



Lot 151 1816 SW Sage Canyon Napa Valley

BUILDER/CONTRACTOR IS RESPONSIBLE TO
CHECK ALL DIMENSIONS FOR ACCURACY
BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS.
ALSO VERIFY ALL BEAM, HEADERS, PAD LOCATIONS,
AND COLUMN SIZES.

FRONT ELEVATION

ALL NOTES, SECTIONS, AND DRAWINGS ARE IN ACCORDANCE WITH THE 2018 IRC

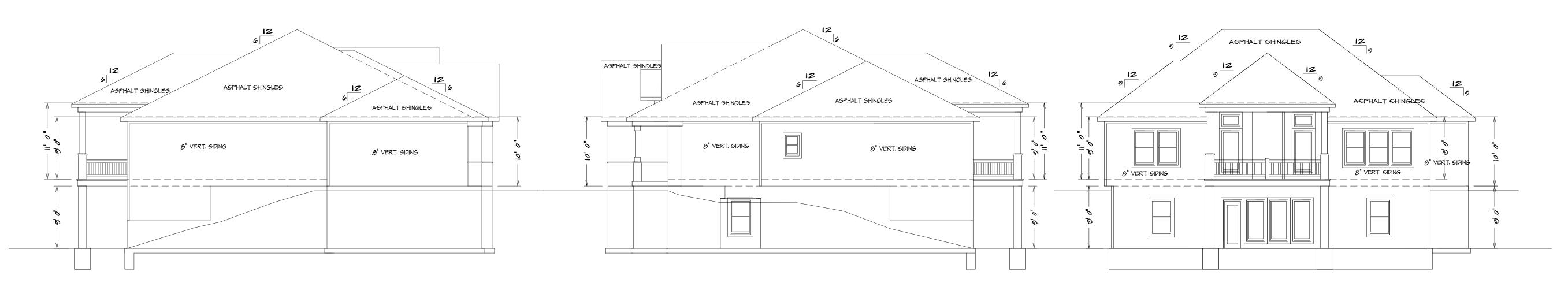
1/4" = 1'0"

NOTE:

ACTUAL ELEVATIONS MAY VARY FROM ARCHITECTURAL DRAWINGS, DUE TO TERRAIN/BACKFILL PROCESS

FRONT ELEVATION IS ARCHITECTURAL DRAWING AND MAY VARY DUE TO MATERIALS AVAILABILITY

THE "CYPRESS"



RELEASE FOR
CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI

06/09/2021

LEFT ELEVATION

1/8" = 1'0"

RIGHT ELEVATION

1/8" = 1'0"

REAR ELEVATION



SQUARE FOOTAGE

LIVING AREA
FIRST FLOOR = 1625
BASEMENT = 1215
COVERED DECK = 186

UNFINISHED AREA STORAGE BASEMENT = 257 GARAGE = 725 UNDER STOOP = 32

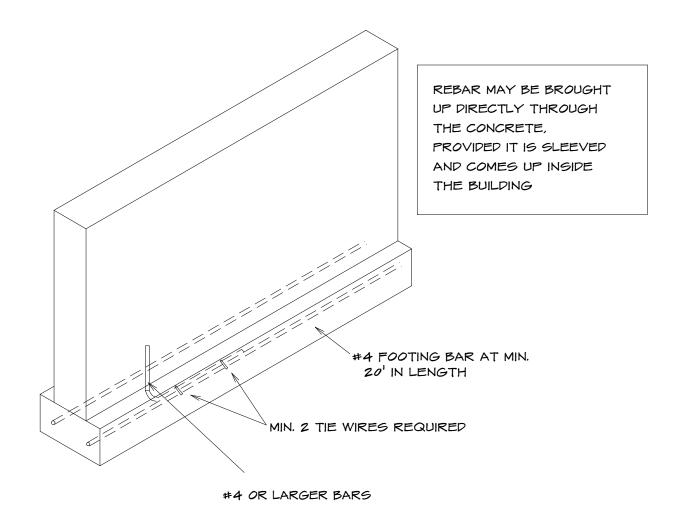
KH-6105 (LOT 188)

SEE ELEVATION FOR WALL HEIGHTS

NOTE... ELECTRICAL SERVICE TO BE 200 AMP.

