

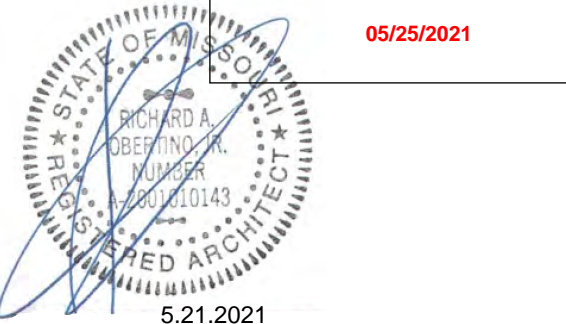


# 940 NW Pryor Road Lee's Summit, Missouri 64081

**PROJECT NO.:** 18-046

**ISSUE DATE:** 5.21.2021 (TENANT EQUIPMENT)

RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI 05/25/2021



ARCHITECT  
STRUCTURAL ENGINEER  
CIVIL ENGINEER  
GENERAL CONTRACTOR  
MECHANICAL ENGINEER  
PLUMBING ENGINEER  
ELECTRICAL ENGINEER

TRJ ARCHITECTS  
BOB D CAMPBELL & COMPANY  
RENAISSANCE INFRASTRUCTURE CONSULTING  
BRINKMANN CONSTRUCTORS  
LATIMER SOMMERS & ASSOCIATES  
LATIMER SOMMERS & ASSOCIATES  
LATIMER SOMMERS & ASSOCIATES



Summit at West Pryor

940 NW Pryor Road  
Lee's Summit, Missouri 64081

## GENERAL NOTES

1. AIA DOCUMENT A-201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, CURRENT EDITION, AND SPECIAL CONDITIONS AS NOTED IN THE PROJECT MANUAL, SHALL GOVERN THE WORK.
2. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY EXISTING FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
3. GENERAL CONTRACTOR SHALL CROSS-REFERENCE THE VARIOUS DISCIPLINE PLANS HEREIN AND REVIEWED SHOP DRAWINGS PRIOR TO STARTING CONSTRUCTION PHASE OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
4. ONLY CONTRACT DOCUMENTS APPROVED FOR CONSTRUCTION AND REVIEWED SHOP DRAWINGS SHALL BE USED FOR CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF SAID DOCUMENTS AND UPDATES TO THE FIELD FOR CONSTRUCTION.
5. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE SUBCONTRACTOR WORK WITH THESE PROJECT DOCUMENTS.
6. DIMENSIONS TO THE EXTERIOR OF THE BUILDING ARE TO THE EXTERIOR OF FOUNDATION/MASONRY UNLESS NOTED OTHERWISE.
7. DO NOT SCALE DRAWINGS.
8. THE WORD 'ALIGN' AS USED IN THESE DOCUMENTS SHALL SUPERSEDE DIMENSIONAL INFORMATION.
9. NO PRODUCTS CONTAINING ASBESTOS SHALL BE INSTALLED IN OR USED DURING THE CONSTRUCTION OF THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CERTIFY TO THE OWNER THAT THIS REQUIREMENT HAS BEEN COMPLIED WITH.
10. ALL HVAC EQUIPMENT AND DUCTWORK SHALL COMPLY WITH THE CURRENT APPLICABLE MECHANICAL CODE AND INSTALLED PER SMACNA RECOMMENDATIONS.
11. CODE COMPLIANCE - THE WORK SHALL BE GOVERNED BY ALL CURRENT APPLICABLE LOCAL, CITY, STATE AND NATIONAL CODES AND LAWS. THESE AUTHORITIES INCLUDE, BUT ARE NOT LIMITED TO THE INTERNATIONAL BUILDING CODE, NATIONAL ELECTRIC CODE, NATIONAL FIRE PROTECTION ASSOCIATION OR ANY OTHER AUTHORITY OR BODY HAVING JURISDICTION OVER WORK. THE SITE, PARKING LOT, AND BUILDING SHALL COMPLY WITH THE ADA (AMERICANS WITH DISABILITIES ACT) REGULATIONS. NOTIFY ARCHITECT OF ANY REQUIRED CHANGES TO COMPLY WITH ADA.
12. REFERENCE CIVIL DRAWINGS FOR SITE WORK, INCLUDING THE BUILDING LOCATION ON THE SITE.

## ABBREVIATIONS

ABV	ABOVE	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
AFF	ABOVE FINISH FLOOR	OFPI	OWNER INSTALLED
ACT	ACOUSTICAL	OC	ON CENTER
ALUM	ALUMINUM	OPNG	OPENING
&	AND	PTD	PAINTED
@	AT	PLAM	PLASTIC LAMINATE
BLK	BLOCK	PLYWD	PLYWOOD
BD	BOARD	PT	PRESSURE TREATED
BO	BOTTOM OF		
CLG	CEILING		
&	CENTER LINE		
CT	CERAMIC TILE		
CLR	CLEAR	RAD	RADIUS
CONC	CONCRETE	RE:	REFERENCE
CMU	CONC. MASONRY UNIT	REIN	REINFORCING
CNT	CONTINUOUS	RCF	REFLECTED CEILING PLAN
CONTR	CONTRACTOR	REQD	REQUIRED
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	RD	ROOF DRAIN
CJ	CONTROL JOINT	RM	ROOM
CG	CORNER GUARD	RO	ROUGH OPENING
DTL	DETAIL	SCHED	SCHEDULE
DIA	DIAMETER	SECT	SECTION
DR	DOOR	SHT	SHEET
DS	DOWNSPOUT	SIM	SIMILAR
DWG	DRAWING	SC	SOLID CODE
EOS	EDGE OF SLAB	SPEC	SPECIFICATION
ELEC	ELECTRICAL	SQ	SQUARE
ELEV	ELEVATION	SF	SQUARE FOOT
EQ	EQUAL	SS	STAINLESS STEEL
EQUIP	EQUIPMENT	STD	STANDARD
EXIST	EXISTING	STL	STEEL
EJ	EXPANSION JOINT	STRUCT	STRUCTURAL
FT	FEET	SUSP	SUSPENDED
FG	FINISH GRADE	TEL	TELEPHONE
FF	FINISH FLOOR	TRK	TRUCK
FR	FIRE RETARDANT	TO	TOP OF
FL	FLOOR	T&G	TONGUE & GROOVE
		TYP	TYPICAL
GC	GENERAL CONTR.	UNF	UNFINISHED
GYP	Gypsum	UNO	UNLESS NOTED OTHERWISE
HDWD	HARDWOOD	VERT	VERTICAL
HDPB	HIGH DENSITY PARTICLE BOARD	VEST	VESTIBULE
HT	HEIGHT	WP	WATERPROOF
HR	HOUR	WT	WEIGHT
INSUL	INSULATION	W	WITH
JT	JOINT	WD	WITH OUT
		WOOD	WOOD
LAV	LAVATORY		
MO	MASONRY OPENING		
MSRY	MASONRY		
MDF	MEDIUM DENSITY FIBERBOARD		
MECH	MECHANICAL		
MTL	METAL		
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		



## PROJECT DIRECTORY

<p><u>General Contractor</u> Brinkmann Constructors 8700 Indian Creek Parkway Suite 150 Overland Park, KS 66210 Phone: (314) 395-9750 Contact: Philip Sutterfield</p>	<p><u>Architect</u> TRJ Architects 9812 Manchester Road St. Louis, Missouri 63119 Phone: (314) 478-9271 Contact: Jeff Kaiser (ext 219)               Michaela Silva (ext 275)</p>	<p><u>Owner</u> Summit at West Pryor, LLC 919 N. East Street Indianapolis, Indiana 46202 Phone: (317) 475-2071 Contact: Brad Richey</p>
<p><u>Structural Engineer</u> Bob D Campbell &amp; Company 4338 Bellevue Avenue Kansas City, Missouri 64111 Phone: (816) 531-4144 Contact: Clark Basinger (Direct: 816-778-7191)</p>	<p><u>Civil Engineer</u> Renaissance Infrastructure Consulting 1815 McGee Street, Suite 200 Kansas City, MO 64108 Phone: (816) 800-0950 Contact: Dustin Burton</p>	<p><u>Mech./Elec./Plumb. Engineer</u> Latimer Sommers and Associates 3838 SW Summerfield Dr Ste. A Topeka, KS 66614 Phone: (785) 233-3232 Contact: Rich Beardmore</p>

## PROJECT SUMMARY

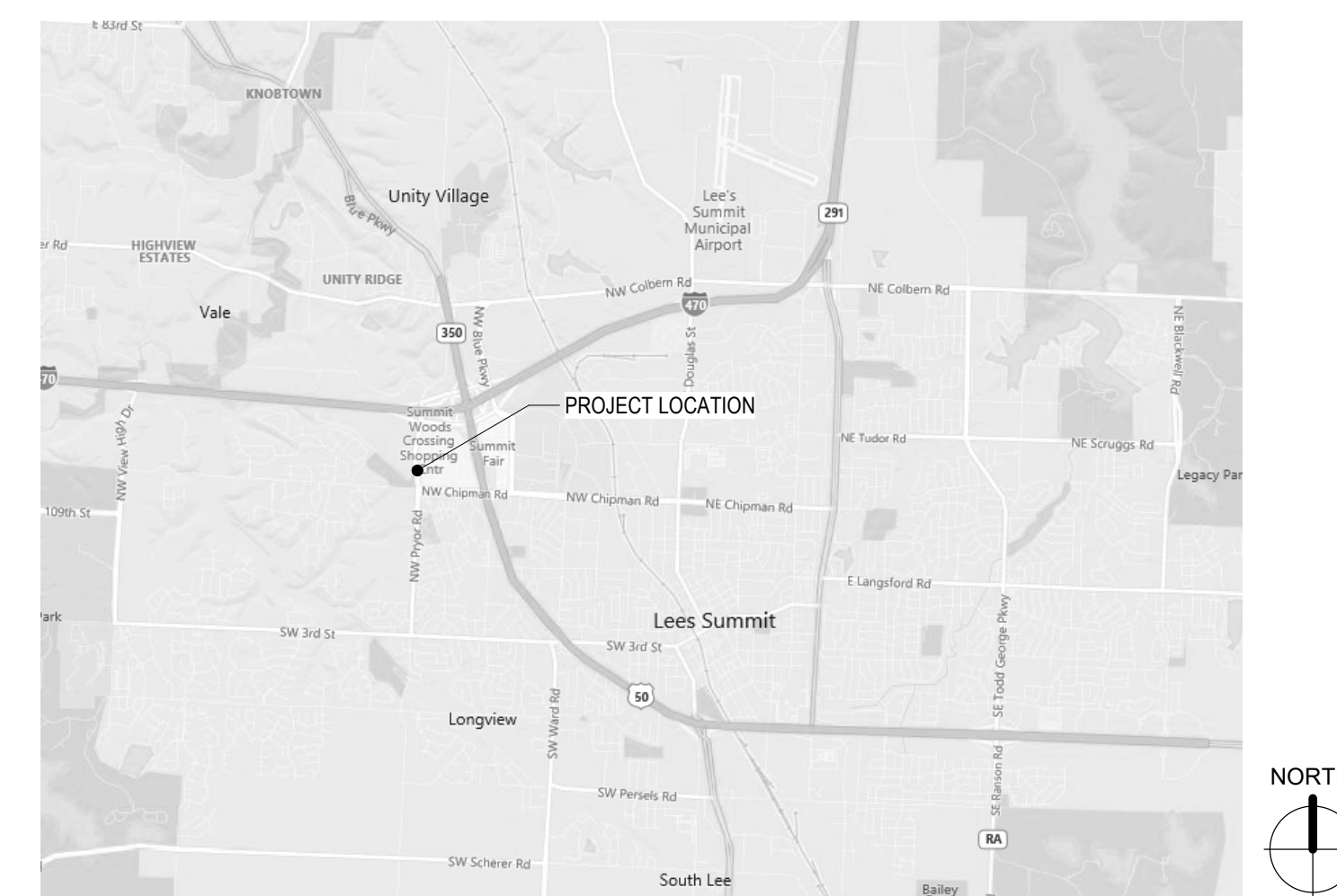
\*FOR COMPLETE CODE ANALYSIS SEE LIFE SAFETY PLAN SHEET A006 - A010

<b>PROJECT NAME:</b>	Summit at West Pryor
<b>PROJECT ADDRESS:</b>	NWO NW Pryor Rd & NW Lowenstein Dr Lee's Summit, Missouri 64081
<b>PROJECT DESCRIPTION:</b>	237 Unit development
<b>BUILDING CODES:</b>	2018 International Building Code 2017 National Electrical Code 2018 International Mechanical Code 2018 International Plumbing Code 2018 International Energy Conservation Code
<b>ACCESSIBILITY:</b>	2010 ADA Guidelines & 2017 ICC/ANSI A117.1 Fair Housing Act
<b>OCCUPANCY TYPE / USE GROUP:</b>	SEE LIFE SAFETY PLANS.

