



DOMINO'S PIZZA BAKERY STORE #1684

PIZZA THEATER TENANT IMPROVEMENT

3544 SW MARKET ST

LEE'S SUMMIT, MO 64082

GENERAL CONDITIONS:

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO MAKE THEMSELVES FAMILIAR WITH THE GENERAL CONDITIONS, PLANS, AND SPECIFICATIONS AND OTHER NOTES OR REFERENCES RELATED TO THIS PROJECT SO AS TO POSSESS FULL COMPREHENSION OF THE WORK THEY ARE TO PERFORM. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- NOTHING IN THE PLANS, SPECIFICATIONS, NOTES OR REFERENCES SHALL BE INTERPRETED SO AS TO ELIMINATE ANY REQUIREMENTS OR PROVISIONS OF NATIONAL, STATE, COUNTY, OR LOCAL BUILDING CODES AND ORDINANCES. ALL CONTRACTORS ARE RESPONSIBLE FOR FULL KNOWLEDGE OF, AND COMPLIANCE WITH THE FOREMENTIONED REGULATIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS BEFORE BEGINNING THEIR WORK.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE TO VERIFY ALL FIELD CONDITIONS AND DIMENSIONS RELATED TO THEIR WORK. THE GENERAL CONTRACTOR SHALL THEN SUBMIT A WRITTEN PROPOSAL OF HIS SCOPE OF WORK TO DOMINO'S FOR AN APPROVAL. ANY DISCREPANCIES OR CONFLICTS SHALL BE REPORTED TO THE ARCHITECT BEFORE BEGINNING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL CONSULT WITH THE SUBCONTRACTORS AND COORDINATE THE WORK IN ORDER TO ADHERE TO THE SCHEDULE AGREED UPON BY DOMINO'S.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING:
 - PROVIDE SCHEDULE OF WORK TO DOMINO'S PRIOR TO COMMENCING CONSTRUCTION.
 - OBTAINING ANY AND ALL PERMITS.
 - SCHEDULING ALL INSPECTIONS.
 - PROVIDING CERTIFICATE OF OCCUPANCY AND FINAL HEALTH INSPECTION.
 - THE CONTRACTOR SHALL PROVIDE THE FOLLOWING WITH FINAL INVOICE:
 - ORIGINAL OR CLEAR PHOTO COPIES OF CERTIFICATE OF OCCUPANCY PERMIT AND HEALTH INSPECTION REPORT.
 - LISTING OF SUBCONTRACTORS AND AREA OF RESPONSIBILITY, COMPLETE WITH TRADE NAME, OWNER'S NAME, ADDRESS, TELEPHONE NUMBER AND FEDERAL ID NUMBER.
 - PROPERLY EXECUTED LIEN WAIVER.
 - SERIAL NUMBERS, DATE OF MANUFACTURE OF ALL INSTALLED HVAC EQUIPMENT, MAKELINE AND WALK-IN COOLER BOX.
- UNLESS INDICATED "BY OTHERS" ON THE PLANS OR IN THE SPECIFICATIONS OR OTHERWISE DIRECTED BY DOMINO'S, THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL SUPPLY ALL LABOR AND MATERIALS AND MISCELLANEOUS ITEMS, NOT SPECIFICALLY SHOWN ON THE PLANS OR IN THE SPECIFICATIONS BUT OBVIOUSLY NECESSARY FOR THE COMPLETE AND PROPER INSTALLATION OF THEIR ELEMENTS OF WORK.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL TURN OVER ALL WRITTEN OPERATING INSTRUCTIONS AND WARRANTIES FOR EQUIPMENT TO THE OWNER AT THE COMPLETION OF WORK.
- ALL WORK PERFORMED BY THE CONTRACTOR AND SUBCONTRACTORS, INCLUDING MATERIALS AND LABOR SHALL BE GUARANTEED IN WRITING FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY DOMINO'S.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS, AT THE COMPLETION OF THEIR WORK, SHALL LEAVE THE SITE CLEAN AND FREE OF DEBRIS RELATED TO THEIR WORK, AND THE STORE FINISHED TO PASS HEALTH INSPECTIONS AND MADE READY TO COMMENCE WITH THE BUSINESS OF FOOD PREPARATION.
- THE USE OF BRAND NAMES, CATALOGUE NUMBERS OR NAMES OF MANUFACTURERS IS SOLELY FOR THE PURPOSE OF ESTABLISHING THE TYPE AND QUALITY THAT WILL BE ACCEPTABLE. UNLESS SPECIFICALLY PROHIBITED IN THE SPECIFICATIONS, SUBSTITUTION WILL BE PERMITTED AFTER SUBMITTAL TO AND WRITTEN APPROVAL BY DOMINO'S.
- IT IS RECOMMENDED THAT THE CONTRACTOR ACQUIRE THE DESIGN AND EQUIPMENT BROCHURES FROM DOMINO'S EQUIPMENT & SUPPLY FOR REFERENCE WITH THESE DOCUMENTS.
- GC IS RESPONSIBLE FOR MEANS AND METHODS FOR INSTALLATION OF WORK INDICATED ON THESE DRAWINGS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADDITIONAL DESIGN / BUILD INFORMATION, WHICH MAY BE REQUIRED BY LOCAL CODE AUTHORITIES, WHICH MEETS THE DESIGN CRITERIA IN THESE DOCUMENTS.