NOTE... DOUBLE JOIST UNDER
ALL PARALLEL WALLS
ABOVE UNLESS NOTED

S.D. SMOKE DETECTOR



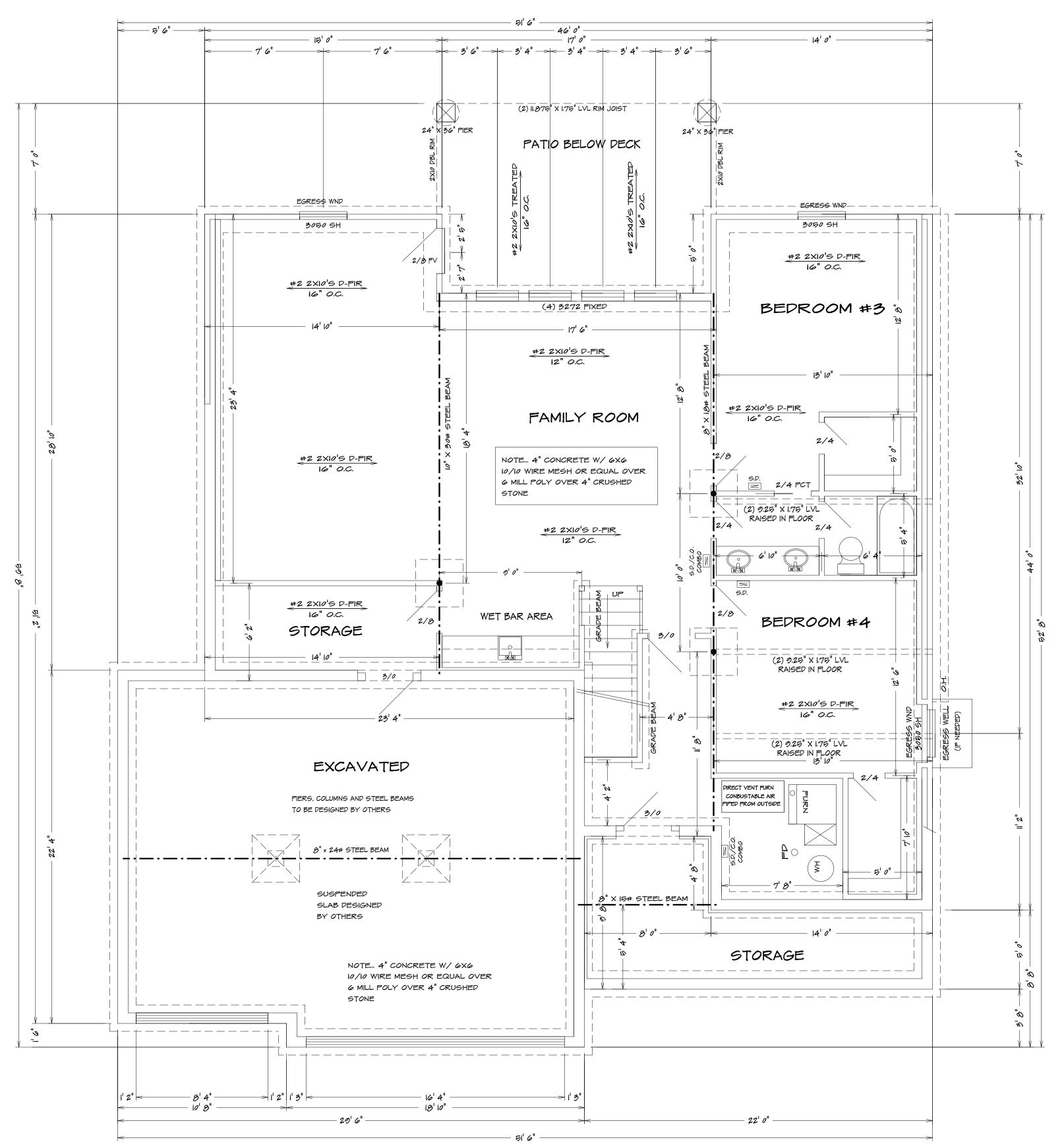
I. Section 250.52 of the National Electrical Code requires that the concrete encased reinforcing steel be included in the grounding electrode system... This means that you must have "an electrode encased by at least 50 mm (2 in.) of concrete, located horizontally near the bottom or vertically, and within that portion of a concrete foundation or footing that is in direct contact with the earth, consisting of at least 6.0 m (20 ft) of one or more bare or zinc galvanized or other electrically conductive coated steel reinforcing bars or rods of not less than 13 mm (1/2 in.) in diameter, or consisting of at least 6.0 m (20 ft) of bare copper conductor not smaller than 4 AWG.

2. Reinforcing bars shall be permitted to be bonded together by the usual steel tie wires or other effective means. Where multiple concrete-encased electrodes are present at a building or structure, it shall be

permissible to bond only one into the grounding electrode system." Proper lap splices are required

UFER GOUNDING SECTION

Note...Bridging. Joists exceeding a nominal 2 inches by 12 inches shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1-inch-by-3-inch strip nailed across the bottom of joists perpendicular to joists at intervals not exceeding 8 feet. (R502.7.1)



BASEMENT PLAN

ALL NOTES, SECTIONS, AND DRAWINGS
ARE IN ACCORDANCE WITH THE 2018 IRC



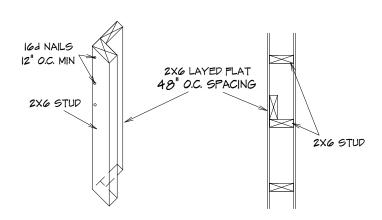
KH-6105 (LOT 188)

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S.D. = SMOKE DETECTOR



EXTERIOR TALL WALL SECTION

10' TRU 18' UNINTERRUPTED TALL WALLS TO BE CONSTRUCTED WITH 2X6 STUPS 16" O.C. WITH STIFF BACK EVERY 48" O.C.

REQUIRED AREAS NEEDING HEADERS:	HEADER DESCRIPTIONS:
WINDOWS/DOORS UP TO 38" R.O.	(2) #2 D-FIR 2XIO'S
WINDOWS/DOORS 38" UP TO 72" R.O.	(2) #2 P-FIR 2XIO'S W/I/2" GLUE PLY
WINDOWS/DOORS 72" UP TO 96" R.O.	(2) 9 1/2" L.V.L.
8'0" GARAGE DOORS W/CEILING & ROOF LOAD	(2) 9 1/2" L.V.L.
9'0" GARAGE DOORS W/CEILING & ROOF LOAD	(2) 9 1/2" L.V.L.
8'0" GARAGE DOORS W/SECOND FLOOR	(2) 9 1/2" L.V.L.
9'0" GARAGE DOORS W/SECOND FLOOR	(2) 7/8" L.V.L.
16'0" GARAGE DOOR W/NO SECOND FLOOR	(2) 7/8" L.V.L.
16'0" GARAGE DOORS W/SECOND FLOOR	(2) 14" L.V.L.

In dwelling units, where the opening of an operable window is located more than 72 inches (1829 mm) above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches (610 mm) above the fininshed floor of the room in which the window is located. Operable sections of windows shall not permit openings that allow passage of a 4-inch-diameter (102 mm) sphere where such openings are located within 24 inches (610 mm) of the finished floor.

- 1. Windows whose openings will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening when the opening is in its largest opened position.
- 2. Openings that are provided with window fall prevention devices that comply with ASTM F 2000.
- 3. Windows that are provided with window opening control devices that comply with 2018 IRC

Window opening control devices.

