



13A SW 3rd St., Lee's Summit, Missouri 64063 | 816.249.2270 | www.collinsandwebb.com

# VOGUE CONDOS

311 SE DOUGLAS  
LEE'S SUMMIT, 64063

## PERMIT DOCUMENTS

11 MAY 2021

COLLINS WEBB #: 20099

**GERNERAL NOTE REGARDING ADJACENT INSTRUCTIONS TO BIDDERS.**  
THE ADJACENT SCOPE OF WORK OUTLINE HAS BEEN PROVIDED TO INFORM CONTRACTORS OF SEPARATE CONTRACT SCOPE PACKAGES INCLUDED WITHIN PERMIT DOCUMENTS.  
SUBMIT QUESTIONS IN WRITING TO ENGINEERING PERSPECTIVE CONTACT NOTED BELOW. CONTRACTORS SHALL REFERENCE ADJACENT INFORMATION WITHIN THEIR CONTRACTS AND RESPECTIVE SHEET REFERENCES IF REQUIRED.  
ENGINEERING PERSPECTIVE MAY ISSUE ADDITIONAL SCOPE CLARIFICATION OR DESIGN INFORMATION IN WRITING, PRIOR TO CONTRACT ISSUANCE.

Vogue Condominiums  
West Elevation - Exterior Building Repairs and Courtyard Canopy Additions

### INSTRUCTIONS TO BIDDERS

Bidders are invited to Bid on the following project described as follows:

**PROJECT IDENTIFICATION:** West Elevation - Exterior Building Repairs and Courtyard Canopy Additions

#### SCOPE OF WORK:

The selected contractor will provide for the following:

##### Project #1: West Elevation - Exterior Building Repairs

- Selective demolition of the window caulk, downspouts, gutters, the stucco cladding, and where applicable OSB exterior sheathing, etc. as required to expose and prepare the exterior stucco for the application of an elastomeric coating and related finish paint at the north 52 feet of the west elevation. The selective demolition will include the removal of the existing stucco and deteriorated sheathing on the marquee extension. The selective demolition will include the removal of the existing top portions of the parapet walls that currently extend above the adjacent parapet wall elevations for alignment of the parapet wall caps with the adjacent parapet wall elevations. Selective demolition will include the roof extension below the marquee and related flashing and roof membrane system that exists.
- Building repairs will include the Installation of new caulk seal applications at the windows.
- Coordination of work and access with engineering investigations of stucco substrate deterioration and related defects.
- At locations where exterior stucco substrate OSB has been identified to have experienced substantial deterioration by the project engineer, the work will include the following:
  - Removal of the stucco and OSB siding 2 feet beyond in the areas of OSB deterioration to the nearest joint, and replacement of the OSB, building exterior moisture barrier (wrap).
  - Replacement of the stucco assembly (same as original) prepared for elastomeric coating application.
- Application of a new elastomeric coating on the exterior surfaces designated as part of this project work.
- Modification of the marquee framing as indicated on the project drawings. Preparation of the marquee for new metal panel cladding to include underlayment, moisture barrier, sheathing, blocking and related features for the new metal panel cladding. Marquee repairs will include new electrical service for signage to be attached to the marquee under a separate contract.

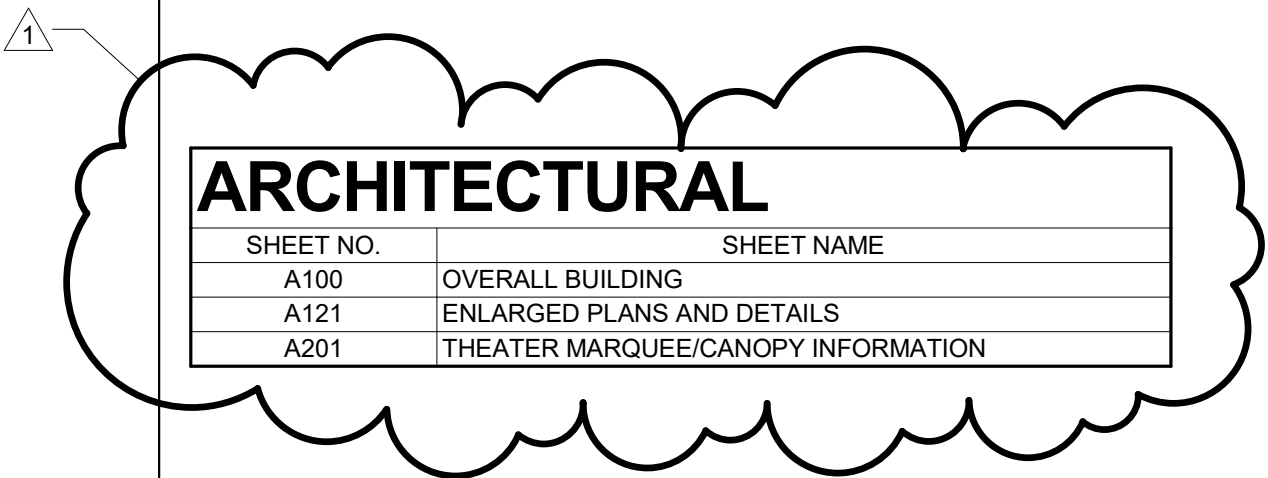
Vogue Condominiums  
West Elevation - Exterior Building Repairs and Courtyard Canopy Additions