## SYMBOLS

CONCRETE	BUILDING SECTION	COL GRID
BRICK	WALL SECTION	ROOM
BLOCKING	DETAIL	TEMPERED GLASS
BATT INSULATION	PARTITION TYPE	NEW CONSTRUCTION
RIGID INSULATION		EXISTING CONSTR. TO REMAIN
CONCRETE BLOCK		EXISTING CONSTR. REMOVED

## LOCATION MAP



## DRAWING INDEX

ARCHITECTURAL		TENANT EQUIPMENT 5.21.2021
A00	COVER SHEET	
A500	RETAIL TENANT REWORK	

MEP		TENANT EQUIPMENT 5.21.2021
P103	PARTIAL GARAGE PLAN - PLUMBING	
P104	PARTIAL GARAGE PLAN - PLUMBING	
P105	FIRST FLOOR PLAN AREA B - PLUMBING	
P107	FIRST FLOOR PLAN AREA E - PLUMBING	
M103	FIRST FLOOR PLAN AREA B - HVAC	
M105	FIRST FLOOR PLAN AREA E - HVAC	
M112	ROOF FLOOR PLAN AREA B - HVAC	
M114	ROOF FLOOR PLAN AREA E - HVAC	
E103	FIRST FLOOR PLAN AREA B - ELECTRICAL	
E105	FIRST FLOOR PLAN AREA E - ELECTRICAL	
E112	ROOF FLOOR PLAN AREA B - ELECTRICAL	
E114	ROOF FLOOR PLAN AREA E - ELECTRICAL	
E304	ELECTRICAL DISTRIBUTION RISER DIAGRAM	

\* SHEETS P103 & P104 ARE INCLUDED FOR REFERENCE ONLY



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**DATE:** 5.21.21

## REVISIONS

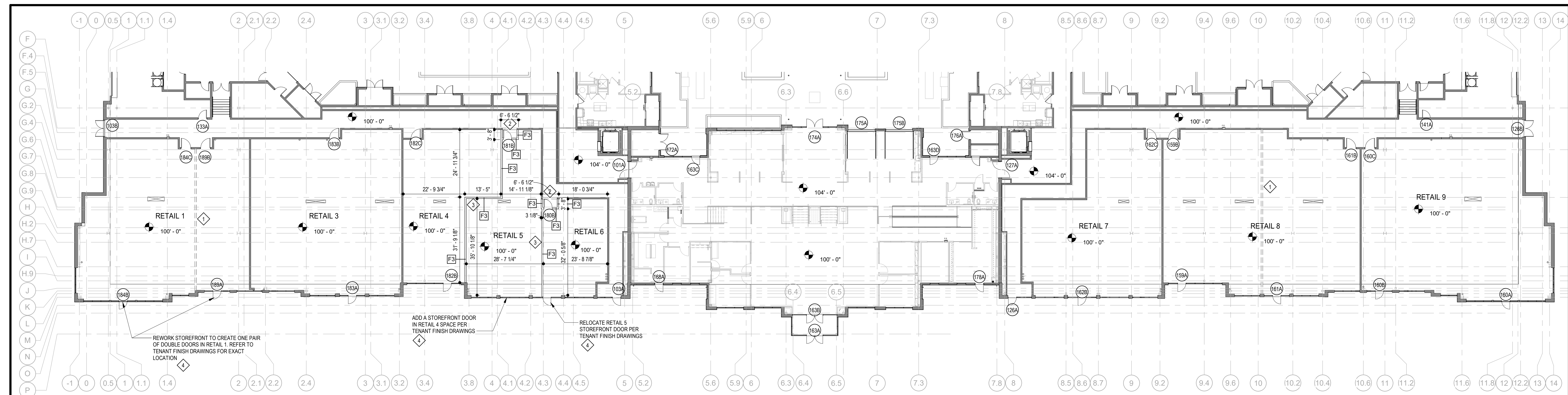
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DWG BY: Author  
TRJ PROJECT NO.: 18-046  
SHEET NO.: A00  
COVER SHEET





- |                                       |                     |
|---------------------------------------|---------------------|
| ARCHITECT                             | ARCHITECT           |
| BOB D CAMPBELL & COMPANY              | STRUCUTRAL ENGINEER |
| RENAISSANCE INFRASTRUCTURE CONSULTING | CIVIL ENGINEER      |
| BRINKMANN CONSTRUCTORS                | GENERAL CONTRACTOR  |
| LATIMER SOMMERS & ASSOCIATES          | MECHANICAL ENGINEER |
| LATIMER SOMMERS & ASSOCIATES          | PLUMBING ENGINEER   |
| LATIMER SOMMERS & ASSOCIATES          | ELECTRICAL ENGINEER |

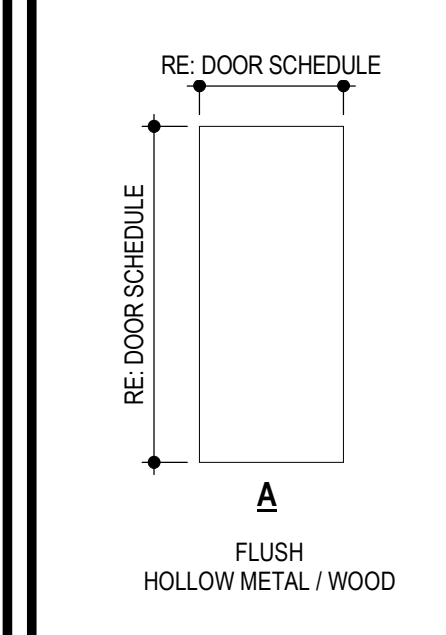


**1 FIRST FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

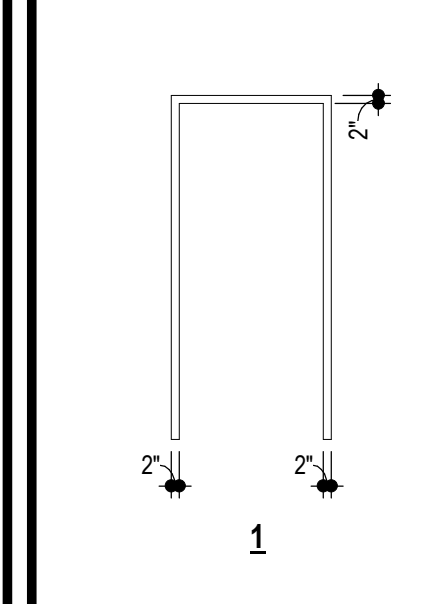
**DOOR SCHEDULE FIRST FLOOR RETAIL REWORK**

DOORS												FRAMES			
NO.	TYPE	MATL.	WIDTH	HEIGHT	HRDWRE SET	LABEL	REMARKS	TYPE	MATL.	HEAD	JAMBS	SILL	LABEL		
180B	A	WD	3'-0"	7'-0"	E3	45 MIN	-	1	HM	16A500	16A500	-	45 MIN		
181B	A	WD	3'-0"	7'-0"	E3	45 MIN	-	1	HM	16A500	16A500	-	45 MIN		

**DOOR TYPE**



**DOOR FRAME TYPE**

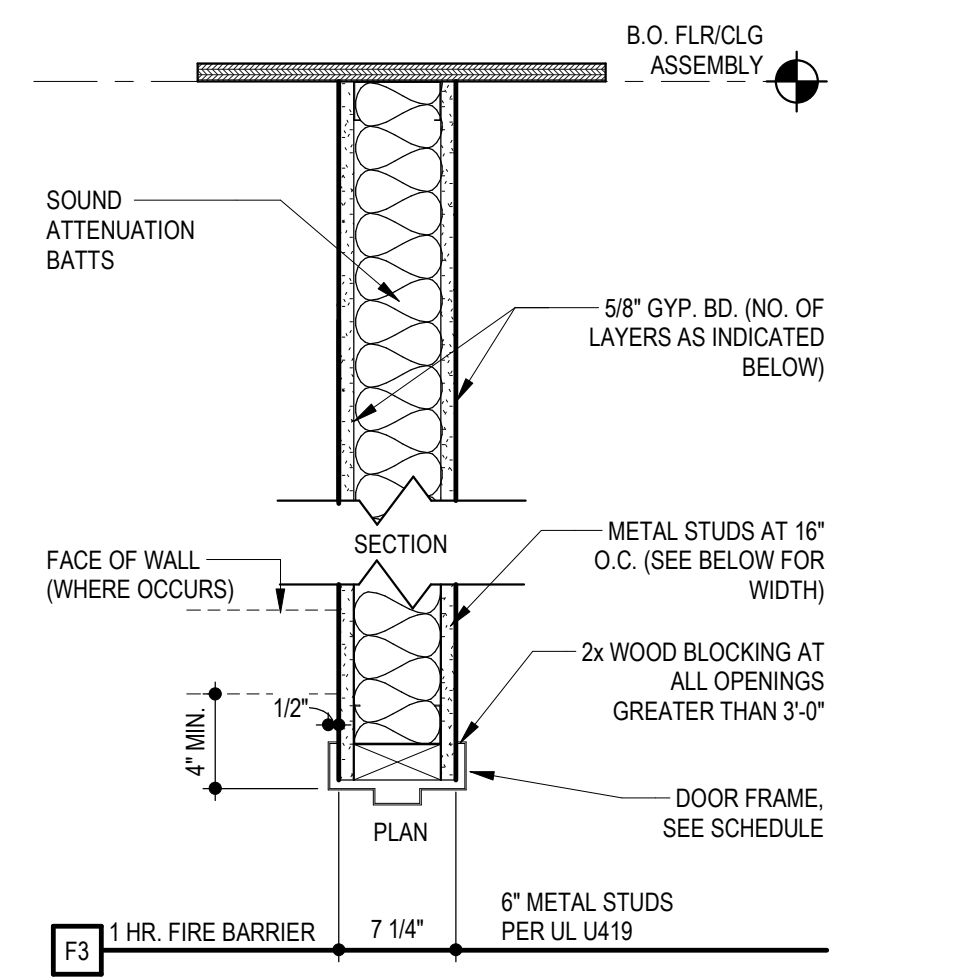


**KEYED NOTES** ◆

- DEMO DEMISING WALL TO COMBINE RETAIL SPACES
- DEMO PORTION OF CORRIDOR WALL FOR NEW BACK OF HOUSE EXIT FROM RETAIL SPACE
- NEW WALL TO DIVIDE RETAIL SPACES
- STOREFRONT SYSTEM AND GLAZING TO MATCH EXISTING SYSTEM.  
GLASS TYPES: TYPE 1 - 1/4" Clear Solarban 60 (2) - 1/2" Black AS - 1/4" Clear ANWANN  
TYPE 2 - 1/4" Clear Solarban 60 (2) - 1/2" Black AS - 1/4" Clear TE/TE  
STOREFRONT: Manko 2450FS BLACK ANODIZED STOREFRONT  
STOREFRONT DOORS: Manko Series 1351 STOREFRONT DOOR

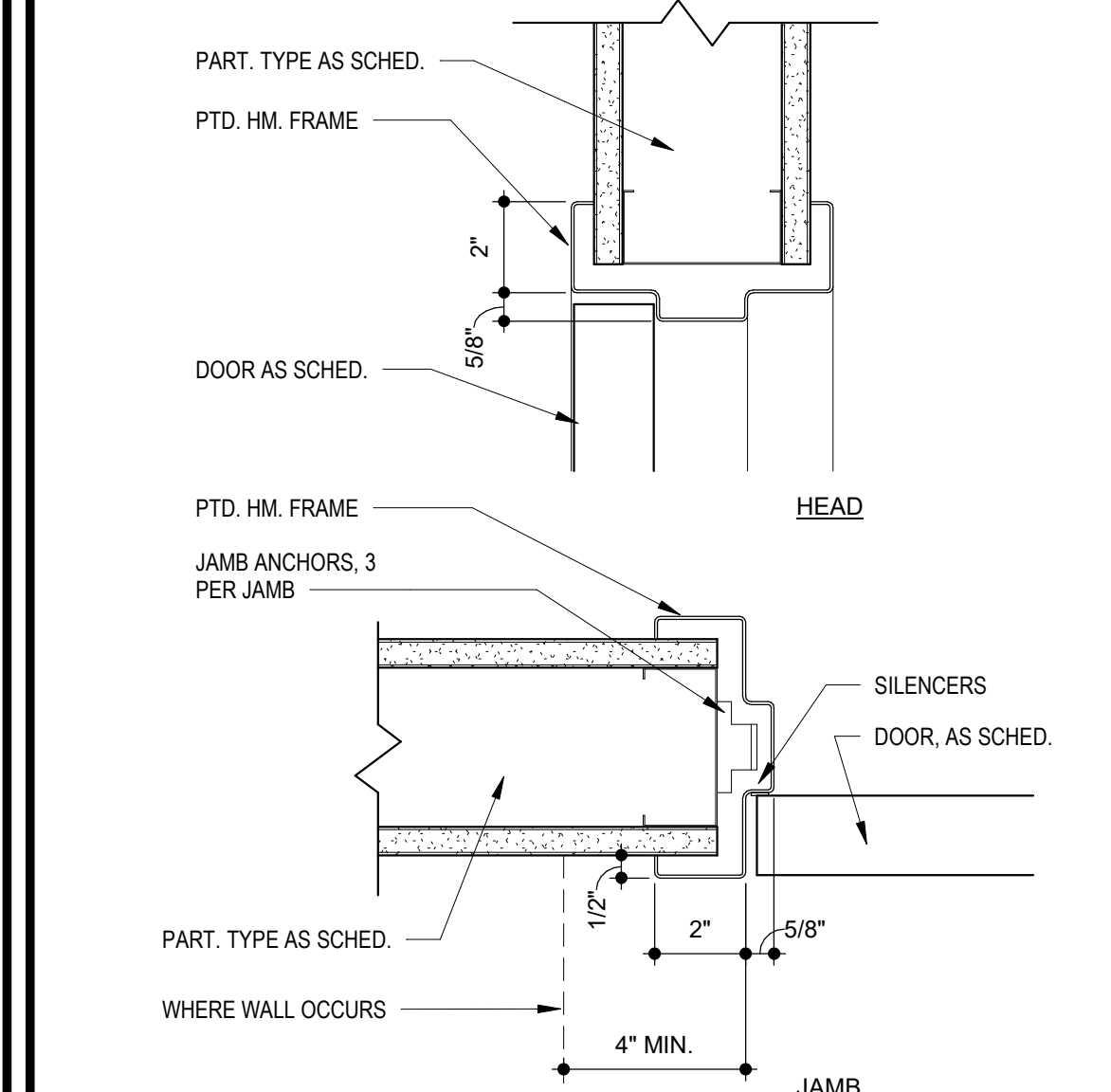
**GENERAL NOTES**

- THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
- FIRE RETARDANT TREATED WOOD PERMITTED TO BE USED IN LOCATIONS SPECIFIED IN TABLE 602, NOTE D AND SECTION 603.2 AND 2310.0. VERIFY SECTIONS IN 2009 IBC.
- FOR RETAIL SHOPS, COORDINATE WITH G.C. AND OWNER FOR FINAL TENANT DOOR QUANTITIES AND LOCATIONS.
- ALL DIMENSIONS ARE TO FINISH FACE OF WALL