GENERAL NOTES:

- THE OWNER HAS REQUESTED THAT THE ARCHITECT PREPARE THESE DRAWINGS, WHICH ARE LIMITED IN SCOPE, TO ESTABLISH MINIMUM GUIDELINES FOR DESIGN OF THE PROJECT.
- WHERE MATERIALS, ASSEMBLIES, EQUIPMENT, FIXTURES AND SYSTEMS ARE NOT SHOWN, OR ARE SHOWN DIAGRAMMATICALLY, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DETERMINE SPECIFIC LOCATIONS, PROVIDE SPECIFIC MATERIALS AND DETERMINE CONSTRUCTION DETAILING, ALL IN COMPLIANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, AND INDUSTRY STANDARDS FOR MATERIALS AND METHODS OF INSTALLATION.
- ALL DRAWINGS HAVE BEEN PREPARED WITH THE INTENT OF CURRENT CODE COMPLIANCE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE FULL COMPLIANCE WITH PREVAILING STATE OR LOCAL CODE REQUIREMENTS.
- DO NOT SCALE THE DRAWINGS. IF DIMENSIONAL DISCREPANCIES ARISE, CONTACT THE ARCHITECT.
- DIMENSIONS OF THE EXISTING TENANT SPACE AND NEW DIMENSIONS WHICH RELATE TO THOSE EXISTING DIMENSIONS ARE ASSUMED AND TAKEN FROM INFORMATION PROVIDED BY THE OWNER OR OWNERS REPRESENTATIVES. IT IS IMPERATIVE THAT PRIOR TO THE ORDERING OF PREFABRICATED EQUIPMENT OR COMMENCING CONSTRUCTION THESE DIMENSIONS ARE FIELD VERIFIED TO AVOID CONFLICTS.
- ANY DISCREPANCIES BETWEEN PORTIONS OF THE DOCUMENTS ARE NOT INTENDED. THE GENERAL CONTRACTOR IS TO CLARIFY WITH THE ARCHITECT ANY SUCH DISCREPANCIES PRIOR TO COMMENCING WORK.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED OR LABELED FINISHED OPENING (F.O.).
- ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND LOCAL DESCRIPTIONS.
- ALL ELECTRICAL, MECHANICAL AND PLUMBING WORK SHALL CONFORM TO STATE AND LOCAL REQUIREMENTS.
- CONSTRUCTION MAY NOT BEGIN UNTIL APPROVAL HAS BEEN GRANTED BY DOMINO'S. THESE DRAWINGS ARE SUBJECT TO DOMINO'S APPROVAL.

PROJECT DIRECTORY:

OWNER / DEVELOPER

DESZ MANAGEMENT LLC DBA DOMINO'S
3901 BLUE RIDGE CUTOFF
KANSAS CITY, MO 64133
TEL: (816)501-8388
E: SCOVEY@DTPIZZA.ORG

ARCHITECT CONTACT INFORMATION

GNICH ARCHITECTURE STUDIO, LLC
AN OREGON LIMITED LIABILITY COMPANY
1001 SE SANDY BLVD, SUITE 100
PORTLAND, OR 97214
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FAX: (503) 241-7055
ATTN: DAVID COBIELLA, PROJECT MANAGER
DAVIDC@GNICHARCH.COM

SUBMITTALS BY OTHERS:

EXTERIOR SIGNAGE

SIGN VENDOR SHALL BE RESPONSIBLE FOR PREPARING DRAWINGS AND OBTAINING SEPARATE SIGNAGE PERMITS AS REQUIRED BY LOCAL JURISDICTION.