- Modifications of the existing parapet wall elevations at the north 52 feet of the west elevation as needed for uniform alignment with the adjacent parapet wall heights. Work to include framing modifications, roof membrane modifications, and parapet cap replacement to match the existing parapet cap.

Work by the contractor will include all necessary work associated with access, preparation, cleanup etc., and information submittal requirements.

##### Project #2: Canopy Additions in the Courtyard Areas:

- The canopy additions in the courtyard areas will consist of selective demolition of the exterior stucco as needed for new flashing of the new canopies planned for the exterior upper level deck and access areas in the courtyard and above the existing stairway landing on the east side of the west wing 2<sup>nd</sup> level.
- Installation of new canopies as indicated on the applicable drawings. The canopy structures shall be designed and installed in accordance with the 2018 IBC. The work will include all applicable supports, trim, flashing, etc. for the canopies. The locations and general configuration for the canopies are as indicated on the drawings.



#### OWNER

Vogue Condominium Owners Association, Inc.  
VCOA

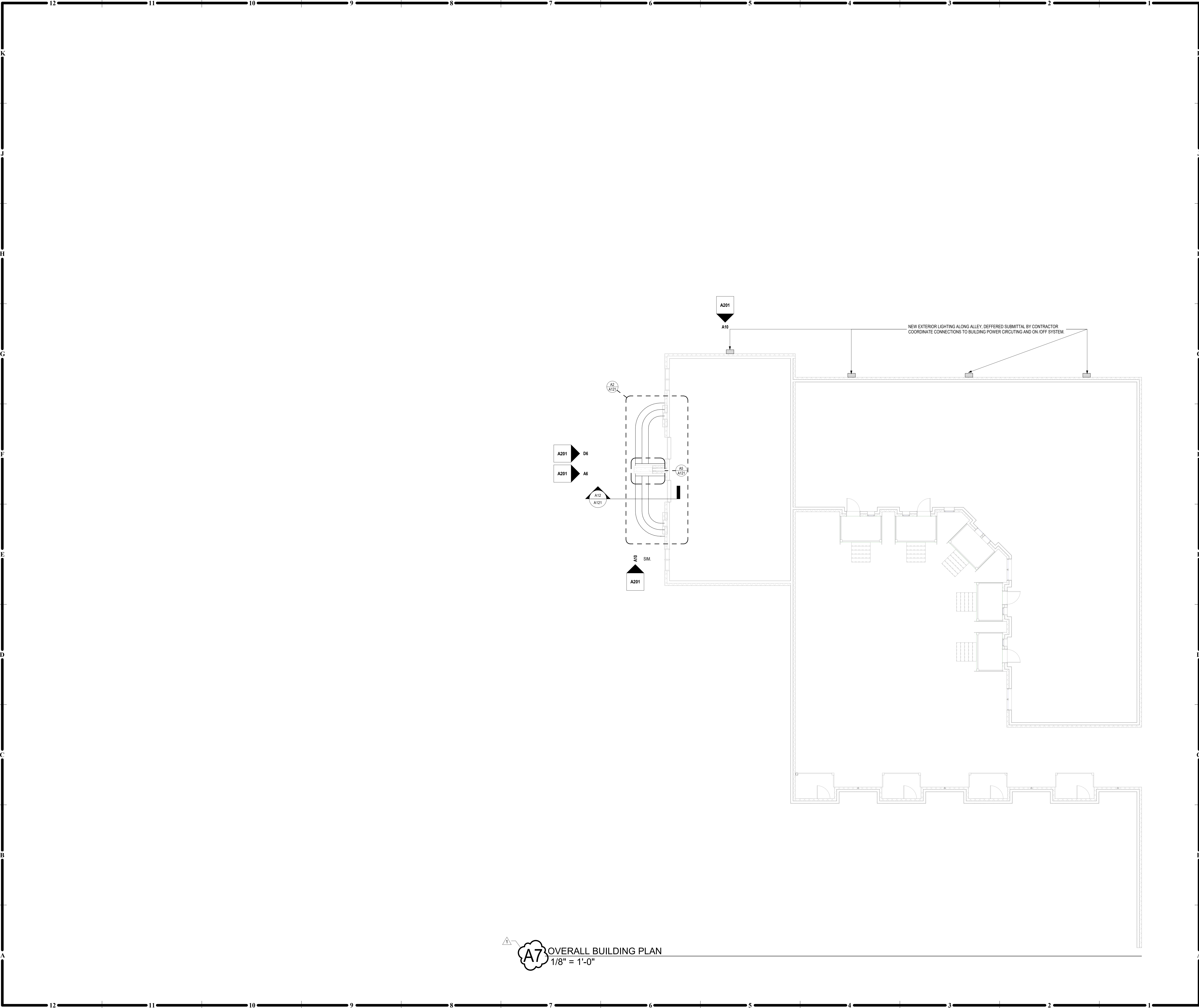
#### ARCHITECT

COLLINS | WEBB ARCHITECTURE  
13A SW 3RD STREET  
LEE'S SUMMIT, MISSOURI 64063  
P: 816.249.2270  
www.collinsandwebb.com

#### STRUCTURAL

ENGINEERING PERSPECTIVE  
2601 S. HUB DRIVE  
INDEPENDENCE , MISSOURI 64055  
P: 816.836.9633

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**A7** OVERALL BUILDING PLAN  
1/8" = 1'-0"

- GENERAL NOTES:  
FLOOR PLANS**
1. SEE GENERAL ARCHITECTURAL SHEETS FOR ADDITIONAL NOTES AND DETAILS THAT ARE APPLICABLE.
  2. DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF GYP. BOARD WALL (F0G), FACE OF MASONRY (F0M), FACE OF CONCRETE WALLS (F0C), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
  3. MAINTAIN AND PROTECT EXISTING ASSEMBLIES DURING CONSTRUCTION. PATCH/REPAIR/REPLACE TO MATCH EXISTING RATINGS AS REQUIRED ON THE SHELL PORTION OF PROJECT.



PERMIT DOCUMENTS

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LEE'S SUMMIT, 64063

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REVISION DATES:

1	CITY REVIEW COMMENTS	06/02/2021
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PROFESSIONAL SEAL

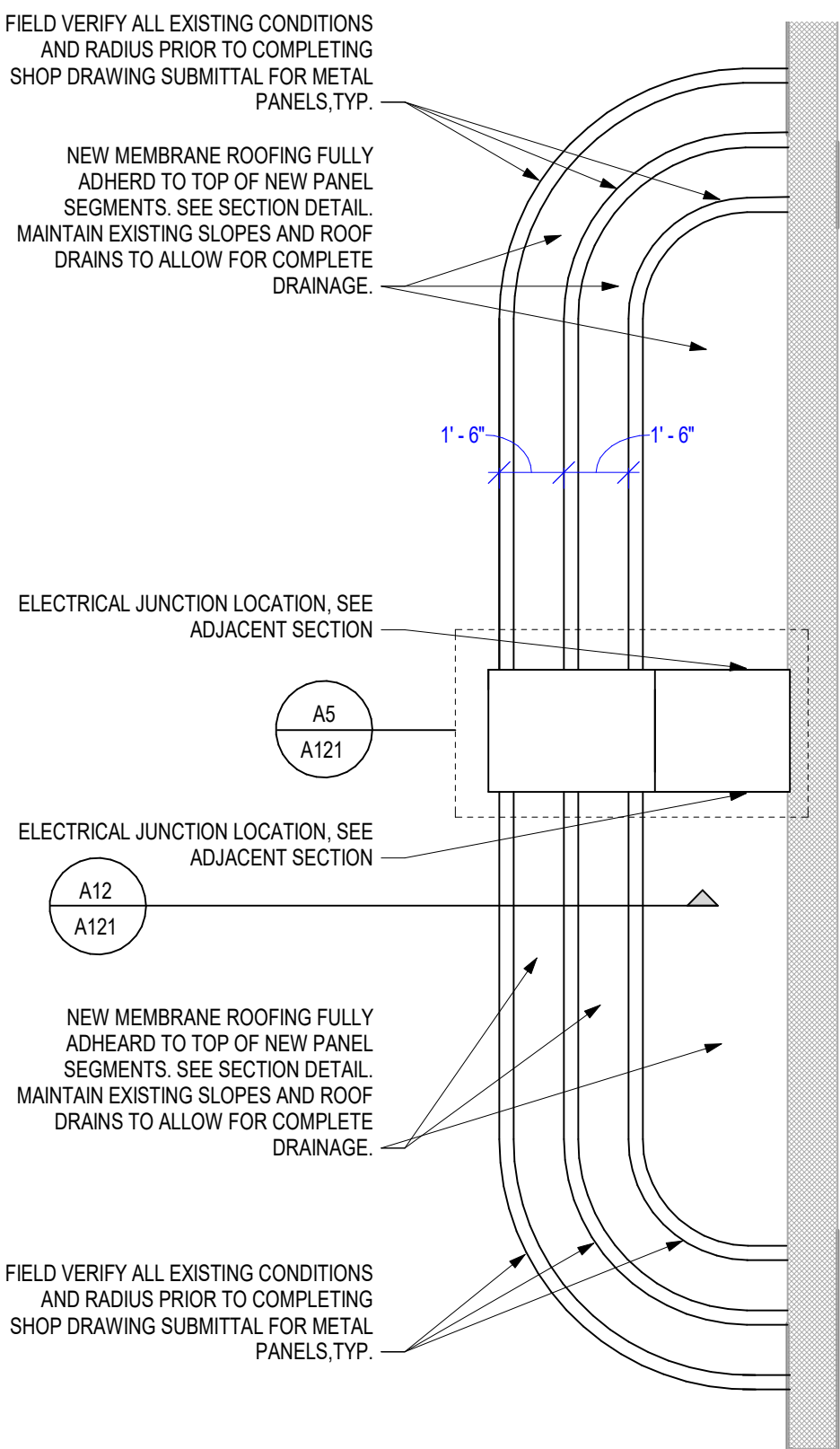