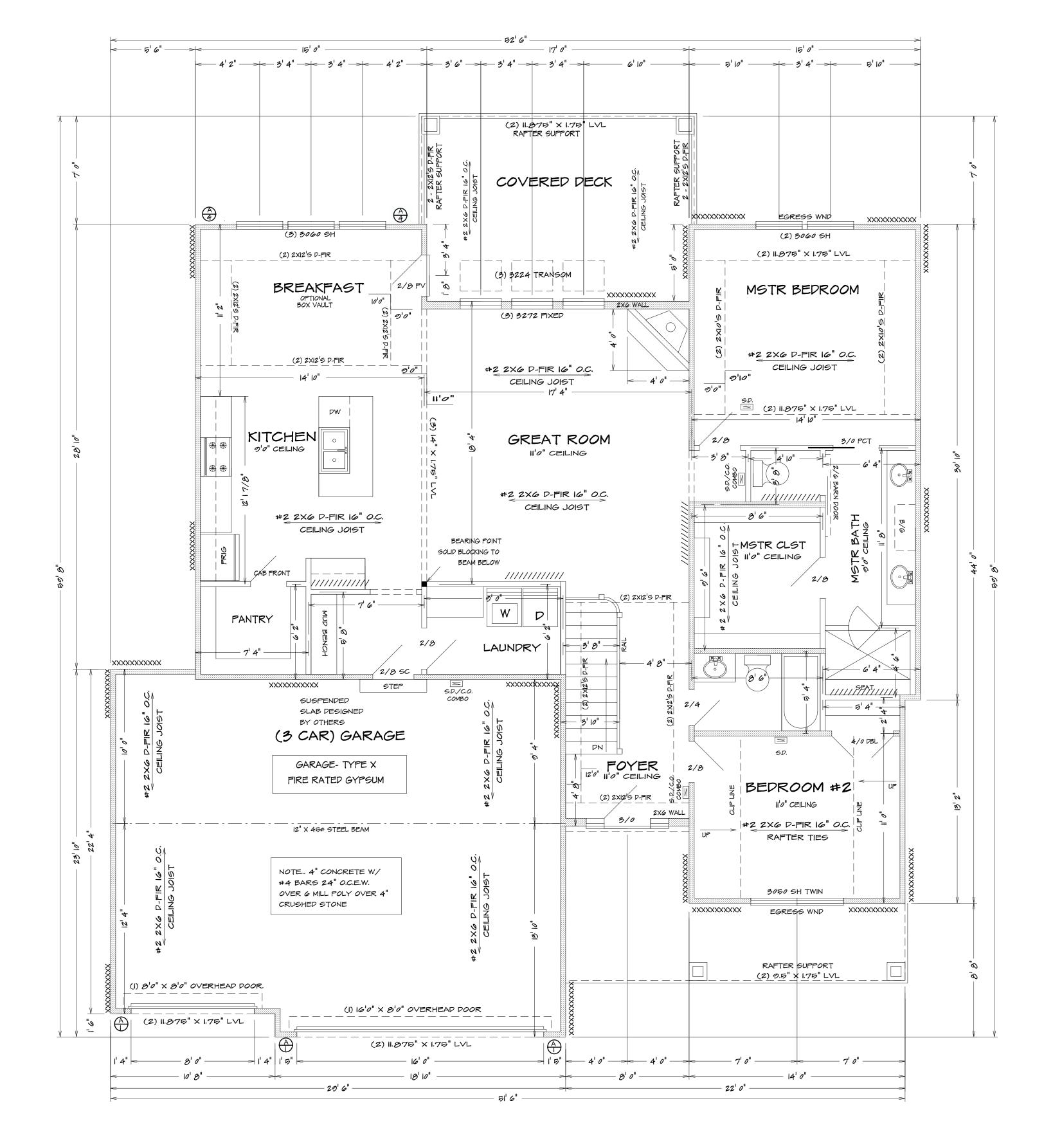
Window opening control devices shall comply with ASTM F 2000. The window opening control device, after operation to release the control device allowing the window to fully open, shall not reduce the minimum net clear opening area of the window unit to less than the area required by 2018 IRC

Bathrooms, water closet compartments and other similar rooms shall be provided with aggregate glazing area in windows of not less than 3 square feet, one-half of which must be openable.

Exception:

The glazed areas shall not be required where artificial light and a local exhaust system are provided. The minimum local exhaust rates shall be determined in

accordance with 2018 IRC Exhaust air from the space shall be exhausted directly to the outdoors.



BEARING WALL

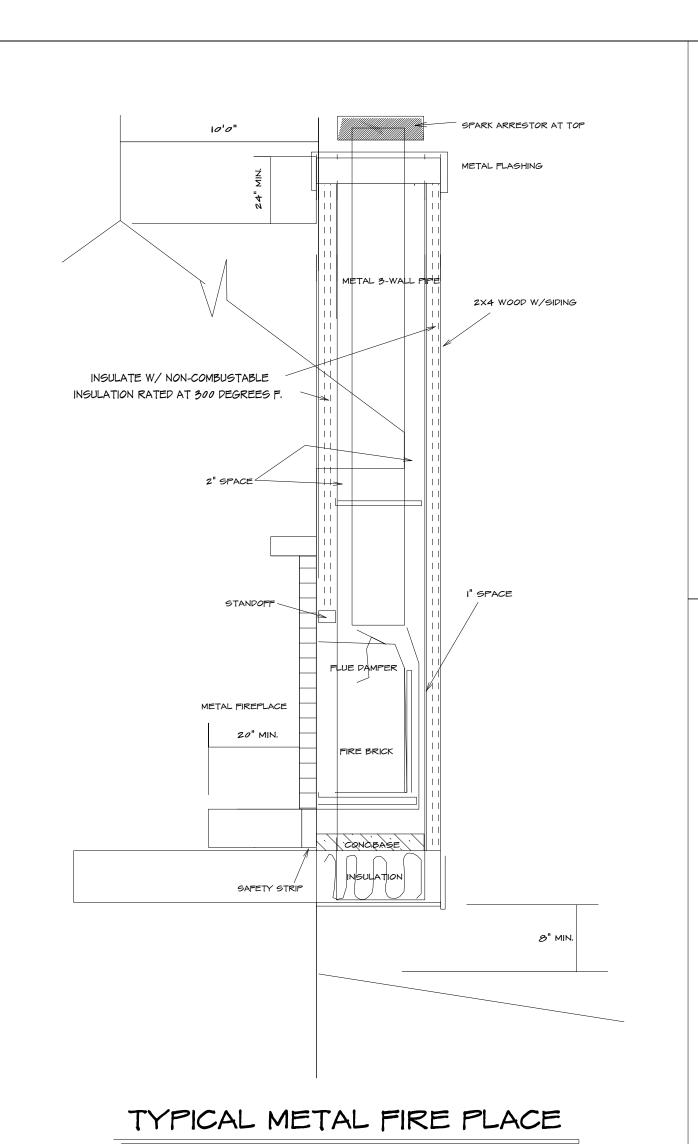
1/4" = 1'0"