**4 PARTITION TYPE**  
SCALE: 1/12" = 1'-0"

**16 DOOR HEAD / JAMB DETAIL**  
SCALE: 3" = 1'-0"



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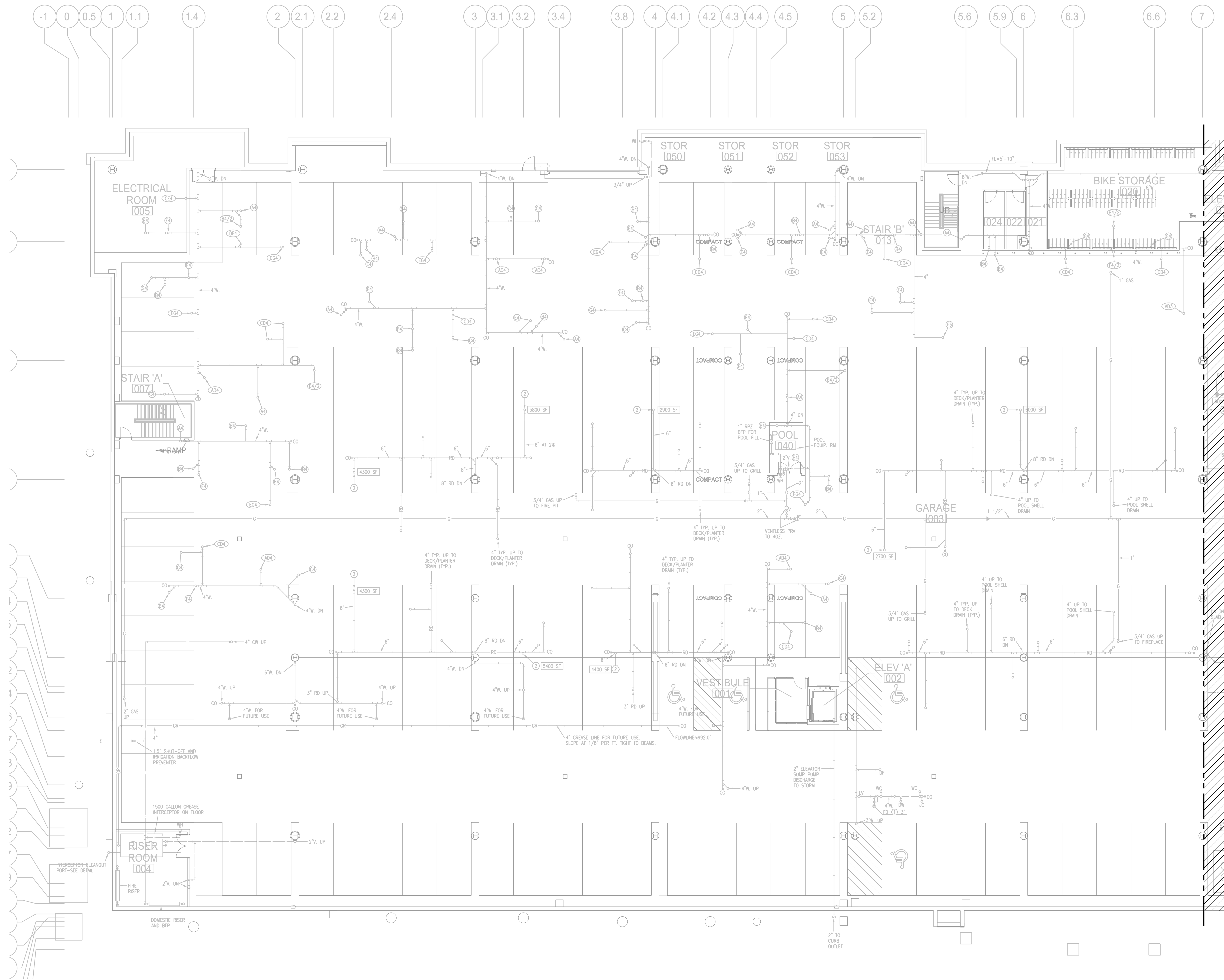
REVISIONS

NO.	DESCRIPTION

DWG BY MKSS  
TR.I PROJECT NO. 18-046  
SHEET NO.

**A500**  
RETAIL TENANT REWORK



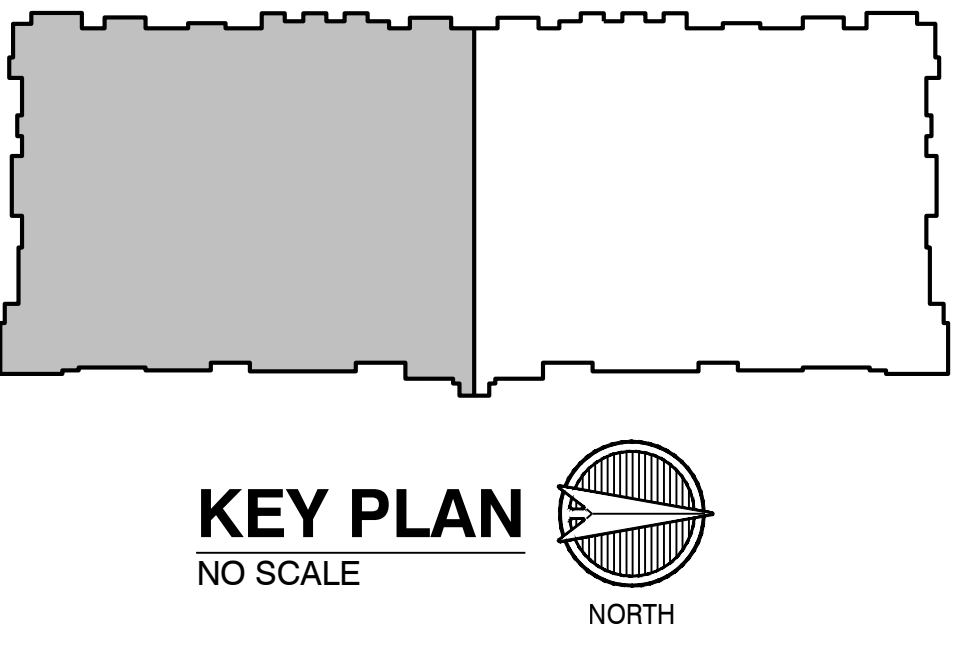


NOTES:

1. ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
3. DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM.
4. ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
5. CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
6. ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
7. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
8. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
9. SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
10. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
11. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
13. ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.

LEGEND:

- ① 3"V. UP TO RISER FOR FUTURE CONNECTION.
- ② 6" V. UP TO DOWNSPOUT CONNECTION.
- ③ DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
- ④ PENETRATE BEAM PER STRUCTURAL DETAIL.



**1 PARTIAL GARAGE PLAN**  
3/32"=1'-0"  
PLUMBING NORTH

CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LLC'S SUMMIT, MISSOURI 5-21-21

**5-21-21**

TR,I ARCHITECTS	ARCHITECT
BOB D CAMPBELL & COMPANY	STRUCTURAL ENGINEER
RENAISSANCE INFRASTRUCTURE CONSULTING	CIVIL ENGINEER
BRINKMANN CONSTRUCTORS	GENERAL CONTRACTOR
LATIMER SOMMERS & ASSOCIATES	MECHANICAL ENGINEER
LATIMER SOMMERS & ASSOCIATES	PLUMBING ENGINEER
LATIMER SOMMERS & ASSOCIATES	ELECTRICAL ENGINEER



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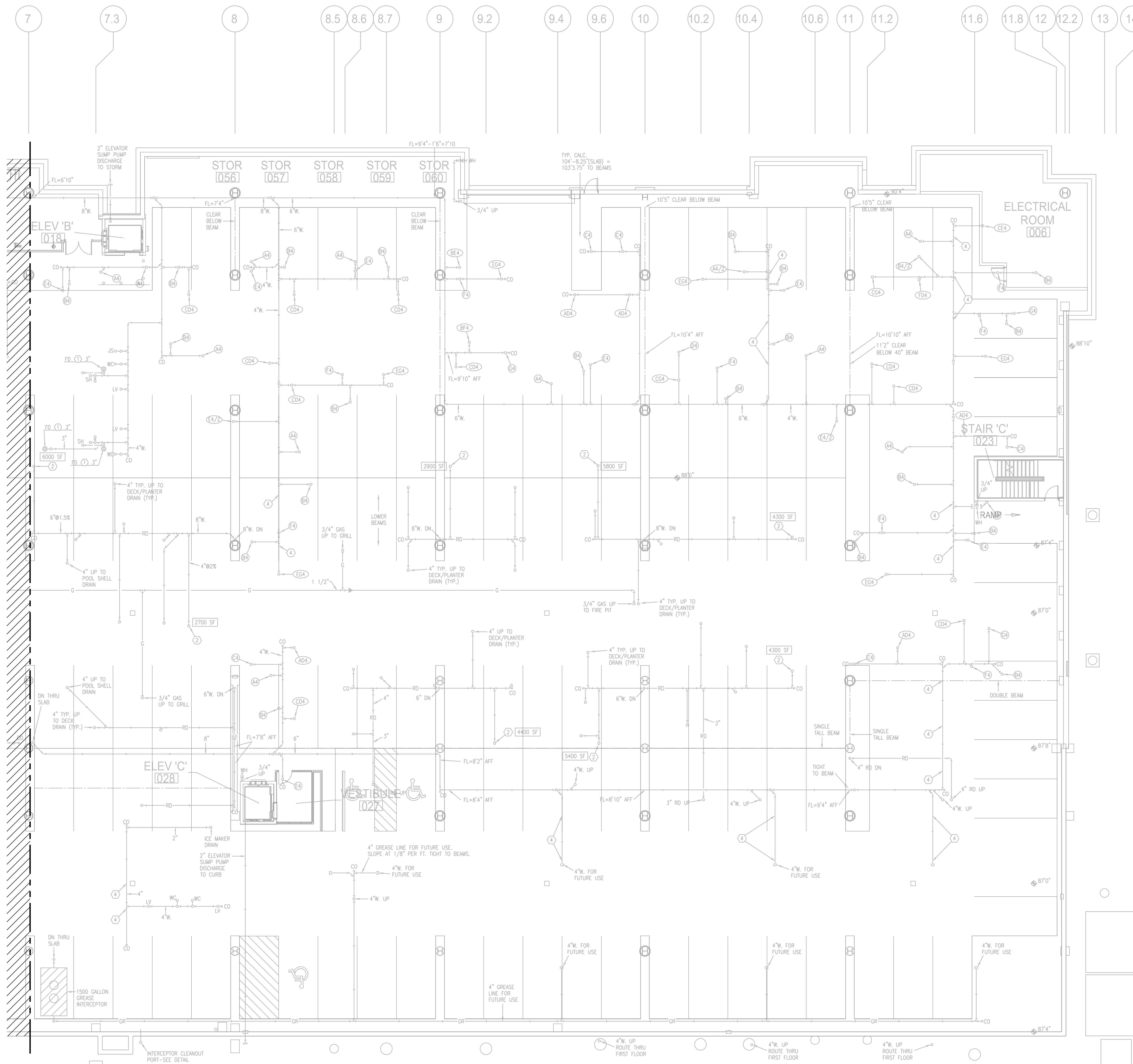
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TR,I PROJECT NO.: 18-046  
SHEET NO.:

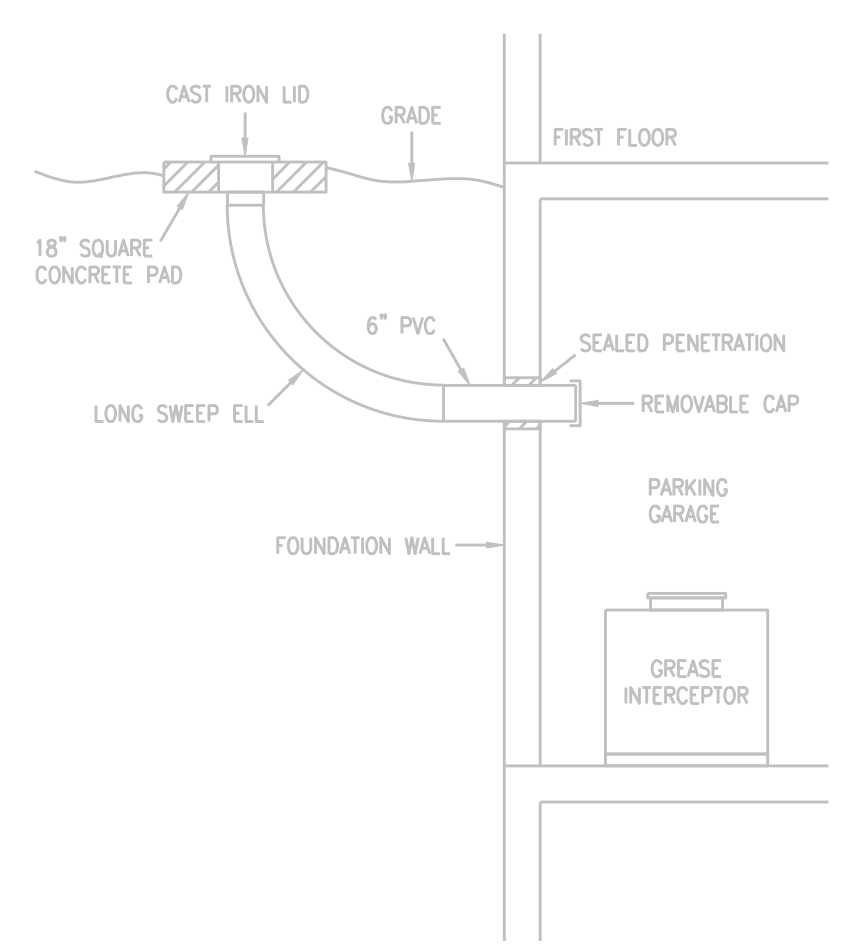
**P103**  
**PARTIAL GARAGE PLAN**  
- PLUMBING  
FOR INFORMATION ONLY

**LS&A**  
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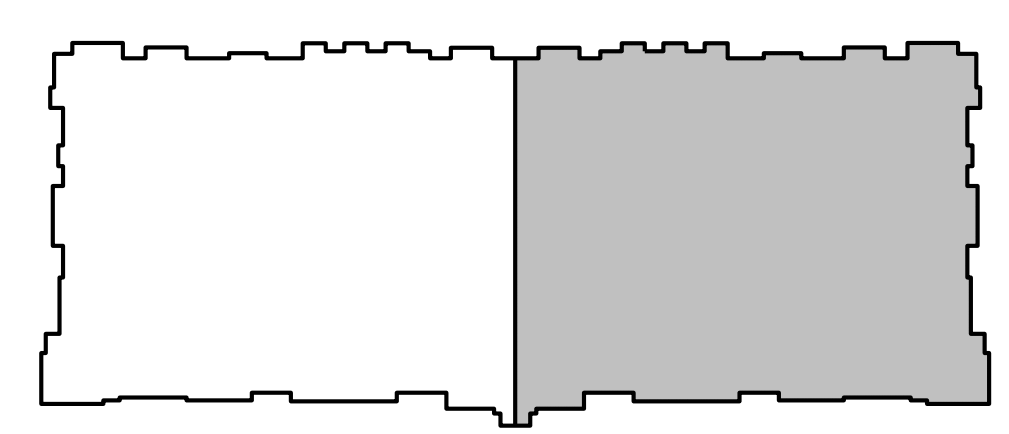




**1 PARTIAL GARAGE PLAN**  
3/32" = 1'-0"  
PLUMBING NORTH



**2 SECTION DETAIL**  
NO SCALE



**KEY PLAN**  
NO SCALE NORTH

- NOTES:
1. ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
  2. ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
  3. DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM.
  4. ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
  5. CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
  6. ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
  7. THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
  8. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
  9. SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
  10. REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
  11. ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
  12. ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
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- LEGEND:
- ① 3"V. UP TO RISER FOR FUTURE CONNECTION.
  - ② 6" UP TO DOWNSPOUT CONNECTION.
  - ③ DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
  - ④ PENETRATE BEAM PER STRUCTURAL DETAIL.

RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICE LEES SUMMIT, MISSOURI 05/25/2021

STATE OF MISSOURI PROFESSIONAL ENGINEER

5-21-21

ARCHITECT

TR,i ARCHITECTS

BOB D CAMPBELL & COMPANY

RENAISSANCE INFRASTRUCTURE CONSULTING

BRINKMANN CONSTRUCTORS

LATIMER SOMMERS & ASSOCIATES

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ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

GENERAL CONTRACTOR

MECHANICAL ENGINEER

PLUMBING ENGINEER

ELECTRICAL ENGINEER



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NO.	REVISIONS	DATE

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TR,i PROJECT NO.: 18-046

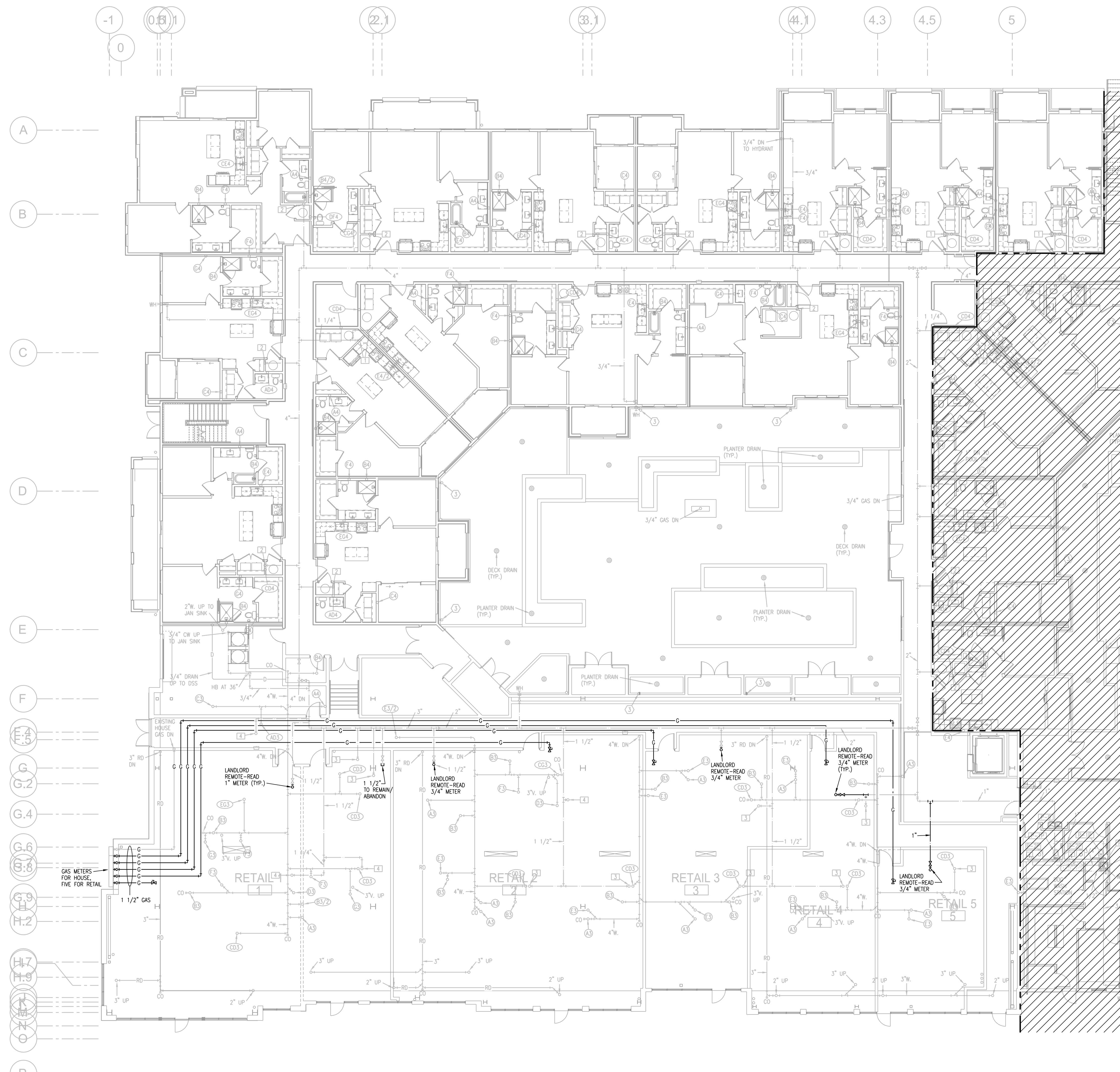
SHEET NO.:

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LEA PROJECT NO. 1804023

**P104**  
PARTIAL GARAGE PLAN  
- PLUMBING  
FOR INFORMATION ONLY





- NOTES:
- ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
  - ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
  - DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM.
  - ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
  - CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
  - ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
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  - REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
  - ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
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- LEGEND:
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  - 6" UP TO DOWNSPOUT CONNECTION.
  - DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
  - PENETRATE BEAM PER STRUCTURAL DETAIL.

**RELEASE FOR CONSTRUCTION**  
AS NOTED ON PLANS REVIEW  
DATE: 5/25/2021

5-21-21

<p>ARCHITECT TR,i ARCHITECTS BOB D CAMPBELL &amp; COMPANY</p>	<p>STRUCTURAL ENGINEER ARCHITECT CIVIL ENGINEER GENERAL CONTRACTOR MECHANICAL ENGINEER PLUMBING ENGINEER ELECTRICAL ENGINEER</p>
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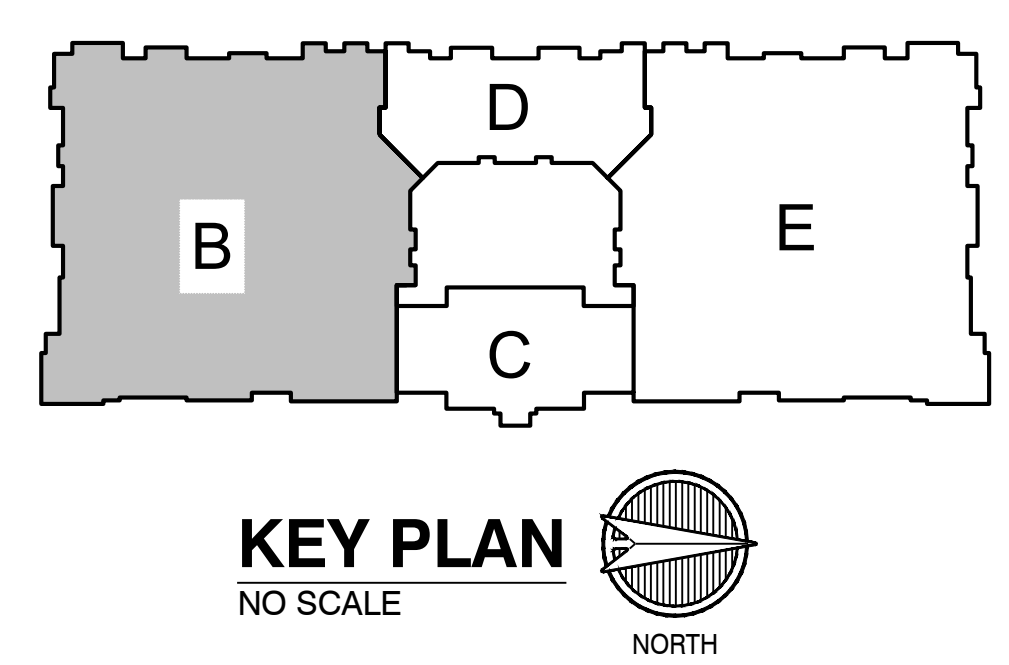
**TR,i ARCHITECTS**

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**DATE:** 5.21.21

**REVISIONS**

NO.	DATE	DESCRIPTION



**1 FIRST FLOOR PLAN - AREA B**  
3/32" = 1'-0" PLUMBING NORTH

**LS&A**  
Latter Sommers & Associates, P.A.  
CONSULTING ENGINEERS  
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FAX: (785) 233-0647  
Email: lsape@lsape.com  
LEA PROJECT NO. 1804022

DWG BY: RRB  
TR,i PROJECT NO.: 18-046  
SHEET NO.: **P105**  
FIRST FLOOR PLAN - AREA B  
- PLUMBING  
FOR INFORMATION ONLY



