

SCALE: $1/4'' = 1'-0''$



ELEVATIONS:
SMART PANEL WOOD GRAIN SIDING ON SIDE AND REAR ELEVATIONS
COMPOSITION ROOF SHINGLES
LOCATE ROOF AND SOFFIT VENTS PER CODE
ADJUST FOUNDATION TO GRADE

DECK:
DECK CONSTRUCTION TO COMPLY WITH MUNICIPALITY'S
RESIDENTIAL DECK STANDARDS
2" X 10" @2 TTD. @ 16" O.C. FLOOR JOISTS (MAX. SPAN 14'-0")
2" X 6" CEDAR BECKING
2" X 6" CEDAR/TTD. POSTS
2" X 2" CEDAR SPINDLES
2" X 6" CEDAR TOP RAIL
DETERMINE OPTIONAL STAIRS ON SITE

ONE-TIME-BUILD LICENSE AGREEMENT

NOTE: GOVERNING CODES &
GENERAL CONTRACTOR'S WRITTEN SPECIFICATIONS
TAKE PRECEDENCE OVER THESE PLANS.

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"For God so loved the world, that he gave his only begotten Son, that whosoever believeth in him should not perish, but have everlasting life" (John 3:16)



VIEWPOINT
RESIDENTIAL DESIGN LLC

MT: (816) 547-4437 E: Plans@ViewpointDesign.net

Site Description:
Lot 132, Reserve at Woodside Ridge

Street Address:
**2143 NW Killarney Ln.,
Lee's Summit, Missouri**

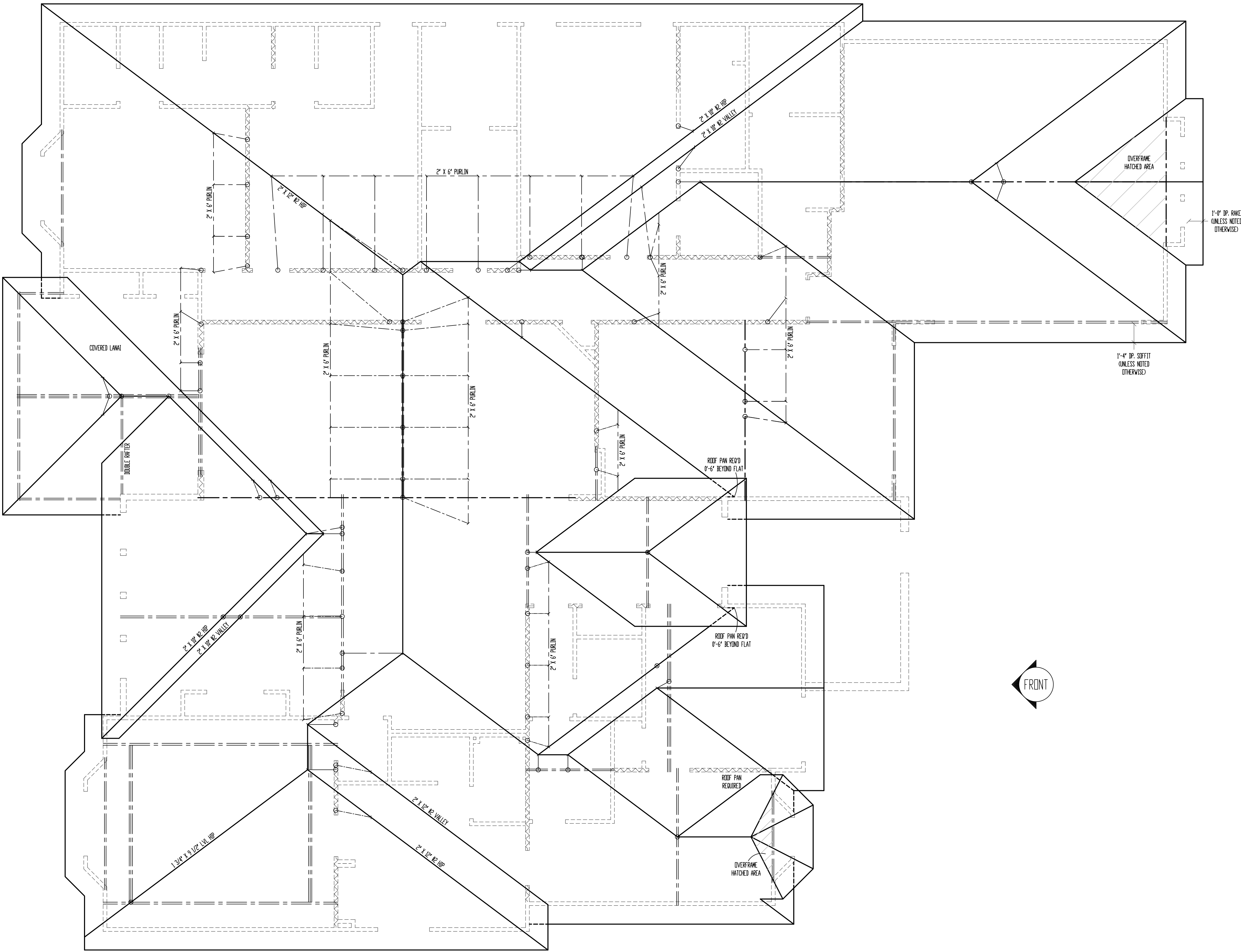
Designed for:
Anthony & Brandi
TOTTA

General Contractor:
Pfeifer Homes, Inc.

Date: 5 - 18 - AD 2021
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ELEVATIONS

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ROOF

SCALE: 1/4" = 1'-0"

ROOF AREA	
PITCH	SL
8/12	30.29
6/12	23.88