ALL NOTES, SECTIONS, AND DRAWINGS ARE IN ACCORDANCE WITH THE 2018 IRC FIRST FLOOR PLAN

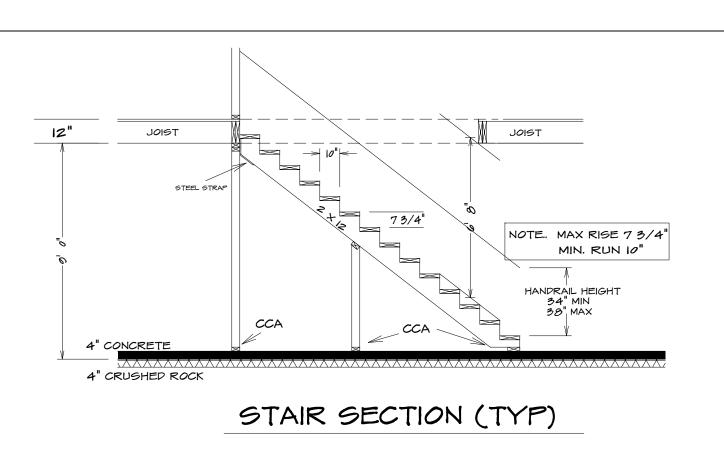


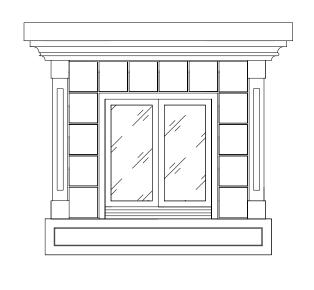
KH-6105 (LOT 188)

CONSTRUCTION
AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI



NOTE SEE SPECS FOR SPECIFIC APPLICATIONS.





TYPICAL F.P. FRONT

EMERGENCY EGRESS

PROVIDE ONE WINDOW FROM EACH BEDROOM THAT HAS A MIN. OPENABLE AREA OF 5.7 SR. FT. WITH A MIN. OPENABLE HEIGHT OF 24" AND WIDTH OD 21"

ELECTRICAL OUTLETS

- ALL OUTLETS TO BE BRANCH CIRCUIT-INTERRUPTER OR GROUND FAULT CIRCUIT-INTERRUPTER PROTECTED
- EXCEPT.. REFRIGERATOR, SINGLE OUTLET FOR SUMP PUMP AND SINGLE OUTLET IN GARAGE FOR A FREEZER
- 2. ALL RECEP. TO BE TAMPER RESISTANT

GARAGE I. THE GARAGE FLOOR SHALL BE SLOPED TOWARD GARAGE DOORS 2. DOORS BETWEEN GARAGE AND DWELLING - MIN 1 3/8" SOILD CORE OR HONEY COMBED STEEL DOOR OR 20 MIN. RATED

3. GARAGE TO HAVE 5/8" TYPE X GYPSUM THROUGHTOUT 4. THE H-FRAM SHALL CONSIST OF 2X6 FRAMING

GLAZING IN HAZARDOUS LOCATIONS AS IDENTIFIED IN IRC SECTION R308.4 SHALL BE APPROVED SAFTY GLAZING MATERIALS: GLASS IN STORM DOORS, INDIVIDUAL FIXED OR OPENABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN 60" OF THE FLOOR: WALLS ENCLOSED STAIRWAYS AND LANDINGS WHERE THE GLAZING IS WITHIN 60" OF THE TOP OR BOTTEM OF THE STAIR: ENCLOSURES FOR SPAS, TUBS, SHOWERS, AND WHIRLPOOLS: GLAZING IN FIXED OR OPENABLE PANELS EXCEEDING 9 SQ. FT. AND WHOSE BOTTEM EDGE IS LESS THAN 18" ABOVE THE FLOOR OR

> ROOFING MATERIAL 240 LB ASPHALT SHINGLES

7/16" OSB SHEATHING -

ICE BEARIER

IX8 FASCIA

SOFFIT BOARD -

2X6 SUB-FASCIA

SOFFIR VENTS 8' O.C.

FAFTER ATTIC SPACE

R-40 INSULATION (MIN)

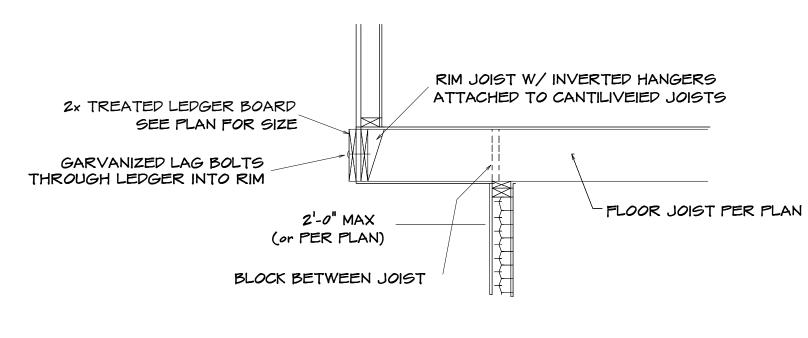
CEILING JOIST

1/2" GYP. BOARD

- DOUBLE TOP PLATE

- BAFFLE FOR POSITIVE VENTILATION

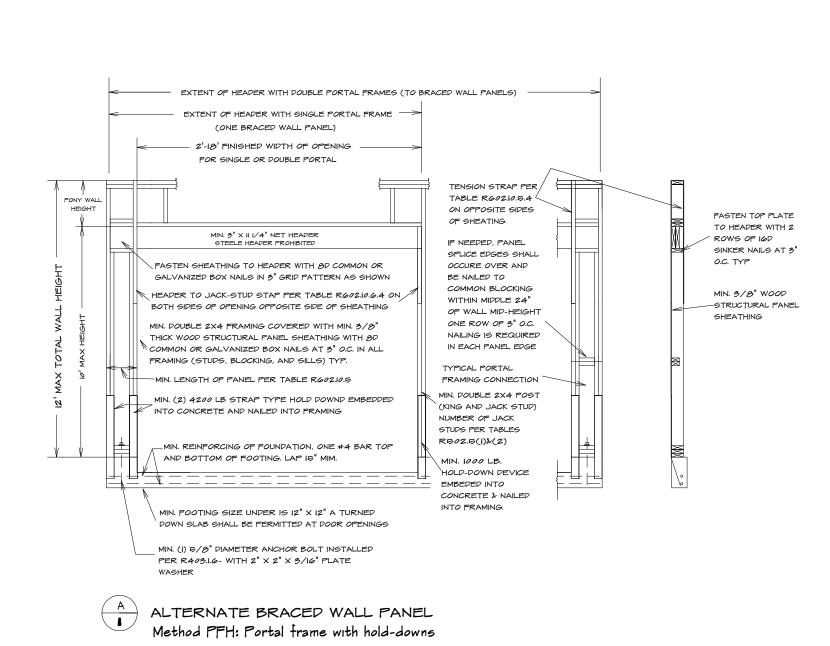
TYPICAL FRAMING DETAILS (Not to Scale)

