equipped with a self-closing device.

HOME BUYER:

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DATE DRAWN:

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DESIGNER:

PHONE:

PHONE:

LOT NO.

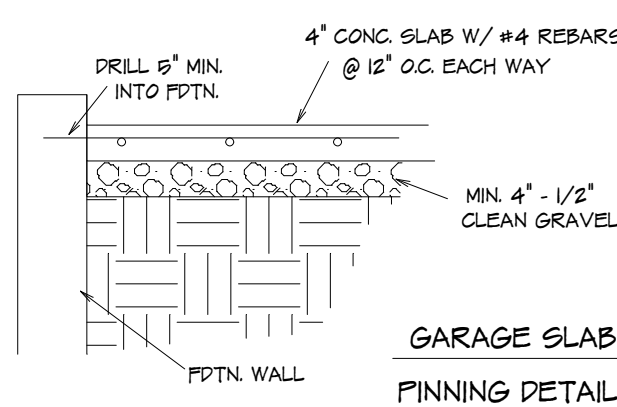
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END WALL REINFORCEMENT (CLASS 60 SOL.  
EXCEPT FOR RARE CIRCUMSTANCES)  
(ALL REBARS TO BE GRADE 40)

0' WALL, 0' BACKSILL VERT. #4 REBARS @ 12" OC.  
0' WALL, 0' BACKSILL VERT. #4 REBARS @ 18" OC.  
SET ON A 16" x 16" CONCRETE FOOTER WITH (2) #4  
REBARS CONTINUOUS.

1/4" WALL, 0' BACKSILL VERT. #4 REBARS @ 8" OC.  
1/4" WALL, 0' BACKSILL VERT. #4 REBARS @ 8" OC.  
SET ON A 20" x 16" CONCRETE FOOTER WITH (2) #4  
REBARS CONTINUOUS.

HORIZ. #4 REBARS @ 24" OC.

0' x 4' CONCRETE WALL WITH (3) #4 REBARS  
HORIZ. AND WITH #4 REBARS @ 24" OC. VERTICALLY  
CONCRETE FLOOR - 4" CRUSHED OR 4"  
GRAVEL.

CONCRETE GARAGE FLOOR - 4"  
CONCRETE ON 4" CRUSHED ROCK WITH  
6X16/10 WIRE MESH.

(SUPERVENED) POOLING DEPT. TO BE  
DESIGNED BY LICENSING ENGINEER)

COLUMN FOOTING PER MIN. SOL.  
LOAD OF 1800 LBS.

4" x 8" CONCRETE PAD WITH (4)  
#4 REBARS EACH WAY (UNLESS NOTED)

CONCRETE GRADE PADS - 16" x 8" WITH (2)  
#4 REBARS CONTINUOUS.

ALL FOOTINGS SHALL EXCEED A MINIMUM FROST  
DEPTH OF 36 INCHES BELOW GRADE.

MANHOLE DEPT. OF UNBULKED SOIL (17 FEET)  
FOR 0-INCH WALL AND (3 FEET) FOR TEN-INCH  
WALL.

WATERPROOF CONCRETE WALL FROM FOOTING TO  
GRADE LINE.

OPTIONAL, WALL-OUT KUT

0' x 1/4" CONCRETE FOOTER, W/ (3) #4  
REBARS PARALLEL 12" OC. CONTINUOUS.

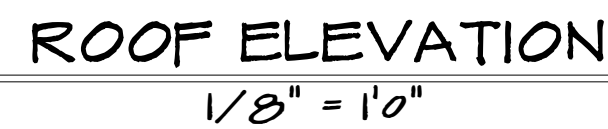
#4 REBAR VERT. BENT INTO FLOOR 7/8" @ 24" OC.

BELOW GRADE USE 4" OF CONCRETE ON 4"  
CRUSHED ROCK WITH 6-MIL-PLF. OVER CRUSHED  
ROCK BELOW GRADE.

DRAINAGE TILES, GRAVEL OR CRUSHED STONE  
TRANS. PERFORATED PIPE OR OTHER APPROVED  
DRAINAGE METHOD SHALL BE INSTALLED AT  
OR BELOW THE AREA TO BE PROTECTED AND SHALL  
DISCHARGE BY GRAVITY OR MECHANICAL MEANS  
INTO AN APPROVED DRAINAGE SYSTEM.

GRASSY AREAS SOME DRAINS SHALL EXTEND  
AT LEAST 1 FOOT BEYOND THE OUTSIDE EDGE OF  
THE FOOTING AND 6 INCHES ABOVE THE TOP OF THE  
FOOTING. DRAINS SHALL BE PLACED IN A MINIMUM  
OF 12 INCHES OF FILTERING MATERIAL. THE TOP OF OPEN  
JOINTS OF DRAIN TILES SHALL BE PROTECTED WITH  
STRIPS OF BUILDING PAPER, AND DRAINAGE TILES OR  
PERFORATED PIPE SHALL BE PLACED ON A MINIMUM  
OF 2 INCHES OF SAND, GRAVEL, OR CRUSHED  
ROCK AT LEAST ONE SIEVE SIZE LARGER THAN THE  
TILE JOINT OPENING OR PERFORATION AND  
CONTAINING NOT LESS THAN 6 INCHES OF THE  
SAME MATERIAL.

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	SPECIFIED COMPRESSIVE STRENGTH <sup>(1)</sup>		
	Weathering Potential <sup>(2)</sup>		
	Nonaggressive	Moderate	Severe
Reinforced walls and foundations not exposed to the weather	2,000	2,000	2,000
Reinforced slides and interior slab-on-grade, except garage floor slabs	2,000	2,000	2,000
Reinforced walls, foundations walls, exterior walls, and other vertical concrete work exposed to the weather	2,500	3,000 <sup>(3)</sup>	3,000 <sup>(3)</sup>
Pavement, airport slabs and other slabs exposed to the weather, and garage floor slabs	2,000	3,000 <sup>(3)</sup>	3,000 <sup>(3)</sup>



NOTE: HIP RIDGE FOR THE MAIN ROOF AS:  
2X8 #2 D-FIR FOR UNBRACED LENGTH UP TO 9'0"  
2X10 #2 D-FIR FOR UNBRACED LENGTH UP TO 10'0"  
2X12 #2 D-FIR FOR UNBRACED LENGTH UP TO 12'0"



Subparagraph (b) of the proposed rule requires the subdivider/contractor to be responsible for checking all dimensions for accuracy and consistency between the plans and the actual construction. This includes, but is not limited to, the following:

- Dimensions between floors, foundation and elevations, also verify all beam, headers, joists, and column sizes.
- Subdivider/contractor to check for compliance with contracts, city, and national codes.
- Subdivider/contractor accepts all responsibility for lot placement, set-backs, and flood plains.
- Subdivider/contractor and home owner accepts responsibility for any and all copyright infringements or resemblances to other copyrighted plans.
- Subdivider/contractor accepts responsibility for any on site changes made to the structure.

HOME BUYER:	PHONE:	DATE DRAWN:	PLAN NO.	SHEET NO.
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