ALL RAFTERS SHALL BE 2" X 6" R/ 16' D.C., UNLESS NOTED OTHERWISE.

FLASHING NOTE:
DRIP EDGE, VALLEYS AND FLASHINGS TO BE METAL CLAD.

ROOF NOTES:
ROOF DESIGNED FOR LIGHT ROOF COVERING
30psf TOTAL LOAD (10psf DL, 20psf LL (SL))

* RAFTERS (HEM-FIR, DOUG-FIR, OR EQUIV.)
SEE SPAN CHARTS BELOW

CODE	MINIMUM		
RAFTERS	SPACING	MAX. HORIZONTAL CLEARSPAN	
R2-2x6	R24" D.C.	11'-7"	
R2-2x6	R16" D.C.	14'-2"	
R2-2x6	R24" D.C.	14'-0"	
R2-2x8	R16" D.C.	17'-11"	
R2-2x10	R24" D.C.	17'-10"	
R2-2x10	R16" D.C.	21'-11"	

NOTE: CODE MINIMUM ALLOWS FOR A RAFTER DEFLECTION OF L/180 TOTAL LOAD

RAFTERS	SPACING	MAX. HORIZONTAL CLEARSPAN
R2-2x6	R24" D.C.	8'-6"
R2-2x6	R16" D.C.	9'-9"
R2-2x8	R24" D.C.	11'-2"
R2-2x8	R16" D.C.	12'-2"
R2-2x10	R24" D.C.	14'-2"
R2-2x10	R16" D.C.	16'-2"

DEFLECTION = L/360 LIVE LOAD, L/240 TOTAL LOAD

- * VAULTS TO BE 2x10 DEPTH
- * RIDGE BRACES ARE (UNLESS OTHERWISE NOTED)
 - R2- 2x8 UP TO 10/12 PITCH
 - R2- 2x10 OVER 10/12 PITCH
- * ALL HIP & VALLEYS ARE (UNLESS OTHERWISE NOTED)
 - R2- 2x8 UP TO 10/12 PITCH
 - R2- 2x10 OVER 10/12 PITCH
- * PURLINS ARE 2x6 MIN.
 - PURLIN STRUTS ARE AT 4'-0" D.C.
 - PURLIN STRUTS SHALL BE INSTALLED AT NOT LESS THAN A 45 DEGREE ANGLE WITH THE HORIZONTAL
 - ALL PURLIN STRUTS SHALL HAVE A MAXIMUM UNBRACED LENGTH OF 8'-0"
 - PURLIN STRUTS SHALL BE CONSTRUCTED IN A "Y" CONFIGURATION AND PER THE FOLLOWING CHART:

PURLIN STRUT	MAX PURLIN STRUT LENGTH
(1) 2x4	8'-0"
(1) 2x4 & (1) 2x6	12'-0"
(1) 2x6 & (1) 2x8	20'-0"
(1) 2x6 & (1) 2x8	30'-0"
(CONSULT ARCHIT/ENGR.)	30'-0"

- * RIDGE BRACES ARE SAME AS PURLIN BRACES- SPACING, SIZE, CONFIGURATION, & INSTALLATION (SEE PURLIN BRACE NOTES ABOVE)
- * HIP & VALLEY BRACES ARE SAME AS PURLIN SIZE, CONFIGURATION, & INSTALLATION (SEE PURLIN BRACE NOTES ABOVE)

- * VERTICAL BRACE IF DOT IS UNDER HIP OR VALLEY
- * SLASH IS TOP END OF BRACE (/), DOT IS BOTTOM OF BRACE (.)
- * ^-^-^-^-^-^-- DENOTES BEARING WALL
- * - - - - - DENOTES ROOF BRACE
- * - - - - - DENOTES PURLIN
- * - - - - - DENOTES BEARING STRUCTURE

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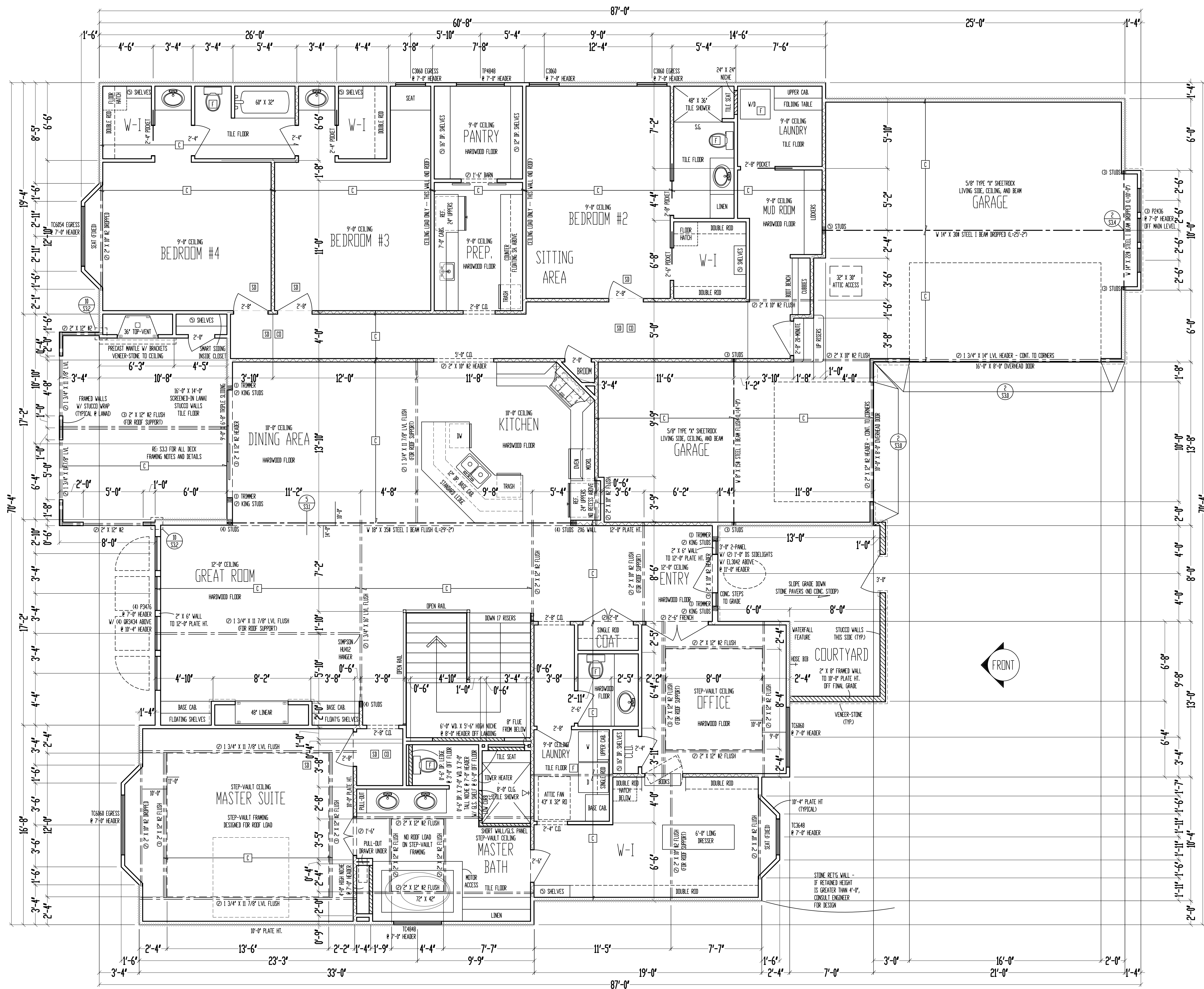
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ROOF PLAN