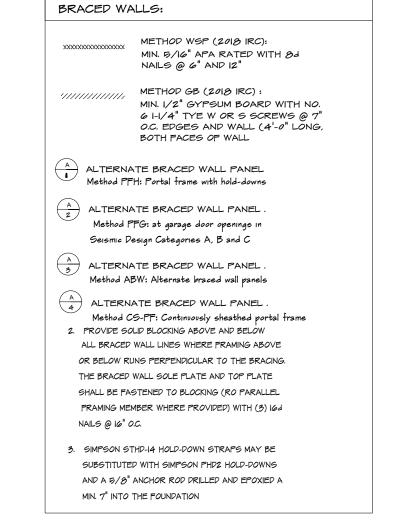


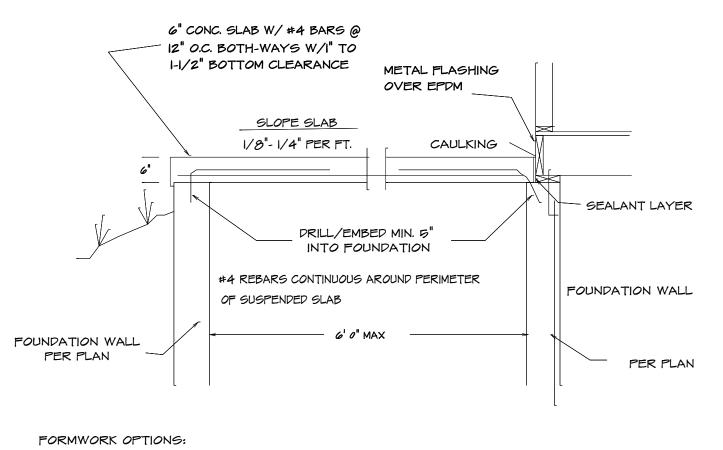
DECK JOIST SPAN	1/2" O LAG SPACING	EQUIVALENT SPACING FOR 16" O.C. JOIST BAYS	
UP TO 10'-0"	16" O.C.	N/A	
10'-0" -14'-0"	12" O.C.	16" O.C. DBL. EVERY OTHER	
14'-0" -18'-0"	8" O.C.	16" O.C. DBL. EVERY JOIST BAY	

TYPICAL CANTILEVER FRAMING W/ DECK ATTACHMENT

3/4" T&G SUBFLOOR 1/2" THRU-BOLTS @ 24" O.C. JOIST PER PLAN JOIST HANGER PER MANUFACTURER SPECS STEEL BEAM (PER PLAN) UPSET STEEL BEAM/JOIST CONNECTION







- I. PROVIDE VULCRAFT 2VLI (OR EQUAL CORRUGATED DECKING (SHORE AT MID-SPAN DURING CONSTRUCTION) or
- 2. PLYWOOD FORMS WITH EXPANDABLE BAR JOIST OR TEMPORARY FRAMED WALLS BY CONTRACTOR

SUSPENDED PORCH STOOP DETAIL OPTIONAL

PORCH SLAB (6'SPAN OR LESS)

- I. MAXIMUM SPAN = 6 2. MINIMUM 6" THICKNESS 3. #4 REBARS AT 12" O.C. EACH WAY
- 4. MIN. 1-1/2" OF CONTINUIUS BEARING AT THE EDGES OF SLAB
- 5. PORCH SLAB GREATER THEN 6' SHALL BE TREATED AS AN ELEVATED GARAGE SLAB

MIN. INSULATION SHALL BE PROVIDED ADJACENT TO HABITABLE AREAS AS FOLLOWS: EXTERIOR FRAMED WALLS (RIO OR RIO+5) FLOOR OVER HEATED SPACE RIO FLOOR OVER OUTSIDE AIR RIO CATHEDRAL CEILING

CARBON MONOXIDE ALARMS

Carbon monoxide detection systems.

INSULATION NOTES:

Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

Carbon monoxide detection systems that include carbon monoxide detectors and audible notification appliances, i nstalled and maintained in accordance with this section for carbon monoxide alarms and NFPA 720, shall be permitted. The carbon monoxide detectors shall be listed as complying with UL 2075. Where a household carbon monoxide detection system is installed, it shall become a permanent fixture of the occupancy, owned by the homeowner and shall be monitored by an approved

SMOKE ALARMS:

PROVIDE SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING ROOM AND ON EACH FLOOR, INCLUDING BASEMENT. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE DWELLING. (SECTION R314.5)

-1/2" GYP. BOARD 2X4 NAILER-R-10 OR R13+5 IX4 TRIM BOARD -- EXTERIOR SHEATHING 7/16" OSB SHEATHING -2X4 STUD @ 16" O.C. W/ TYVEX HOUSE WRAP UNDERNEATH 3/4" T&G SUBFLOOR FLOOR JOIST-PER PLAN — 1/2" GYP. BOARD 7/16" OSB SHEATHING R-19 OR R13+5 INSULATION W/ TYVEX HOUSE WRAP -EXTERIOR SHEATHING — 2X4 STUD @ 16" O.C. 3/4" T&G SUBFLOOR RIM JOIST TREATED SILL PLATE FLOOR JOIST-PER PLAN SILL SEALER -WATERPROOF BELOW GRADE SEE FOUNDATION NOTES FOR REBAR LOCATION AND SPACING PER PLAN 8" CONC. WALL 4" DRAIN TILE 4" CONC. SLAB MIN 4" ROCK MIN SEE FOUNDATION NOTES TYPICAL WALL SECTION

FRAMING NOTE

- . ALL LUMBER SIZES ARE FOR #2 D-FIR-LARCH 2. ALL HEADERS TO BE MIN. (2) #2-2XIO
- 3. BLOCK CANTILEVERS, DOOR JAMBS, AND OVER BEAMS
- 4. ALL HEADRS TO BEAR ON MIN. OF (2) 2X4 STUDS
- 5. JOIST UNDER BEARING PARTITIONS SHALL BE DOUBLED AND COMPLY WITH IRC SEC. R502.4
- 6. WATER-RESISTIVE BARRIER SHALL BE PROVIDED
- OVER ALL EXTERIOR WALL PER IRC SEC. R703 7. WHERE CEILING JOIST ARE NOT INSTALLED CONNECTED TO THE RAFTERS AT THE TOP PLATE AND/OR WHERE
- CEILING JOIST ARE NOT INSTALLED IN THE LOWER 1/3 OF ATTIC SPACE RAFTER TIES SHALL BE INSTALLED IN THE LOWER 1/3 OF ATTIC SPACE 8. COLLAR TIES SHALL BE PROVIDED IN THE ATTIC SPACE IN
- THE UPPER 1/3 OF ATTIC 9. ROOF IS DESIGNED FOR 20 P.S.F. ROOF SNOW LOAD (MIN.) 10. MIN 20 YR. ASPHALT SHINGLES
- II. RAFTER TIES SHALL NOT BE REQUIED WHEN A STRUCTURAL RIDGE HAS BEEN PROVIDED AND ADEQUATELY DESIGNED (AS IN A FULLY VAULTED ROOM) SUCH SHALL BE NOTED AS