FIRE ALARM SYSTEM

DESIGN/BUILT. G.C. SHALL BE RESPONSIBLE FOR PREPARING DRAWINGS AND OBTAINING ALL BUILDING PERMITS AS REQUIRED BY LOCAL JURISDICTION.

KITCHEN HOOD FIRE SUPPRESSION SYSTEM

DESIGN/BUILT. G.C. SHALL BE RESPONSIBLE FOR PREPARING DRAWINGS AND OBTAINING ALL BUILDING PERMITS AS REQUIRED BY LOCAL JURISDICTION.

FIRE SUPPRESSION / SPRINKLER SYSTEM

DESIGN/BUILT. G.C. SHALL BE RESPONSIBLE FOR PREPARING DRAWINGS AND OBTAINING ALL BUILDING PERMITS AS REQUIRED BY LOCAL JURISDICTION.

DRAWING INDEX:

GENERAL INFORMATION

- G1.0 COVER SHEET
- G2.0 CONSTRUCTION SPECIFICATIONS/ ACCESSIBILITY DETAILS

ARCHITECTURAL

- FLS1.0 FIRE/ LIFE SAFETY PLAN
- A1.0 EQUIPMENT LAYOUT/ COUNTER CABINETS/ SCHEDULES
- A2.0 PARTITION & FINISH PLAN/ DETAILS/ MATERIAL SCHEDULE/ DOOR SCHEDULE
- A3.0 REFLECTED CEILING PLAN/ DETAILS
- A4.0 INTERIOR ELEVATIONS/ ART PACKAGE SCHEDULE
- A5.0 INTERIOR ELEVATIONS
- A6.0 INTERIOR DETAILS

ELECTRICAL

- E1.0 ELECTRICAL ONE-LINE DIAGRAM/ PANEL SCHEDULE/ CALCULATIONS
- E2.0 ELECTRICAL LIGHTING PLAN
- E3.0 ELECTRICAL POWER PLAN

MECHANICAL

- M1.0 MECHANICAL SCHEDULES, CALCULATIONS AND LEGEND
- M2.0 MECHANICAL PLAN
- M3.0 MECHANICAL DETAILS AND SEQUENCE OF OPERATIONS
- M4.0 MECHANICAL DETAILS
- M5.0 MECHANICAL ENERGY CERTIFICATE
- M6.0 MECHANICAL GENERAL NOTES AND SPECIFICATIONS

PLUMBING

- P1.0 PLUMBING LEGEND, CALCULATIONS AND SCHEDULES
- P2.0 POTABLE WATER & GAS PLUMBING PLAN
- P2.1 SANITARY SEWER PLUMBING PLAN
- P3.0 PLUMBING DETAILS
- P4.0 PLUMBING SPECIFICATIONS AND GREASE INTERCEPTOR SIZING & DATA

SYMBOL LEGEND

- SECTION REFERENCE
- DOOR SCHEDULE REFERENCE
- CENTERLINE
- MASTER MATERIAL SCHEDULE REFERENCE
- EQUIPMENT SCHEDULE REFERENCE
- ART PACKAGE REFERENCE
- WALL ASSEMBLY TYPE REFERENCE
- CABINET SCHEDULE REFERENCE
- FURNITURE SCHEDULE REFERENCE
- ELEVATION REFERENCE
- ENLARGED DETAIL REFERENCE
- REVISION TAG
- REVISION CLOUD

PROJECT STATISTICS:

SCOPE

THIS DOMINO'S PIZZA THEATER TENANT IMPROVEMENT PROJECT INCLUDES: THE ADDITION OF NEW INTERIOR PARTITIONS, CASEWORK, FIXED FURNITURE, KITCHEN EQUIPMENT, PLUMBING FIXTURES, ELECTRICAL DISTRIBUTION AND MECHANICAL SYSTEMS FOR A RETAIL FOOD BAKERY AND STORE.

CODE SUMMARY

- BUILDING CODE 2018 IBC
- MECHANICAL CODE 2018 IMC
- PLUMBING CODE 2018 IPC
- ENERGY CODE 2018 IECC
- FUEL GAS CODE 2018 IFGC
- FIRE CODE 2018 IFC
- ELECTRICAL CODE 2017 NEC

ICC/ANSI A117.1-2009, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

DOMINO'S PIZZA BAKERY IS INTENDED PRIMARILY FOR DELIVERY AND CARRY OUT WITH MINIMAL SEATING FOR WAITING CUSTOMERS.

IBC SECTION 303.1
EXCEPTION 1. A BUILDING OR TENANT SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY.

BUILDING DATA

- CONSTRUCTION TYPE VB
- AUTOMATIC SPRINKLER SYSTEM YES
- TOTAL AREA OF DOMINO'S TENANT SPACE: 1,220 S.F. GROSS

OCCUPANT LOAD SUMMARY

OCCUPANCY CLASSIFICATION: GROUP B (LESS THAN 50 OCCUPANTS)

IBC SECTION 303.1
EXCEPTION 2. A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY.
EXCEPTION 3. A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES THAT IS LESS THAN 750 SQUARE FEET IN AREA AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY.

LOBBY AREA
GROSS AREA = 106 S.F.
LOAD FACTOR @ 1/100 BUSINESS
OCCUPANT LOAD = 2

PRODUCTION AREA
GROSS AREA = 472 S.F.
LOAD FACTOR @ 1/200 KITCHEN, COMMERCIAL
OCCUPANT LOAD = 3

STORAGE AREA
GROSS AREA = 591 S.F.
LOAD FACTOR @ 1/300 ACCESSORY STORAGE
OCCUPANT LOAD = 2

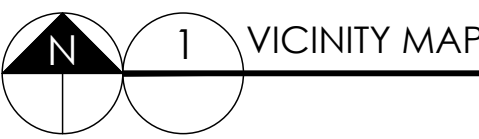
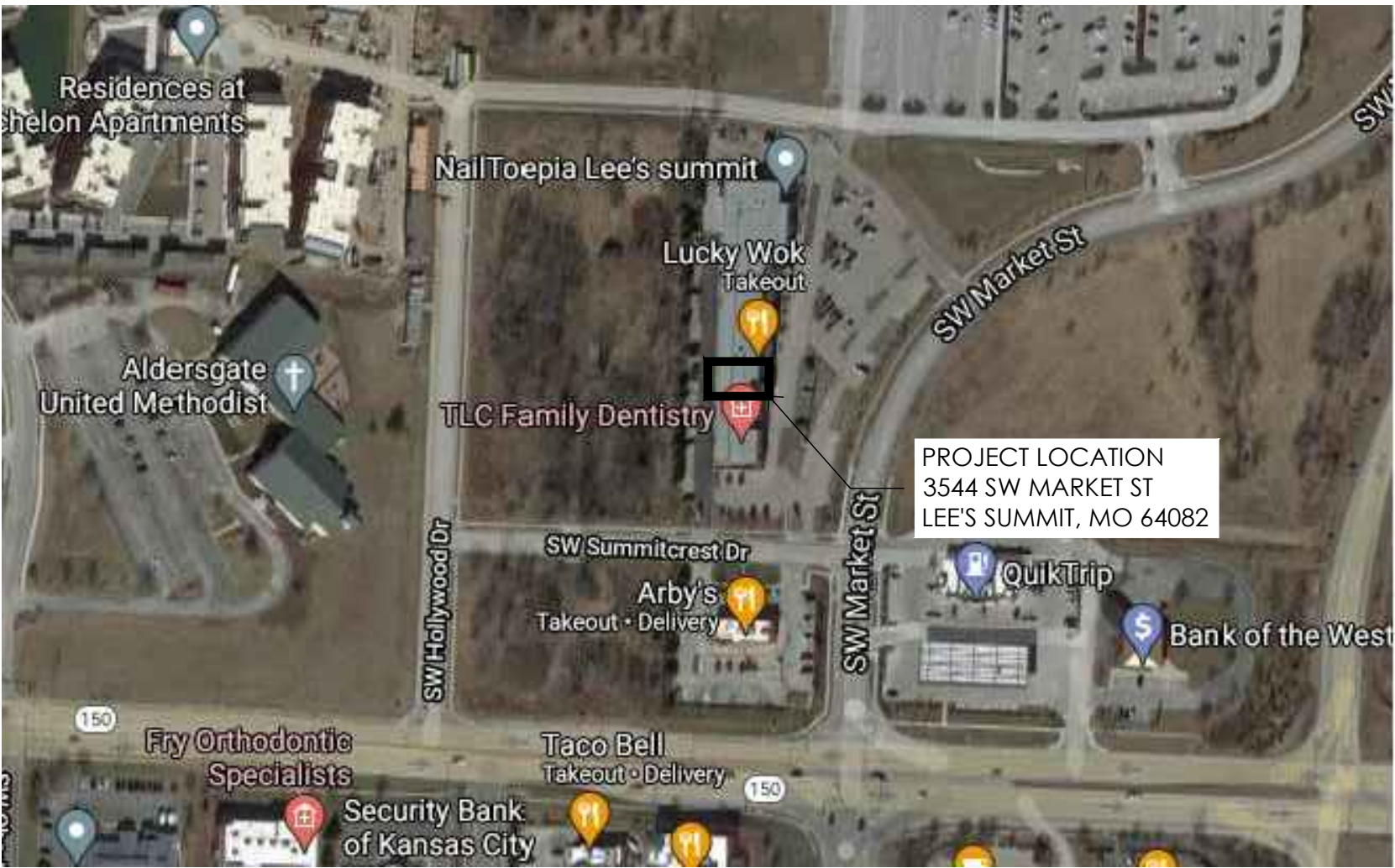
TOTAL OCCUPANT LOAD = 7