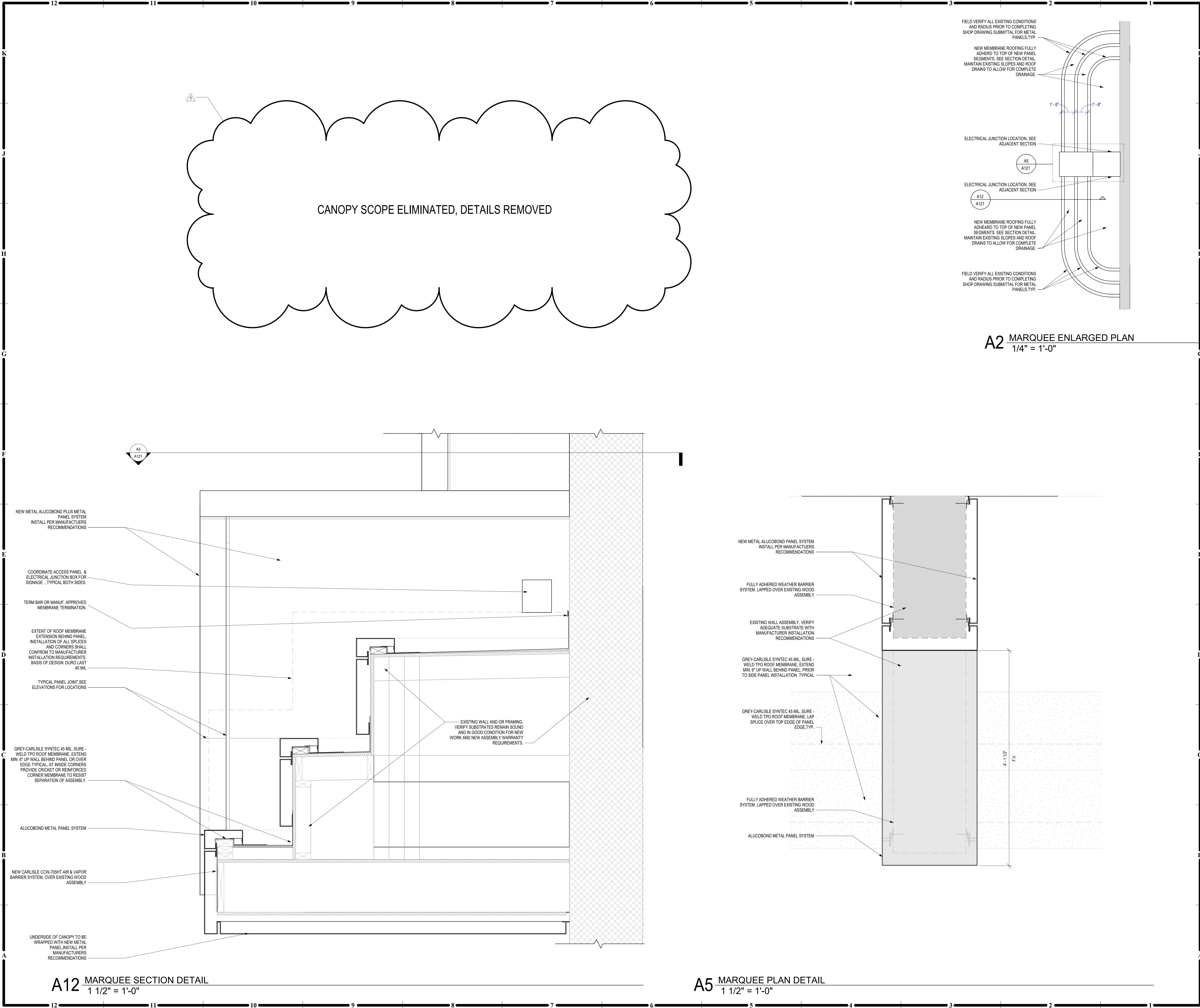
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ISSUE DATE: 11 MAY 2021  
COLLINS WEBB #: 20099

OVERALL BUILDING



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**GENERAL NOTES:  
FLOOR PLANS**

1. SEE GENERAL ARCHITECTURAL SHEETS FOR ADDITIONAL NOTES AND DETAILS THAT ARE APPLICABLE.
2. DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF GYP. BOARD WALL (F.O.G.), FACE OF MASONRY (F.O.M.), FACE OF CONCRETE WALLS (F.O.C.), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
3. MAINTAIN AND PROTECT EXISTING ASSEMBLIES DURING CONSTRUCTION. PATCH/REPAIR/REPLACE TO MATCH EXISTING RATINGS AS REQUIRED ON THE SHELL PORTION OF PROJECT.

**GENERAL NOTE :**

**MATERIALS NOTED AND DETAILING ILLUSTRATED ON THIS SHEET, SHALL BE EVALUATED BY MANUFACTURERS AND ITS REPRESENTATIVES TO MEET ALL INSTALLATION AND STANDARD WARRANTY REQUIREMENTS BY MANUFACTURERS PRIOR TO PROCUREMENT AND INSTALLATION.**

**STANDARD WARRANTY SHALL COVER INSTALLATION, WORKMANSHIP, DEFECTS, AND PREVENT EXTERIOR ELEMENT INFILTRATION.**

**SUBMITTAL OF SHOP DRAWING INFORMATION OF THE METAL PANEL, ROOF MEMBRANE AND AIR AND VAPOR ASSEMBLIES TO DESIGN TEAM FOR REVIEW, IS AN ACKNOWLEDGEMENT THAT ALL DUE DILIGENCE IS COMPLETE AS STATED OR IMPLIED AND PRODUCTS MEET PROJECT STANDARDS FOR PROCUREMENT AND INSTALLATION.**

**AT CONTRACTORS' OPTION, ALTERNATE SYSTEMS AND DETAILING MAY BE PROPOSED IF IT MEETS OUTLINED CRITERIA.**

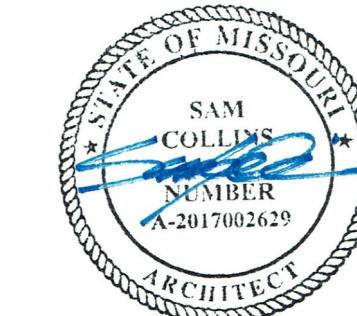


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**REVISION DATES:**  
1 CITY REVIEW COMMENTS 06/02/2021



**PROFESSIONAL SEAL**

**A121**  
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COLLINS WEBB #: 20099

**ENLARGED PLANS AND DETAILS**



1. SEE GENERAL ARCHITECTURAL SHEETS FOR ADDITIONAL NOTES AND DETAILS THAT ARE APPLICABLE.
2. DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF GYP. BOARD/ WALL (FG), FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
3. MAINTAIN AND PROTECT EXISTING ASSEMBLIES DURING CONSTRUCTION. PATCH/REPAIR/REPLACE TO MATCH EXISTING RATINGS AS REQUIRED ON THE SHELL PORTION OF PROJECT.