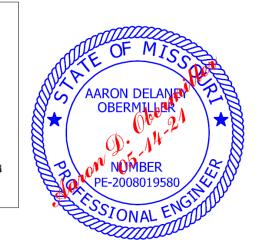
"STRUCTURAL" ON THE PLAN. PER IRC SEC. 802.3

raised floor areas, balconies, and porches shall have intermediate rails or ornamental closures that do not allow passage of a sphere 4" or more in diameter. Opening protection.

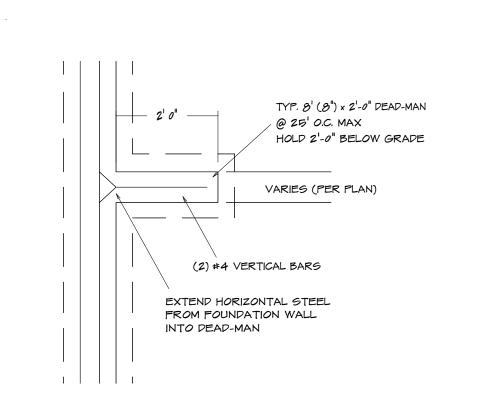
Required guards on open sides of stairways,

Guard opening limitations.

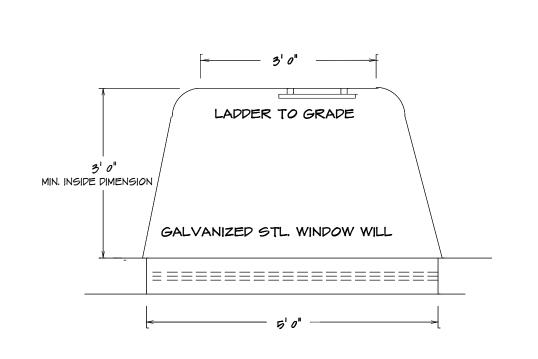
Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 13/8 inches in thickness, solid or honeycomb-core steel doors not less than 13/8 inches thick, or 20-minute fire-rated doors, equipped with a self-closing device.