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9'-0" CEILING
MAIN LEVEL
SCALE: 1/4" = 1'-0"

MAIN LEVEL: 3498 SQ. FT.
 LOWER LEVEL: 2027 SQ. FT.
 TOTAL: 5525 SQ. FT.

JOIST SCHEDULE	
E	2' X 6' #2 CEILING JOIST @ 16' O.C.

***** = WALL BRACING PER FRAMING NOTE #1 AND PER CALCULATIONS
ON SHEET SLL

TILE FLOOR AREA	
LOCATION	SQ. FT.
MASTER BATH	100
LAUNDRY	46
GAR. LAUNDRY	48
BEDROOM #2 BATH	33
JACK & JILL BATH	67
LL POWDER ROOM	19
LL WALKOUT	39
LL WET BAR	39
LL 3/4 BATH	28

WOOD FLOOR AREA	
LOCATION	SQ. FT.
HARDWOOD	1437
DECK	240

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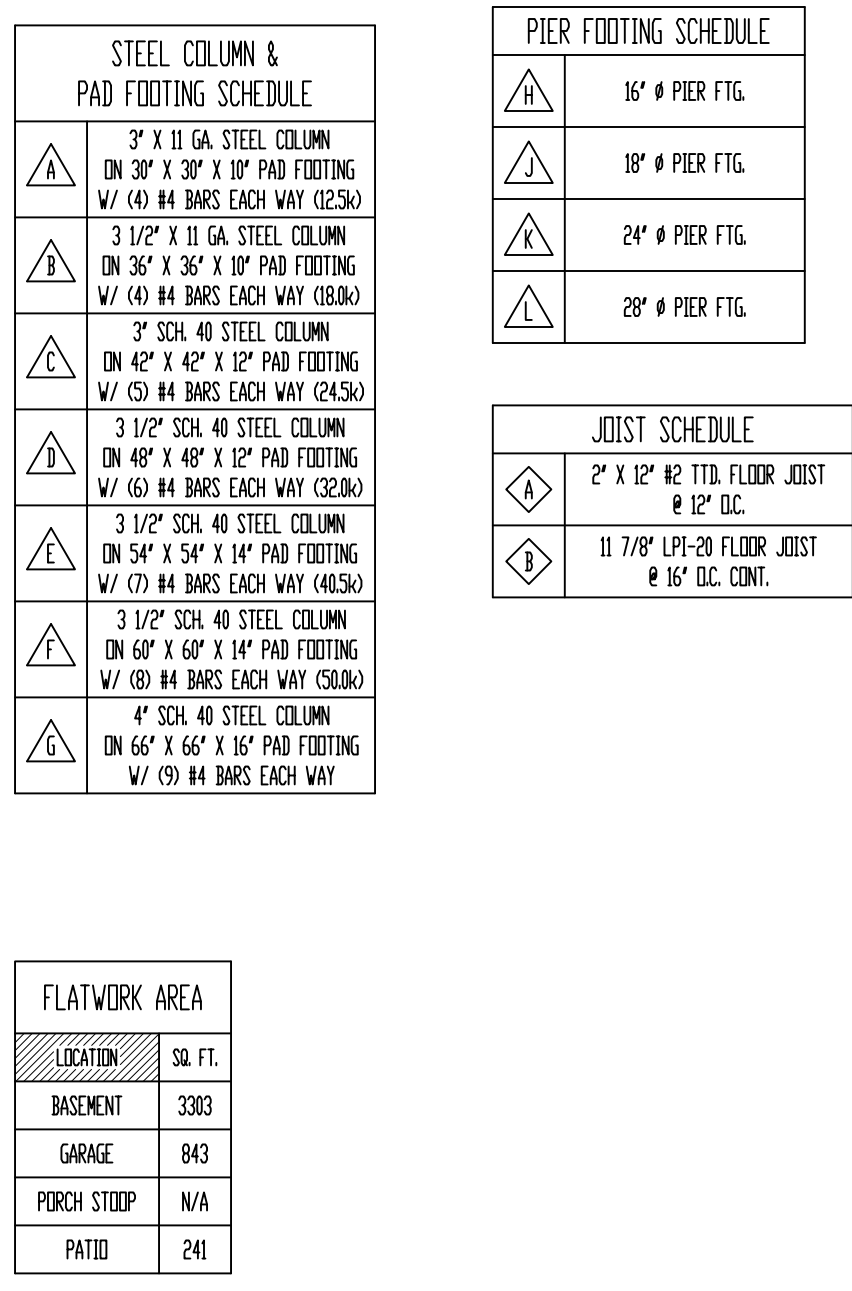
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**MAIN LEVEL
PLAN**