EXITS:
CUSTOMER AREA = 1
TOTAL EXITS = 2

7 PERSONS IN THIS SPACE X .20' / PERSON = 1.4 INCHES MIN. REQ'D
EXIT WIDTH PROVIDED = 73.5 INCHES PROVIDED

TOILETS:
TOTAL NUMBER OF TOILET FACILITIES = 1 PROVIDED

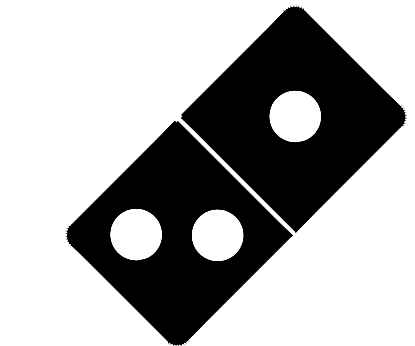
RESPONSIBILITY SCHEDULE												REMARKS
ITEM	PROVIDED BY OWNER	INSTALLED BY OWNER	PROVIDED BY OWNER	INSTALLED BY OWNER	PROVIDED BY G.C.	INSTALLED BY G.C.	BY SUB-CONTRACTOR	BY SUB-CONTRACTOR	BY SUB-CONTRACTOR	BY SUB-CONTRACTOR	BY SUB-CONTRACTOR	
DIVISION 01 - GENERAL REQUIREMENTS												
PERMITS, FEES, AND INSURANCE												
PROFESSIONAL CLEANING												
TEMPORARY POWER / WATER												
CERTIFICATE OF OCCUPANCY												
DUMPSTER / TRASH REMOVAL												
DIVISION 02 - SITE WORK												
TRENCHING AND BACKFILL												
SHORING AND BRACING												
TEMPORARY BARRICADES												COORDINATE REQUIREMENTS w/ CITY AUTHORITIES
PAVING PATCHING AND REPAIR												
DIVISION 03 - CONCRETE												
FLOOR SLAB CUTTING												AS REQUIRED
CONCRETE SLAB PATCHING AND REPAIR												
DIVISION 04 - MASONRY												
CLAY MASONRY UNITS												
CONCRETE MASONRY UNITS												
DIVISION 05 - METALS												
LIGHT GAUGE METAL FRAMING												
COLD FORMED METAL FRAMING												
DIVISION 06 - WOOD AND PLASTICS												
MISCELLANEOUS BLOCKING												
WOOD MOLDINGS AND TRIM												
FRAMING LUMBER												
FIRE RETARDANT LUMBER / PLYWOOD												
MILLWORK												
PVC TRIM, CHAIR RAIL AND CORNER GUARDS												
DIVISION 07 - THERMAL AND MOISTURE PROTECTION												
INSULATION (DUCTWORK)												H
SEALANTS, FIRESTOPPING AND CAULKING												
BATT, RIGID AND FOAMED INSULATION												IF REQUIRED
SOUND BATT INSULATION												IF REQUIRED
DIVISION 08 - DOORS AND WINDOWS												
DOOR HARDWARE AND EXIT DEVICES												
GLASS AND GLAZING												
INTERIOR DOORS AND FRAMES												
DIVISION 09 - FINISHES												
ACOUSTICAL CEILINGS AND SUSPENSION SYSTEMS												
GYPSUM BOARD (WALLS, SOFFITS AND CEILINGS)												
FLOOR TILE												
TWILL AND / OR SEAMLESS BASE												
REDUCERS AND TRANSITION STRIPS												
PAINTS AND COATINGS												
SHEET GOODS												
DIVISION 10 - SPECIALTIES												
EXTERIOR SIGNAGE												IF REQUIRED
EXTERIOR AWNING												
INTERIOR GRAPHICS PACKAGE (DOOR SIGNS, ETC.)												
ACCESSIBILITY SIGNAGE												
TOILET ROOM ACCESSORIES												
DIVISION 11 - EQUIPMENT												
COMPUTERS / DATA												E.C. TO RUN CONDUIT IF REQUIRED BY LOCAL MUNICIPALITY
TELECOMMUNICATIONS EQUIPMENT												
VIDEO EQUIPMENT												K
KITCHEN EQUIPMENT												
DIVISION 12 - FURNISHINGS												
SEATING												
MISCELLANEOUS DECOR ITEMS												
DIVISION 13 - SPECIAL CONSTRUCTION												
NO WORK REQUIRED UNDER THIS SECTION												
DIVISION 14 - CONVEYING SYSTEMS												
NO WORK REQUIRED UNDER THIS SECTION												
DIVISION 15 - MECHANICAL AND PLUMBING												
WATER SUPPLY												
DAMPERS												H
DIFFUSER / GRILLES												H
H.V.A.C. HEATING AND COOLING UNITS												H
H.V.A.C. DUCTWORK												H
EXHAUST FANS, UTILITY SETS AND DUCTWORK												
LAVATORY FIXTURES AND WATER HEATER												
SANITARY												
SUPPLY, VENT, WASTE PIPING												P, H
KITCHEN EQUIPMENT UTILITY CONNECTIONS												FINAL CONNECTIONS BY EACH TRADE SUB-CONTRACTOR
FIRE PROTECTION SYSTEM (SPRINKLER) (AS REQ.)												S
FIRE PROTECTION SYSTEM (ALARM) (AS REQ.)												FP
EXHAUST HOOD MAKE-UP AIR (AS REQ.)												H
DIVISION 16 - ELECTRICAL												
INTERIOR AND EXTERIOR LIGHT FIXTURES												E
EXIT AND EMERGENCY LIGHTING												E
ELECTRICAL OUTLETS												E
CONDUIT FOR TELEPHONE / DATA WIRES												IF REQUIRED BY LOCAL MUNICIPALITY
FIRE ALARM (AS REQ.)												FP
KITCHEN EQUIPMENT UTILITY CONNECTIONS												E, P, H, FP, G.C.
												FINAL CONNECTIONS BY EACH TRADE SUB-CONTRACTOR



NOT TO SCALE



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Project No: 5401 / Store #1684
Domino's Pizza Bakery Store
Pizza Theater Tenant Improvement
3544 SW Market St., Lee's Summit, MO 64082
for DESZ Management LLC dba Domino's
3901 Blue Ridge Cutoff
Kansas City, MO 64133

ISSUED FOR PERMIT:
04.22.2021

REV: DATE: DESCRIPTION:
05.04.21 CITY COMMENTS

SHEET NAME:

COVER SHEET

SHEET NUMBER:

G1.0