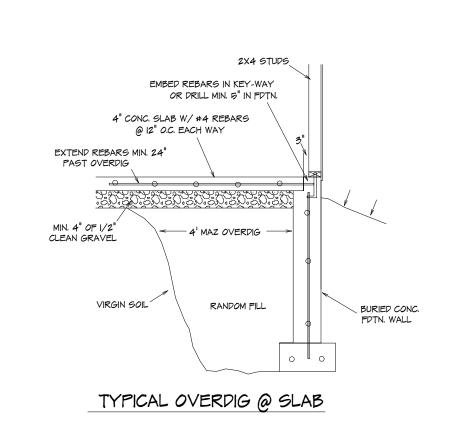
TYPICAL DETAILS

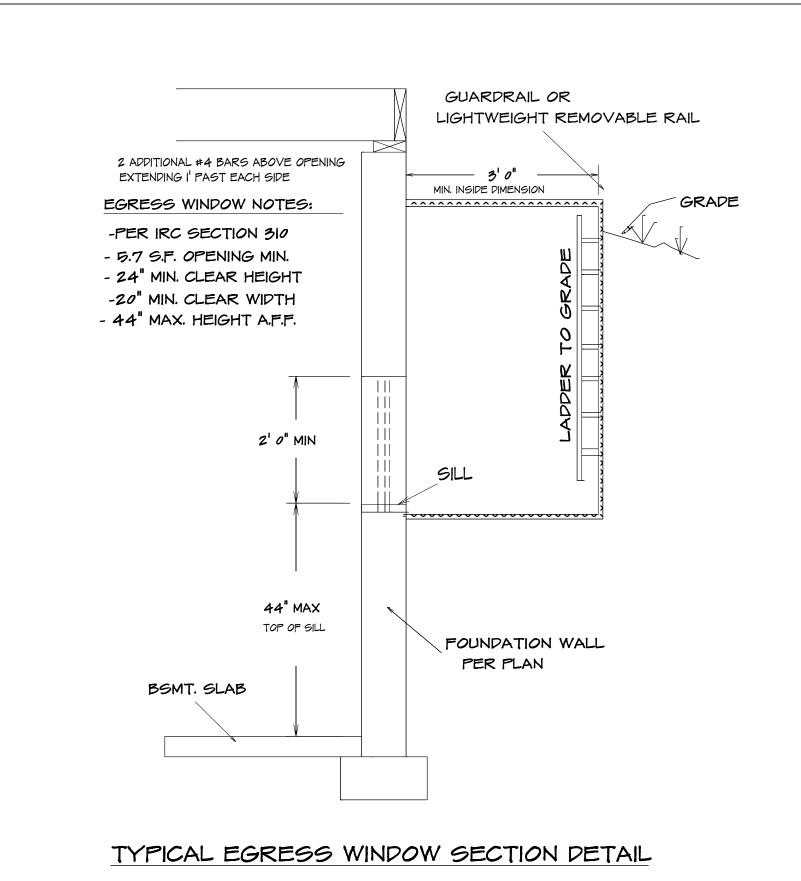


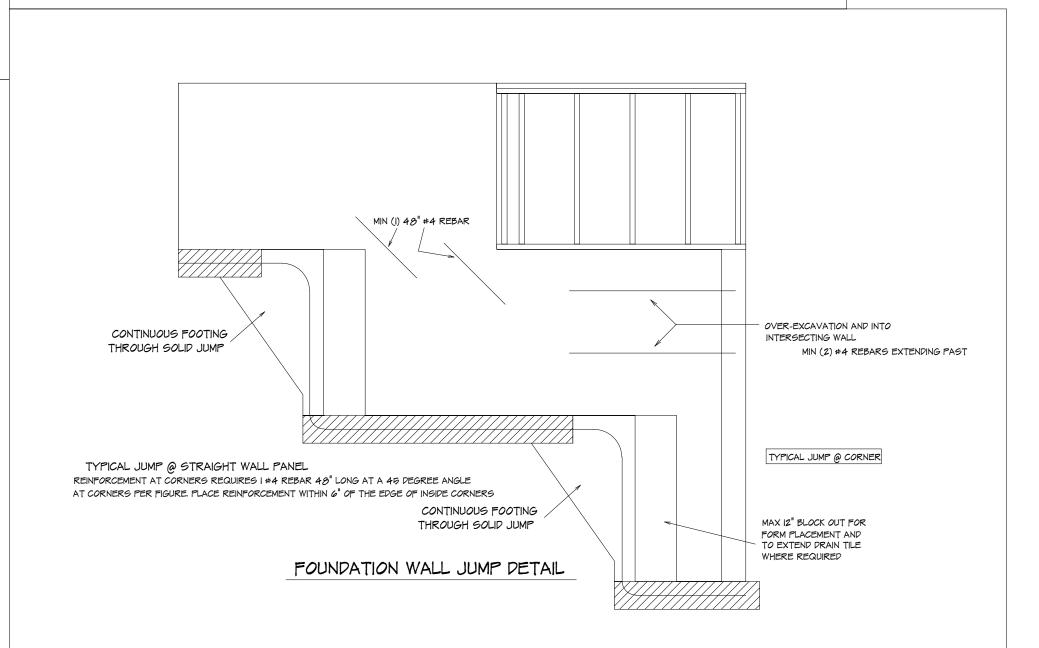
TYPICAL DEAD-MAN SECTION

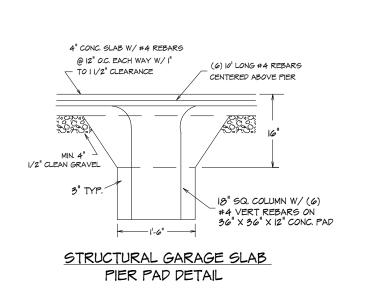


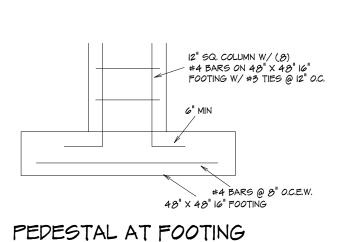
TYPICAL EGRESS WINDOW PLAN SECTION











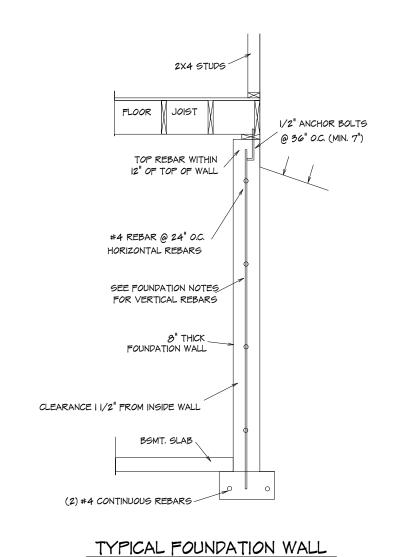
3 STORY 8	"T × 24"W 2-#4	3" FROM BTM.
ACC. STR. 8	"T × IZ"W 2-#4	3" FROM BTM.
		B W/#4 REBARS
DRILL 5" MIN / INTO FDTN		EACH WAY
)	MIN. 4" - 1/2"
	_	CLEAN GRAVEL
	_	
	<u>- </u>	ARAGE SLAB
	rn. Wall	ANAGE SEAD

REQUIRED FOOTING:

BUILDING MINIMUM HORIZONTAL LOCATION HEIGHT FOOTING REBAR OF REBAR

1 OR 2 STY. 8"T x 16"W 2-#4 3" FROM BTM.

PINNING DETAIL



FNP WALL REINFORCEMENT (CLASS 60 SOIL, EXCEPT FOR RARE CIRCUMSTANCES)

(ALL REBARS TO BE GRAPE 40)

9' WALL W/ 9' BACKFILL VERT. #4 REBARS @ 12" O.C.

9' WALL W/ 7' BACKFILL VERT. #4 REBARS @ 18" O.C.

SET ON A 16" X 9" CONCRETE FOOTER WITH (2) #4

REBARS CONTINOUS.

FOUNDATION NOTES:

IO' WALL W/ 9' BACKFILL VERT. #4 REBARS @ 8" O.C.
IO' WALL W/ 8' BACKFILL VERT. #4 REBARS @ 12" O.C.
SET ON A 20" X 12" CONCRETE FOOTER WITH (2) #4
REBARS CONTINOUS.

HORIZ #4 REBARS @ 24" O.C.
8" X 4'0" CONCRETE WALL WITH (3) #4 REBARS
HORZ. AND WITH #4 REBARS @ 24" O.C. VERTICALLY
CONCRETE FLOOR - 4" CONCRETE ON 4"
CRUSHED ROCK.

CONCRETE GARAGE FLOOR - 4"
CONCRETE ON 4" CRUSHED ROCK WITH
GXG 10/10 WIRE MESH.
(SUPENDED GARAGE FLOORS TO BE

LOAD OF 1500 PSF

42" X 42" X 12" CONCRETE PADS WITH (6)
#4 REBARS EACH WAY (UNLESS NOTED)

CONCRETE GRADE PADS - 16" X 8" WITH (2)
#4 REBARS CONTINOUS.

ALL FOOTINGS SHALL EXCEED A MINIMUM FROST DEPTH OF 36 INCHES BELOW GRADE.

MAXIMUM DEPTH OF UNBALANCED FILL IS (7 FEET)
FOR 8-INCH WALL AND (8 FEET) FOR TEN-INCH

DESIGNED BY LICENCED ENGINEER)

COLUMN FOOTING FOR MIN. SOIL

WATERPROOF CONCRETE WALL FROM FOOTING TO GRADE LINE.

OPTIONAL WALK-OUT WALL

16" X 36" CONCRETE FROST FOOTER W/ (3) #4

REBARS PARALLEL 12" O.C. CONTINOUS.