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***** WALL BRACING PER FRAMING NOTE #1 AND PER CALCULATIONS ON SHEET SLL

FRAMING NOTES:

1. BASMENT LEVEL EXTERIOR WOOD-FRAMED WALLS SHALL BE SHEATHED W/ 7/16" O.S.B. APA PANELS W/ 8'x6 COMMON WALLS & 6" OC. @ EGGES & 12" OC. IN THE FIELD. SMART PANEL, OR EQUAL, INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

2. / / / / / / / / / / - GSB 1/2" MIN. GYPSUM IN BOARD OVER STUDS SPACED 24" MAX FASTENED W/ NO. 6 - 1 1/4" TYPE W/ 12" MIN. TO WALL SURFACE. @ 2' EGGS & FIELDS @ 8" OC. SECTIONED SIDE OF WALL. OR MIN-4" CROWN FOR BOTH SIDES.

3. / / / / / / / / / / - LEAD REBARING INTERIOR WALL.

4. (2) 2" X 4" RD. HEBAR AT ALL EXTERIOR AND LEAD REBARING WALLS, UNLESS NOTED OTHERWISE.

5. LOW TIES @ 4'-0" OC. (TYPICAL)

6. RUN STUDS THE FULL HEIGHT OF RAISED PLATE WALLS.

7. BLOCK, STIFFS ABOVE BEAMS, CANTILEVERS AND LEAD REBARING WITH JOIST MATERIAL ONLY REQUIRED WITH 1-BEAMS.

8. PROVIDE MULTIPLE STUDS FOR SOLO BROW BEARING BELOW ALL BEAMS.

9. ALL DESIGNATED 2" X 6" WALLS SHALL HAVE DOUBLE JOINT STUDS AT DOOR AND WINDOW OPENINGS.

10. ALL UNSQUARE WALLS SHALL BE 45°, UNLESS NOTED OTHERWISE.

11. ALL WALLS TO BE FRAMED W/ MIN STUD GRADE 2" X 4'S @ 16" OC., UNLESS NOTED OTHERWISE.

12. 1/2" X ANCHOR BOLTS @ 1' MIN. EMBEDMENT @ 45° OC. DOWEL @ 16" X 6" WITHIN 6" - 12" OF EACH FACE.

13. NEW FOUNDATION SHALL BE RUN ON ORIGINAL SOIL WITH MINIMUM BEARING CAPACITY OF 1500 PSF. A GEOTECHNICAL ENGINEER IS RECOMMENDED FOR VERIFICATION OF THESE CONDITIONS DURING THE EXCAVATION PHASE. ENGINEER OF RECORD ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION NOT VERIFIED TO BE FOUND ON ANYTHING SHORT OF THE APPROPRIATE REQUIREMENTS.

14. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD BEFORE CONSTRUCTION OF ANY DEFLECTION LIMITATIONS MORE STRINGENT THAN CODE MINIMUMS ABOVE ANY OPENINGS.

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