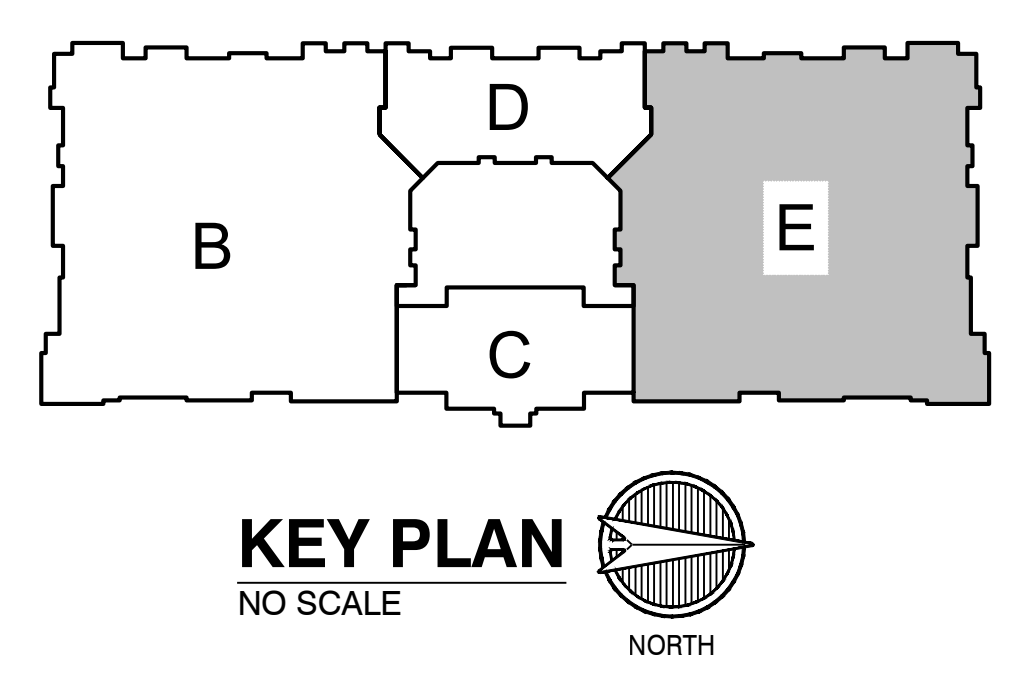
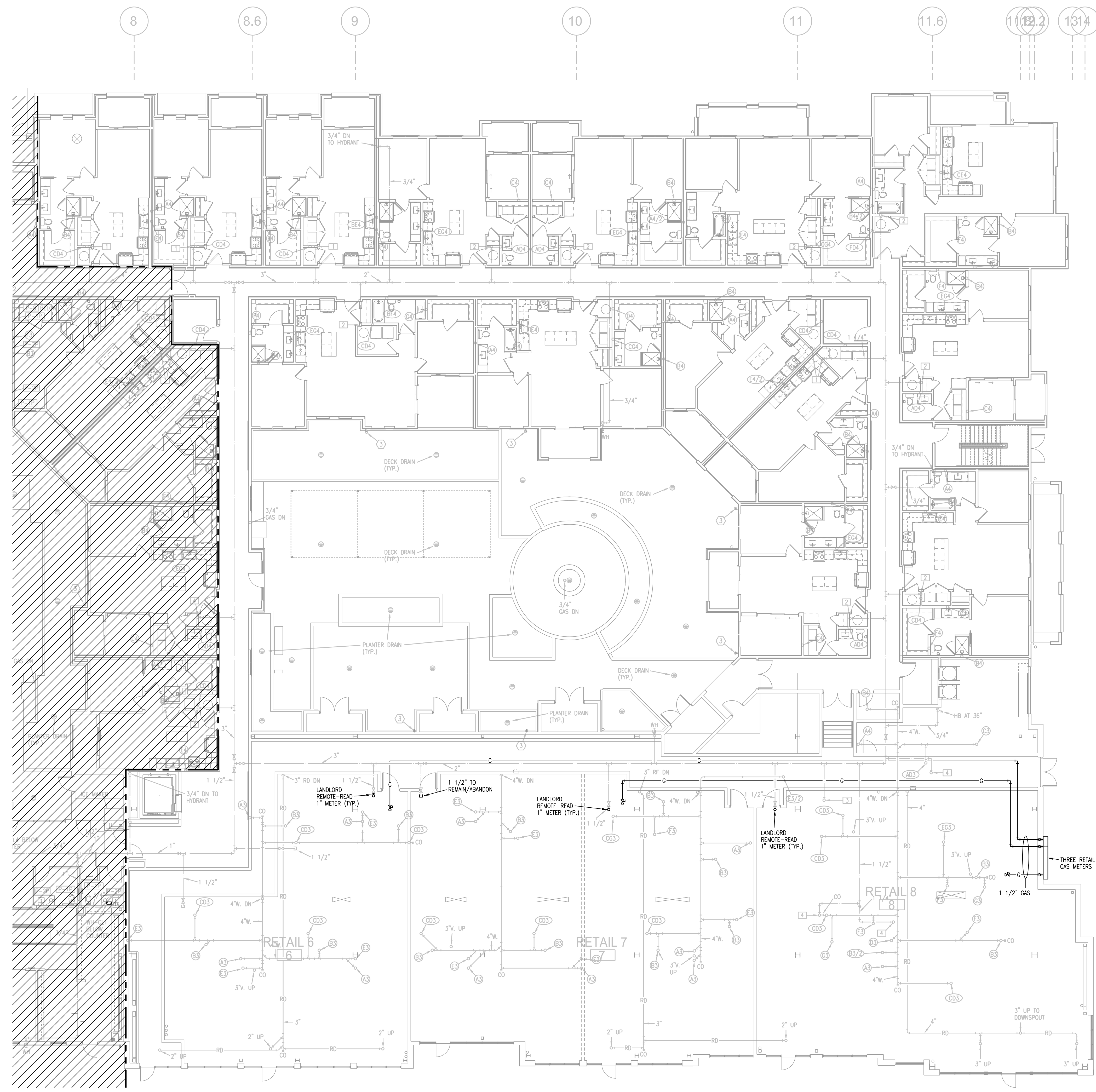


ARCHITECT: TR,i ARCHITECTS  
 STRUCTURAL ENGINEER: BOB D CAMPBELL & COMPANY  
 CIVIL ENGINEER: RENAISSANCE INFRASTRUCTURE CONSULTING  
 GENERAL CONTRACTOR: BRINKMANN CONSTRUCTORS  
 MECHANICAL ENGINEER: LATIMER SOMMERS & ASSOCIATES  
 PLUMBING ENGINEER: LATIMER SOMMERS & ASSOCIATES  
 ELECTRICAL ENGINEER: LATIMER SOMMERS & ASSOCIATES



- NOTES:
- ALL DRAIN, WASTE AND VENT PIPING IS 2" UNLESS NOTED OTHERWISE.
  - ALL BELOW SLAB SUPPLY PIPING SHALL BE PEX WITH NO JOINTS. DHW BELOW SLAB TO BE INSULATED TO R-3.
  - DHW PIPING 3/4" AND LARGER TO BE INSULATED TO R-3 MINIMUM.
  - ALL SUPPLY PIPING IS 1/2" UNLESS NOTED OTHERWISE.
  - CONNECT ALL APPLIANCES OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS.
  - ALL PLUMBING VENTS SHALL BE 10 FEET FROM OPENINGS OR INTAKE.
  - THERE SHALL BE NO PVC WITHIN RETURN AIR PLENUMS.
  - ALL FIXTURES WITH QUICK CLOSING VALVES SHALL HAVE FIXTURE OR BLADDER TYPE SHOCK SUPPRESSORS FOR EACH CHASE.
  - SEE ARCHITECTURAL DRAWINGS FOR ALL MOUNTING HEIGHTS.
  - REFER TO THE ARCHITECTURAL DRAWINGS FOR FLOOR DRAIN LOCATIONS AND FLOOR SLOPES IF PRESENT.
  - ROUTE DRAIN PIPING FROM WATER HEATERS, AIR HANDLERS OR EQUIPMENT TO FLOOR DRAINS. PROVIDE PROPER TRAPS.
  - ROUTE NO PIPING OVER ELECTRICAL EQUIPMENT.
  - ALL WASTE AND ROOF DRAIN STACKS SHALL HAVE CLEANOUTS AT THE BASE.

- LEGEND:
- ① 3"V. UP TO RISER FOR FUTURE CONNECTION.
  - ② 6" UP TO DOWNSPOUT CONNECTION.
  - ③ DOWNSPOUT CONNECTION. 6" DOWN TO GARAGE.
  - ④ PENETRATE BEAM PER STRUCTURAL DETAIL.



1 FIRST FLOOR PLAN - AREA E  
 3/32"=1'-0" PLUMBING NORTH

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 DATE: 5.21.21

REVISIONS

NO.	DESCRIPTION	DATE

DWG BY: RRB  
 TR,i PROJECT NO.: 18-046

SHEET NO.: P107  
 FIRST FLOOR PLAN - AREA E  
 PLUMBING

FOR INFORMATION ONLY

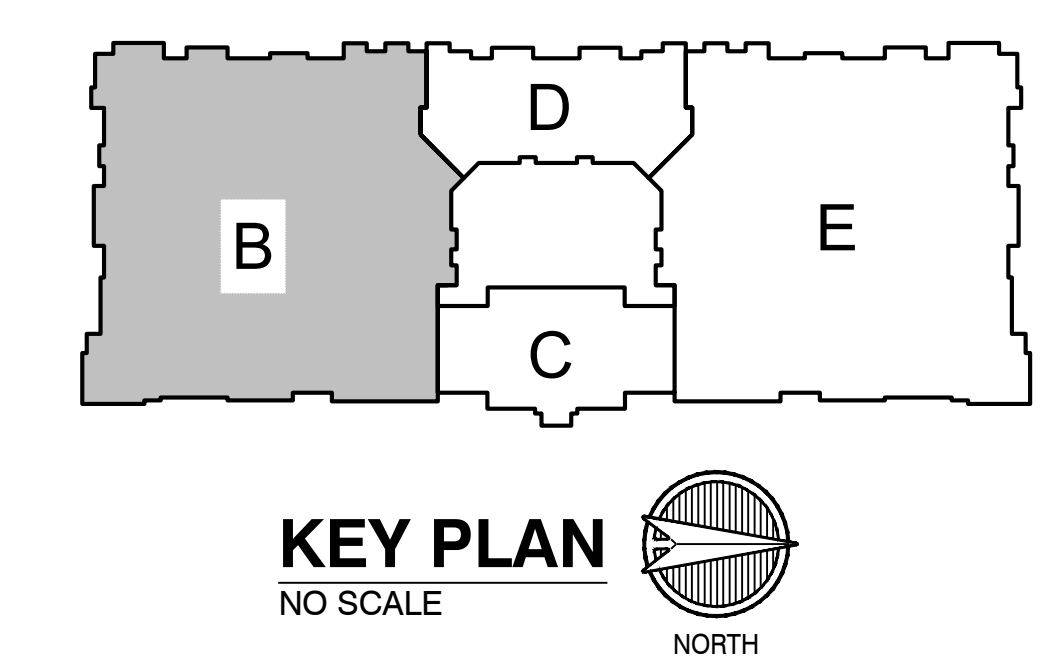
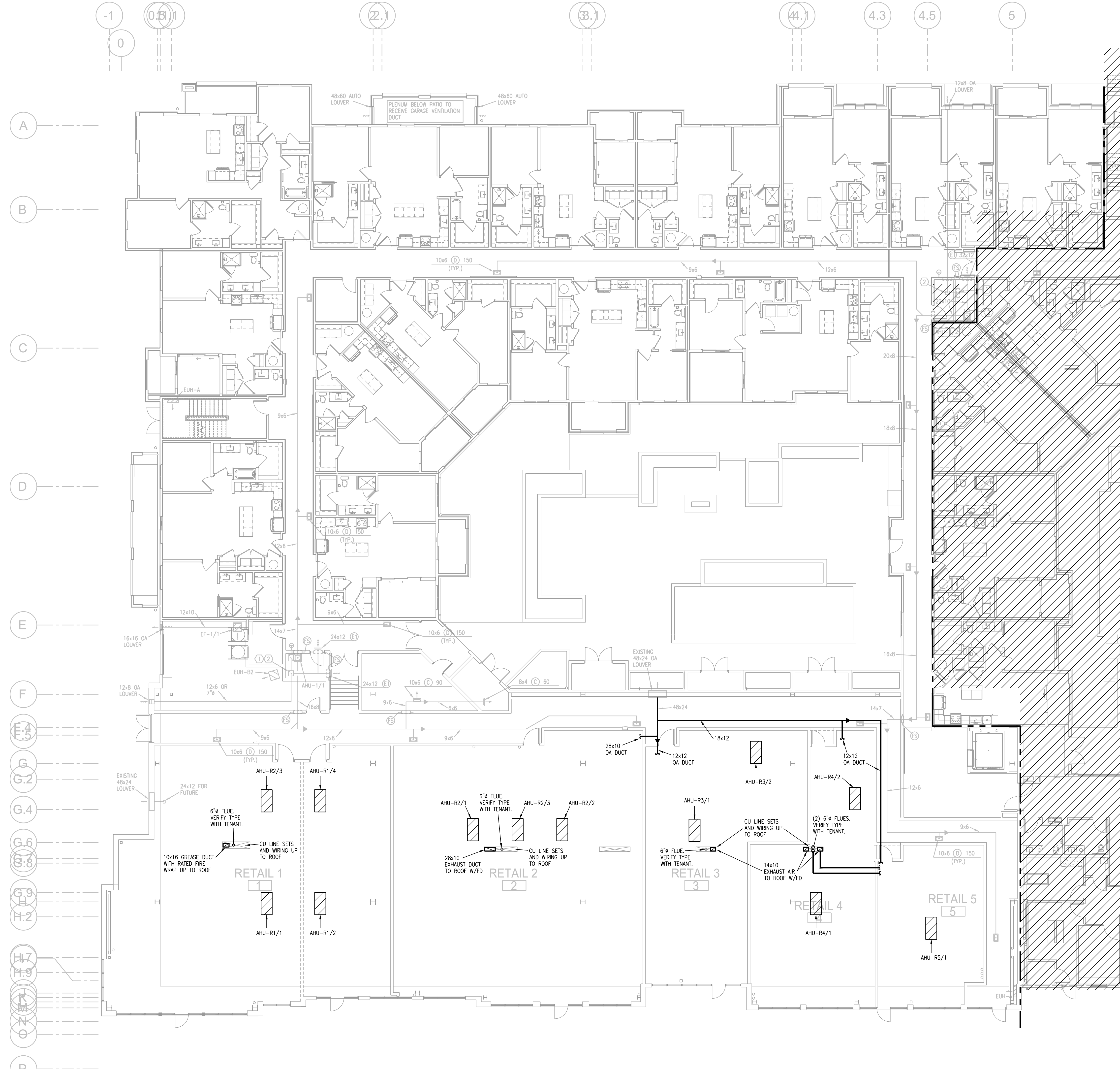
**LS&A**  
 Latimer Sommers & Associates, P.A.  
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 Telephone: (785) 253-0252  
 FAX: (785) 253-0647  
 Email: lspw@lsapa.com  
 LEA PROJECT NO. 1804022



HVAC SYSTEM SCHEDULE																				
MARK	MFR	NOM TON	MODEL	CFM	OA CFM	AHU						OUTDOOR UNIT				NOTES				
						E.S.P.	HP	SMBH	TMBH	HEAT CAP	ELEC	FLA	OCF	MFR	MODEL		ELEC	FLA	OCF	SEER
R1/2, R1/3, R1/4, R3/1, R3/2, R4/2, R8/2, R8/3, R8/4	GOODMAN	4	ARUF61D14	1600	TBD	0.5	0.75	32	48	11.4 KW	208/1	57	70	GOODMAN	GSX14-0481	208/1	21	45	14.0	2
R1/1, R5/1, R6/1, R6/2, R7/1, R7/2, R7/3, R8/1	GOODMAN	5	ARUF61D14	1850	TBD	0.5	0.75	41	57.5	11.4 KW	208/1	57	70	GOODMAN	GSX14-0601	208/1	28.3	50	14.0	
R4/1	GOODMAN	3	ARUF-37C14	1350	TBD	0.4	FR	25.8	33	7.5 KW	208/1	40	50	GOODMAN	GSX14-037	208/1	15	30	14.0	
R6/3	GOODMAN	2	ARUF25B14	800-800	100	0.5	0.33	17.0	23.2	7.5 KW	208/1	40	50	GOODMAN	GSX14-025	208/1	14	25	14.0	
R2/1	GOODMAN	4	ARUF61D14	1600	TBD	0.5	0.75	32	48		208/1	4	15	GOODMAN	GSZ14-0481	208/3	18	30	14.0	1
R2/2	GOODMAN	2	ARUF25B14	800-800	100	0.5	0.33	17.0	23.2		208/1	4	15	GOODMAN	GSZ14-025	208/1	14	20	14.0	1
R2/3	GOODMAN	4	ARUF61D14	1600	TBD	0.5	0.75	32	48	15 KW	208/3	40	50	GOODMAN	GSZ14-0481	208/3	18	30	14.0	

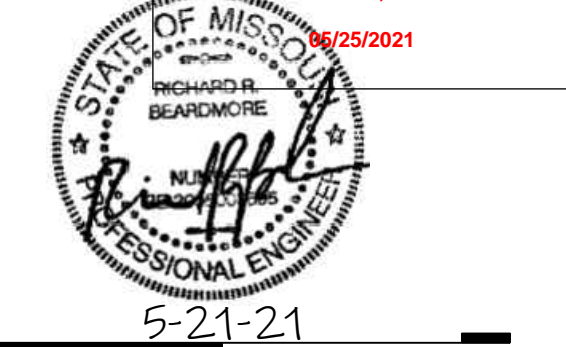
NOTE: PROVIDE LONG LINE ACCESSORY KIT ON ALL SPLIT SYSTEMS THAT EXCEED MFR'S LIMITS  
1 - PROVIDE CRANKCASE HEATERS, HARD START KIT, 4" FILTER RACK  
2 - UNITS 31, 32 TO HAVE 4" FILTER RACK AND HEPA FILTER

NOTES:  
1. AHU POSITIONS TO BE VERIFIED WITH TENANTS.



1 FIRST FLOOR PLAN - AREA B  
3/32" = 1'-0" HVAC NORTH

RELEASE FOR CONSTRUCTION AS NOTED ON PLANS REVIEW DEVELOPMENT SERVICES LEE'S SUMMIT, MISSOURI 05/25/2021



5-21-21

ARCHITECT: TR,i ARCHITECTS  
STRUCTURAL ENGINEER: BOB D CAMPBELL & COMPANY  
CIVIL ENGINEER: RENAISSANCE INFRASTRUCTURE CONSULTING  
GENERAL CONTRACTOR: BRINKMANN CONSTRUCTORS  
MECHANICAL ENGINEER: LATIMER SOMMERS & ASSOCIATES  
PLUMBING ENGINEER: LATIMER SOMMERS & ASSOCIATES  
ELECTRICAL ENGINEER: LATIMER SOMMERS & ASSOCIATES



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DATE: 5.21.21

REVISIONS

NO.	DESCRIPTION	DATE

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LEA PROJECT NO. 1804022

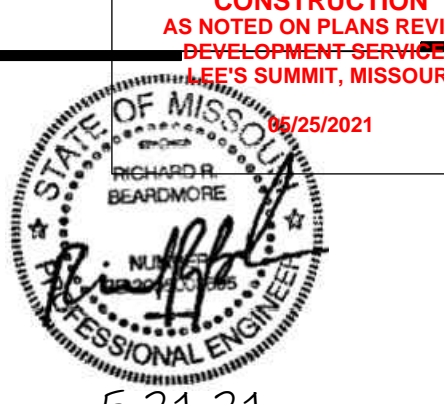
DWG BY: RRB  
TR,i PROJECT NO.: 18-046  
SHEET NO.: **M103**  
FIRST FLOOR PLAN - AREA B - HVAC







**RELEASE FOR CONSTRUCTION**  
AS NOTED ON PLANS REVIEW  
LEE'S SUMMIT, MISSOURI  
5/25/2021



5-21-21

TR,i ARCHITECTS	ARCHITECT	STRUCTURAL ENGINEER	MECHANICAL ENGINEER
BOB D CAMPBELL & COMPANY	RENAISSANCE INFRASTRUCTURE CONSULTING	CIVIL ENGINEER	PLUMBING ENGINEER
BRINKMANN CONSTRUCTORS	LATIMER SOMMERS & ASSOCIATES	GENERAL CONTRACTOR	ELECTRICAL ENGINEER
LATIMER SOMMERS & ASSOCIATES	LATIMER SOMMERS & ASSOCIATES	Mechanical Engineer	Plumbing Engineer
LATIMER SOMMERS & ASSOCIATES	LATIMER SOMMERS & ASSOCIATES	Electrical Engineer	

# Summit at West Pryor

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DATE: 5.21.21

REVISIONS

No.	Description	Date

DWG BY: RRB

TR,i PROJECT NO.: 18-046

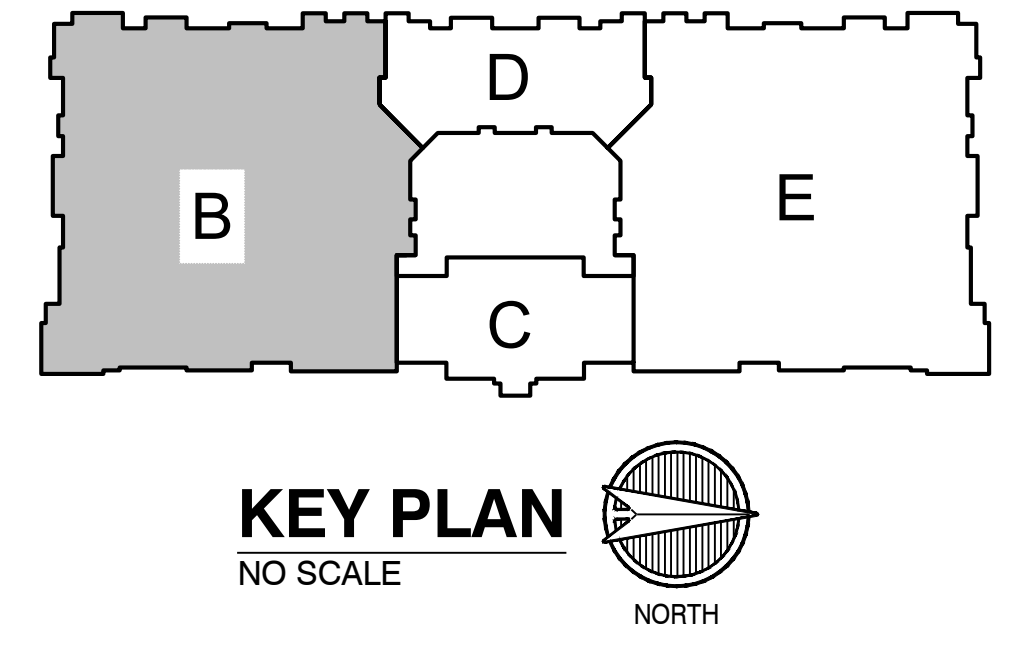
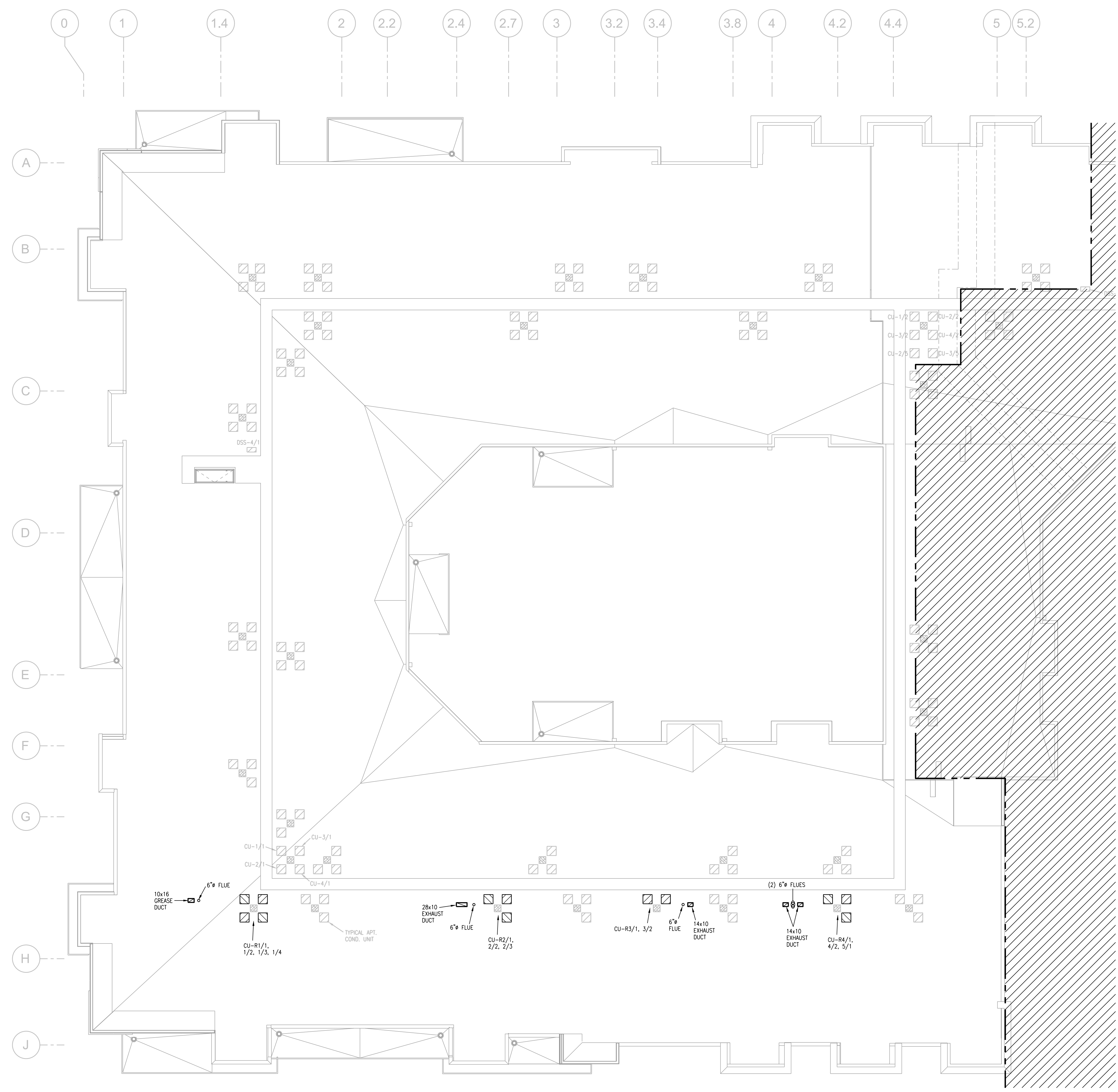
SHEET NO.: M112

ROOF PLAN - AREA B  
- HVAC



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LEA PROJECT NO. 1804023

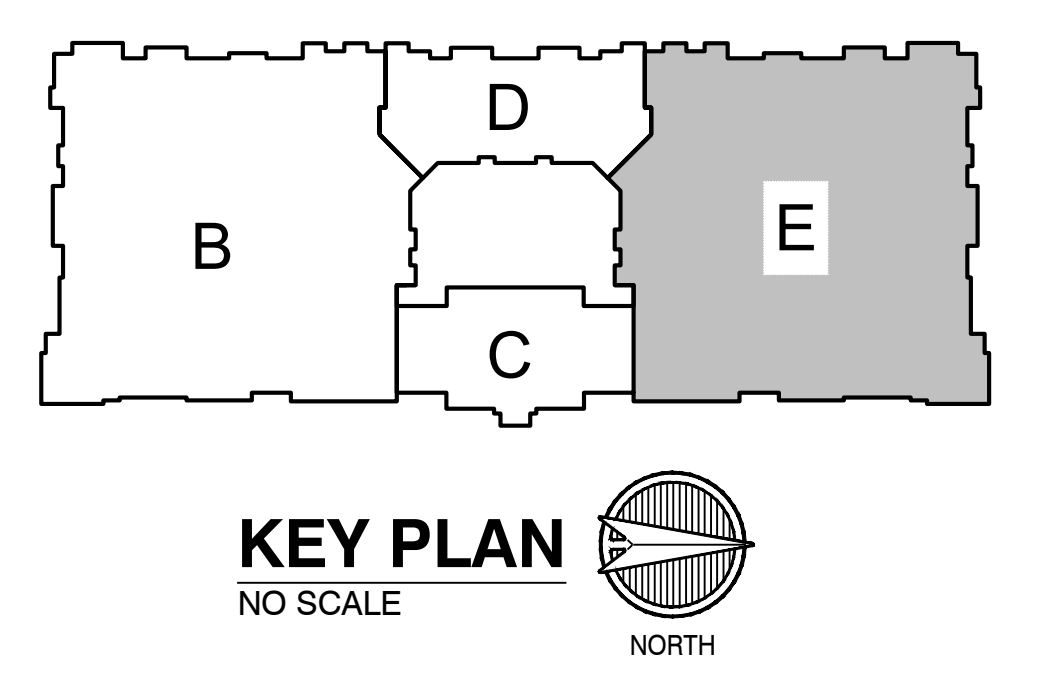
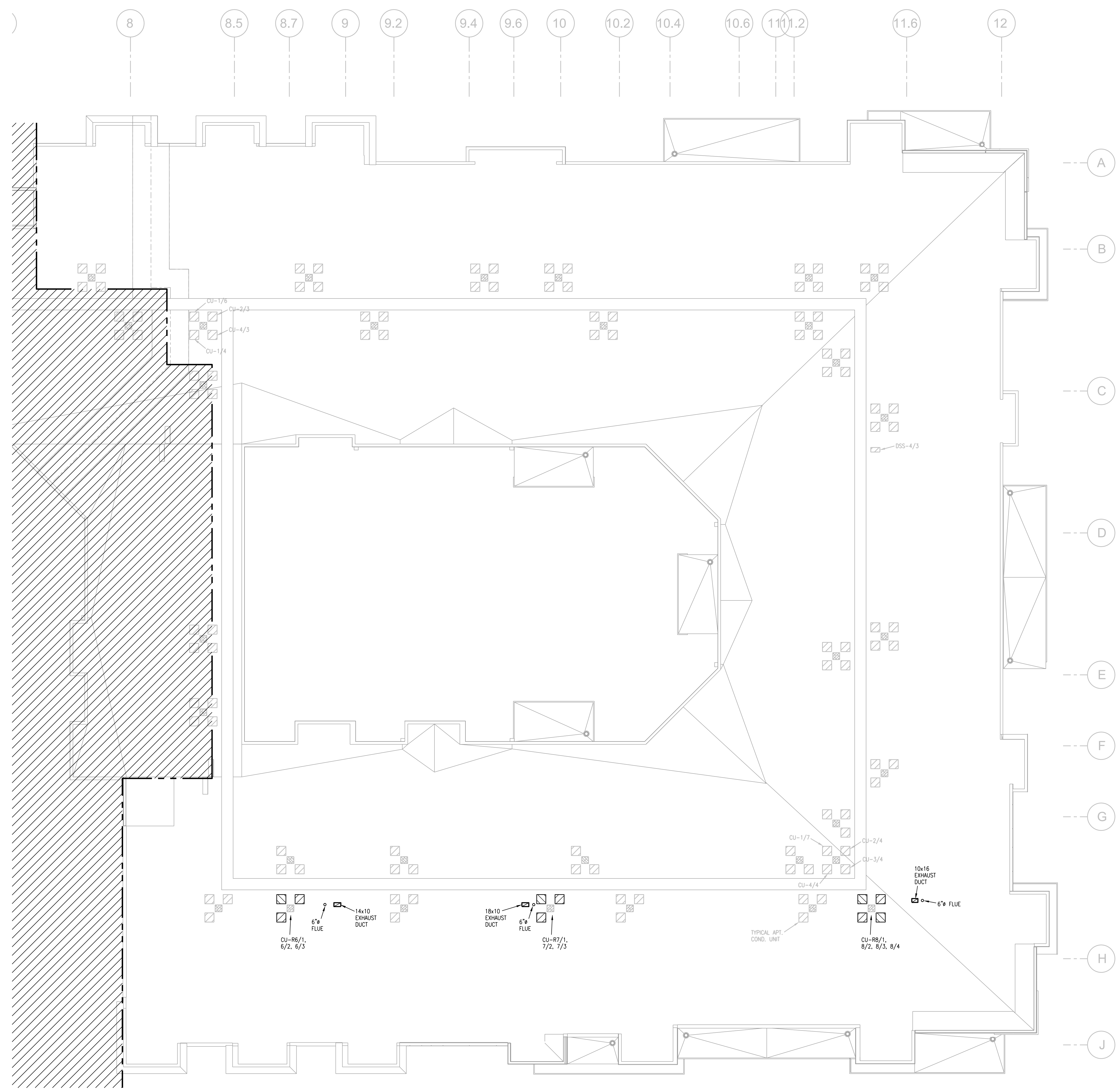
NOTES:  
1. AHU POSITIONS TO BE VERIFIED WITH TENANTS.



**1** ROOF PLAN - AREA B  
3/32" = 1'-0" HVAC



NOTES:  
 1. AHU POSITIONS TO BE VERIFIED WITH TENANTS.



**1** ROOF PLAN - AREA E  
 3/32"=1'-0"  
 HVAC NORTH

**RELEASE FOR CONSTRUCTION**  
AS NOTED ON PLANS REVIEW  
 DEVELOPMENT SERVICE  
 LEE'S SUMMIT, MISSOURI  
 5/25/2021

5-21-21

ARCHITECT BOB D CAMPBELL & COMPANY RENAISSANCE INFRASTRUCTURE CONSULTING BRINKMANN CONSTRUCTORS LATIMER SOMMERS & ASSOCIATES LATIMER SOMMERS & ASSOCIATES LATIMER SOMMERS & ASSOCIATES	ARCHITECT STRUCTURAL ENGINEER CIVIL ENGINEER GENERAL CONTRACTOR MECHANICAL ENGINEER PLUMBING ENGINEER ELECTRICAL ENGINEER
--	---



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DATE: 5.21.21

REVISIONS

NO.	DESCRIPTION

DWG BY: RRB  
 TR,i PROJECT NO.: 18-046  
 SHEET NO.: M114  
**M114**  
 ROOF PLAN - AREA E  
 -HVAC

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 LEA PROJECT NO. 1804023



ARCHITECT: TR,I ARCHITECTS  
 STRUCTURAL ENGINEER: BOB D CAMPBELL & COMPANY  
 CIVIL ENGINEER: RENAISSANCE INFRASTRUCTURE CONSULTING  
 GENERAL CONTRACTOR: BRINKMANN CONSTRUCTORS  
 MECHANICAL ENGINEER: LATIMER SOMMERS & ASSOCIATES  
 PLUMBING ENGINEER: LATIMER SOMMERS & ASSOCIATES  
 ELECTRICAL ENGINEER: LATIMER SOMMERS & ASSOCIATES



# Summit at West Pryor

940 NW Pryor Road  
 Lee's Summit, Missouri 64081

- NOTES:
1. ALL  $\odot$  ARE TYPE "A" UNLESS NOTED OTHERWISE.
  2. ALL STAR LIGHTS ARE TYPE "11" UNLESS NOTED OTHERWISE.
  3. ALL  $\odot$  ARE TYPE "11" UNLESS NOTED OTHERWISE.
  4. ALL  $\odot$  ARE TYPE "12" UNLESS NOTED OTHERWISE.
  5. ALL  $\odot$  ARE TYPE "15" UNLESS NOTED OTHERWISE.
  6. CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS.
  7. SEE UNIT PLANS FOR FURTHER WORK.
  8. LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
  9. ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
  10. EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
  11. EXTERIOR LIGHTING TO BE ROUTED THRU PHOTOCELL.
  12.  $\text{TOP}-1$  DENOTES DISTRIBUTION PANEL.

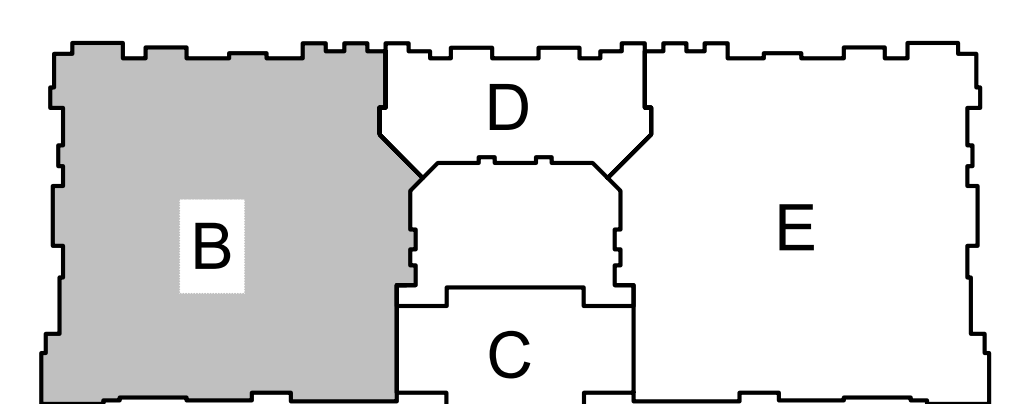
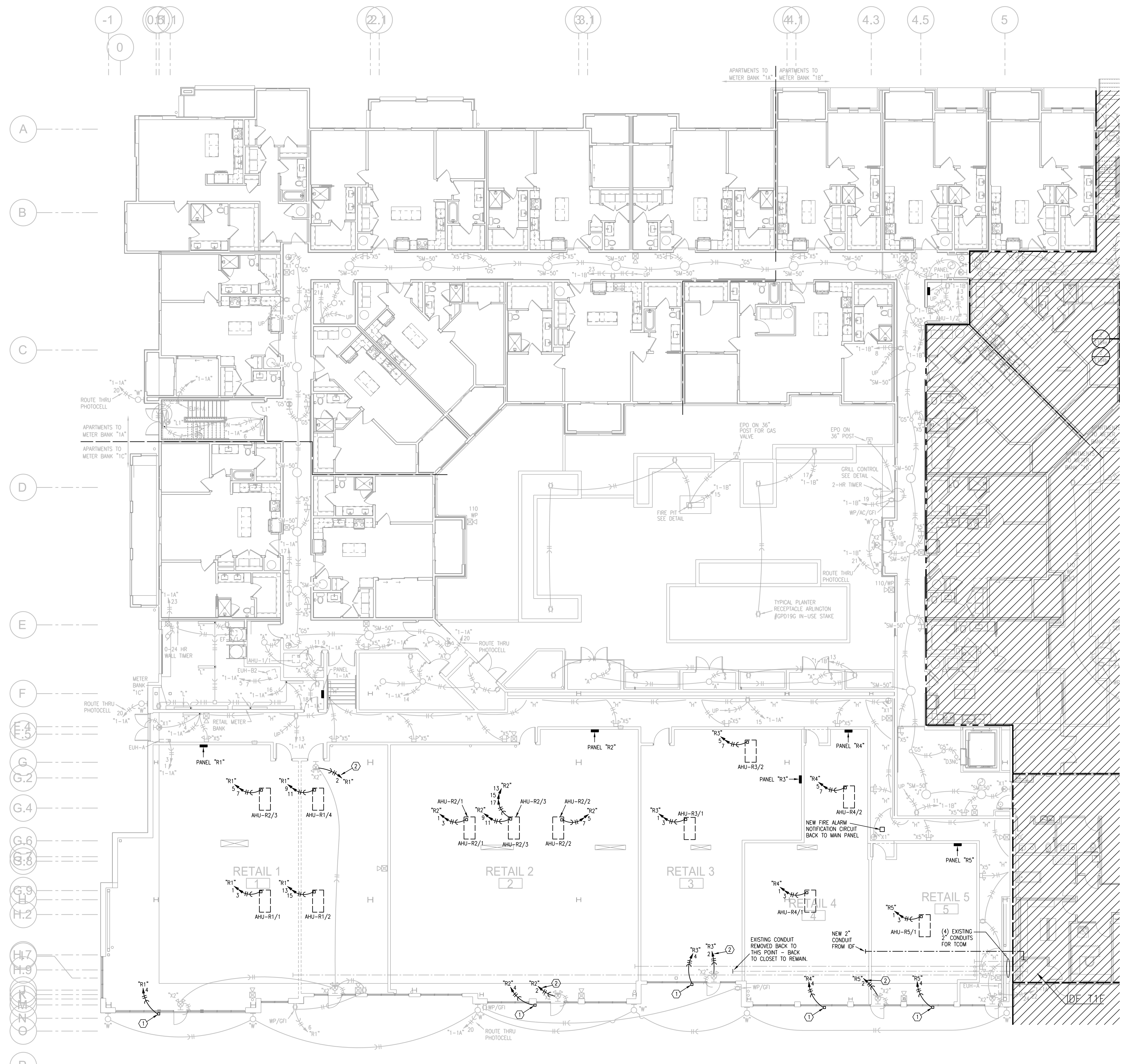
LEGEND:  
 ① TO LIGHTING CONTROL PANEL.