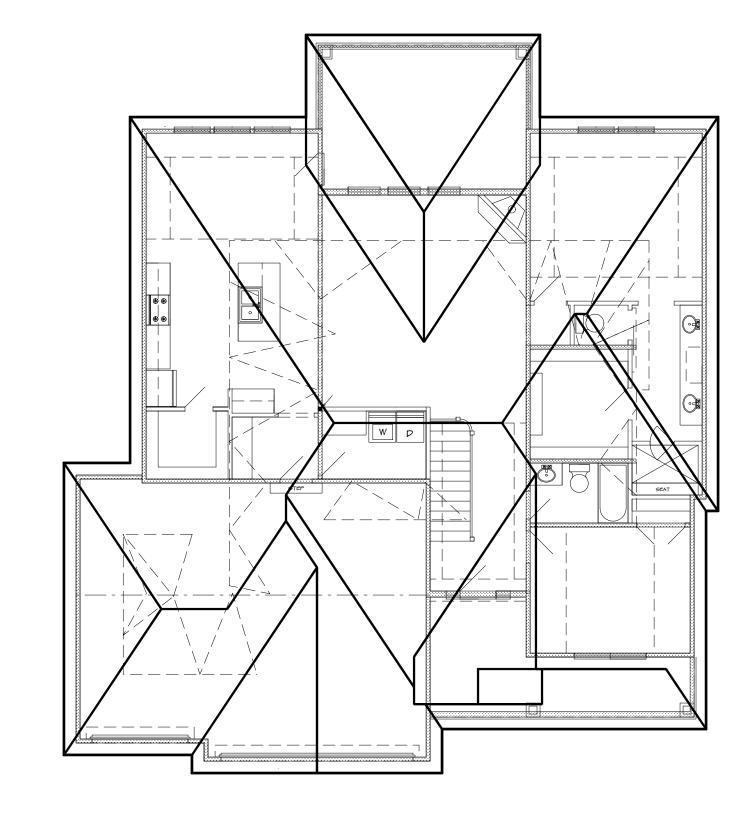
#4 REBAR VERT. BENT INTO FLOOR 7'0" @ 24" O.C.

BELOW GRADE USE 4" OF CONCRETE ON 4"

CRUSHED ROCK WITH 6 MIL-POLY OVER CRUSHED ROCK BELOW GRADE.

DRAINAGE TILES, GRAVEL OR CRUSHED STONE DRAINS, PERFORATED PIPE OR OTHER APPROVED SYSTEMS OR MATERIALS SHALL BE INSTALLED AT OR BELOW THE AREA TO BE PROTECTED AND SHALL DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN PPROVED DRAINAGE SYSTEM. GRAVEL OR CRUSHED SONE DRAINS SHALL EXTEND AT LEAST I FOOT BEYOND THE OUTSIDE EDGE OF THE FOOTING AND 6 INCHES ABOVE THE TOP OF THE FOOTING AND BE COVERED WITH AN APPROVED FILTER MEMBRANE MATERIAL. THE TOP OF OPEN JOINTS OF DRAIN TILES SHALL BE PROTECTED WITH STRIPS OF BUILDING PAPER, AND DRANAGE TILES OR PERFORATED PIPE SHALL BE PLACED ON A MINIUM OF 2 INCHES OF WASHED GRAVEL OR CRUSHED ROCK AT LEAST ONE SIEVE SIZE LARGER THAN THE TILE JOINT OPENING OR PERFORATION AND COMVERED WITH NOT LESS THAN 6 INCHES OF THE SAME MATERIAL.

MINIMUM SPECIFIED COM	le No. R-302.2 PRESSIVE STRI	ENGTH OF CONCR	ETE	
TYPE OR LOCATION OF		MININUM		
CONCRETE CONSTRUCTION	SPECIFIED COMPRESSIVE STRENGTH (+' o' Weathering Potential 2 (KC AREA)			
	Negligible	Moderate	Severe	
Basement walls and foundations not exposed to the weather	2,500	2/5/0	2,500	
Basement slabs and interior slabson grade, except garage floor slabs	2.500	2.500	2,500	
Basement walls, foundation walls, exterior walls, and other vertical concrete work exposed to the weather	2.500	3,696	3,0004	
Porches, carport slabs and steps exposed to the weather, and garge floor slabs	2.500	2,000 4	3.5004.5	



BEARING WALL

24"

ALL RAFTERS TO BE #2 2X6 D-FIR 16" O.C.

UNLESS OTHER WISE NOTED

PURLINGS TO BE EQUAL TO RAFTER OR GREATER

PURLING TO BE SUPPORTED TO BEARING WALL LINES

WITH SUPPORTS SPACED 4'0" O.C. MAX FOR 2X6 PURLING

6'0" O.C. MAX FOR 2X8 PURLING

8'0" O.C. MAX FOR 2X10 PURLING

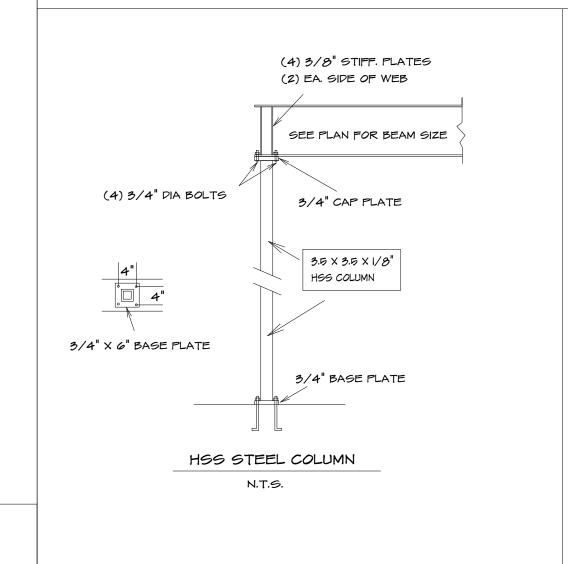
ONNECT RAFTERS TO CEILING JOIST W (4) 164 GALV. NAILS

8'0" O.C. MAX FOR 2XI0 PURLING

CONNECT RAFTERS TO CEILING JOIST W (4) I6d GALV. NAILS

CONNECT RAFTERS TO RIDGE, VALLEY, AND HIP RIDGE

WITH (4) I6d GALV. NAILS



ROOF ELEVATION

2X8 #2 D-FIR FOR UNBRACED LENGTH UP TO 9'0"

2XIO #2 D-FIR FOR UNBRACED LENGTH UP TO 10'0"

2XI2 #2 D-FIR FOR UNBRACED LENGTH UP TO 12'0"

NOTE... HIP RIDGE FOR THE MAIN ROOF AS:

