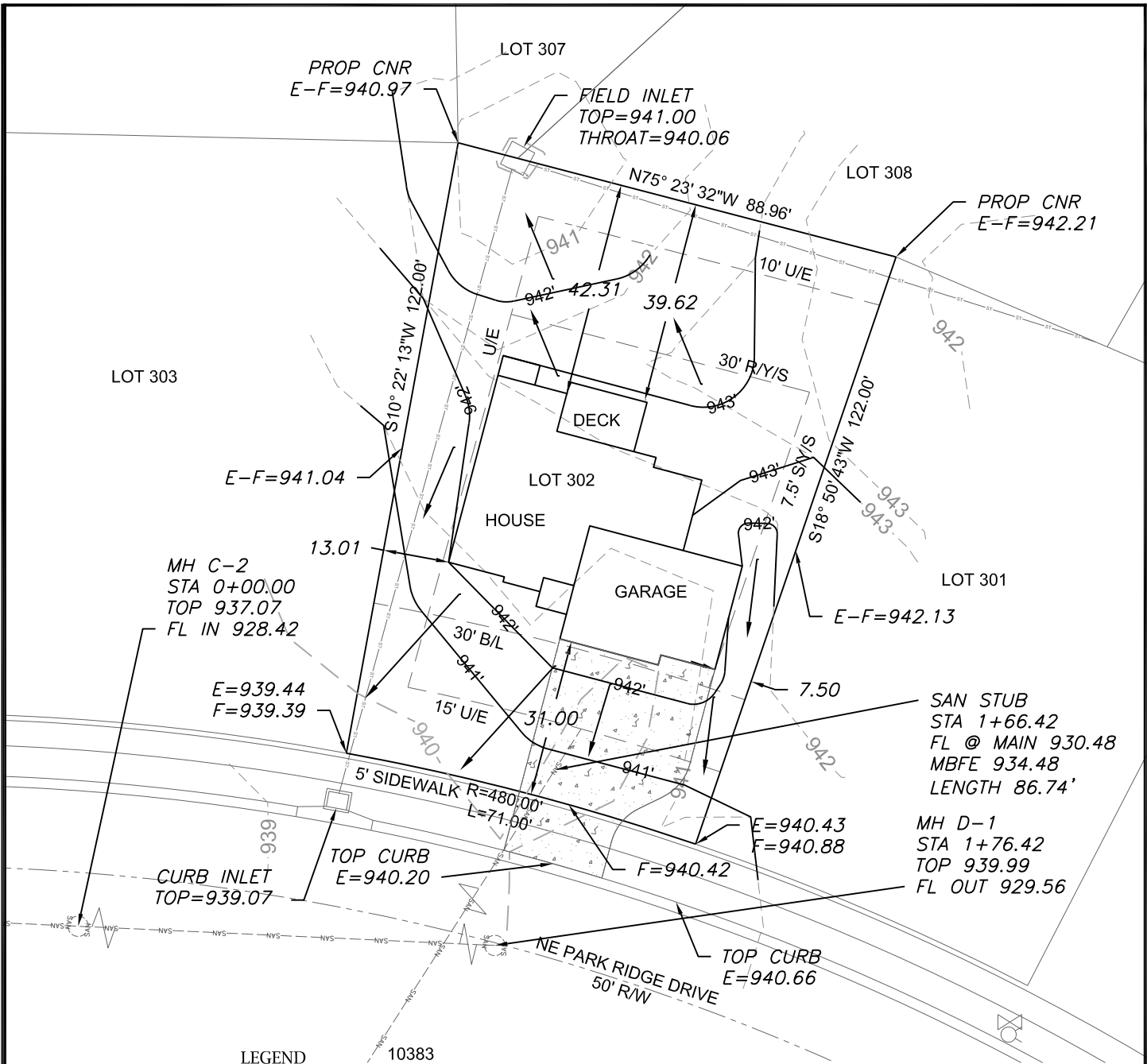




LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

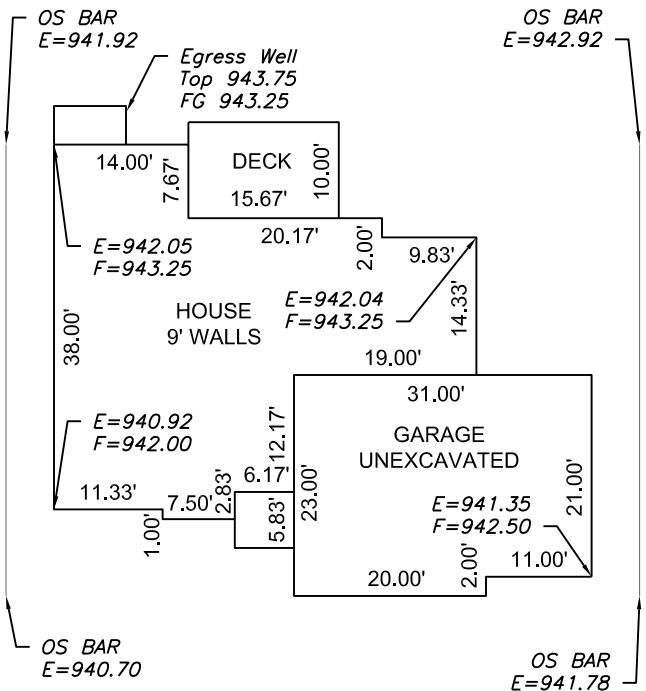
PROPOSED HOUSE

TOP FOUNDATION = 944.00
GARAGE FLOOR = 942.50
TOP FOOTING = 935.00
BASEMENT FLOOR = 935.33
DRIVE SLOPE = 6.7%

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

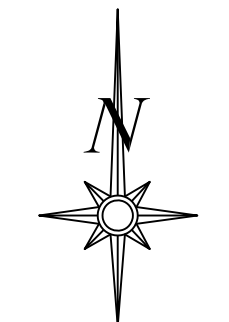
NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.



PLAN: KNOLLBROOKE

Scale 1"=20'



Scale 1"=30'

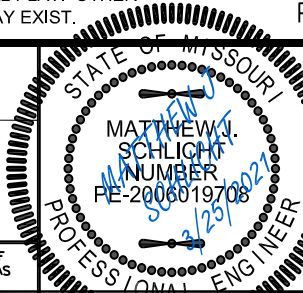
LOT INFORMATION

9,665.16 SQ. FT.
MBFE = 934.48
ADDRESS
1904 NE PARK RIDGE DRIVE

LEGAL DESCRIPTION

LOT 302, PARK RIDGE 6TH PLAT,
A SUBDIVISION AS RECORDED IN
LEE'S SUMMIT, JACKSON
COUNTY, MISSOURI.

ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P:(816) 623-9888 F:(816) 623-9849
WWW.ENGINEERINGSOLUTIONSKC.COM



PLOT PLAN - LOT 302

PARK RIDGE SIXTH PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

CEAH REALTORS
3170 NE CARNEGIE DRIVE, SUITE 400
LEE'S SUMMIT, MO 64064

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 302, PARK RIDGE	3/25/21	1	1