- NOTES:
1. VERIFY PANEL LOCATIONS WITH TENANT PLANS.
  2. PROVIDE (1) 2" CONDUIT FROM TENANT SPACE IN CHASE UP TO ROOF FOR FUTURE USE.
  3. EXTERIOR DOOR/EXIT SIGN LOCATIONS MAY CHANGE.
  4. CONNECT NEW FIRE ALARM DEVICES TO EXISTING HORN/STROBES UP TO 10 ADDITIONAL DEVICES.

LEGEND:  
 ① JUNCTION BOX (JB) FOR SIGN WITH CIRCUIT TO TENANT PANEL.  
 ② NEW HOME RUN.

PANELBOARD SUMMARY		BRANCH BREAKERS	
MARK	QUANT	BUS AMPS	
R1	1	400	(4) 70/2, (1) 50/2, (2) 45/2, (1) 25/2, 20/1
R2	2	400	(2) 45/2, (1) 40/3, (1) 25/2, (3) 15/2, (20) 20/1
R3	1	200	(2) 50/2, (2) 30/2, (20) 20/1
R4	1	200	(1) 70/2, (1) 50/2, (1) 30/2, (1) 45/2, (20) 20/1
R5	1	200	(1) 70/2, (1) 50/2, (20) 20/1
R6	2	400	(2) 70/2, (3) 50/2, (1) 25/2, (20) 20/1
R7	1	400	(3) 70/2, (3) 50/2, (20) 20/1
R8	1	400	(4) 70/2, (1) 50/2, (3) 45/2, (20) 20/1

NOTES: ALL PANELS ARE 120/208V 3PH 4W, MLO, 42 SPACE



KEY PLAN  
 NO SCALE  
 NORTH

1 FIRST FLOOR PLAN - AREA B  
 3/32"=1'-0"  
 ELECTRICAL  
 NORTH

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 LDA PROJECT NO. 1804022

DWG BY: RRB  
 TR,I PROJECT NO.: 18-046  
 SHEET NO.: E103  
 FIRST FLOOR PLAN - AREA B - ELECTRICAL

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 REVISIONS








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 BOB D. CAMPBELL  
 ARCHITECT

ARCHITECT  
 STRUCTURAL ENGINEER  
 CIVIL ENGINEER  
 GENERAL CONTRACTOR  
 MECHANICAL ENGINEER  
 PLUMBING ENGINEER  
 ELECTRICAL ENGINEER

TR,i ARCHITECTS  
 BOB D. CAMPBELL & COMPANY  
 RENAISSANCE INFRASTRUCTURE  
 CONSULTING  
 BRINKMANN CONSTRUCTORS  
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NO.	DESCRIPTION	DATE

DWG BY: RRB  
 TR,i PROJECT NO.: 18-046  
 SHEET NO.:

# E112

ROOF PLAN - AREA B  
 - ELECTRICAL

- NOTES:**
1. ALL Ⓧ ARE TYPE "A" UNLESS NOTED OTHERWISE.
  2. ALL STAIR LIGHTS ARE TYPE "L1" UNLESS NOTED OTHERWISE.
  3. ALL Ⓧ ARE TYPE "X1" UNLESS NOTED OTHERWISE.
  4. ALL Ⓧ ARE TYPE "X2" UNLESS NOTED OTHERWISE.
  5. ALL Ⓧ ARE TYPE "X5" UNLESS NOTED OTHERWISE.
  6. CONNECT FIRE/SMOKE DAMPERS SHOWN ON MECHANICAL PLANS TO 120V. AND FIRE ALARM RELAY TO SHUT UPON SMOKE DETECTION IN CORRIDORS.
  7. SEE UNIT PLANS FOR FURTHER WORK.
  8. LIGHTS AT APT. ENTRY DOORS CONNECT TO APT. HOT CIRCUIT.
  9. ALL AHU'S HAVE AUTO DAMPER/THERMOSTAT SYSTEM TO WIRE. SEE HVAC PLANS.
  10. EXIT SIGNS SHALL BE READILY VISIBLE TO OCCUPANTS.
  11. EXTERIOR LIGHTING TO BE ROUTED THRU PHOTOCELL.
  12. [Symbol] DENOTES DISTRIBUTION PANEL.

**LEGEND:**

① TO LIGHTING CONTROL PANEL.

- NOTES:**
1. VERIFY PANEL LOCATIONS WITH TENANT PLANS.
  2. PROVIDE (1) 2" CONDUIT FROM TENANT SPACE IN CHASE UP TO ROOF FOR FUTURE USE.
  3. EXTERIOR DOOR/EXIT SIGN LOCATIONS MAY CHANGE.
  4. CONNECT NEW FIRE ALARM DEVICES TO EXISTING HORN/STROBES UP TO 10 ADDITIONAL DEVICES.

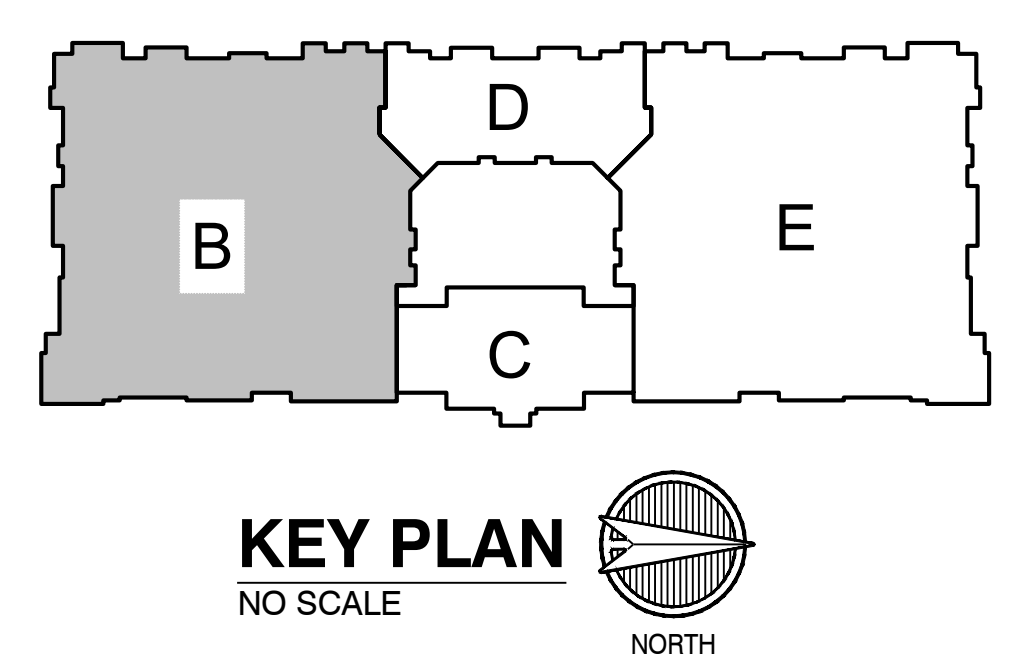
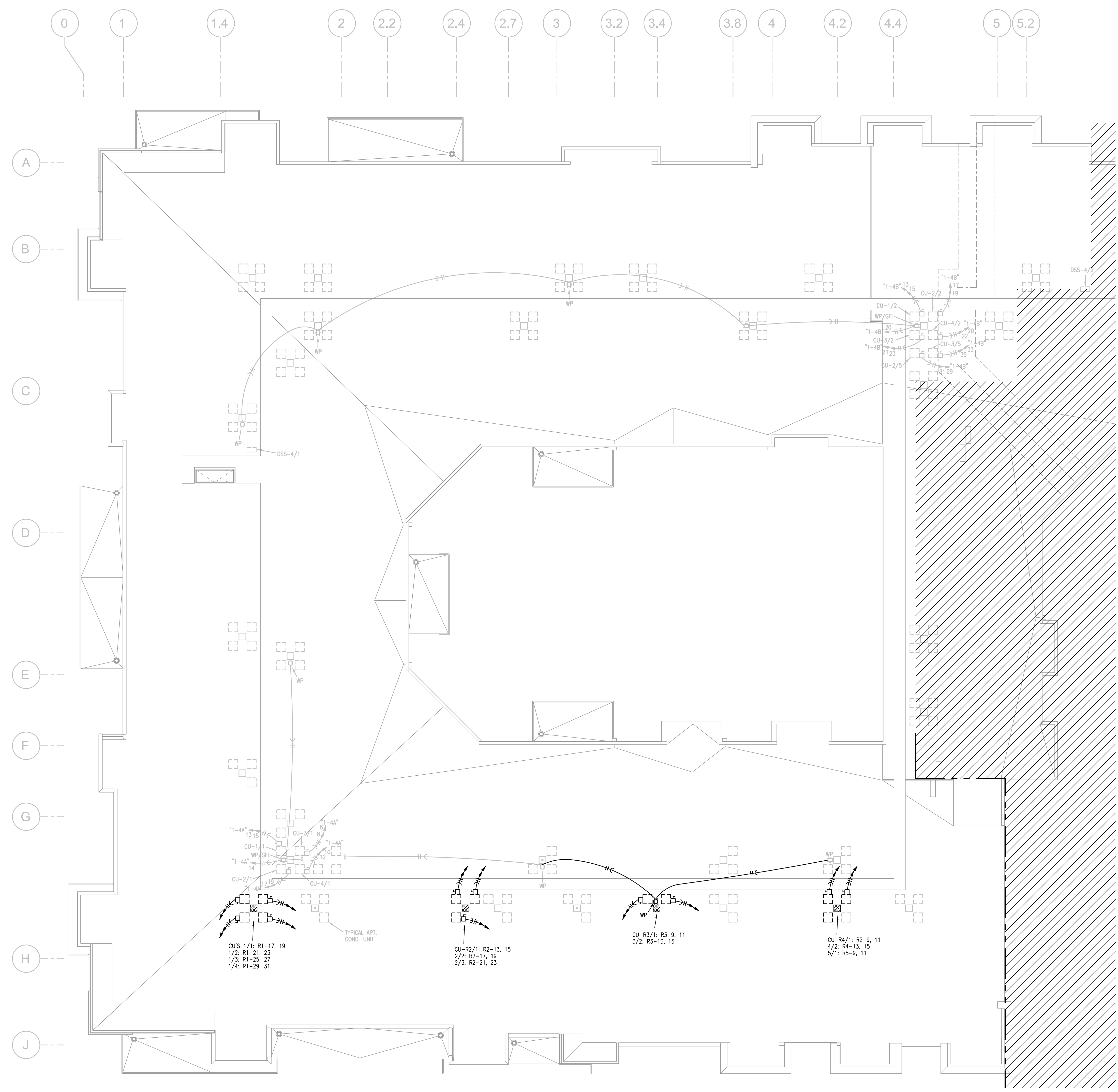
**LEGEND:**

① JUNCTION BOX (JB) FOR SIGN WITH CIRCUIT TO TENANT PANEL.  
 ② NEW HOME RUN.

**PANELBOARD SUMMARY**

MARK	QUANT	BUS AMPS	BRANCH BREAKERS
R1	1	400	(4) 70/2, (1) 50/2, (2) 45/2, (1) 25/2, 20/1
R2	2	400	(2) 45/2, (1) 40/3, (1) 25/2, (3) 15/2, (20) 20/1
R3	1	200	(2) 50/2, (2) 30/2, (20) 20/1
R4	1	200	(1) 70/2, (1) 50/2, (3) 30/2, (1) 45/2, (20) 20/1
R5	1	200	(1) 70/2, (1) 50/2, (20) 20/1
R6	2	400	(2) 70/2, (3) 50/2, (1) 25/2, (20) 20/1
R7	1	400	(3) 70/2, (3) 50/2, (20) 20/1
R8	1	400	(4) 70/2, (1) 50/2, (3) 45/2, (20) 20/1

NOTES: ALL PANELS ARE 120/208V 3PH 4W, MLO, 42 SPACE



**1** ROOF PLAN - AREA B  
 3/32"=1'-0"  
 ELECTRICAL  
 NORTH

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